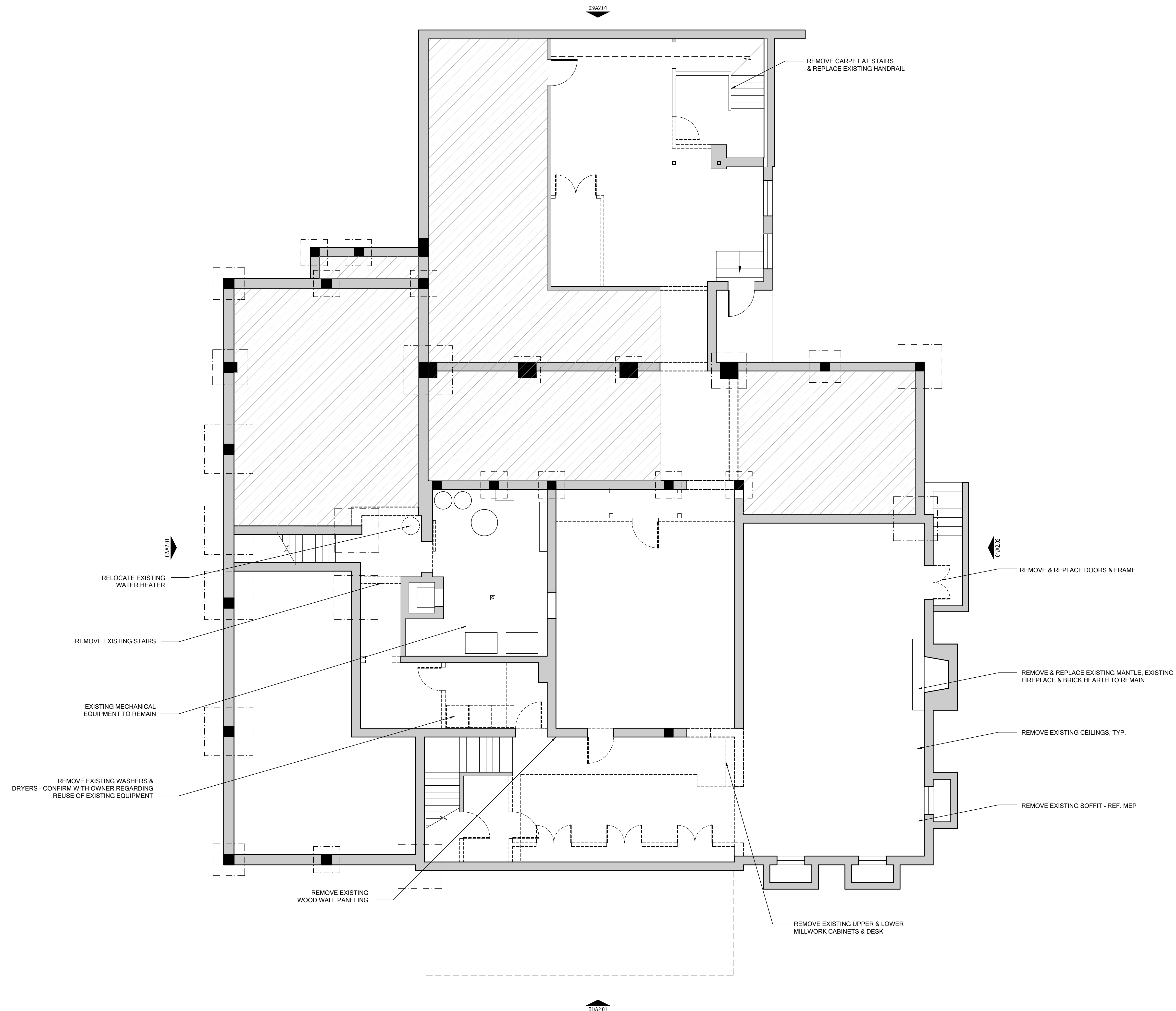


1. ALTERNATE NO. 1: REMOVE ALL EXISTING DOUBLE-HUNG WOOD WINDOWS FOR REPLACEMENT.
2. REMOVE ALL MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS NOT SCHEDULED TO REMAIN, REFER MEP.
3. REMOVE ALL EXISTING SHEET VINYL/LINOLEUM TILE & BASE AT TILE.
4. REMOVE EXISTING LAY-IN CEILING INCLUDING GRID & HANGERS, SOFFITS AND CEILING FANS.
5. REMOVE EXISTING SURFACE-MOUNTED FIXTURES AND TRACK LIGHTING NOT SCHEDULED TO REMAIN.
6. REFER TO OWNER FOR EQUIPMENT STORAGE OR REMOVAL OF ALL EXISTING

