

N.T.S.
C.O.A. GRID NO. G20
(MAPSCO PAGE 614P)

DESIGN TEAM MEMBERS

[illegible]

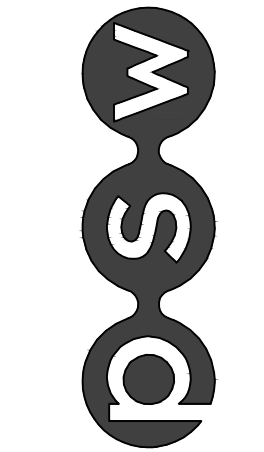
OWNER/ DEVELOPER:	SURVEYOR:
LIGHTSEY TWO GP, LLC	HOLT CARSON, INC.
2003 S. 1ST STREET	1904 FORTVIEW ROAD
AUSTIN, TX 78704	AUSTIN, TEXAS 78704
TEL: (480) 650-4501	TEL: (512) 442-0990
ENGINEER:	
PSW HOMES, LLC	
2003 S. 1ST STREET	
AUSTIN, TX 78704	
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1	COVER SHEET
2	GENERAL NOTES
3	PRELIMINARY PLAN

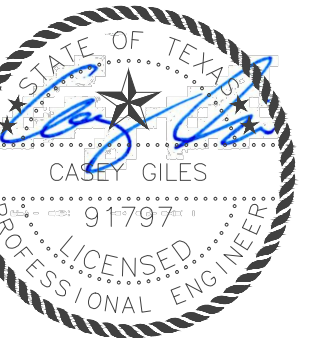
CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

APPROVAL BY:

PLANNING AND DEVELOPMENT REVIEW DEPARTMENT	DATE
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TBPE FIRM # 15189



4/2014

LIGHTSEY 2
1805 LIGHTSEY ROAD, AUSTIN, TEXAS 78704
PRELIMINARY PLAN
COVER SHEET

ISSUED FOR REVIEW - NOT FOR CONSTRUCTION
SUBMITTAL DATE: 07/08/2014

[illegible]

PROJECT NUMBER: PSW 1303

PROJECT NAME:
LIGHTSEY 2
1805 LIGHTSEY ROAD
Austin, Texas 78704

DRAWN BY: RM
CHECKED BY: CG

PAGE NUMBER:

of 3

PRELIMINARY PLAN NOTES

1. REQUIREMENTS:
THE SUBJECT PROPERTY IS LOCATED IN TRAVIS COUNTY, WITHIN THE FULL PURPOSE JURISDICTION OF THE CITY OF AUSTIN.
2. ROADWAY STANDARDS:
ALL STREETS WITHIN THE SUBDIVISION SHALL BE CONSTRUCTED TO THE CITY OF AUSTIN URBAN STANDARDS WITH CURB AND GUTTER AND SIDEWALKS. STREET WIDTH AND SIDEWALK LOCATIONS SHALL BE SHOWN ON THE SUBDIVISION CONSTRUCTION PLANS.
3. PUBLIC SIDEWALKS, BUILT TO CITY OF AUSTIN STANDARDS, ARE REQUIRED ALONG THE FOLLOWING STREETS AND AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT: ALDWYCHE DRIVE AND LIGHTSEY ROAD. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOT BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
4. 100 YEAR FLOODPLAIN:
NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE F.E.M.A. 100 YEAR FLOODPLAIN AS SHOWN ON THE F.E.M.A. FIRM PANEL 48453C0585H FOR TRAVIS COUNTY, TEXAS, EFFECTIVE DATE SEPTEMBER 26, 2008. NO PORTION OF THIS TRACT IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON F.E.M.A. FIRM PANEL 48453C0585H, TRAVIS COUNTY, TEXAS, DATE SEPTEMBER 26, 2008.
5. WATER QUALITY AND DETENTION FACILITIES WILL BE MAINTAINED BY THE CITY OF AUSTIN.
6. EROSION CONTROLS FOR SINGLE FAMILY:
IT SHALL BE THE RESPONSIBILITY OF THE LOT OWNER/BUILDER TO INSTALL AND MAINTAIN TEMPORARY EROSION CONTROL (SILT FENCE) DOWNHILL OF ALL DISTURBED AREAS DURING THE PERIOD OF HOUSE CONSTRUCTION.

