



August 27, 2014

City of Austin Certificate of Appropriateness Application: Narrative

Address of historic property: 1115 W 11th Street

Brief description of proposed work: Construct a new single-family residence on vacant MF-4 zoned lot. New residence will be a 2-story, wood-framed building, approximately 3,221 sq ft, with large block Carmel Lueder's limestone with 4 sides sawn on lower portion, light stucco on upper portion, accented by large glass windows and doors and dark wood siding, a flat roof and 2nd floor balconies and glass railings for a roof deck. This single family residence for homeowner, Bob Farrell, is to be located at the narrow back portion of the site along the alley to allow for additional development of a couple of additional units on this MF-4 lot sometime in the future.

**Dick Clark + Associates responses in blue.*

General Design Guidelines Response:

1. The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
 - a. *There is no existing structure on lot and not in conflict with this guideline. Originally there was a duplex rental unit on this site that was accessed from both the 11th street and the alley for parking that was torn down in 2006 or 2007. The property does have a significant 42" tree along the property line with the TMI Castle on its East property line toward the back that we are working around with input from COA tree department.*
2. All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
 - a. *The proposed residence represents the evolution of architecture and construction methods while complimenting the historic context in mass, scale, materials, and site design. Because we are a multi-family site, with commercial and multi-family uses along 11th street and adjacent to the TMI Castle, we have taken our clues more from that basis and not tried to make it look like other bungalow type housing. Also, although we are building a single-family unit at this time because this is a multi-family site with longer term plans, we are proceeding with conceptual design and massing on the front multi-family unit so we have a cohesive plan and massing for the entire site.*



3. Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
 - a. There is no existing structure on lot and not in conflict with this guideline.
4. Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
 - a. There is no existing structure on lot and not in conflict with this guideline.
5. Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.
 - a. There is no existing structure on lot and not in conflict with this guideline.
6. Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
 - a. There is no existing structure on lot and not in conflict with this guideline.
7. Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
 - a. There is no existing structure on lot and not in conflict with this guideline.
8. Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
 - a. There is no existing structure on lot and not in conflict with this guideline.
9. The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
 - a. All Mechanical equipment to be concealed behind a small parapet on the roof of the residence, or on the ground level at the West side of the house.
10. Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.
 - a. There is no existing structure on lot and not in conflict with this guideline.



Preservation Plan and Design Standards:

“The historic context of the district defines the massing, scale, materials, and site design of new construction. New architecture should reflect the era of its construction. This creates a timeline of architectural style that represents the evolution of architecture and construction methods.”

1. Required Standards Response:

- (a) Site new construction to be compatible with surrounding contributing buildings in terms of front setback, street-front orientation, and distance from adjacent buildings.
 - (1) Front yard setbacks shall be consistent with historic setbacks by taking the average of the existing setbacks of contributing properties within the same blockface.
 - a. See site plan for the front yard setback. This property is on West 11th street and except for the TMI Castle, no other properties are on this side of the street. Our proposed house has been pushed back significantly to allow for future development on the site and we access our parking at the rear of the site from the alley with guest parking utilizing the existing curb cut and driveway in the front.
- (b) Form and Architectural Style
 - (1) Design new buildings to be compatible with surrounding contributing buildings of similar use in terms of form, massing, proportion, and roof form.
 - a. The proposed residence is similar to the surrounding buildings in form, massing, proportion and roof form, proving suitable. The structure is flat roofed and steps back at a couple points as the building goes upward to allow for patios and roof decks similar to the TMI Castle.
 - (2) Design new buildings so that they are compatible with but discernible from historic buildings in the district. Do not replicate a historic style in new construction.
 - a. The proposed residence is compatible with the surrounding buildings while not replicating any certain style. The architecture reflects the era of its construction with large block caramel Lueder's limestone with 4 sides sawn on the building's ground floor portion, light stucco on upper portion, accented by large glass windows and doors and dark wood siding, a flat roof and 2nd floor balconies and roof deck reminiscent to the TMI Castle.
 - (3) New construction should have window-to-wall area ratios, floor-to-floor heights, fenestration patterns, and bay divisions compatible with those seen on



contributing buildings throughout the district.

- a. Because we are a multi-family site and adjacent to the TMI Castle, we have taken our clues more from that basis and not tried to make it look like other bungalow type housing. The proposed residence is masonry accented by large glass windows and doors, a flat roof, 2nd floor balconies, and a roof deck that all correlate back to the design features of the TMI Castle.

(c) Materials

(1) Select materials for new construction to be compatible with those existing in the district. Examples include but are not limited to wood siding, limestone, brick, fiber-cement siding, and stucco.

- a. The architecture reflects the era of its construction, but is also compatible with the existing buildings through use of materials already found in the district. They include large block lueder's limestone with 4 sides sawn on the building's ground floor portion, light stucco on the upper portion, and accents of large glass windows and dark wood siding.

(2) In windows, do not use false muntins attached to or inserted between insulated glass panels.

- a. No false muntins are used in the project and not in conflict with this requirement.

(3) Boxed wood chimneys are not permitted.

- a. No boxed wood chimneys are in this project and not in conflict with this requirement.

(4) Materials proposed for use but not referenced in this section will be evaluated on a case-by-case basis to determine appropriateness in the context of existing adjacent buildings. Applicant must provide justification for suitability of proposed material for use.

- a. All materials proposed for use are found in the section and not in conflict with this requirement.

(d) For new single-family houses, a garage shall not be located less than 15 feet from the front wall of the building (excluding the porch) or 1/3 of the depth of the building from the front wall of the building, whichever is greater.

- a. The open carport is located in the rear of the lot with access from the alley and not in conflict with this requirement.