	AREA NOT IN DEMO SCOPE, UNO
	EXISTING PARTITION TO REMAIN
	EXISTING PARTITION, TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED



OVERALL DEMO PLAN - BASEMENT

FILE NAME: AD100 - OVERALL DEMO PLAN - BASEMENT DWG

SCALE: 3/16" = 1'-0"

2808 Fairmount Street
Suite 300
Dallas, Texas 75201
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214.303.1512/Fax
www.gfi.com

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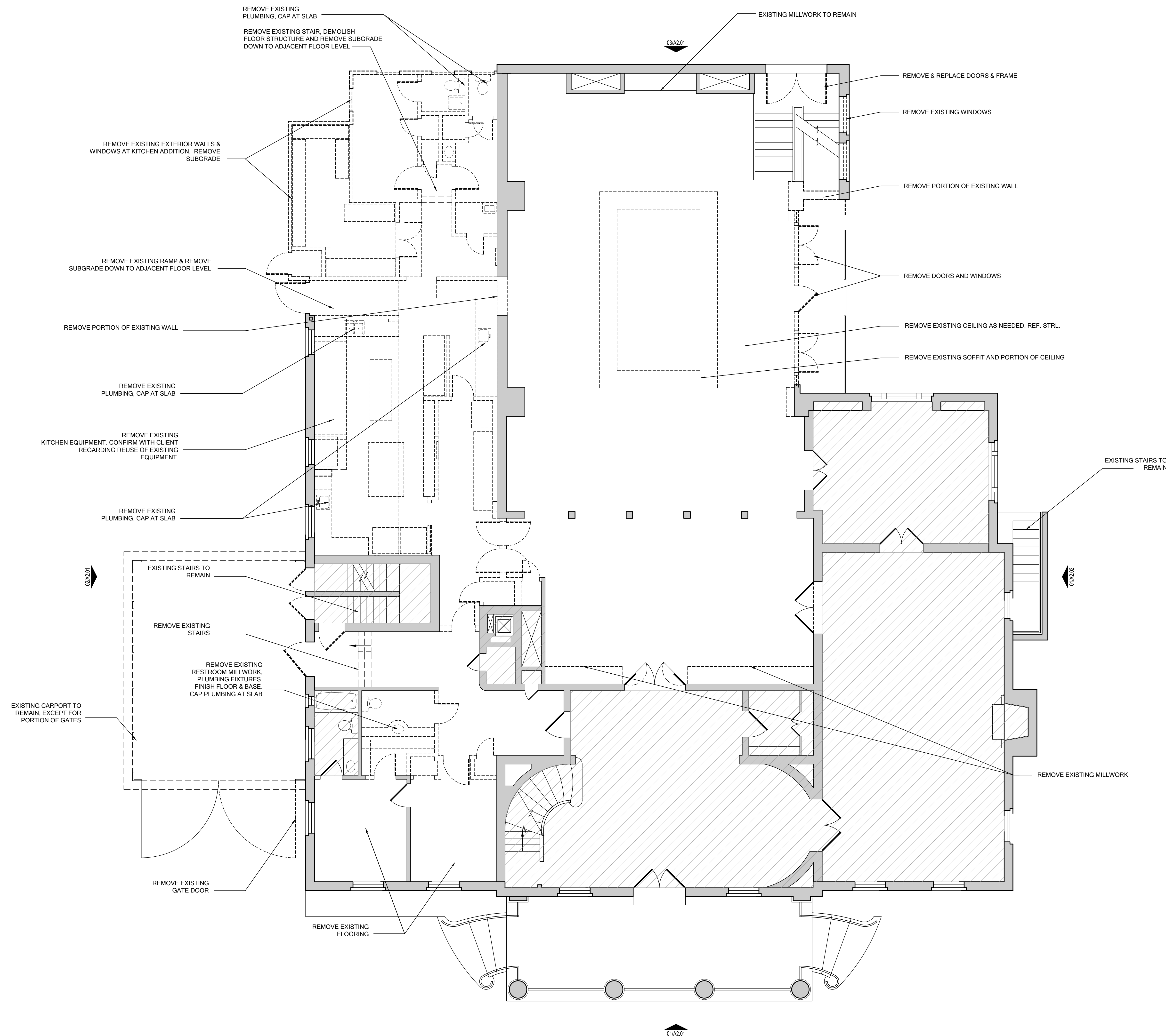
OVERALL DEMO
PLAN - BASEMENT

