

BUILDING COVERAGE

LOT SIZE: 20,563 S.F.	EXISTING	NEW / ADDITION
a. 1st Floor Conditioned Area	1,929 S.F.	N/A
b. 2nd Floor Conditioned Area	1,167 S.F.	372 S.F.
c. 3rd Floor Conditioned Area	N/A	N/A
d. Basement	N/A	N/A
e. Garage / Carport		
Attached	N/A	N/A
Detached	1282 S.F.	N/A
f. Wood Decks (must be counted at 100%)	N/A	N/A
g. Breezeways	N/A	N/A
h. Covered Patios	260 S.F.	N/A
i. Covered Porches	91 S.F.	N/A
j. Balconies	N/A	N/A
k. Swimming Pool (surface area)	N/A	N/A
l. Other Building or Covered Areas (if applicable)		
Specify: Uncovered Roof Deck	436 S.F.	N/A
TOTAL BUILDING AREA (add a. through l.)	5,165 S.F.	372 S.F.

TOTAL BUILDING COVERAGE ON LOT (subtract, if applicable, b., c., d., k. and l. if uncovered)	4,370 S.F. 21.3% OF LOT
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IMPERVIOUS COVERAGE

a. Total Building Coverage on Lot (see above)	4,370 S.F.
b. Driveway Area on Private Property	3,216 S.F.
c. Sidewalk / Walkways on Private Property	1,089 S.F.
d. Uncovered Patios	N/A
e. Uncovered Wood Decks (may be counted at 50%)	N/A
f. Air Conditioner Pad(s)	14 S.F.
g. Concrete Decks	N/A
h. Other Specify: Concrete steps Stone Walls	24 S.F. 626 S.F.

TOTAL IMPERVIOUS COVERAGE (add a. through h.)	9,339 S.F. 45.4% of lot
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GROSS FLOOR AREA AND FLOOR AREA RATIO

	EXISTING	NEW / ADDITION
I. 1st Floor Gross Area		
a. 1st Floor Area (excluding covered or uncovered finished ground-floor porches)	1,929 S.F.	N/A
b. 1st Floor Area with Ceiling Height Over 15 Feet.	35 S.F.	N/A
c. TOTAL (add a and b above)	1,964 S.F.	N/A
II. 2nd Floor Gross Area		
d. 2nd Floor Area (including all areas covered by a roof)	1,167 S.F.	372 S.F.
e. 2nd Floor Area with Ceiling Height Over 15 Feet.	N/A	N/A
f. TOTAL (add d and e above)	1,167 S.F.	372 S.F.
III. 3rd Floor Gross Area		
g. 3rd Floor Area (including all areas covered by a roof)	N/A	N/A
h. 3rd Floor Area with Ceiling Height Over 15 Feet.	N/A	N/A
i. TOTAL (add g and h above)	N/A	N/A
IV. Basement Gross Area		
j. Floor area outside footprint of first floor	N/A	N/A
V. Garage		
k. Attached (subtract 200 sq. ft. if used to meet the minimum parking requirement)	N/A	N/A
l. Detached (subtract 450 square feet if more than 10 feet from principle structure)	510 S.F.	N/A
VI. Carport		
(Open on two or more sides without habitable space above it subtract 450 sq. ft.)	(322 - 450) 0 S.F.	N/A
VII. TOTAL	3,641 S.F.	372 S.F.

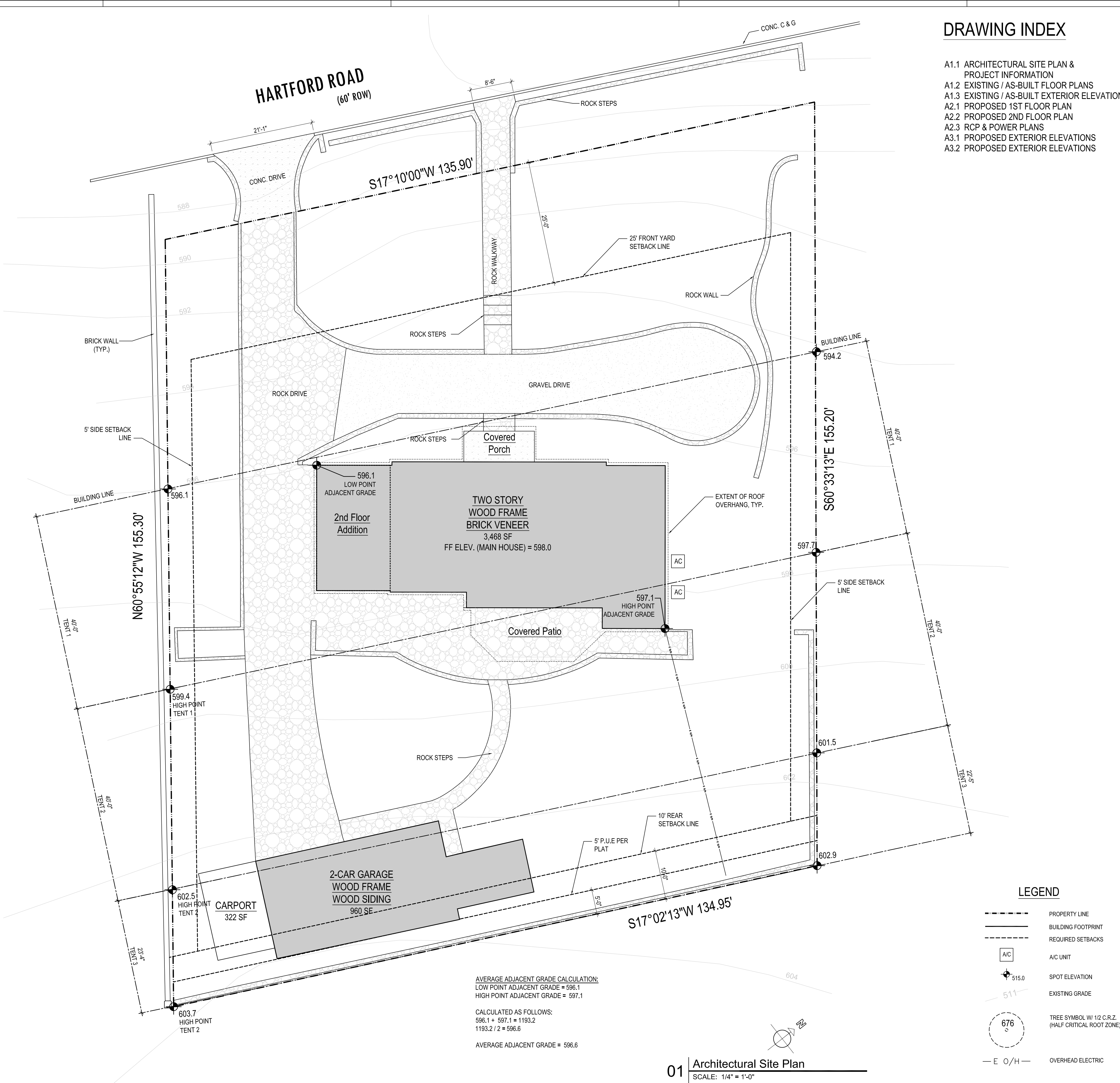
TOTAL GROSS FLOOR AREA	4,013 S.F.
GROSS AREA OF LOT	20,563 S.F.