I, CASEY GILES, P.E., AM AUTHORIZED TO PRACTICE ENGINEERING UNDER THE LAWS OF THE STATE OF TEXAS, AND HEREBY CERTIFY THAT THIS PRELIMINARY PLAN IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH ENGINEERING & SURVEY RELATED PORTIONS OF CHAPTER 25 OF THE LAND DEVELOPMENT CODE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

I ALSO CERTIFY THAT THE ENGINEERING WORK BEING SUBMITTED HEREIN COMPLIES WITH ALL PROVISIONS OF THE TEXAS ENGINEERING PRACTICE ACT. I HEREBY ACKNOWLEDGE THAT ANY MISREPRESENTATION REGARDING THIS CERTIFICATION CONSTITUTES A VIOLATION OF THE ACT, AND MAY RESULT IN CRIMINAL, CIVIL AND/OR ADMINISTRATIVE PENALTIES AGAINST ME, AS AUTHORIZED BY THE ACT.

THE 100 YEAR FLOOD PLAIN IS DEFINED WITHIN THE CITY REGULATIONS, IS CONTAINED WITHIN THE DRAINAGE EASEMENT(S) SHOWN HEREON, A PORTION OF THIS TRACT LIES WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN OF A WATERWAY THAT IS WITHIN THE LIMITS OF STUDY OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM PANEL #84853C0465H DATED SEPTEMBER 26, 2008, FOR TRAVIS COUNTY TEXAS.