Last Revision

AD1.00

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	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED



		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
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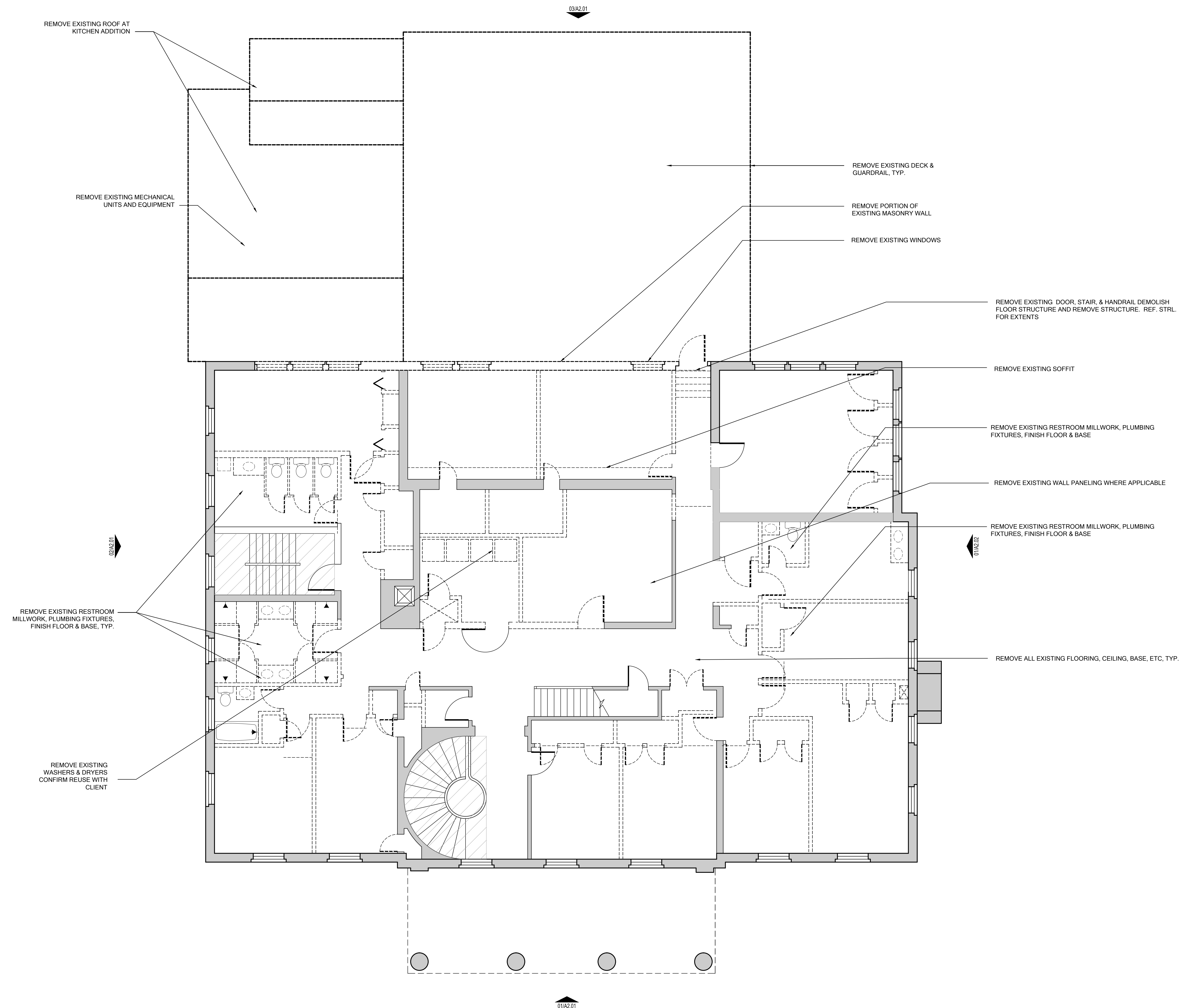
OVERALL DEMO PLAN LEVEL ONE

