

Special Exception

CASE# C15-2014-0132
ROW# 11214713
TAX# 0219361401

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 6909 HILLCROFT DR. AUSTIN TEX

78724

LEGAL DESCRIPTION: Subdivision - COLONY PARK

Lot(s) 5 Block P Outlot _____ Division _____
CLARENCE O. +

I/We DIANNA M. JONES on behalf of myself/ourselves as authorized agent for

_____ affirm that on _____,

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below and state what portion of the Land Development Code you are seeking a variance from)

ERECT ATTACH COMPLETE REMODEL MAINTAIN

A CARPORT IN A FRONT SETBACK
WITH A SETBACK.

in a SF-2 district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

Special Exception

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

Special Exception

- (b) The hardship is not general to the area in which the property is located because:

Special Exception

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

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PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

NA

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

NA

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

NA

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NA

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Dianna M. Jones
Clarence O. Jones Mail Address 6909 Hillcroft Dr
78724

City, State & Zip AUSTIN, TEXAS 78724

Printed CLARENCE O. JONES Phone 512-926-3182 Date 8-21-14
DIANNA M. JONES

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Clarence O. Jones
Dianna M. Jones Mail Address 6909 Hillcroft Dr.
78724

City, State & Zip AUSTIN, TEXAS 78724-3626

Printed DIANNA M. JONES Phone 512-926-3182 Date 8-21-14
CLARENCE O. JONES



SPECIAL EXCEPTION INSPECTION






Address:	6909 Hillcroft Dr.
Permit Number:	2014-074130
Property Owner Requesting Special Exception:	Clarence & Dianna Jones

<u>Special Exception Requested:</u>
18 feet encroachment into front yard setback with carport
Date Structure was originally constructed: 1997 GIS aerials show existence of carport

Date of Inspection:	August 13, 2014
Building Official or designated representative	Tony Hernandez
X	The granting of the variances requested will <u>Not</u> result in any hazard to the life, health or public safety for either the property for which the variance is requested or to an adjoining public or private property
	The granting of the variances request will result in a hazard to the life, health or public safety of the either the property for which the variance is requested or to an adjoining public or private property. The following hazards related to the variance request were noted in this inspection: 1.



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

CASE#: C15-2014-0132
 Address: 6909 HILLCROFT DR



1" = 200'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



I, Clarence Jones, am applying for a variance from the Board of Adjustment regarding Section 25-2-476 of the Land Development Code. The variance would allow me the ability to certain support in front yard setback (25') since it has been in this configuration for at least 10 years.