Clayton

CASEY GILES, P.E. #91797

- THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY OF AUSTIN UTILITY DESIGN CRITERIA. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE AUSTIN WATER UTILITY. ALL WATER AND WASTEWATER CONSTRUCTION MUST BE INSPECTED BY THE CITY OF AUSTIN. THE LANDOWNER MUST PAY THE CITY INSPECTION FEE WITH THE UTILITY CONSTRUCTION.
8. ALL RIGHT-OF-WAY RETURNS ARE 15' UNLESS OTHERWISE NOTED.
9. WATER QUALITY CONTROLS ARE REQUIRED FOR ALL DEVELOPMENT WITH IMPERVIOUS COVER IN EXCESS OF 20% OF THE NET SITE AREA PURSUANT TO THE LAND DEVELOPMENT CODE, AND THE ENVIRONMENTAL CRITERIA MANUAL.
10. EROSION/SEDIMENTATION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT, INCLUDING SINGLE FAMILY AND MULTIFAMILY CONSTRUCTION, PURSUANT TO THE LAND DEVELOPMENT CODE, AND THE ENVIRONMENTAL CRITERIA MANUAL.
11. MAINTENANCE OF THE WATER QUALITY CONTROLS REQUIRED ABOVE SHALL BE ACCORDING TO THE CITY OF AUSTIN STANDARDS.
12. ALL STREETS, DRAINAGE, SIDEWALKS, EROSION CONTROLS, AND WATER LINES ARE REQUIRED TO BE CONSTRUCTED AND INSTALLED TO CITY OF AUSTIN STANDARDS, UNLESS OTHERWISE NOTED.
13. NO STRUCTURE SHALL BE OCCUPIED UNTIL THE ASSOCIATED STORM WATER QUALITY AND DETENTION CONTROL FACILITIES HAVE BEEN CONSTRUCTED, INSPECTED, AND ACCEPTED BY THE CITY OF AUSTIN, IF APPLICABLE.
14. THE WATER QUALITY EASEMENTS SHOWN ARE FOR THE PURPOSE OF ACHIEVING COMPLIANCE PURSUANT TO THE CITY LAND DEVELOPMENT CODE. THE USE AND MAINTENANCE OF THESE EASEMENTS IS RESTRICTED BY THE LAND DEVELOPMENT CODE.
15. UTILITY PROVIDERS FOR THIS SITE INCLUDE AUSTIN ENERGY, AT&T, TIME WARNER CABLE, & AUSTIN WATER UTILITY.
16. THIS PRELIMINARY SUBDIVISION PLAN INCLUDES SINGLE FAMILY LOTS ON SLOPES WITH A GRADIENT OF MORE THAN 15%. THESE LOTS EXCLUDE LOT 8, BLOCK B.
17. PRIOR TO RECORDING OF ANY FINAL PLAT OF ALL OR A PORTION OF THIS PRELIMINARY PLAN, FISCAL SECURITY MAY BE REQUIRED IN ACCORDANCE WITH THE LAND DEVELOPMENT CODE FOR THE FOLLOWING SUBDIVISION IMPROVEMENTS: STREET CONSTRUCTION AND RELATED INFRASTRUCTURE, INCLUDING PAVING, DRAINAGE, SIDEWALKS, WATER SUPPLY AND WASTEWATER COLLECTION FOR THE FOLLOWING STREETS: ALDWYCHE DRIVE AND LIGHTSEY ROAD. ENVIRONMENTAL AND SAFETY CONTROLS AND OTHER RELATED ITEMS (EROSION AND SEDIMENTATION CONTROLS, RESTORATION, CHANNEL WORK, PIPE EASEMENTS, DETENTION, WATER QUALITY PONDS ETC.) AS DETERMINED PRIOR TO FINAL PLAT APPROVAL. THE RESTORATION ESTIMATE WILL BE BASED ON DISTURBED AREAS INCLUDING THE FOLLOWING STREETS: ALDWYCHE DRIVE AND LIGHTSEY ROAD.
18. NO LOT SHALL BE OCCUPIED UNTIL THE STRUCTURE IS CONNECTED TO THE CITY OF AUSTIN WATER AND WASTEWATER UTILITY SYSTEM.
19. A MINIMUM OF TWO OFF-STREET PARKING SPACES IS REQUIRED FOR EACH UNIT. THE DRIVEWAY MAY BE COUNTED AS ONE OF THE TWO SPACES REQUIRED FOR EACH UNIT FOR ANY LOT WITH 6 OR MORE BEDROOMS. THE MINIMUM PARKING REQUIREMENT IS ONE SPACE PER BEDROOM.
20. ACCESS IS PROHIBITED TO LIGHTSEY ROAD FROM LOT 1, BLOCK A AND LOT 1 BLOCK B IF ACCESS IS TAKE FROM ALDWYCHE DRIVE.