Project No.	11225.02
Date	
Last Revision	

AD1.01

1. ALTERNATE NO. 1: REMOVE ALL EXISTING DOUBLE-HUNG WINDOW WINDOWS FOR REPLACEMENT.
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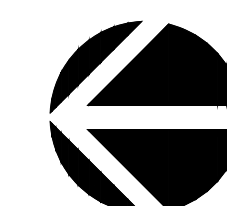
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Project No.	11225.02
Date	
Last Revision	

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 EXISTING DOOR TO REMAIN
 EXISTING DOOR TO BE REMOVED



SCALE: 3/16" = 1'-0"

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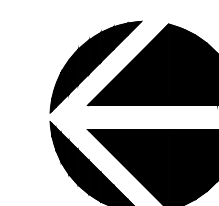
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AD1.03

1. ALL ELEVATIONS TAKEN FROM FIRST FINISH FLOOR (DATUM EL. 0'-0").
2. DIMENSIONS OF NEW CONSTRUCTION TO MATCH DIMENSIONS OF EXISTING.
3. CONTRACTOR TO VERIFY EXISTING CONTROL DIMENSIONS AND ELEVATIONS.
4. PROVIDE NEW WOOD DOORS AND FRAMES I.N.O.
5. ALL NEW PARTITIONS TO DECK: 5/8 GYP. FURRING CHANNELS AT LOCATIONS OF EXISTING BRICK.
6. ALL EXISTING WINDOWS TO BE REPAIRED & REPAINTED.
7. PROTECT ALL EXISTING WOOD & PARQUET FLOORING.

	AREA NOT IN SCOPE, UNO
	ROOM NAME AND NUMBER
	EXISTING PARTITION
	NEW PARTITION
	ELEVATION MARKER
	DETAIL MARKER
	BUILDING SECTION MARKER
	EXISTING DOOR TO REMAIN
	DESIGNATION FOR ENLARGED PLAN



SCALE: 3/16" = 1'-0"

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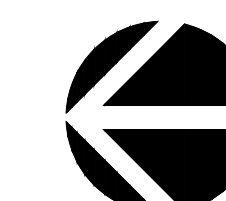
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Approved

A1.00

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	DETAIL MARKER
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	EXISTING DOOR TO REMAIN
	DESIGNATION FOR ENLARGED PLAN



SCALE: 3/16" = 1'-0"

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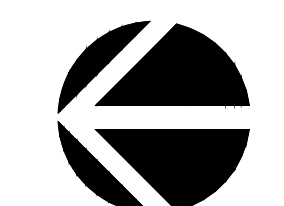
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Approved _____

A1.01

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	ELEVATION MARKER
	DETAIL MARKER
	BUILDING SECTION MARKER
	EXISTING DOOR TO REMAIN
	DESIGNATION FOR ENLARGED PLAN



SCALE: 3/16" = 1'-0"

