

CITY OF AUSTIN
Board of Adjustment/Sign Review Board
Decision Sheet

DATE: Monday, September 8, 2014

CASE NUMBER: C15-2014-0127

_____ Jeff Jack
_____ Michael Von Ohlen
_____ Ricardo De Camps
_____ Bryan King
_____ Vincent Harding
_____ Will Schnier - Melissa Hawthorne-(out)
_____ Sallie Burchett

APPLICANT: BRUCE AUPPERLE

OWNER: VALLA DJAFARI

ADDRESS: 2009 LAKESHORE DR Bldg BD

VARIANCE REQUESTED: The applicant has requested a variance to Section 25-2-1176 (D) (2) (*Regulations*) of Article 13. Docks, Bulkheads, and Shoreline Access to increase the allowable width of a dock from no greater than 20 percent of the shoreline width of the lot or parcel of land on which the structure is to be constructed, in this case 10.2 foot boat dock width for a 50.64 feet wide shoreline lot (required) to 27.65 percent of the shoreline width for a 14 foot boat dock width (requested) in order to erect a boat dock in an "LA", Lake Austin zoning district. The applicant is requesting to use the Land Development Code in effect prior to 7/2014 for the site plan of this property which is currently under review.

BOARD'S DECISION: POSTPONED TO NOVEMBER 10, 2014 DUE TO MAIL POSTING ERROR

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:

(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:



Leane Heldenfels
Executive Liaison



Jeff Jack
Chairman

PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, you are not required to attend. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed application. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice will be sent.

A board or commission's decision may be appealed by a person with standing to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before or during the public hearing that generally identifies the issues of concern (*it may be delivered to the contact person listed on a notice*); or
 - appearing and speaking for the record at the public hearing;
- and:
- occupies a primary residence that is within 500 feet of the subject property or proposed development;
 - is the record owner of property within 500 feet of the subject property or proposed development; or
 - is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

A notice of appeal must be filed with the director of the responsible department no later than 10 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, visit our web site: www.austintexas.gov/development.

Written comments must be submitted to the contact person listed on the notice before or at a public hearing. Your comments should include the name of the board or commission, or Council; the scheduled date of the public hearing; the Case Number; and the contact person listed on the notice. Any comments received will become part of the public record of the case.

Case Number: C15-2014-0127, 2009 Lake Shore
 Contact: Leane Heldenfels, 512-974-2202, leaneheldenfels@austintexas.gov
 Public Hearing: Board of Adjustment, October 13th, 2014

Starling Bradford Shavers
Your Name (please print)

I am in favor
 I object

1909 Lakeshore Drive Austin, TX 78746
Your address(es) affected by this application

[Signature]
 Signature 10/20/14
 Date

Daytime Telephone: *512 413 5323*

Comments:

Note: any comments received will become part of the public record of the case

If you use this form to comment, it may be returned to:

City of Austin-Planning & Development Review Department/ 1st Floor
 Leane Heldenfels
 P. O. Box 1088
 Austin, TX 78767-1088
 Or fax to (512) 974-2934
 Or scan and email to leaneheldenfels@austintexas.gov

If you need assistance completing this application (general inquires only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

revised

CASE # 05-204-0127
ROW # 11207642

0119110506

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 2009 Lake Shore

LEGAL DESCRIPTION: Subdivision - LOT 15 LESS S 50FT OF E 140' LOT 14 W 8000SF (100' FRT) LAKE SHORE ADDN

Lot(s) _____ Block _____ Outlot _____ Division _____

I/We Carolyn Aupperle on behalf of myself/ourselves as authorized agent for

Deleted: _____

DJAFARI VALLA

affirm that on August 28, 2014

Deleted: _____

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

ERECT ATTACH COMPLETE REMODEL MAINTAIN

a new boat dock greater then 20% width of the shoreline

14' = 27.65%

in a LA district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

_____ The property is too narrow to fit a safe boat dock, which is 14'.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

_____ Most lots today are required to have 100' of lake front.

- (b) The hardship is not general to the area in which the property is located because:

_____ This lot is configured in a very unique way based on the land.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

_____ There is no other property like this.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 10088 Circlevue
Drive _____

City, State & Zip Austin, TX
78733

Printed Carolyn Aupperle Phone 512-422-
7838 Date August 28, 2014



SPECIAL EXCEPTION INSPECTION






Address:	6807 Hillcroft Dr.
Permit Number:	2014-082030
Property Owner Requesting Special Exception:	Algie Williams (Porter Williams)

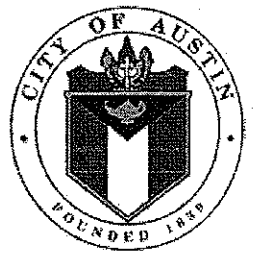
<p>Special Exception Requested:</p> <p>21.5' front yard setback encroachment</p>
<p>Date Structure was originally constructed: COA, GIS verifies existence in 2003</p>

Date of Inspection:	8-11-14
Building Official or designated representative	Tony Hernandez
X	The granting of the variances requested will <u>Not</u> result in any hazard to the life, health or public safety for either the property for which the variance is requested or to an adjoining public or private property
	<p>The granting of the variances request will result in a hazard to the life, health or public safety of the either the property for which the variance is requested or to an adjoining public or private property. The following hazards related to the variance request were noted in this inspection:</p> <ol style="list-style-type: none"> 1.



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

CASE#: C15-2014-0127
 Address: 2009 LAKE SHORE



1" = 200'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

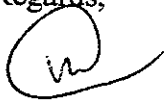
January 7, 2013

City of Austin
Planning and Development Review Department
PO Box 1088
Austin, TX 78716

To Whom It May Concern:

I, Valla Djafari, own the property at 2009 Lake Shore Drive. I wish to construct a new dock at the property. Bruce S. Aupperle, P.E. and Aupperle Company are our authorized agents for the City of Austin applications needed for the subject work at the property. Please contact me if you have any questions.

