

**Heldenfels, Leane**

C15-2014-0112

**From:** Holly Kincannon ~~Holly@kincannonstudios.com~~  
**Sent:** Wednesday, September 17, 2014 4:53 PM  
**To:** Heldenfels, Leane  
**Subject:** 3102 Lafayette follow-up  
**Attachments:** siteplan.pdf; siteplan info.pdf

Hello Leane,

I have attached revised plans. Please place us on the next agenda so that we might

- Withdraw our variance request of eliminating one parking space.
- Withdraw our variance request to not supply a drive.
- And, to comply with BOA/code requirements to change our front yard drive 12' width to 17'-6".

Thank you!

Sincerely,

Holly Kincannon, Assoc. AIA

KINCANNON STUDIOS  
512.480.0066  
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**Heldenfels, Leane**

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**From:** Holly Kincannon <~~holly@kincannonstudios.com~~>  
**Sent:** Wednesday, September 17, 2014 5:08 PM  
**To:** Heldenfels, Leane  
**Subject:** FW: please approve drive-revised

Approval letter from Arborist.

Thanks. HK

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**From:** Embesi, Michael [<mailto:Michael.Embesi@austintexas.gov>]  
**Sent:** Wednesday, September 17, 2014 3:35 PM  
**To:** Holly Kincannon; Word, Daniel  
**Cc:** Gobel, James (Jim)  
**Subject:** RE: please approve drive-revised

Thank you for your email. I presume this is the outcome of many discussions with staff and BOA. Please be aware that the layout is permissible and the details of the layout will be finalized via the tree permitting process.

Thanks again,  
Michael Embesi  
City of Austin - Planning and Development Review Department  
City Arborist  
505 Barton Springs Road, Fourth Floor  
Austin, TX 78704  
Phone (512) 974-1876  
Fax (512) 974-3010  
Web Site <http://www.austintexas.gov/department/city-arborist>

**Heldenfels, Leane**

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CL5-2014-0112

**From:** Holly Kincannon ~~holly@kincannonstudios.com~~  
**Sent:** Thursday, September 18, 2014 11:53 AM  
**To:** Heldenfels, Leane  
**Subject:** reconsideration, please.

Leane,

Please add us to the October agenda for reconsideration of their action in order to review new evidence based on a new review of the site by Residential Review that they weren't able to consider at the hearing.

Please see the attached revised site plat (sent 9/17/14) that shows our project meeting the parking required (3 spaces), and providing a drive (versus not providing one in the former plan), but having a drive above 12'.

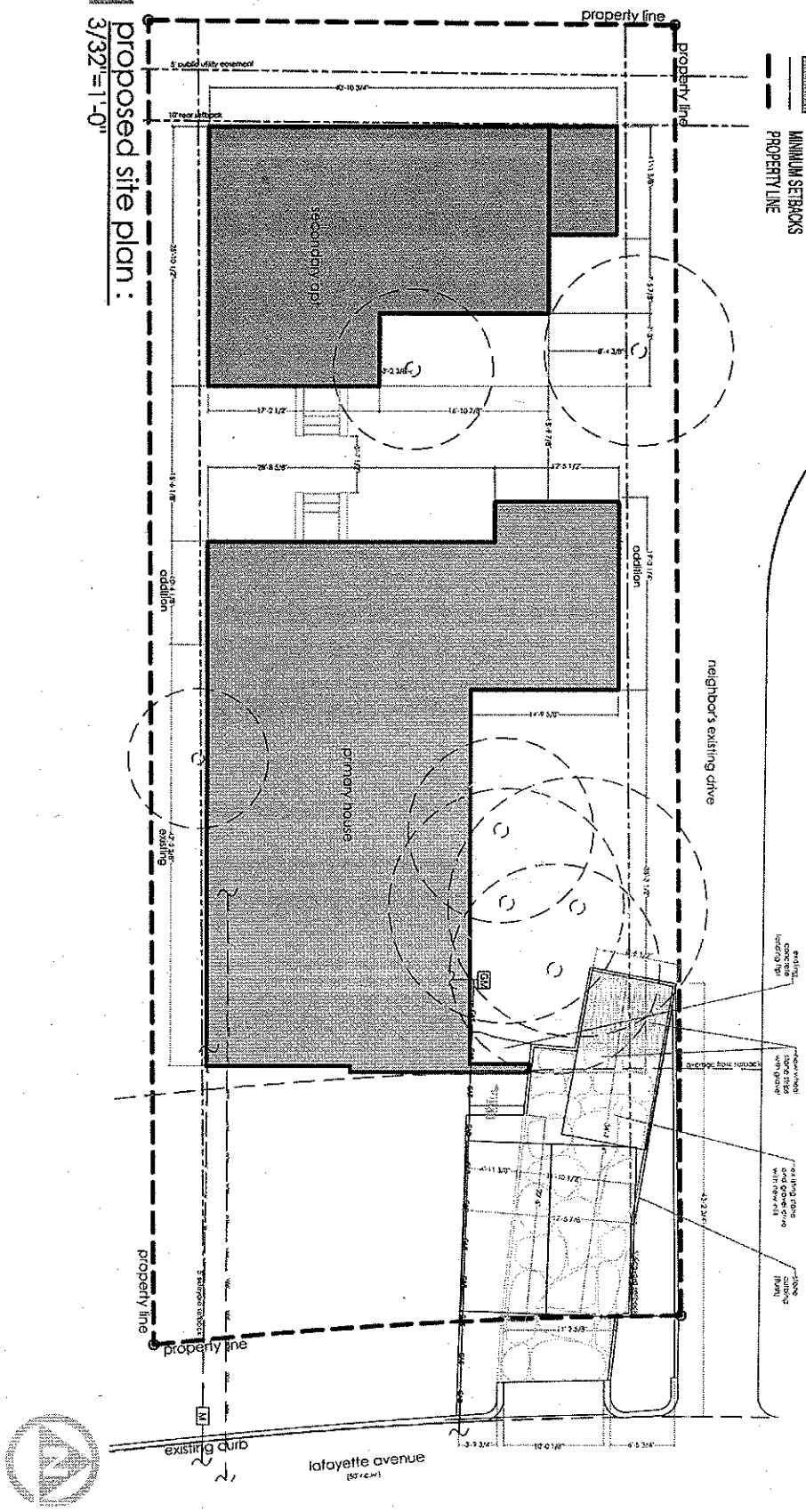
Thank so much.