2. Recommendations/Advisory Standards:



- (a) Design the proportion of the proposed new building's front façade to be compatible with the front façade proportion of surrounding contributing buildings.
 - a. The proposed residence is similar to the surrounding buildings in the proportion of the facade. The structure is flat roofed and steps back at a couple points as the building goes upward to allow for patios and roof decks similar to the TMI Castle.
- (b) Consider use of simple hipped or gabled roof forms at the primary façade where appropriate to be compatible with existing adjacent buildings.
 - a. The structure is flat roofed and steps back at a couple points as the building goes upward to allow for patios and roof decks similar to the TMI Castle. Because we are a multi-family site, with commercial and multi-family uses along 11th street and adjacent to the TMI Castle, we have taken our clues more from that basis and not tried to make it look like other bungalow type housing because that would be inappropriate.
- (c) Design the spacing, placement, scale, orientation, proportion, and size of window and door openings in proposed new construction to be compatible with surrounding contributing buildings.
 - a. In order to achieve an architecture that reflects the era of its construction while complementing the adjacent TMI Castle, we proposed large windows and doors that take advantage of views and day lighting through proper spacing, placement, scale, orientation, proportion, and size.
- (d) Entry porches are encouraged for new construction, if complementary to the overall design and scale of the building.
 - a. A traditional front porch was not used in the proposed residence, as this residence is the future back unit of a larger multi-unit development but we have incorporated large windows facing north and East and with a deep wrap around awning to protect them from similar to the first floor of the TMI Castle.
- (e) Protect large trees and other significant site features from damage during construction and from delayed damage due to construction activities such as root loss or compaction of the soil by equipment.
 - a. The property does have a significant 42" tree along the property line with the TMI Castle on its East property line toward the back. We have submitted a Tree Ordinance Review Application for this tree that includes several complicated structural details for tree protection where we get close to the tree, and will work diligently to protect it throughout the construction process because we believe the tree plays an important role in the final design of the residence.



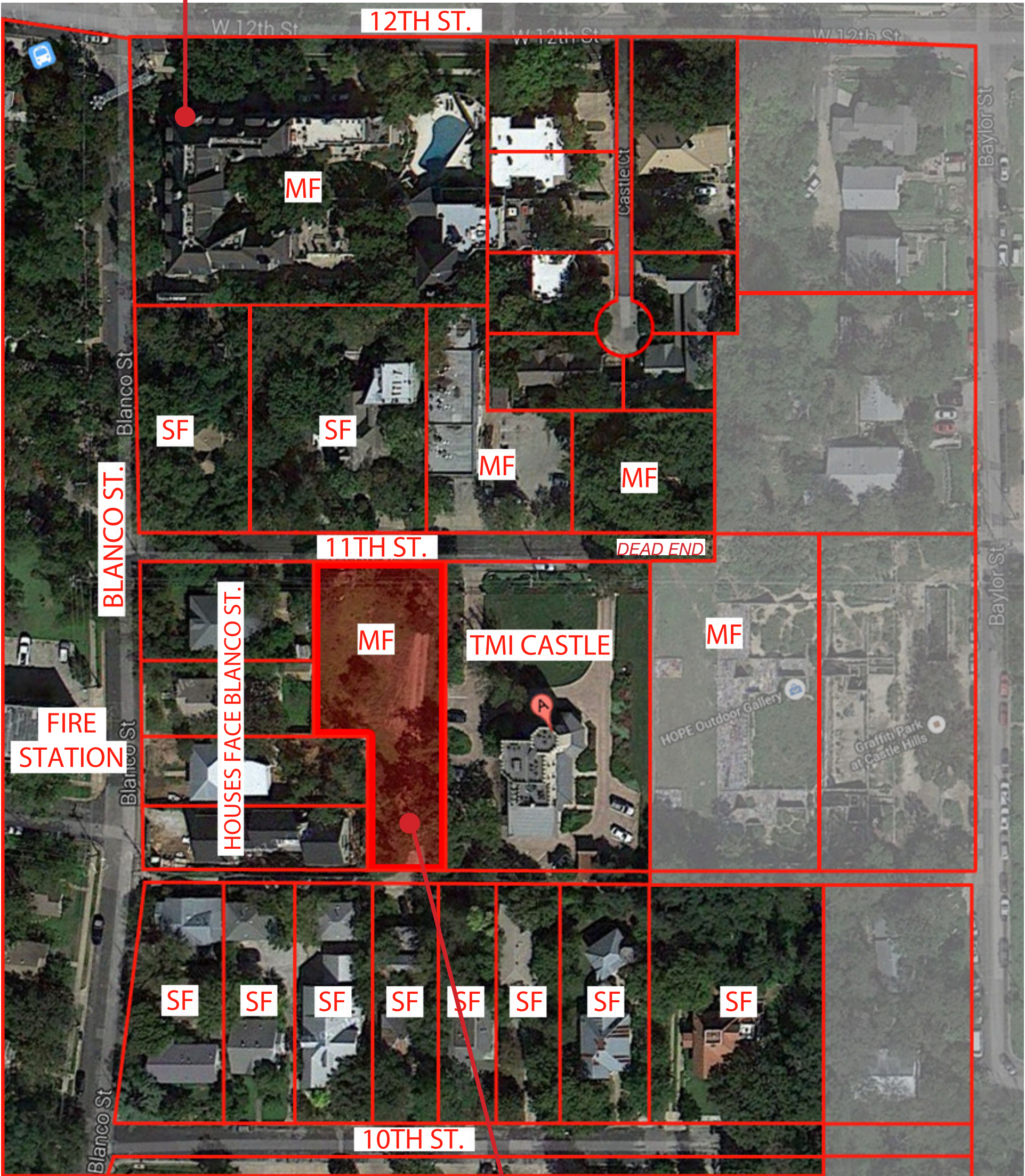
(f) Consider Energy Star qualified roof products, which lower roof surface temperature and can reduce peak cooling demand by 10-15 percent. Consider adding a radiant barrier in the attic or underneath the roof deck to reduce summer heat gain and reduce air-conditioning loads.

- a. The proposed residence will have an Energy Star qualified white TPO flat roof concealed by a parapet and non-reflective, prefinished standing seam metal roof where exposed with overhangs that provide shade around the building and above strategically placed windows.

(g) Passive energy savings measures such as usable shutters and awnings are highly encouraged.

- a. Building orientation to the sun, windows and doors (size, type, and location), day lighting and shading, insulation and thermal bridging, and super-efficient, balanced ventilation systems all contribute to the overall passive energy savings measures and have been incorporated as best as possible for the proposed residence.