FLOOR AREA RATIO (gross floor area /gross area of lot)	19.52% or 0.20 to 1.0
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PROPERTY ADDRESS:
2321 Hartford Road
Austin, Texas 78703

LEGAL DESCRIPTION:
LOT 35, BLOCK 6,
LOT 35 *8 & N 15FT OF LOT 34 *8 & S 18FT LOT 36 SUNSET
HILL ENFIELD, TRAVIS COUNTY, TEXAS.

ZONING: SF-3-NP
FRONT YARD SETBACK 25 FEET
SIDE YARD SETBACK 5 FEET
REAR YARD SETBACK 10 FEET
MAXIMUM BUILDING COVERAGE 40%
MAXIMUM IMPERVIOUS COVERAGE 45%



DRAWING INDEX

- A1.1 ARCHITECTURAL SITE PLAN & PROJECT INFORMATION
- A1.2 EXISTING / AS-BUILT FLOOR PLANS
- A1.3 EXISTING / AS-BUILT EXTERIOR ELEVATIONS
- A2.1 PROPOSED 1ST FLOOR PLAN
- A2.2 PROPOSED 2ND FLOOR PLAN
- A2.3 RCP & POWER PLANS
- A3.1 PROPOSED EXTERIOR ELEVATIONS
- A3.2 PROPOSED EXTERIOR ELEVATIONS

hatch + ulland owen
architects

1010 East 11th Street
Austin, Texas 78702
T: 512.474.8548
F: 512.474.8643

www.huoarchitects.com

Contractor:

David Bratton
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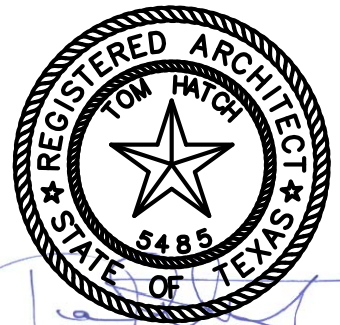
Structural Engineer:

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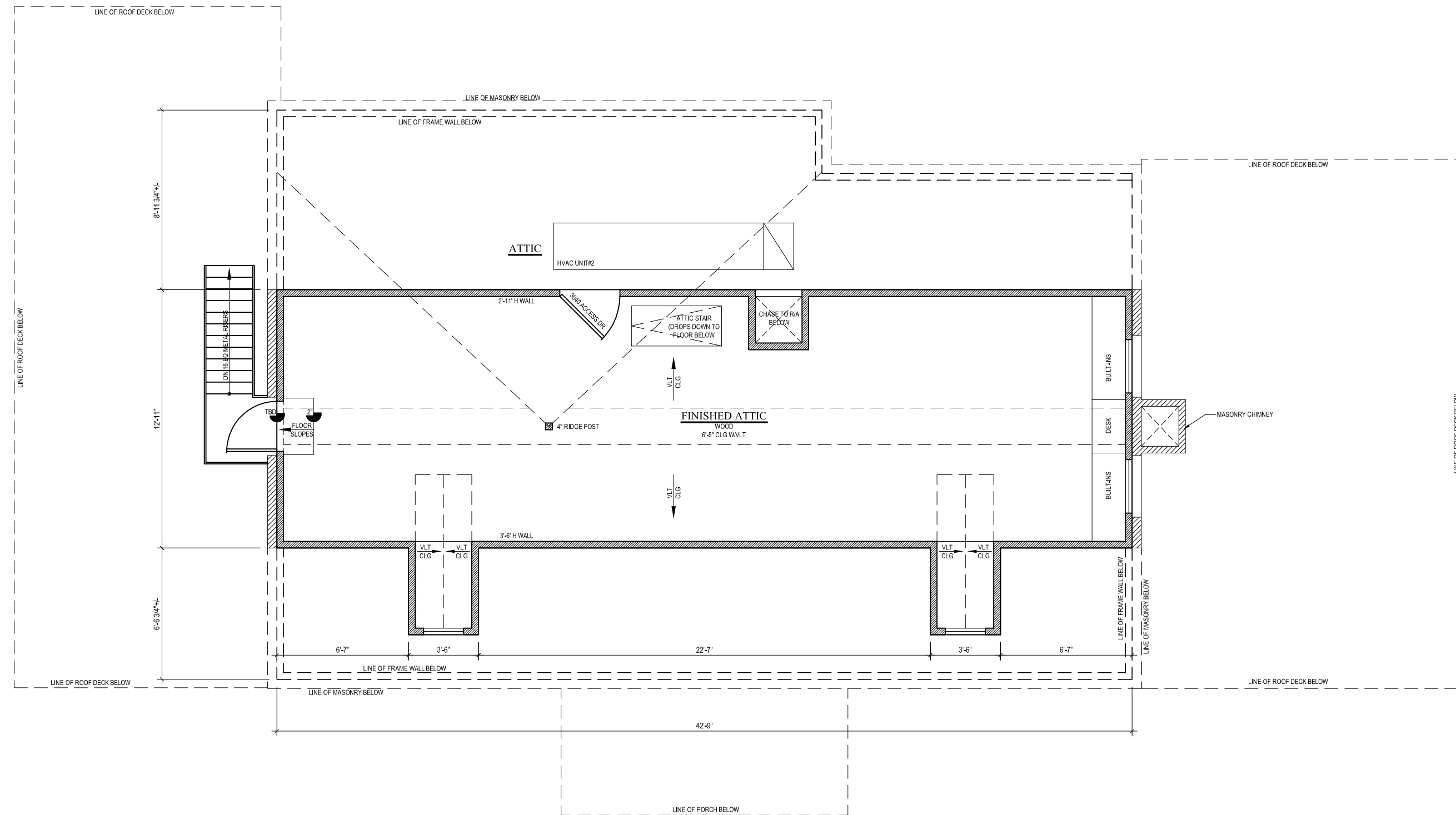