GENERAL NOTES

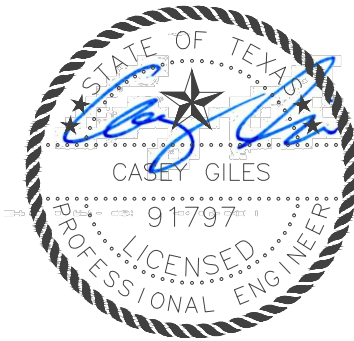
- NO OBJECTS, INCLUDING BUT NOT LIMITED TO, BUILDINGS, FENCES OR LANDSCAPING SHALL BE ALLOWED IN A DRAINAGE EASEMENT EXCEPT AS APPROVED BY TRAVIS COUNTY AND THE CITY OF AUSTIN.
2. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
3. ALL DRAINAGE FACILITIES: HEADWALLS, OPEN CHANNELS, STORM SEWERS, AREA INLETS, DETENTION/RETENTION PONDS, WATER QUALITY CONTROLS, ETC. WILL BE LOCATED WITHIN DRAINAGE EASEMENTS AND COMPLY WITH THE CITY OF AUSTIN DRAINAGE CRITERIA MANUAL, UNLESS OTHERWISE NOTED.
4. THE WATER QUALITY PONDS WILL BE CONSTRUCTED NOT TO BE INUNDAED BY THE-100 YEAR STORM FLOW.
5. PRIOR TO CONSTRUCTION ON LOTS IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF AUSTIN, FOR REVIEW. RAINFALL RUN-OFF SHALL BE HELD TO THE AMOUNT EXISTING AT PRE-DEVELOPED STATUS BY PONDING OR OTHER APPROVED METHODS.
6. ALL SIGNS SHALL COMPLY WITH THE AUSTIN SIGN ORDINANCE OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
7. WITHIN A SIGHT DISTANCE EASEMENT, ANY OBSTRUCTION OF SIGHT DISTANCE BY VEGETATION, FENCING, EARTHWORK, BUILDINGS, SIGNS OR OTHER OBJECT WHICH IS DETERMINED TO CAUSE A TRAFFIC HAZARD IS PROHIBITED AND MAY BE REMOVED BY ORDER OF COMMISSIONER'S COURT AT OWNER'S EXPENSE. THE PROPERTY OWNER IS TO MAINTAIN AN UNOBSTRUCTED VIEW CORRIDOR WITHIN THE BOUNDS OF SUCH EASEMENT AT ALL TIMES.
8. PROPERTY OWNER AND/OR HIS/HER ASSIGNS SHALL PROVIDE FOR ACCESS TO THE DRAINAGE EASEMENT AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY TRAVIS COUNTY AND/OR CITY OF AUSTIN FOR INSPECTION AND MAINTENANCE OF SAID EASEMENT.
9. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE OWNER AND/OR HIS/HER ASSIGNS.
10. PARKLAND REQUIREMENTS WILL BE SATISFIED AT THE TIME OF FINAL PLAT.
11. BUILDING SETBACK LINES SHALL BE IN CONFORMANCE WITH CITY OF AUSTIN ZONING ORDINANCE REQUIREMENTS.
12. ON THE FINAL PLAT, A TEN FOOT OVERHEAD ELECTRIC AND TELECOMMUNICATIONS EASEMENT SHALL BE DEDICATED ALONG LIGHTSIGHT RIGHT OF WAY.

STREET TABLE							
STREET NAME	R.O.W. WIDTH	PAVEMENT WIDTH	CURB TYPE	STREET YARD	SIDEWALK	DRAINAGE/ SIDEWALK/ PUE (EACH SIDE)	CLASSIFICATION
ALDWYCHE DRIVE	39'	30' F-F	STANDARD CURB & GUTTER	4'	5' CONC. SIDEWALK 4' FROM BACK OF CURB	15'	LOCAL