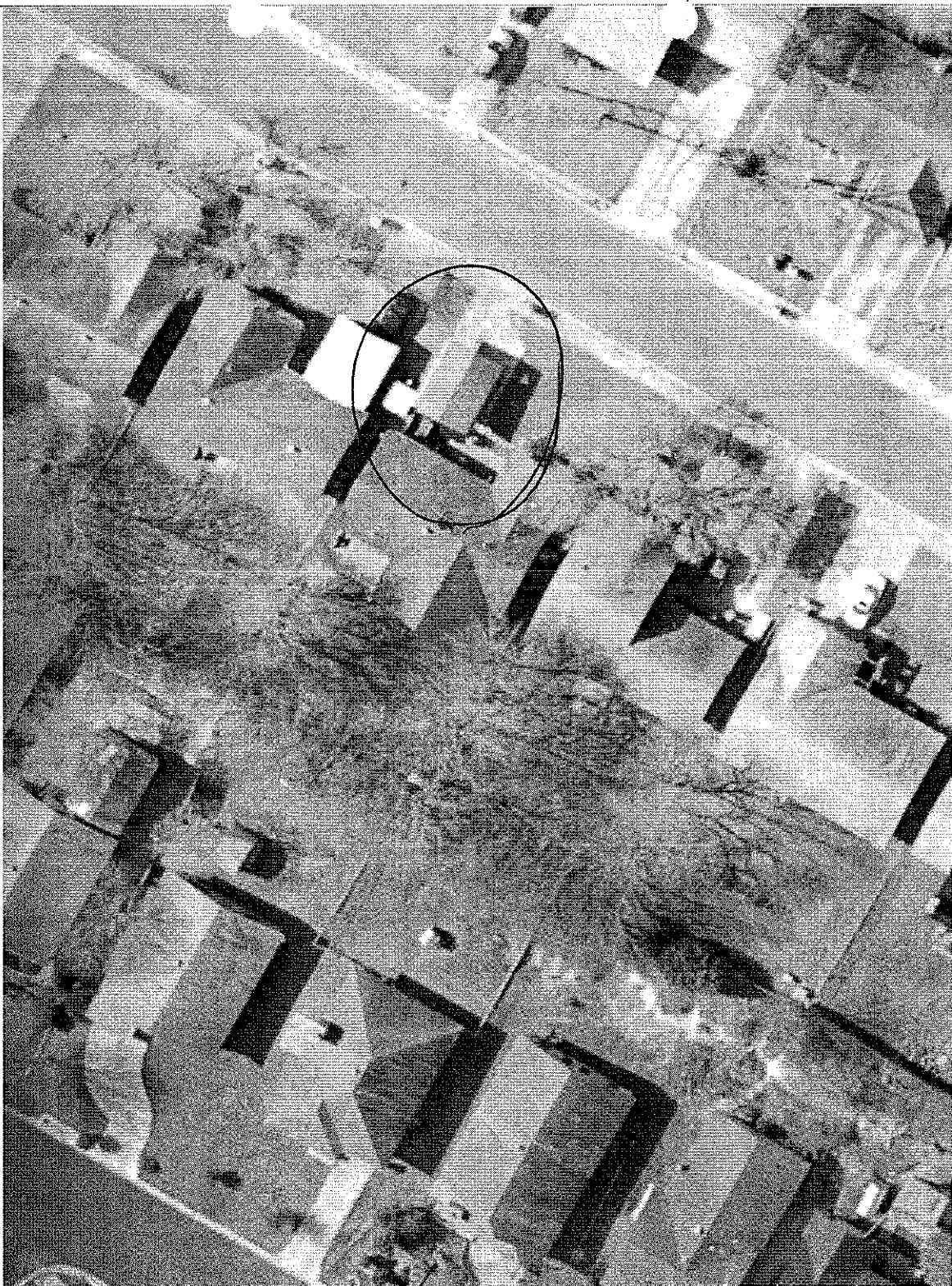
By signing this form, I understand that I am declaring my support for the variance being requested.

Property Owner Name <small>(Printed)</small>	Address	Signature
<u>CLARENCE JONES</u>	<u>6909 HILLCROFT DR.</u>	<u>Clarence Jones</u>
<u>DIANNA M. JONES</u>	<u>6909 HILLCROFT DR.</u> <u>AUSTIN, TEXAS-78724</u>	<u>Dianna M. Jones</u>