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A1.02

1. ALL ELEVATIONS TAKEN FROM FIRST FINISH FLOOR (DATUM EL.: 0'-0").
2. DIMENSIONS OF NEW CONSTRUCTION TO MATCH DIMENSIONS OF EXISTING.
3. CONTRACTOR TO VERIFY EXISTING CONTROL DIMENSIONS AND ELEVATIONS.
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	EXISTING PARTITION
	NEW PARTITION
	ELEVATION MARKER
	DETAIL MARKER
	BUILDING SECTION MARKER
	EXISTING DOOR TO REMAIN
	DESIGNATION FOR ENLARGED PLAN

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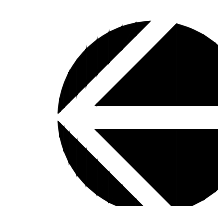
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A1.03

1. ROOF SYSTEM IS TPO AT FLAT ROOF, STANDING SEAM METAL ROOF AT HIP ROOFS.
2. PROVIDE 30"W TPO WALK PAD SYSTEM AROUND NEW MECHANICAL UNITS, WALK PAD MATERIAL TO BE COMPATIBLE WITH EXISTING ROOF ASSEMBLY.
3. REFER TO BID ALTERNATE TO REPLACE EXISTING ROOF WITH NEW STANDING SEAM ROOF TO MATCH COLOR, PANEL WIDTH, AND SEAM HEIGHT.

	AREA NOT IN SCOPE, UNO
	WALKWAY PADS
	TAPERED INSULATION
	ROOF ACCESS LADDER
	AREA OF SLOPED INSULATION
	ROOF / OVERFLOW DRAIN
	EXISTING ROOF DRAIN



FILE NAME: A1.05 - OVERALL ROOF PLAN.DWG

SCALE: 3/16" = 1'-0"

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A1.05

 EXISTING PORTION TO BE DEMOLISHED

 EXISTING TO BE REMOVED

NOTES:
-ALL EXTERIOR KITCHEN EQUIPMENT
TO BE REMOVED. CONFIRM WITH
CLIENT AND MEP ENGINEER PRIOR TO
REMOVAL.
-ASSESS REUSE OF EXISTING
GUTTERS AND DOWNSPOUTS.
CONFIRM REMOVAL WITH CLIENT AND
ARCHITECT PRIOR TO REMOVAL. PAINT
AND REPAIR AS NEEDED.
-GC TO CONFIRM DORMER LOCATIONS
AND EXISTING ROOFING CONDITIONS.

02 NORTH BUILDING ELEVATION

FILE NAME: A2.01 - BUILDING ELEVATIONS - DEMOTH.CDWG SCALE: 3/16" = 1'-0"

 T.O. UPPER HIP ROOF
 EL: 42'-4-3/8"

ATTIC
EL: 35'-1"

LEVEL THREE
EL: 25'-9"

LEVEL TWO
EL: 15'-5-1/2"

LEVEL ONE - FINISHED FLOOR
EL: 3'-4-1/2"

UNIVERSITY DR.
FL : 0'-0"

- REMOVE PORTION OF FENCE AND GATE FOR NEW PEDESTRIAN GATE. REF. A0.01A

— BID ALTERNATE: REPLACE ROOF WITH
MATCHING STANDING SEAM METAL ROOF

— CLEAN ALL BRICK, TYP.

REPAIR AND REPAINT WINDOWS, TYP.
REPAIR TOP-HUNG SCREEN PANELS,
REPLACE AS NEEDED TO MATCH EXISTING,
TYP.

— REPAIR AND REPAINT EXISTING SHUTTERS,
TYP.