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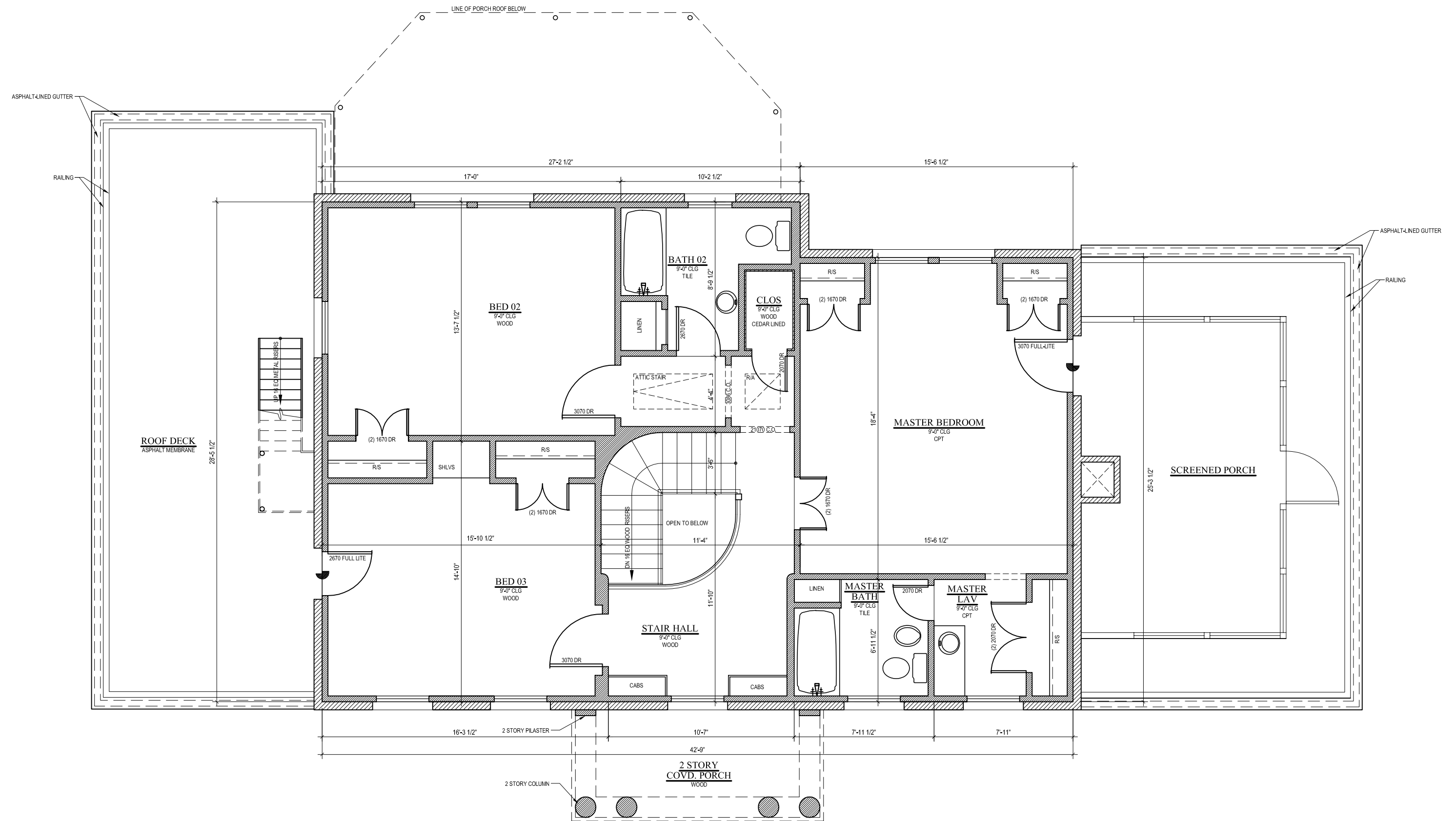
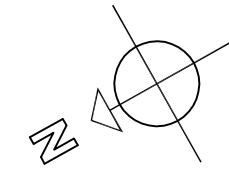
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Architectural Site Plan &
Project Information