6909 Hillcraft

CITY OF AUSTIN DEVELOPMENT WEB MAP

2003 Aerial



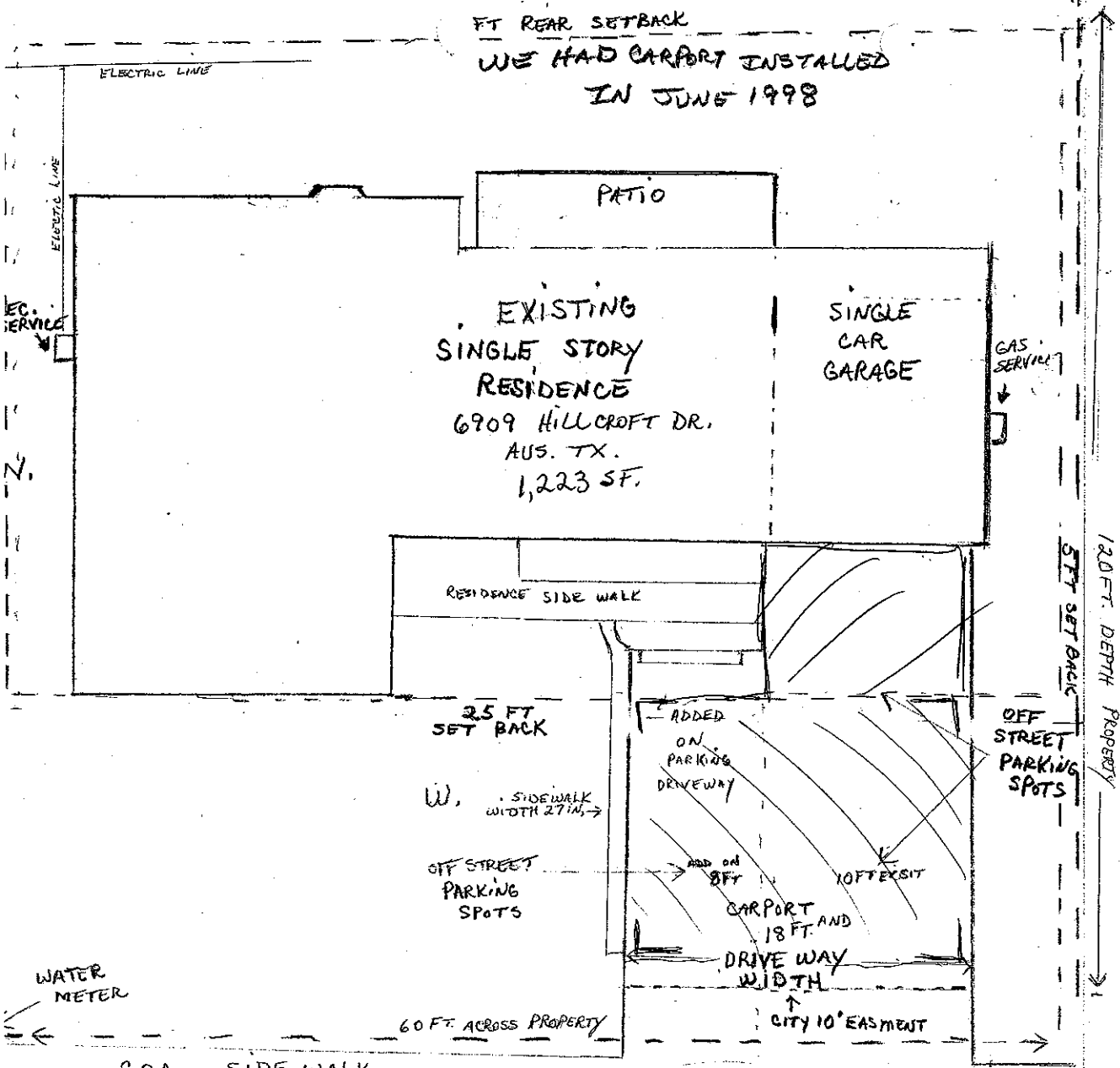
Legend

-  Lot Lines
-  Streets
-  Building Footprints
-  Named Creeks
-  Lakes and Rivers
-  Parks
-  County

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FT REAR SETBACK

WE HAD CARPORT INSTALLED
IN JUNE 1998



AE APPROVED
 JUN 04 2014
 155-203
 JGM

All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.