CASTLE HILL HISTORIC DISTRICT



1115 W 11TH ST.
PROPOSED LOT

PROJECT NAME:

1115 W 11TH ST.

DATE:

27 August 2014

IMAGE NAME:

Castle Hill Historic District

IMPERVIOUS COVER

SITE AREA:		13,838 SQ FT
ALLOWABLE BUILDING COVER:	(40.0%):	5,535.2 SQ FT
TOTAL PROPOSED BUILDING COVER:	(17.3%):	2,400.0 SQ FT
ALLOWABLE IMPERVIOUS COVER:	(45.0%):	6,227.1 SQ FT
TOTAL PROPOSED IMPERVIOUS COVER:	(43.4%):	6,010.0 SQ FT

FRONT YARD IMPERVIOUS COVER CALC.:

FRONT YARD AREA:	2,240 SQ FT	
FRONT WALKWAY:	11 SQ FT	
FRONT DRIVEWAY:	884 SQ FT	
TOTAL F.Y. IMPERVIOUS:	895 SQ FT	(40.0%)

BUILDING COVER BREAKDOWN:

UNIT 1 - LEVEL 1:	1,710 SQ FT
OPEN GARAGE:	330 SQ FT
OVERHANGS (NOT UNDER HABITABLE):	111 SQ FT
COVERED PORCH (UNDER HABITABLE):	249 SQ FT

SITE BREAKDOWN:

NEW UNCOVERED DRIVEWAY	1158 SQ FT
NEW UNCOVERED STONE PAVERS:	2,093 SQ FT
NEW UNCOVERED STONE WALKWAY:	252 SQ FT
A/C PADS:	9 SQ FT
POOL COPING:	46 SQ FT
RETAINING WALLS:	52 SQ FT

F.A.R. CALCULATIONS

1ST LEVEL:	1,710 SQ FT	
2ND LEVEL:	1,332 SQ FT	
COVERED PORCH: (EXEMPTION)	249 SQ FT	(-200 SQ FT)
OPEN GARAGE: (EXEMPTION)	330 SQ FT	(-200 SQ FT)
TOTAL PROPOSED:	3,221.0 SQ FT	(0.233)
TOTAL ALLOWED:	5,535.2 SQ FT	(0.400)

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SEAL



08/27/2014
PROJECT

FARRELL RESIDENCE
1115 W 11TH STREET
AUSTIN, TEXAS 78703

DRAWN BY
HC

SET ISSUE

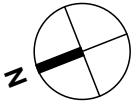
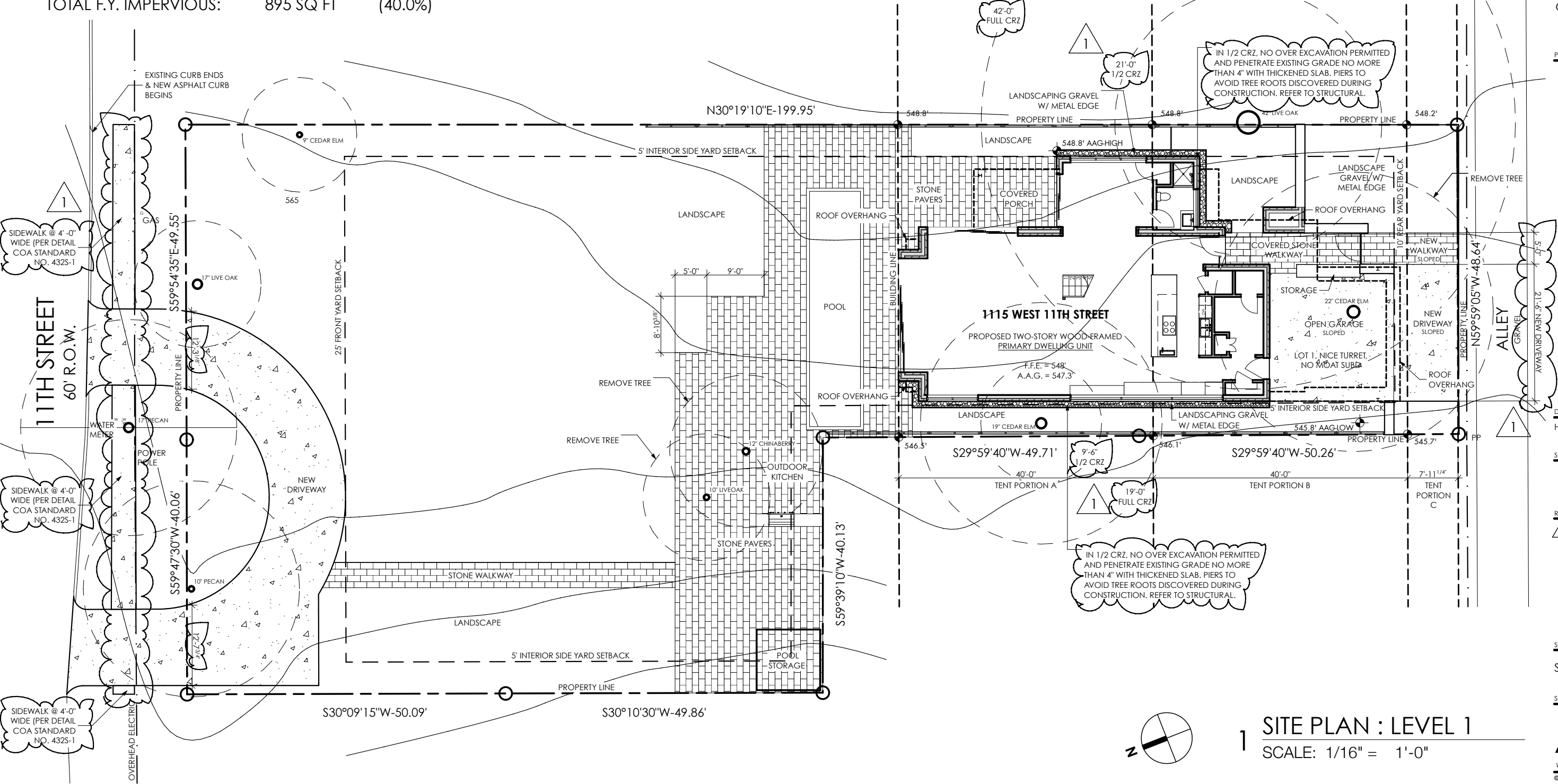
06/27/2014 - PERMIT

REVISIONS
1 08/28/14 PERMIT RESPONSE #1

SHEET TITLE

SITE PLAN

SHEET :