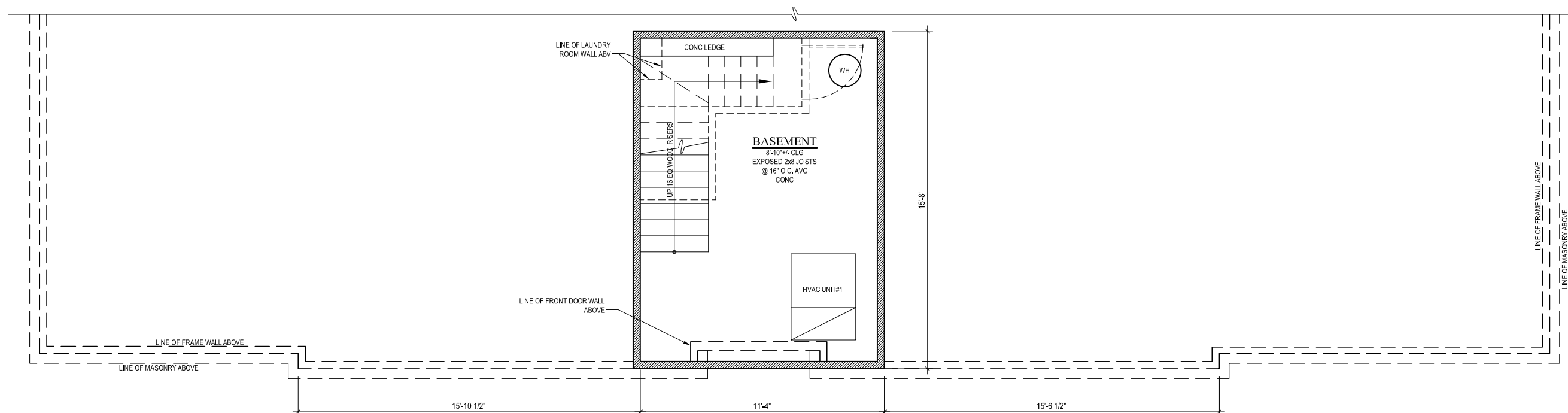
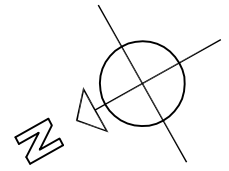
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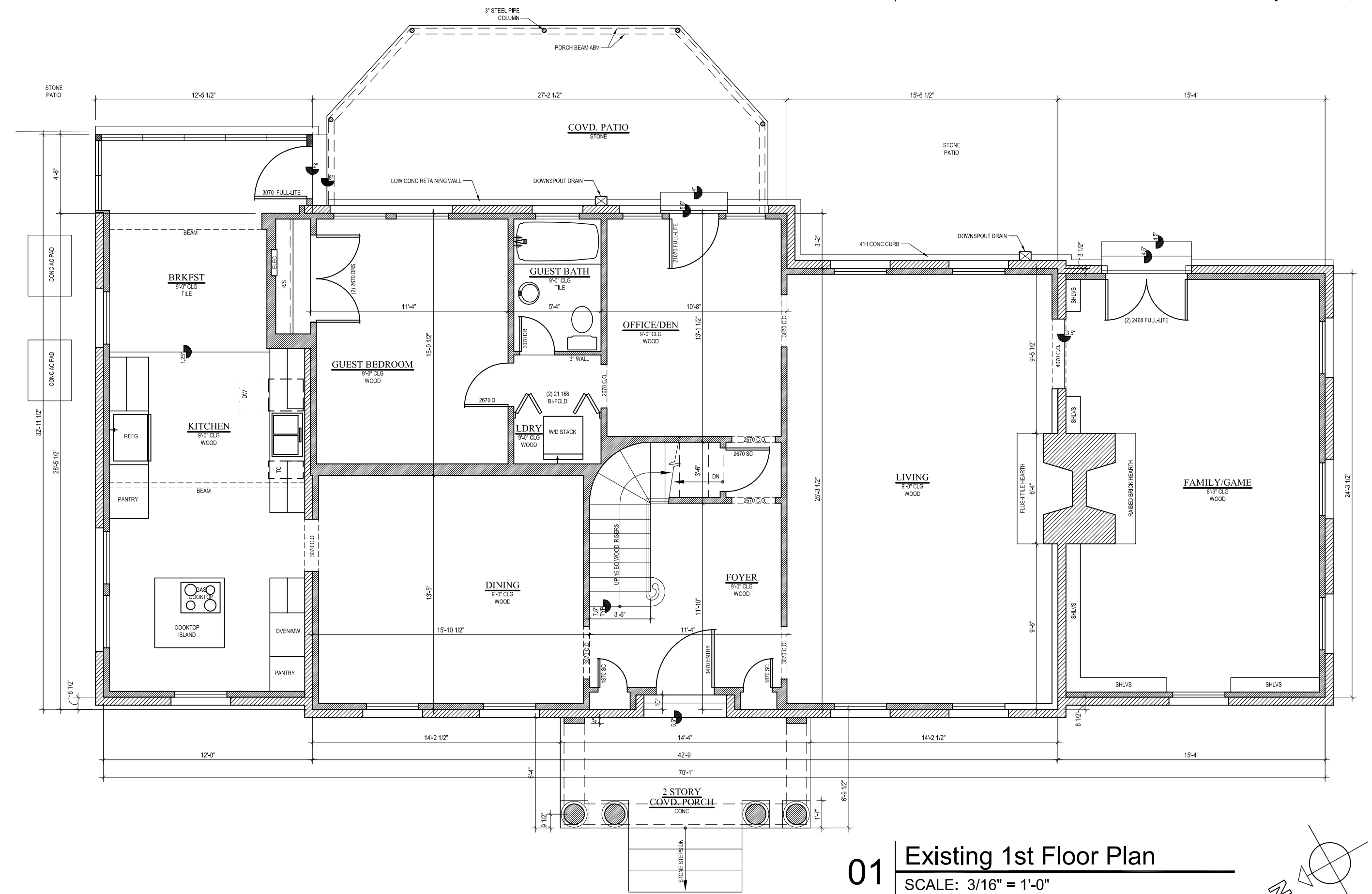
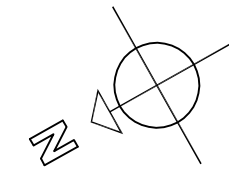
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SCALE: 3/16" = 1'-0"



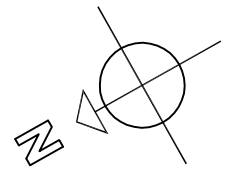
03 Existing 2nd Floor Plan
SCALE: 3/16" = 1'-0"



02 Existing Basement Plan
SCALE: 3/16" = 1'-0"



01 Existing 1st Floor Plan
SCALE: 3/16" = 1'-0"



hatch + ulland owen
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1010 East 11th Street
Austin, Texas 78702
T: 512.474.8548
F: 512.474.8643

www.huoaarchitects.com

Contractor:
David Bratton
Watermark Homes by
David Bratton
4208 Avenue D
Austin Texas 78751
Cell - 512-233-9301
Fax - 512-291-7650
watermarkhomesaustin.com

Structural Engineer:
DCI Engineers
600 Congress Avenue, Suite 1210
Austin, Texas 78701
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Existing Floor Plans

A1.2



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Austin, Texas 78702
T: 512.474.8548
F: 512.474.8643

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Contractor:

David Bratton
Watermark Homes by
David Bratton
4208 Avenue D
Austin Texas 78751
Cell - 512-233-9301
Fax - 512-291-7650
watermarkhomesaustin.com

Structural Engineer:

DCI Engineers
600 Congress Avenue, Suite 1210
Austin, Texas 78701
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Existing / As-Built
Exterior Elevations

A1.3



04 Existing Front Elevation
SCALE: 3/16" = 1'-0"



03 Existing Side (South) Elevation
SCALE: 3/16" = 1'-0"



02 Existing Side (South) Elevation
SCALE: 3/16" = 1'-0"



01 Existing Front Elevation
SCALE: 3/16" = 1'-0"



010 East 11th Street
Austin, Texas 78702
: 512.474.8548
: 512.474.8643

www.huoarchitects.com

Contractor:

David Bratton
Watermark Homes by
David Bratton
208 Avenue D
Austin Texas 78751
Cell - 512-233-9301
Fax - 512-291-7650
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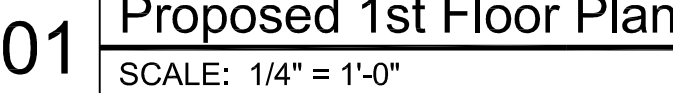
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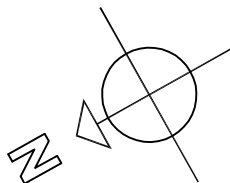
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Proposed 1st Floor Plan

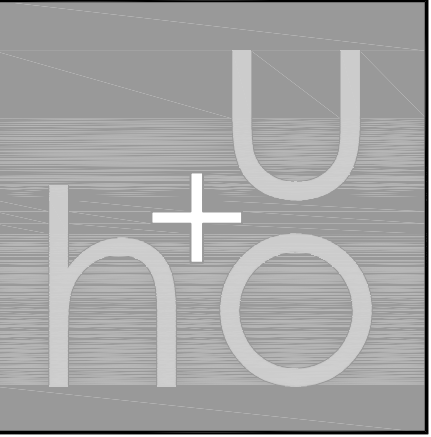
A2.1



SCALE: 1/4" = 1'-0"



Proposed 1st Floor Plan



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Austin, Texas 78702
T: 512.474.8548
F: 512.474.8643
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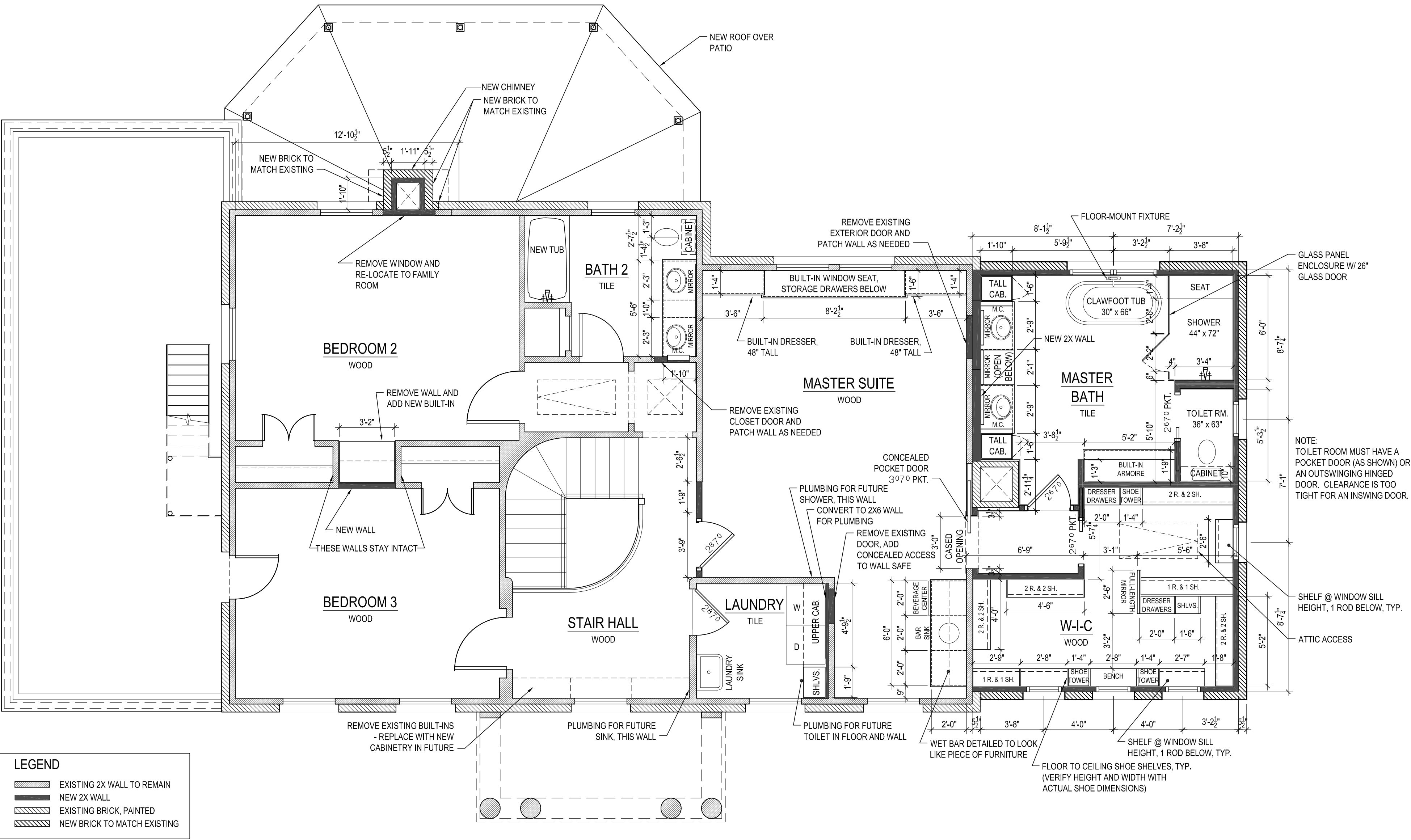
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Proposed 2nd Floor Plan