EXISTING CONCRETE CURB + GUTTER

MAIN STREET
 ASPHALT PAVING HILLCROFT DR SCALE

APPROVED BY
 AUSTIN ENERGY
 FOR BOA

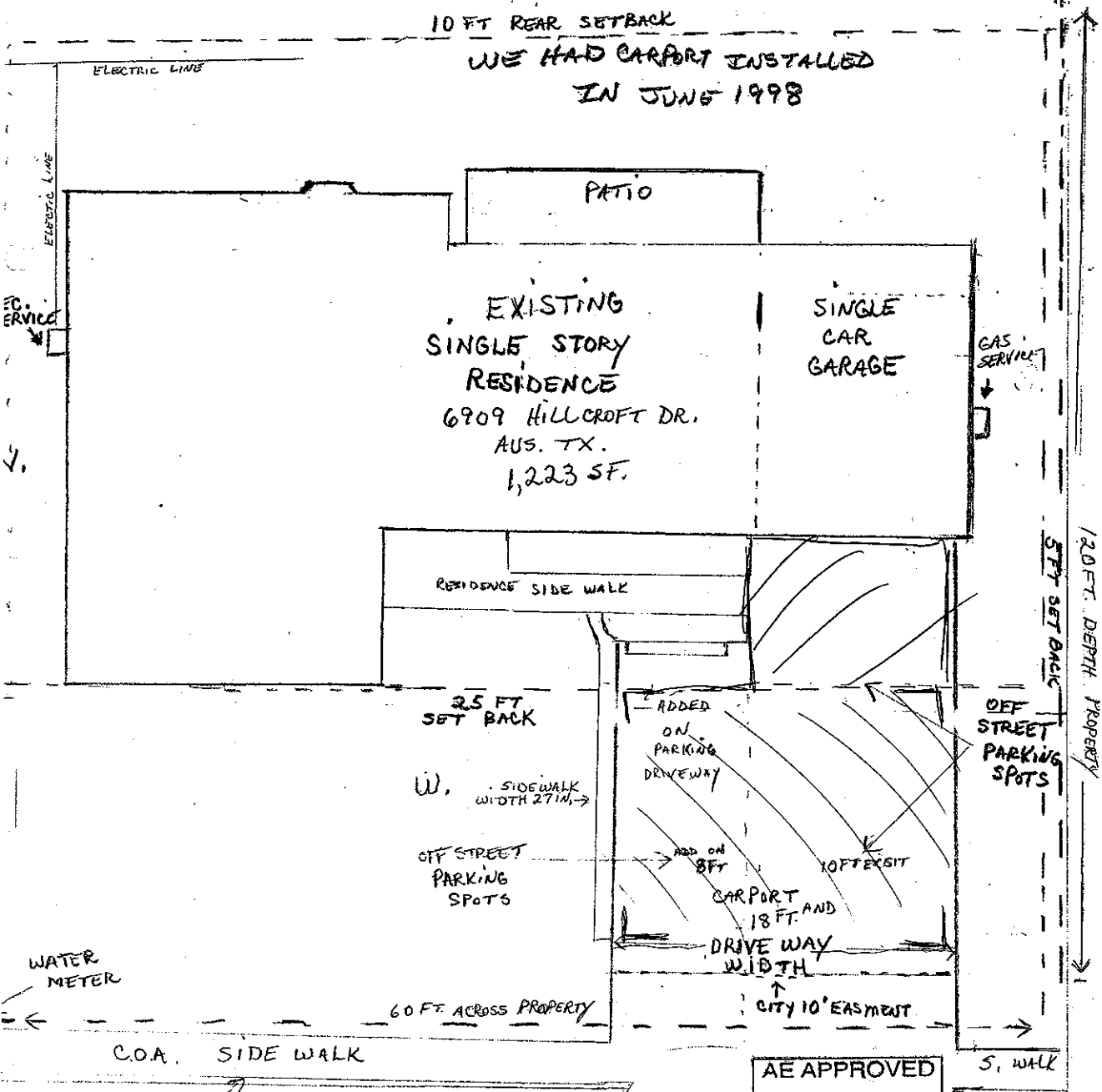
DATE: AUGUST 21, 2014
[Signature]

CITY OF AUSTIN
 DEPARTMENT OF PLANNING AND DEVELOPMENT
 REVIEWED FOR PERMIT
 Greg Guernsey
 Date: 7/15/14
 The granting of a permit for the approval of these plans and specifications shall not be construed to be a permit for or an approval of any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

6909 Hillcroft Dr

10 FT REAR SETBACK

WE HAD CARPORT INSTALLED
IN JUNE 1998



All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.

AE APPROVED
JUN 04 2014
158-203
JGM

EXISTING CONCRETE CURB + BUTTER

MAIN STREET
ASPHALT PAVING HILLCROFT DR SCALE

APPROVED BY
AUSTIN ENERGY
FOR BOA
DATE: August 21, 2014
[Signature]

CITY OF AUSTIN
APPROVED FOR PERMIT
Greg Guernsey
Planning and Development Review Department
Date: 8/21/14
The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current building code or any other ordinance of the City of Austin.

6909 Hillcroft Dr