01 WEST BUILDING ELEVATION

Good Fulton & Farrell Architects
2808 Fairmount Street
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Dallas, Texas 75201
214.303.1500/Tel
214.303.1512/Fax
www.gff.com



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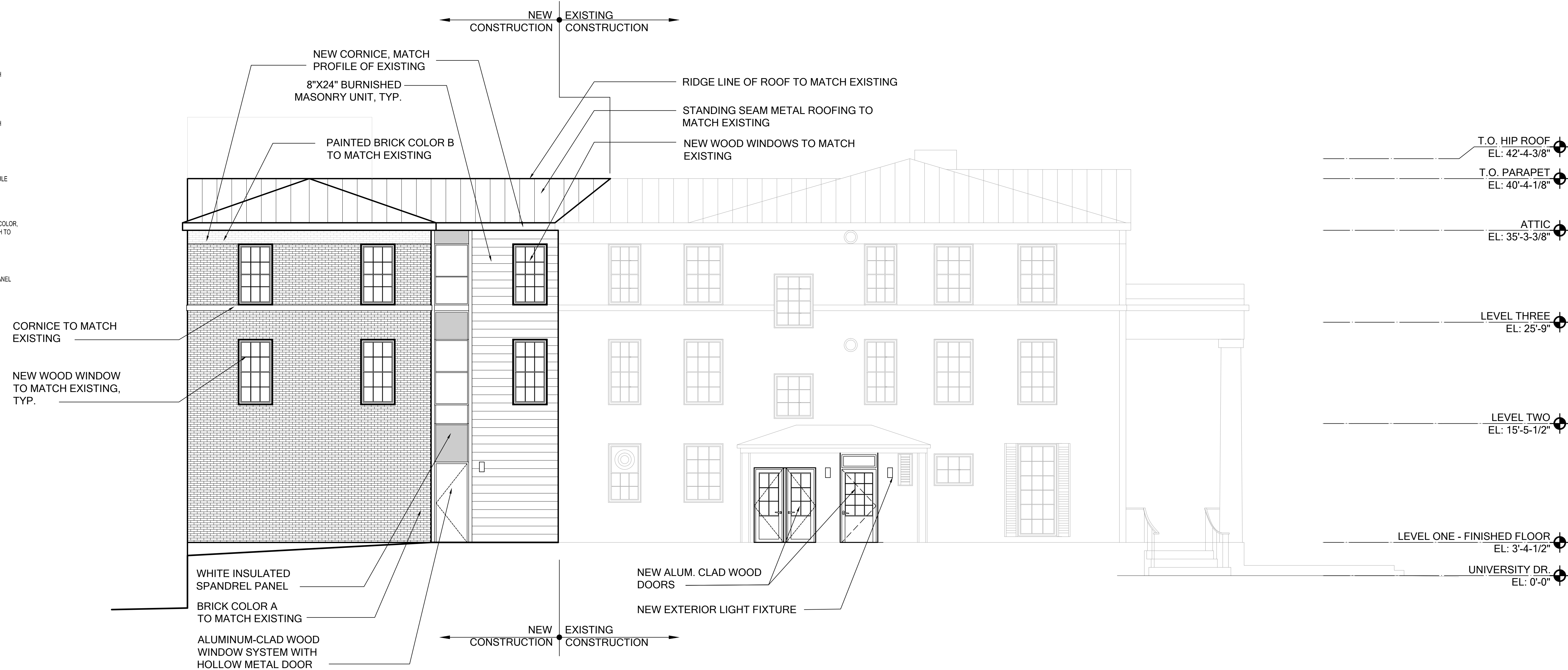
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BUILDING ELEVATIONS
EXISTING AND DEMO