A2.2



01 Proposed 2nd Floor Plan
SCALE: 1/4" = 1'-0"



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F: 512.474.8643

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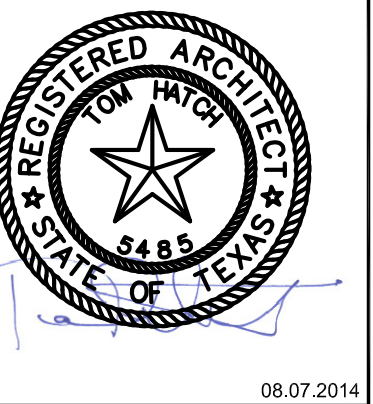
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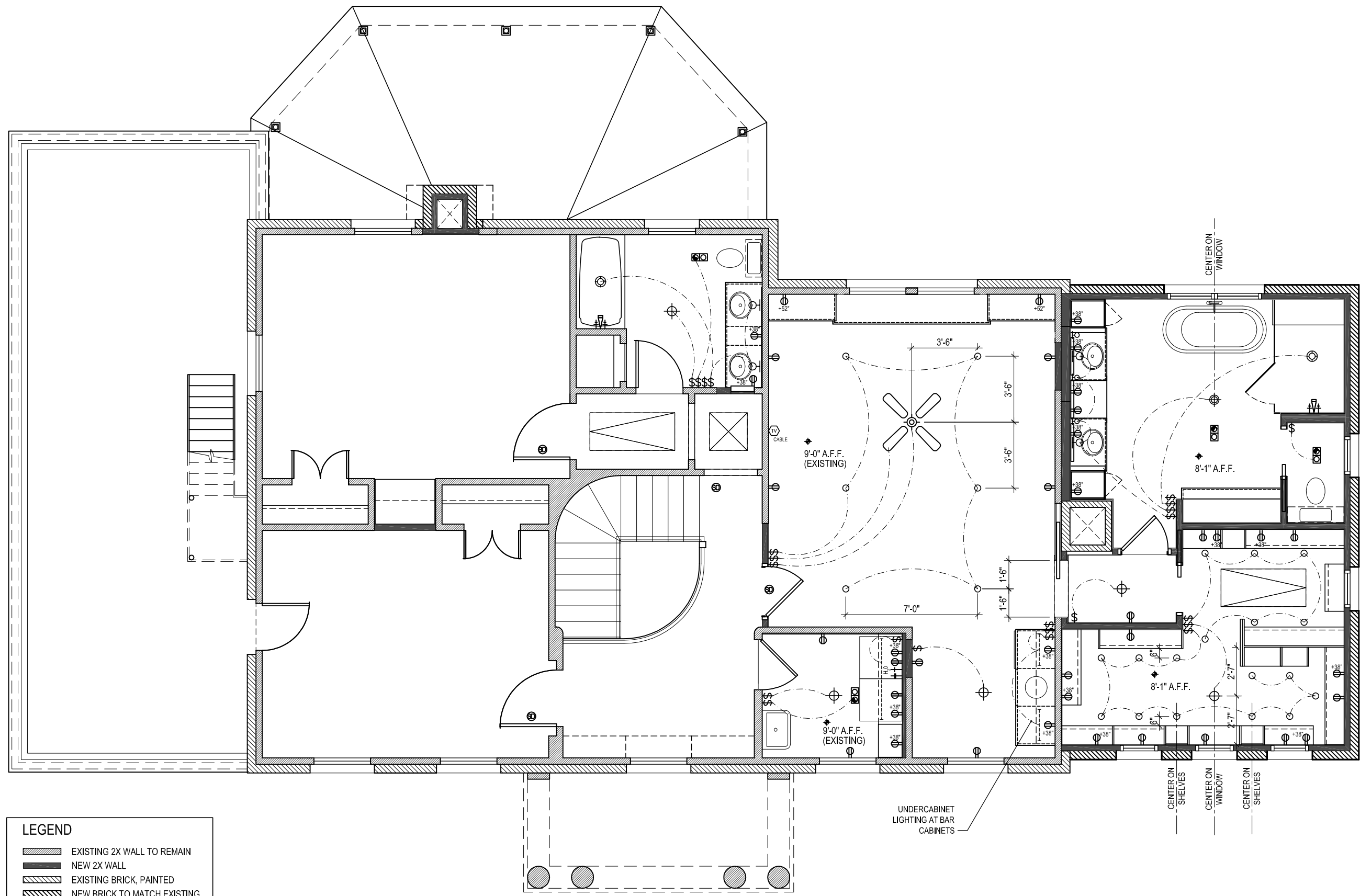
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RCP / Power Plans

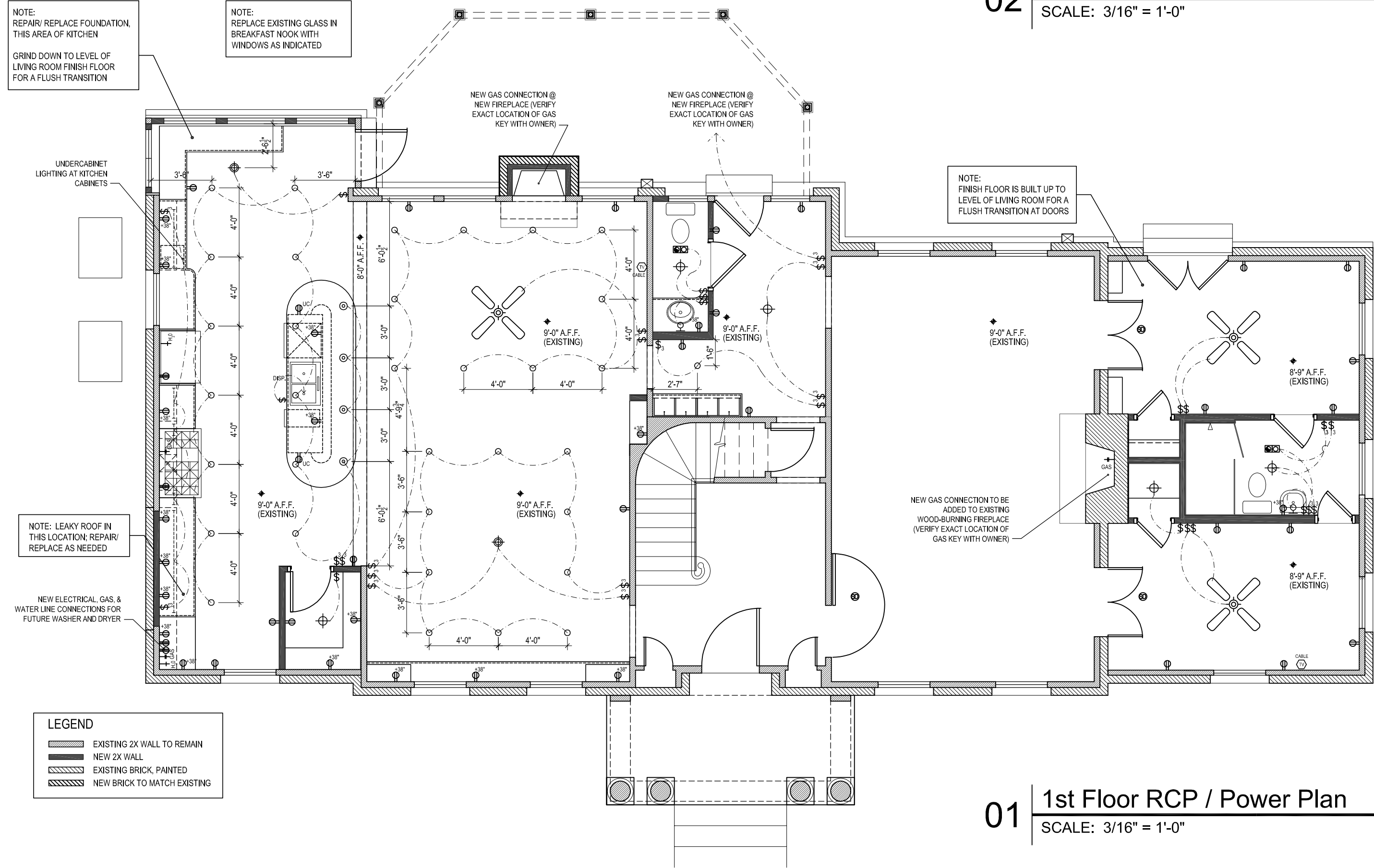
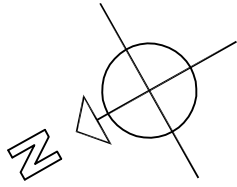
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LEGEND
EXISTING 2X WALL TO REMAIN
NEW 2X WALL
EXISTING BRICK, PAINTED
NEW BRICK TO MATCH EXISTING