1 SITE PLAN : LEVEL 1
SCALE: 1/16" = 1'-0"

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FARRELL RESIDENCE

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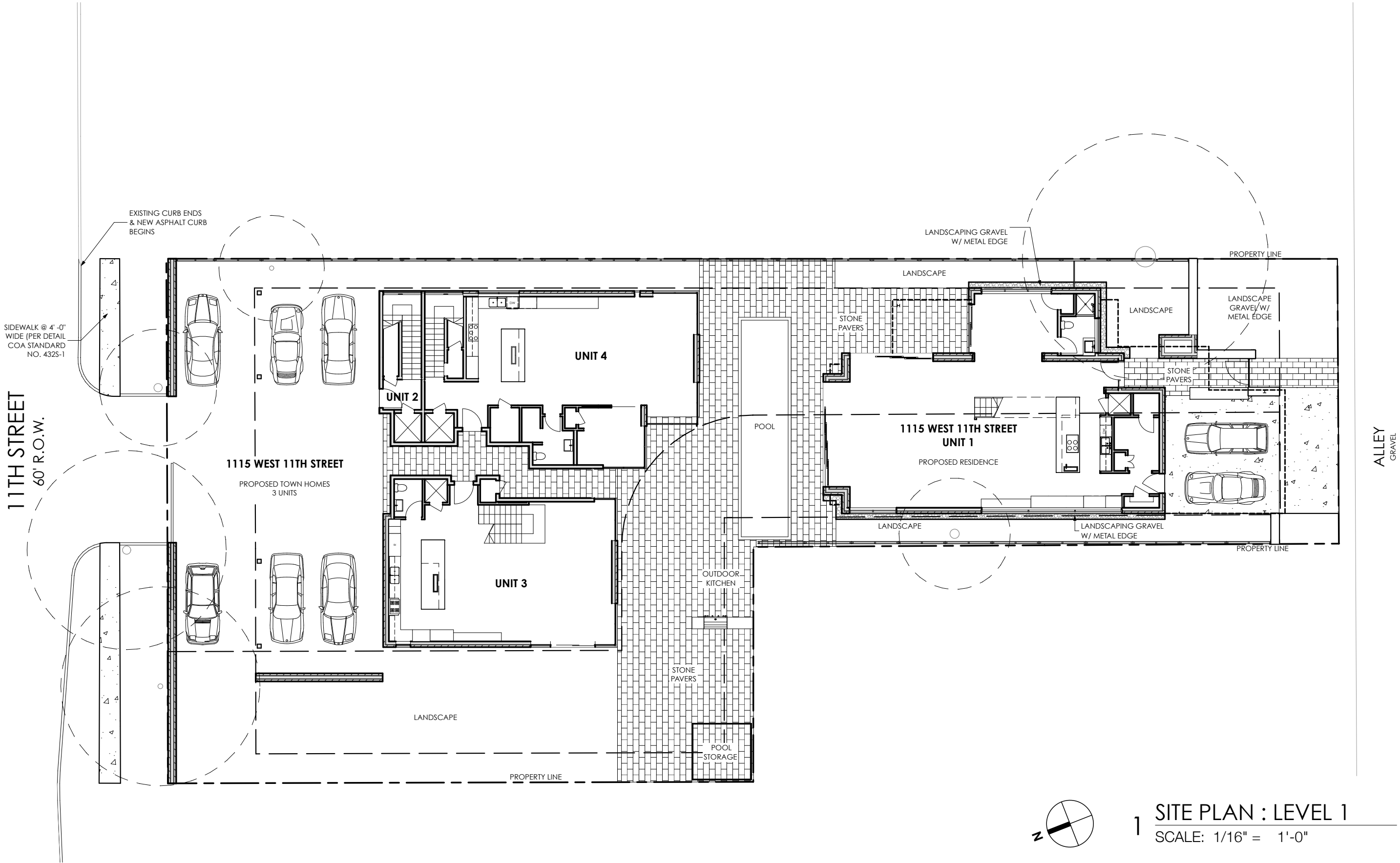
SHEET TITLE

SITE PLAN - PHASE 2

SHEET :

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Thursday, August 28, 2014 | 8:44 PM
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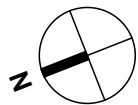
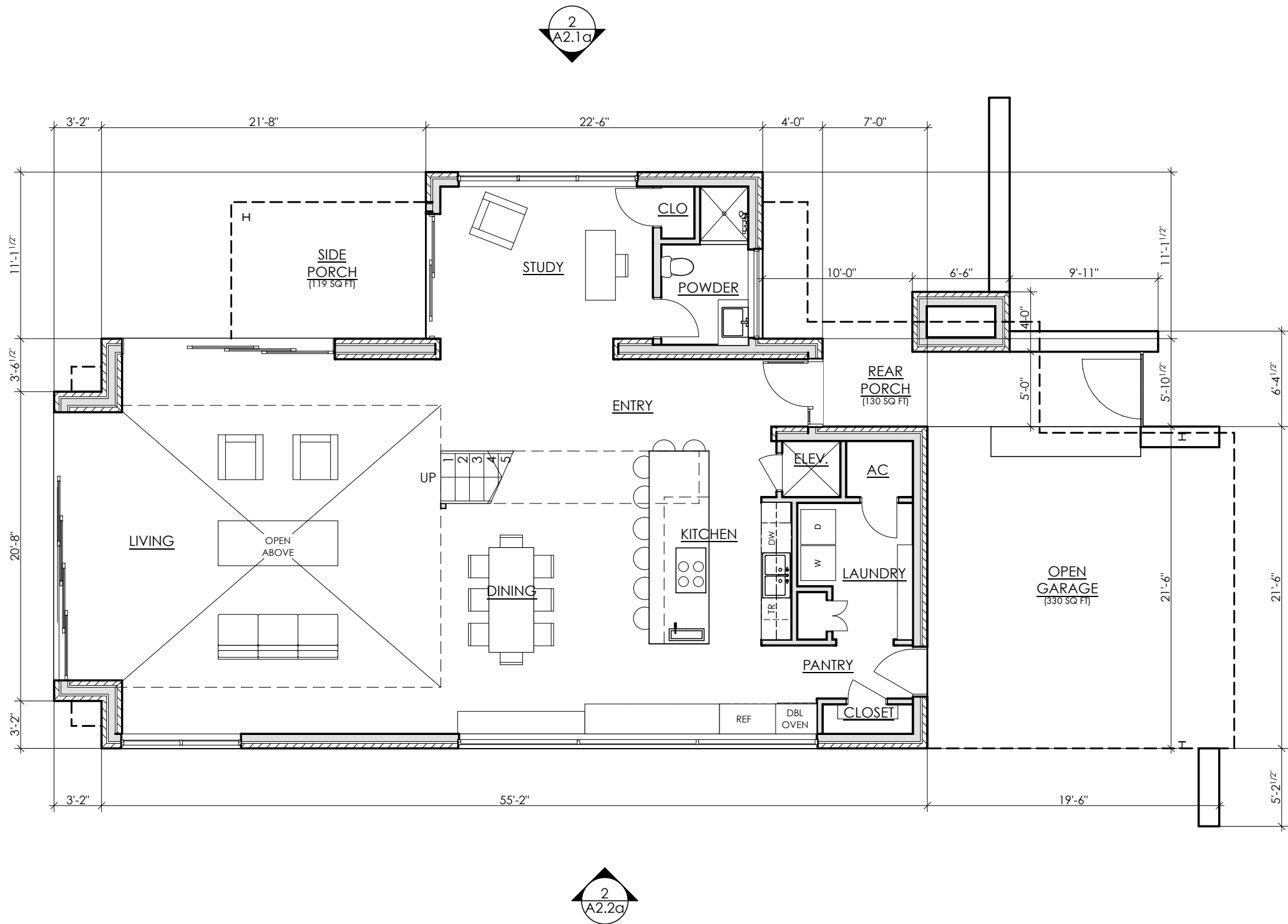
REVISIONS
1 08/28/14 PERMIT RESPONSE #1