Holly Kincannon, Assoc. AIA  
Planning and Design Division

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01 proposed site plan :  
3/32" = 1'-0"

- LEGEND :**
- 12' CRZ OF EXISTING TREES & NO IMPACT ZONE
  - WATER METER ASSEMBLY, ON SITE
  - GAS METER ASSEMBLY, ON SITE
  - BUILDING FOOTPRINT
  - MINIMUM SETBACKS
  - PROPERTY LINE



**PROJECT DESCRIPTION AND CALCULATIONS :**

LEGAL DESCRIPTION:

BENIG LOT 6, BLOCK 4, OLT 28 & 31, DIV. CLAFAYETTE HEIGHTS,  
A SUBDIVISION IN TRAVIS COUNTY, TEXAS,  
THEREOF RECORDED IN VOLUME 4, PAGE 43,  
TRAVIS COUNTY PLAT RECORDS.

ADDRESS:

3102 LAFAYETTE AVENUE, AUSTIN, TEXAS

WATER & GAS METER:

AS SHOWN ON SURVEY

STORM SEWER INLETS:

NONE

OCCUPANCY GROUP:

RESIDENTIAL R-3

ZONING:

SF-3-NP

NEIGHBORHOOD: UPPER BOGGY CREEK / CHERRYWOOD  
SUBDIVISION: WITHOUT PUBLIC SIDEWALKS

TOTAL LOT SIZE:

6,870 SF.

MAXIMUM IMPERVIOUS COVERAGE (45%):

3,092 SF.

MAXIMUM FRONT IMP COVERAGE (40%):

500 SF.

MAXIMUM FLOOR/AREA RATIO (40%):

2,748 SF.

IMPERVIOUS COVERAGE

PRIMARY HOUSE:

1,667 SF.

SECONDARY APT:

827 SF.

DRIVEWAY (ON PRIVATE PROPERTY):

496 SF.

WALKSTOOPS (ON PRIVATE PROPERTY):

102 SF.

TOTAL COVERAGE:

3,092 SF.

LOT AREA:

6,870 SF.

TOTAL PERCENT COVERAGE:

45%

FRONT YARD COVERAGE:

434 SF.

FLOOR/AREA RATIO:

PRIMARY HOUSE (1ST FL. AREA):

1,453 SF.

SECONDARY APT (1ST FL. AREA):

699 SF.

SECONDARY APT 2ND FL. AREA:

135 SF.

GROSS FLOOR AREA:

2,287 SF.

LOT AREA:

6,870 SF.

FLOOR TO AREA RATIO:

33.3%