02 | 2nd Floor RCP / Power Plan

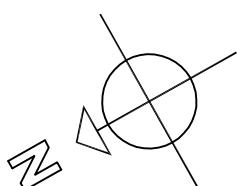
SCALE: 3/16" = 1'-0"



LEGEND
EXISTING 2X WALL TO REMAIN
NEW 2X WALL
EXISTING BRICK, PAINTED
NEW BRICK TO MATCH EXISTING

01 | 1st Floor RCP / Power Plan

SCALE: 3/16" = 1'-0"

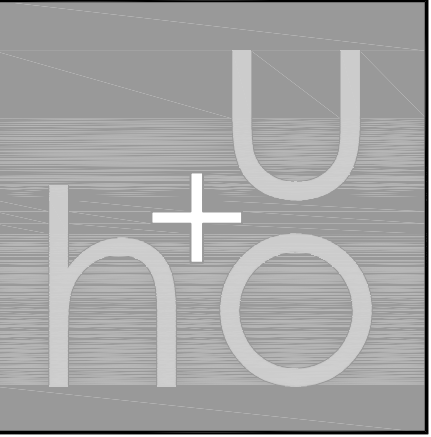


SYMBOL LEGEND

- 7'-0" A.F.F.
- BELL
- DOORBELL W/ LIGHT
- LIGHT, FAN, RECEPTICAL SWITCH
- THREE-WAY WALL SWITCH
- DIMMER SWITCH
- SWITCH LOCATED IN CABINETRY
- STANDARD DUPLEX RECEPTICAL
- STANDARD DUPLEX RECEPTICAL INSTALLED 36" ABOVE F.F.
- DUPLEX RECEPTICAL FOR MAJOR APPLIANCES
- STANDARD WATERPROOF DUPLEX RECEPTICAL
- UNDER COUNTER DUPLEX RECEPTICAL
- SWITCH-OPERATED DUPLEX RECEPTICAL
- FLOOR OUTLET
- CEILING OUTLET
- TELEPHONE
- CABLE / TELEVISION
- PLUMBING CONNECTION
- GAS CONNECTION
- HOSE BIBB
- THERMOSTAT
- MOTION-ACTIVATED SECURITY LIGHT

LIGHT FIXTURE SCHEDULE

- SMOKE DETECTOR (PER CODE)
- WALL-MOUNTED FIXTURE
- EXTERIOR WALL SCONCE
- RECESSED DOWNLIGHT
- DIRECTIONAL RECESSED LIGHT
- HEAT / FAN / LIGHT COMBO - VENT TO OUTSIDE AIR
- EXHAUST FAN / LIGHT COMBO - VENT TO OUTSIDE AIR
- EXHAUST FAN - VENT TO OUTSIDE AIR
- FLUSH-MOUNTED CEILING FIXTURE
- PENDANT
- UNDER-CABINET LED LIGHTING STRIP
- CEILING FAN W/ LIGHT (EXTERIOR TO BE UL WET RATED)
- IN-WALL STEP LIGHT
- UL WET RATED EXTERIOR DOWNLIGHT SURFACE MOUNT
- UTILITY FLUORESCENT
- CHANDELLER
- WET-RATED LIGHT W/ INTEGRAL FAN



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1010 East 11th Street
Austin, Texas 78702
T: 512.474.8548
F: 512.474.8643