SHEET TITLE

FLOOR PLAN : LEVEL 1

SHEET :

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1 FLOOR PLAN : LEVEL 1
SCALE: 1/8" = 1'-0"

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AUSTIN, TEXAS 78703

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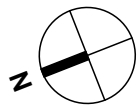
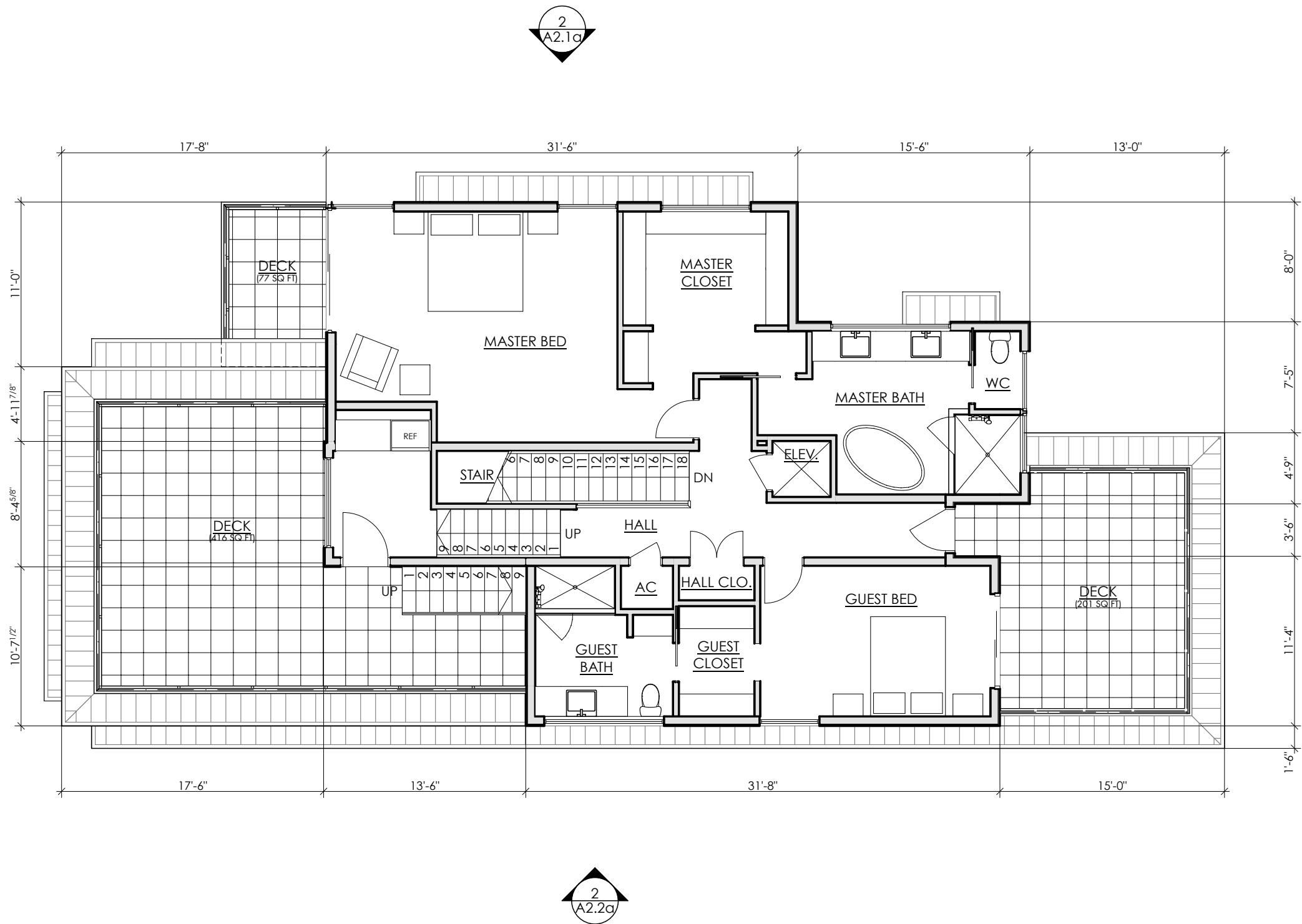
SHEET TITLE

FLOOR PLAN : LEVEL 2

SHEET :

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Wednesday, August 27, 2014 | 2:55 PM
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1 FLOOR PLAN : LEVEL 2
SCALE: 1/8" = 1'-0"