Project No.	11225.02
Date	
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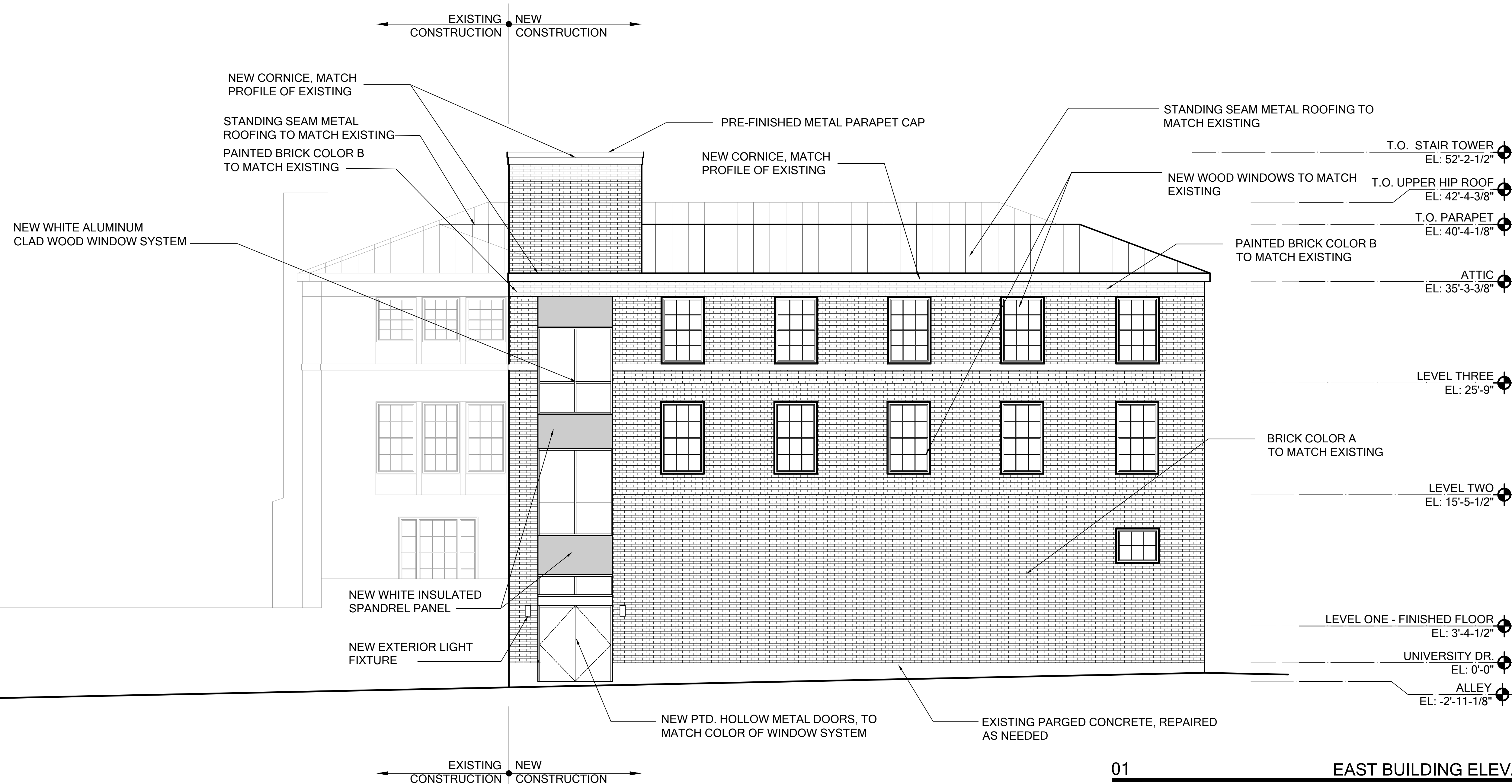
A2.01

	NEW BRICK- COLOR A TO MATCH EXISTING BRICK
	NEW BRICK- COLOR B TO MATCH EXISTING BRICK ACCENT BANDS
	BURNISHED BLOCK, 8'X24" MODULE
	STANDING SEAM METAL ROOF: COLOR, SEAM HEIGHT, AND PANEL WIDTH TO MATCH EXISTING.
	WHITE INSULATED SPANDELR PANEL TO MATCH WINDOW COLOR



02 NORTH BUILDING ELEVATION

FILE NAME: A2.03 - BUILDING ELEVATIONS - NEW CONSTRUCTION\THC.DWG SCALE: 1/8" = 1'-0"



01 EAST BUILDING ELEVATION
 FILE NAME: A2.03 - BUILDING ELEVATIONS - NEW CONSTRUCTION.DWG SCALE: 1/8" = 1'-0"



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BUILDING ELEVATIONS -
NEW CONSTRUCTION

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