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8/4/2014

LIGHTSEY 2
1805 LIGHTSEY ROAD, AUSTIN, TEXAS 78704
PRELIMINARY PLAN

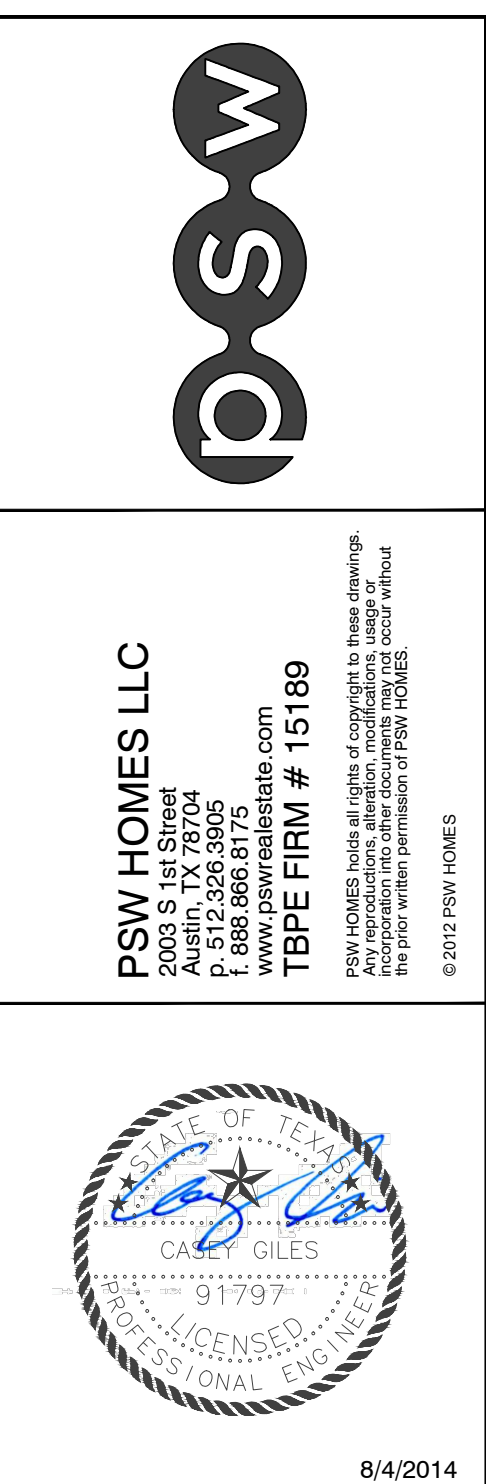
ISSUED FOR REVIEW - NOT FOR CONSTRUCTION
SUBMITTAL DATE: 07/08/2014

SET REVISIONS					
REV / Dn		REVISION TITLE			200x x x x x

PROJECT NUMBER: PSW 1305
PROJECT NAME:
LIGHTSEY 2
1805 LIGHTSEY ROAD
Austin, Texas 78704

SCALE: NO SCALE
DRAWN BY: RM
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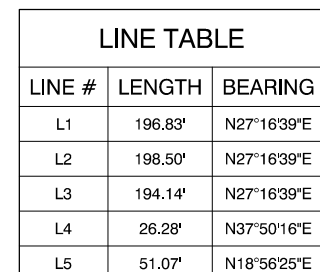


ISSUED FOR REVIEW - NOT FOR CONSTRUCTION
SUBMITTAL DATE: 07/08/2014

SET REVISIONS	
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	20xx.xx.xx

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CHECKED BY: CG

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CURVE #	CURVE LENGTH	CHORD LENGTH	CHORD BEARINGS	RADIUS	DELTA
C1	33.18	33.17	S32°32'58"W	180	10°33'38"
C2	35.94	35.89	S32°32'58"W	195	10°33'38"
C3	30.41	30.37	S32°32'58"W	165	10°33'38"
C4	135.02	131.88	S16°02'55"W	180	42°56'43"
C5	123.77	120.89	S16°02'55"W	185	42°56'43"
C6	146.27	142.67	S16°02'55"W	195	42°56'43"
C7	75.65	75.10	S6°53'59"W	180	24°05'11"
C8	81.96	81.35	S6°53'59"W	195	24°05'11"
C9	69.35	68.84	S6°53'59"W	165	24°05'11"
C10	34.91	34.91	S21°03'08"E	25	80°00'00"
C11	44.59	38.91	S70°02'19"E	25	102°11'49"
C12	36.37	35.72	S32°32'58"W	189	10°33'38"
C13	29.58	29.51	N02°05'55"E	165	10°33'38"
C14	46.55	46.24	S23°01'51"W	160	16°03'38"
C15	50.56	50.25	N20°31'35"E	199	14°31'16"
C16	57.42	57.12	N10°59'17"W	180	20°25'54"
C17	62.05	62.24	N16°19'41"E	199	17°58'07"
C18	55.34	55.46	S21°22'05"E	185	5°30'48"
C19	56.47	55.17	S24°49'24"W	199	15°53'41"
C20	36.49	36.44	N02°05'57"E	199	10°28'47"
C21	21.56	21.55	N11°73'19"W	180	7°47'50"
C22	28.59	28.48	S14°50'55"W	189	8°11'10"
C23	43.89	43.74	N10°44'54"E	180	16°20'01"
C25	8.10	8.00	N34°24'13"E	15	35°50'52"
C26	18.48	17.32	S24°44'08"E	15	70°21'44"
C27	18.38	17.24	N84°56'01"E	15	70°57'58"
C28	2.20	2.20	S14°43'45"W	15	8°24'41"