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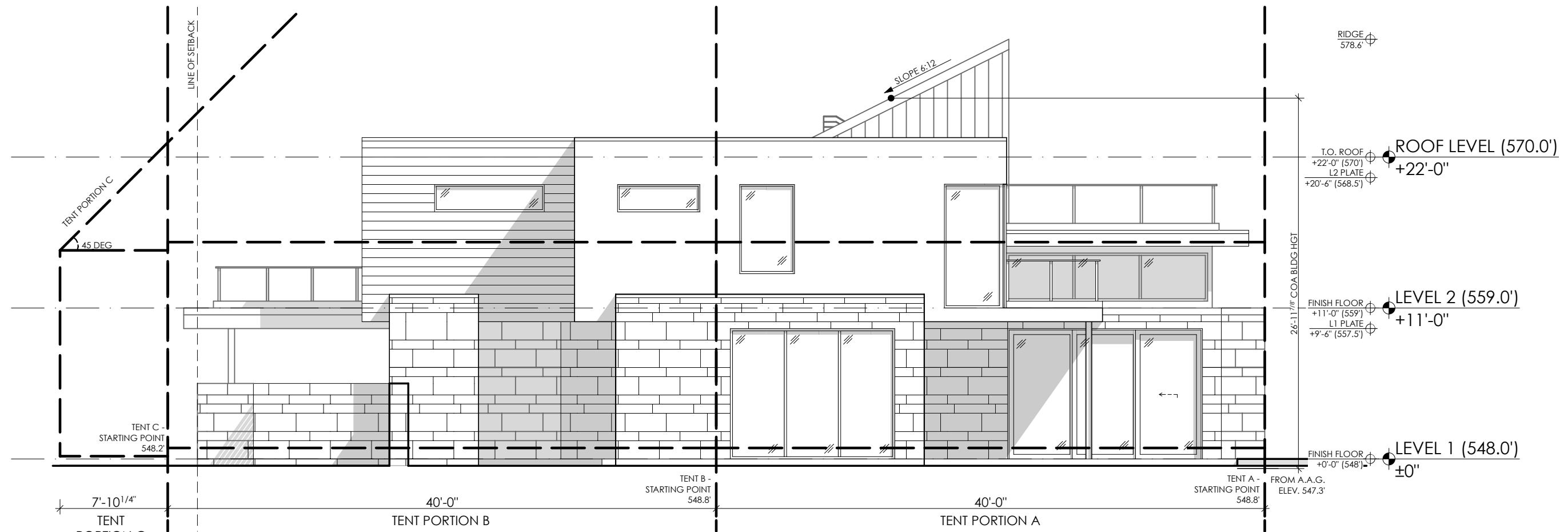
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EXTERIOR ELEVATIONS

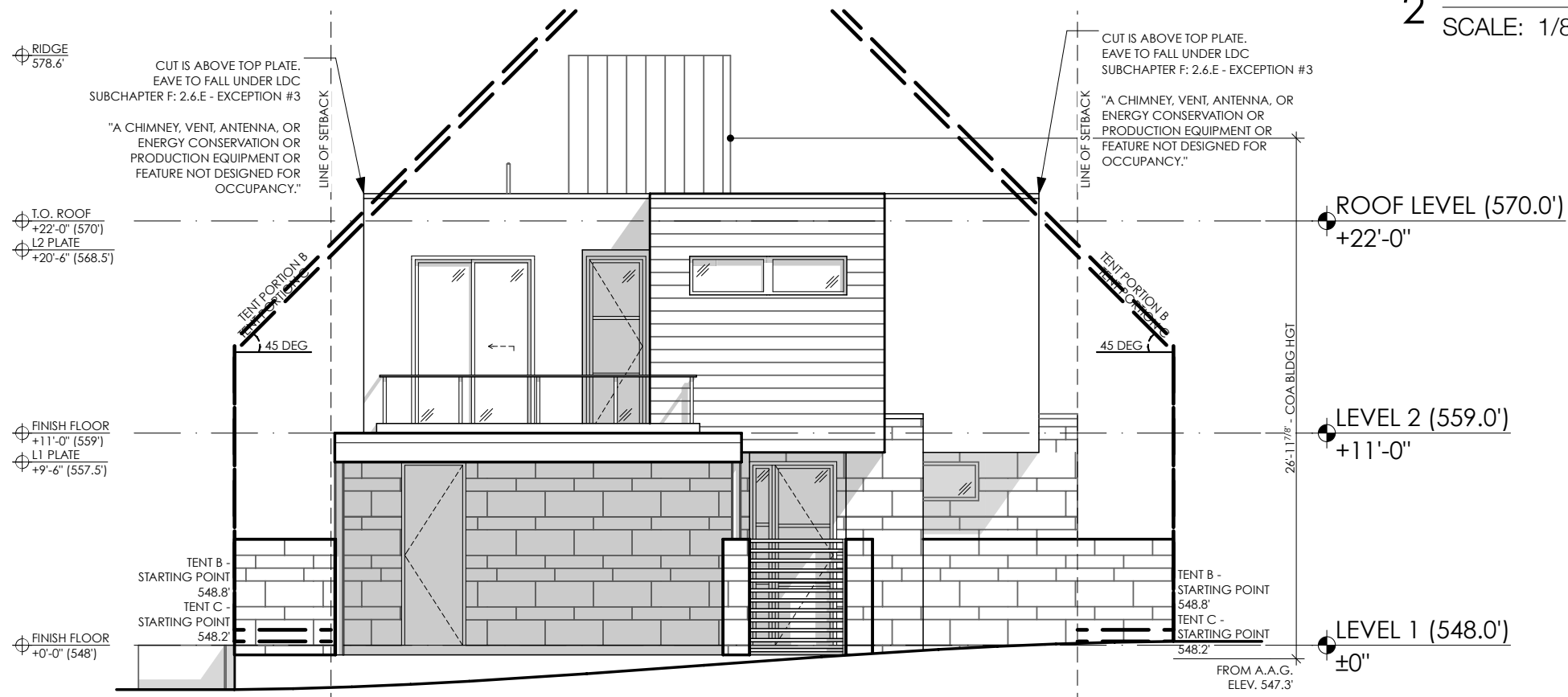
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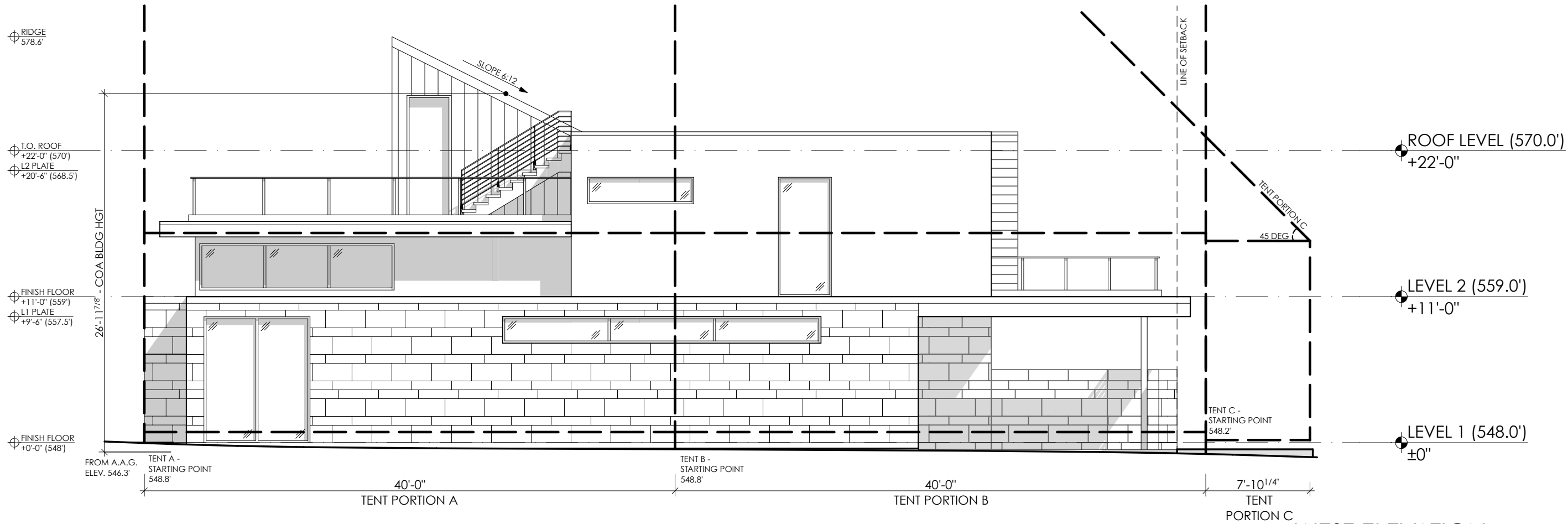
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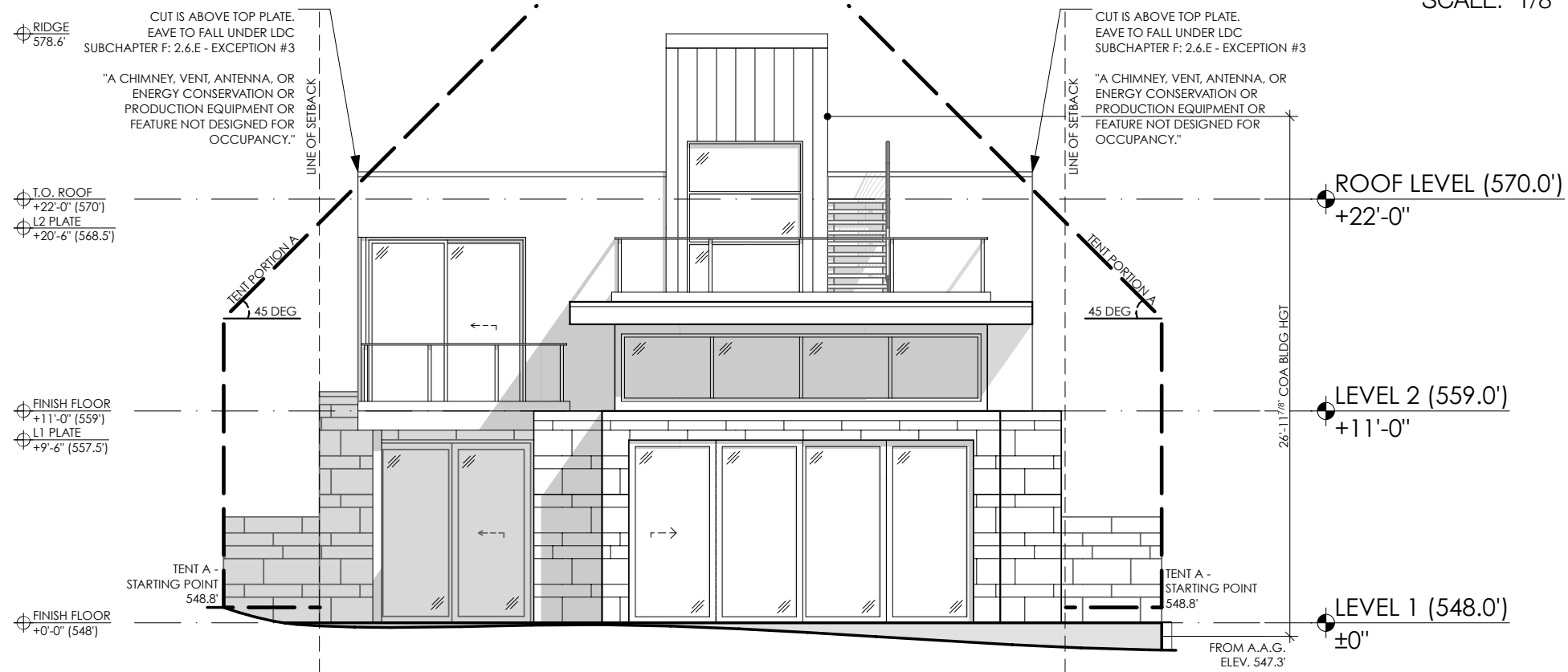
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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EXTERIOR ELEVATIONS