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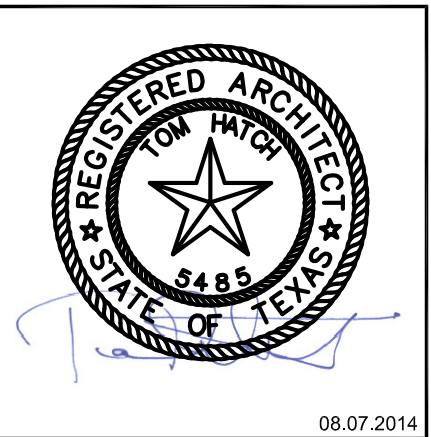
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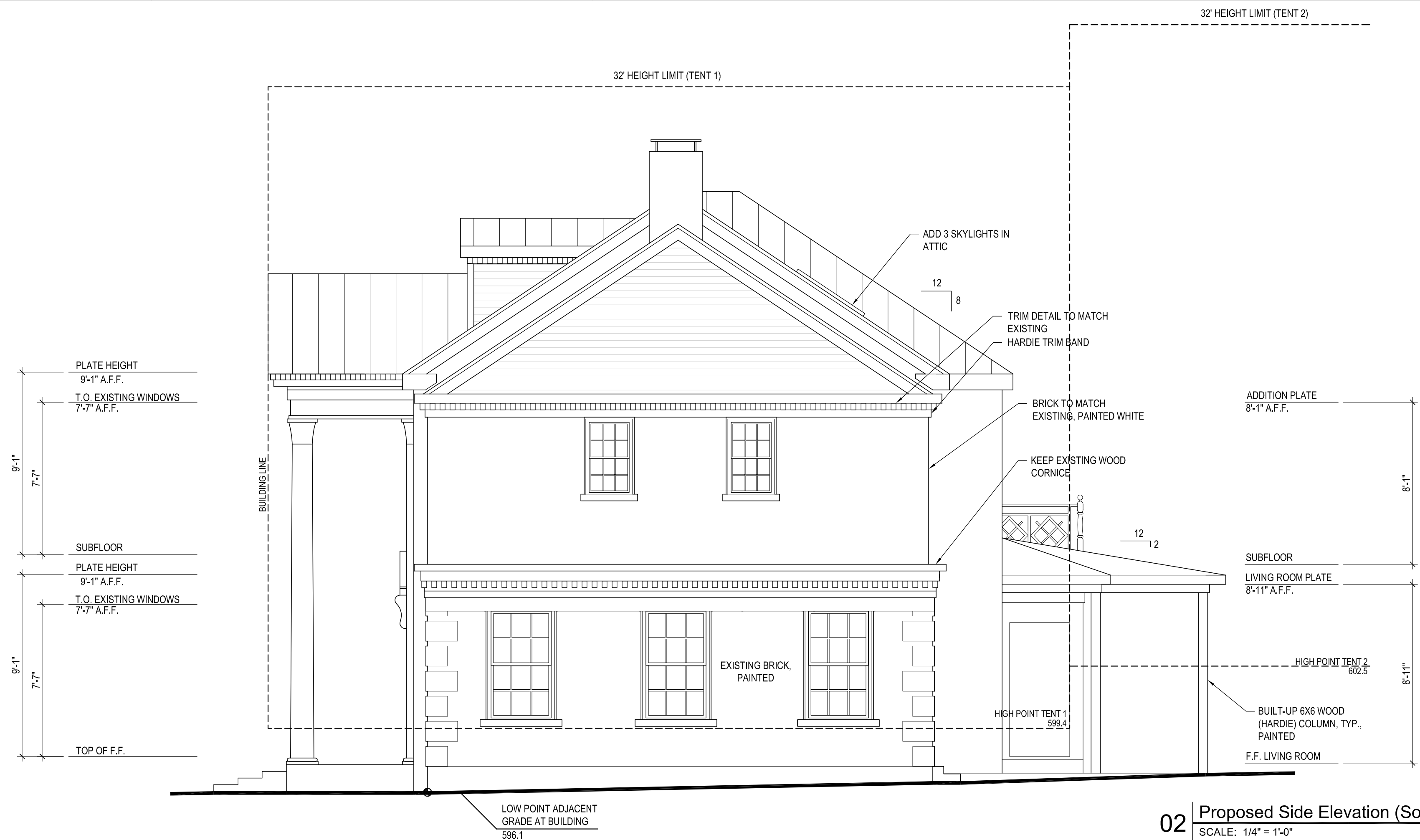
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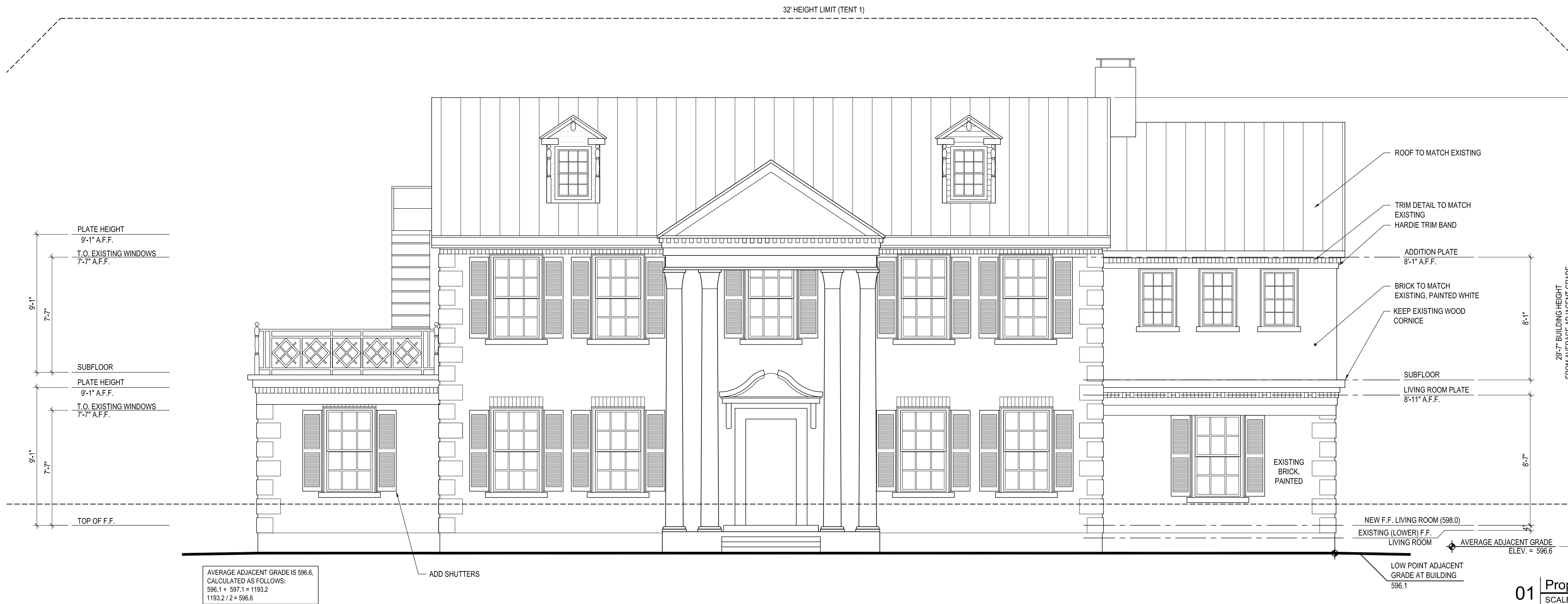
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Proposed
Exterior Elevations

A3.1



02 Proposed Side Elevation (South)
SCALE: 1/4" = 1'-0"



01 Proposed Front Elevation
SCALE: 1/4" = 1'-0"



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: 512.474.8643

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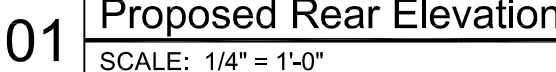
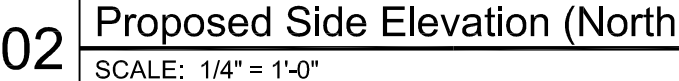


ISSUE DATES:

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Proposed Exterior Elevations

A3.2



PROPERTY LINE