NOTE:

1. LIGHTSEY 2 SUBDIVISION MAY NOT OBSTRUCT RUNOFF FROM NEIGHBORING PROPERTIES ENTERING THE DRAINAGE EASEMENT.
2. SIDEWALK TO BE AT BACK OF CURB WHEN NECESSARY TO MINIMIZE IMPACT ON CRITICAL ROOT ZONES.
3. AN ADMINISTRATIVE VARIANCE AS PROVIDED IN LDC 25-8-641 TO REMOVE A 28" LIVE OAK HERITAGE TREE LOCATED WITHIN THE RIGHT OF WAY OF ALDWYCHE DRIVE HAS BEEN GRANTED.
4. AN ADMINISTRATIVE WAIVER AS PROVIDED IN LDC 25-6-205 TO ALLOW A REDUCED RIGHT OF WAY WIDTH OF 39' WITH ADJACENT 15' SIDEWALK, ACCESS, AND UTILITY EASEMENTS HAS BEEN GRANTED.
5. AN ADMINISTRATIVE WAIVER FROM TCM TABLE 1-12 TO ALLOW NO TANGENTS BETWEEN HORIZONTAL CURVES HAS BEEN GRANTED.
6. A WAIVER FROM ECM 1.6.7.H TO ALLOW THE USE OF A RAIN GARDEN FOR TREATMENT OF RUNOFF FROM A SINGLE FAMILY SUBDIVISION HAS BEEN RECOMMENDED SUBJECT TO REVIEW AND FINAL DESIGN APPROVAL AT THE TIME OF SUBDIVISION CONSTRUCTION PLAN REVIEW.
7. A WAIVER FROM DCM 1.2.4 TO REDUCE THE 50 FOOT SETBACK FROM A DETENTION POND TO 12' FROM PROPOSED STRUCTURES HAS BEEN RECOMMENDED SUBJECT TO REVIEW AND FINAL DESIGN APPROVAL AT THE TIME OF SUBDIVISION CONSTRUCTION PLAN REVIEW.

LOT TABLE		
LOT TYPE	NO. OF LOTS	AREA
SF3	16	3.49 AC.
R.O.W.	1	0.44 AC.
R.O.W. DEDICATION	1	0.07 AC.

STREET TABLE			
R.O.W. WIDTH	PAVEMENT WIDTH	CURB TYPE	SIDEWALK
39'	30' F-F	STANDARD CURB & GUTTER	5' CONC. SIDEWALK 4' FROM BACK OF CURB

LEGEND

EXIST. CONTOUR=	----- 610 -----
BOUNDARY / RIGHT OF WAY=	=====
LOT LINE=	=====
PROPOSED EASEMENT=	-----
PROPOSED CURB AND GUTTER=	=====
PROPOSED SIDEWALK=	• • • • •
1/2" IRON ROD FOUND=	(R)
1/2" IRON PIPE FOUND=	(P)
CONCRETE NAIL=	(N)
1/2" IRON ROD FOUND WITH PLASTIC CAP=	
MARKED "HOLT CARSON, INC." CALCULATED POINT=	
EXIST. OVERHEAD POWER LINE=	— OE — OE — OE — OE — OE —
EXIST. GUY WIRE=	
EXIST. POWER POLE=	