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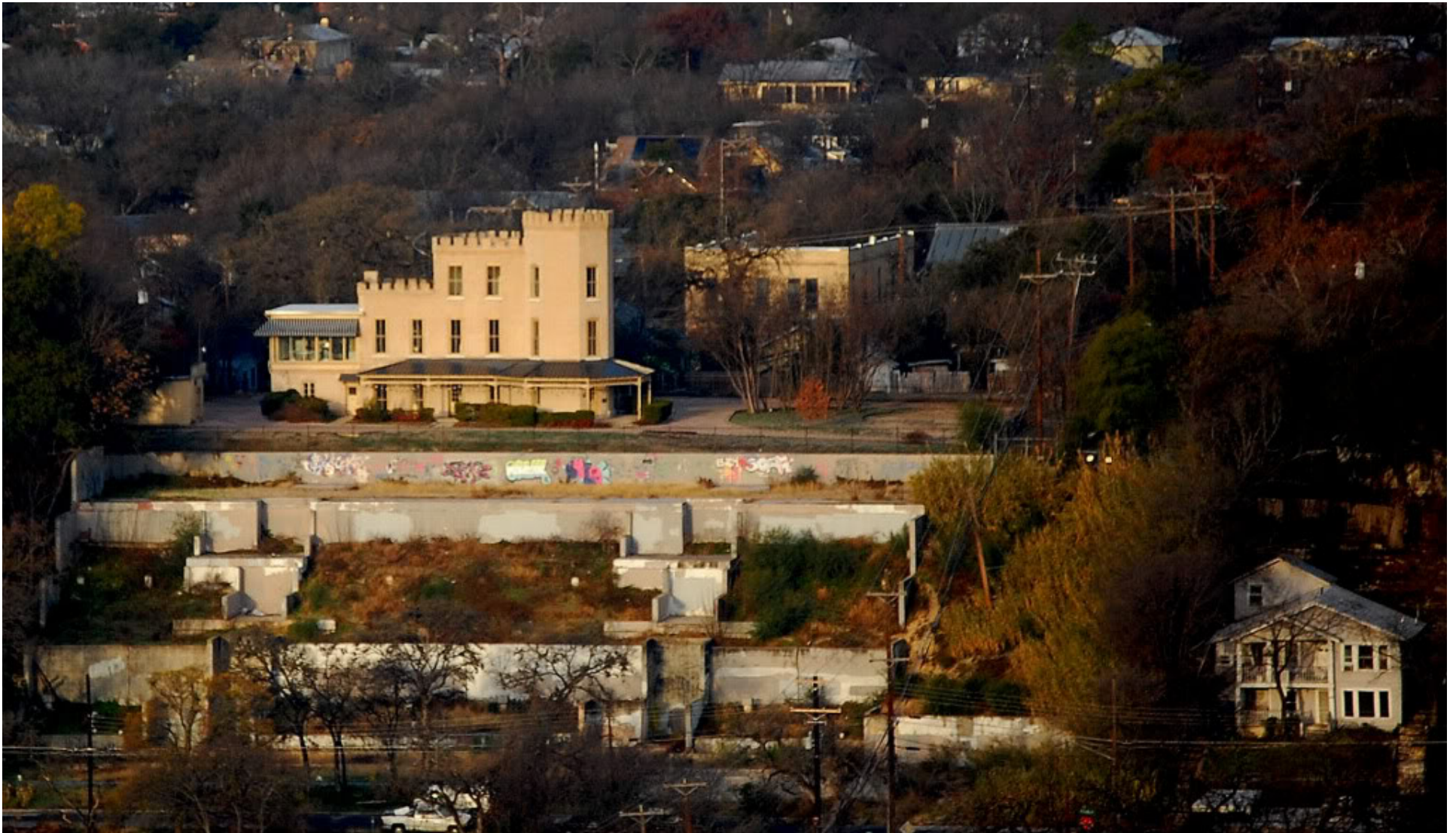
DICK CLARK + ASSOCIATES
ARCHITECTURE • INTERIORS

512.472.4980

207 WEST 4TH STREET

AUSTIN, TX 78701

WWW.DCARCH.COM



PROJECT NAME:

1115 W 11th Street

DATE:

27 August 2014

IMAGE NAME:

TMI Castle



PROJECT NAME:

1115 11TH STREET

DATE:

25 AUGUST 2014

IMAGE NAME:

SITE PHOTO



PROJECT NAME:

1115 11TH STREET

DATE:

25 AUGUST 2014

IMAGE NAME:

SITE PHOTO



PROJECT NAME:

DATE:

IMAGE NAME:

1115 11TH STREET

25 AUGUST 2014

SITE PHOTO



PROJECT NAME:

DATE:

IMAGE NAME:

1115th W 11th St.

27 August 2014

ALLEY ENTRY - MAIN ENTRY TO RESIDENCE



PROJECT NAME:

1115th W 11th St.

DATE:

27 August 2014

IMAGE NAME:

FRONT VIEW OF RESIDENCE



PROJECT NAME:

1115th W 11th St.

DATE:

27 August 2014

IMAGE NAME:

11TH STREET - MAIN ENTRANCE TO TOWN HOMES



PROJECT NAME:

1115th W 11th St.

DATE:

27 August 2014

IMAGE NAME:

Site rendering from neighboring backyards



PROJECT NAME:

1115th W 11th St.

DATE:

27 August 2014

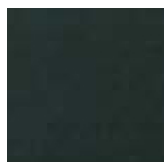
IMAGE NAME:

Phase 2 - Site rendering from neighboring backyards



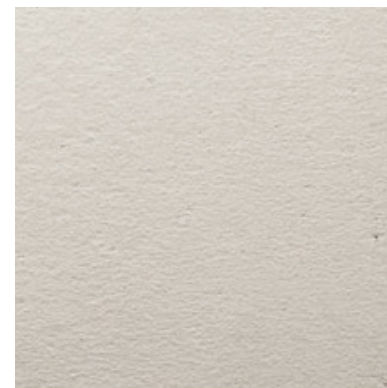
WINDOWS

FLEETWOOD WINDOWS & DOORS
DARK BRONZE ANODIZED FINISH



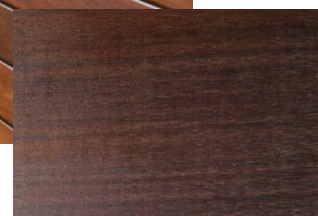
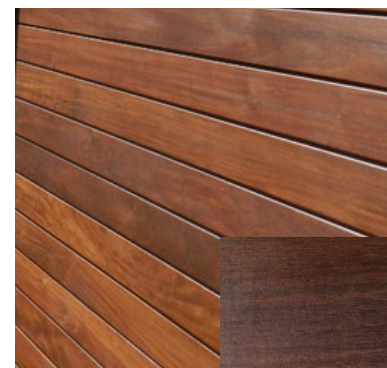
STUCCO - UPPER PORTION

LA HABRA
SANTA BARBARA MISSION FINISH
COLOR: MESA VERDE - LIGHT



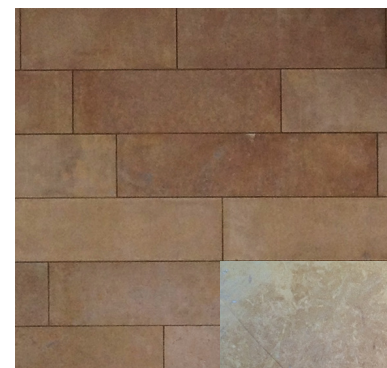
ACCENT MATERIAL

DARK WOOD SIDING & SOFFIT
IPE SIDING, CLEAR STAINED FINISH



STONE - LOWER PORTION

4 SIDES SAWN, LUEDERS LIMESTONE
CARAMEL - LARGE BLOCK



TRIM COLOR

SHERWIN-WILLIAMS 7069 IRON ORE [FENC-
ING, PAINTED METAL FASCIA, EXPOSED STEEL
COLUMNS & BEAMS]



ROOF

STANDING SEAM METAL
BERRIDGE CHARCOAL GREY



PROJECT NAME:

1115 W 11th St.

DATE:

27 August 2014

IMAGE NAME:

Materials Board