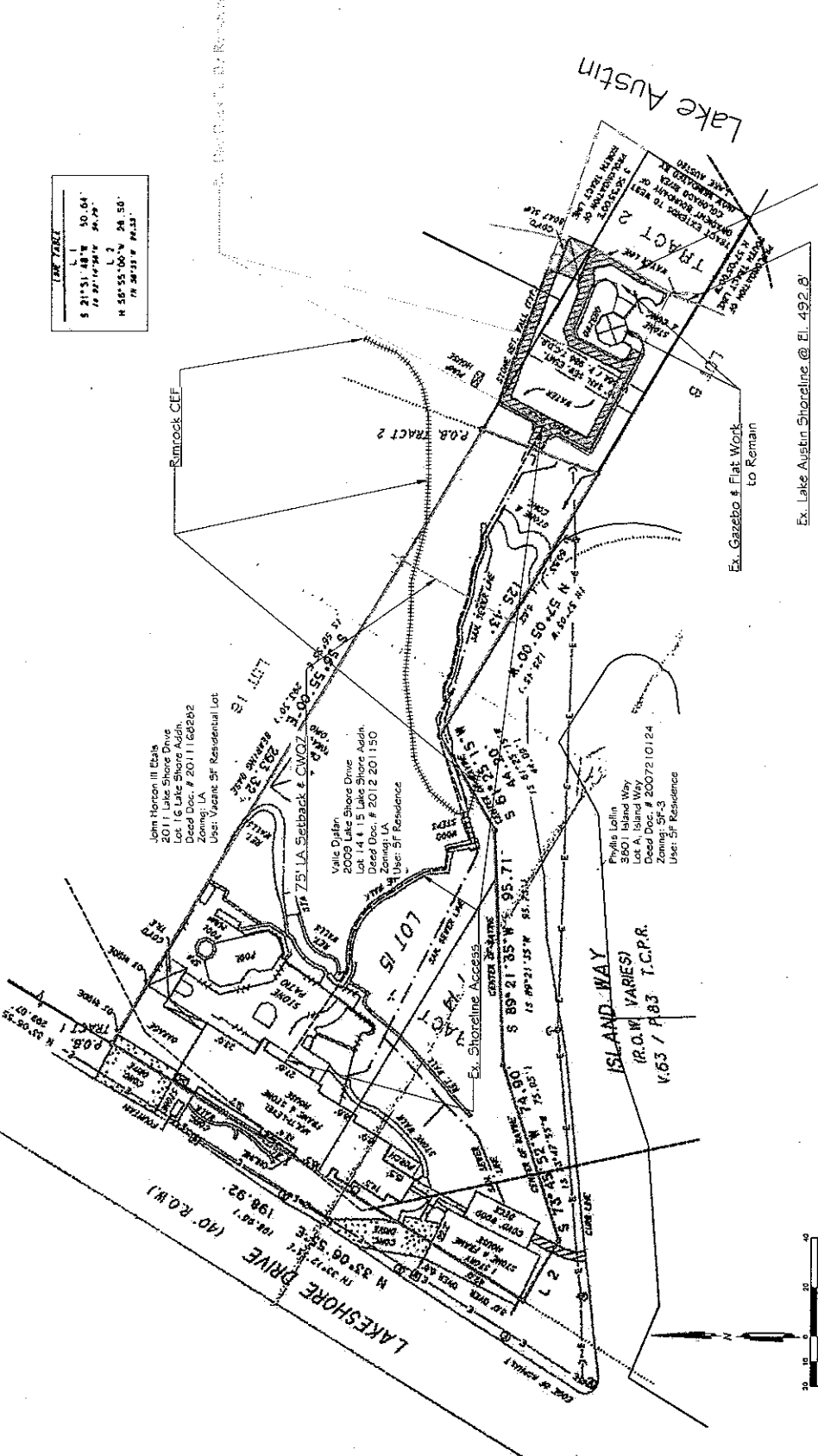
Regards,

A handwritten signature in black ink, appearing to be 'V' followed by a flourish.

Valla Djafari
2009 Lakeshore Drive
Austin, TX 78746

2009 Lake Shore Drive

The responsibility for the accuracy of this plan rests with the engineer who prepared it. It is approved by the City of Austin only upon the adequacy of the engineer's stamp.



TRAP TABLE

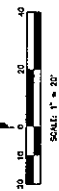
S	21° 51' 48" W	50.04'
N	27° 19' 50" W	24.78'
N	55° 55' 00" W	24.50'
N	24° 13' 17" E	24.53'

Existing Conditions

FEMA 1-COA Fully Developed
100-Year Flood Plain
Approx. Elev. 492.9'

Ex. Lake Austin Shoreline @ El. 492.0'

Ex. Gazebo & Flat Work
to Remain



AUPPERLE COMPANY
Engineering, Planning & Development Services
1000 Oakridge Drive, Austin, Texas 78732-5127 (2024)

2009 Lake Shore Drive
EXISTING CONDITIONS &
DEMOLITION F

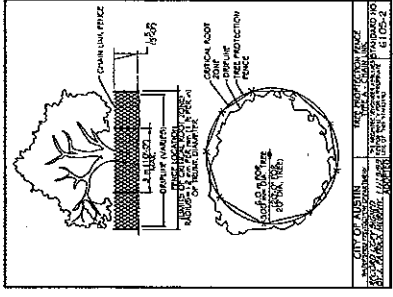
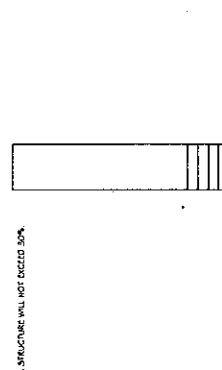
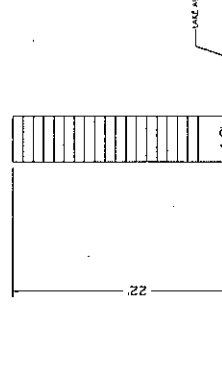
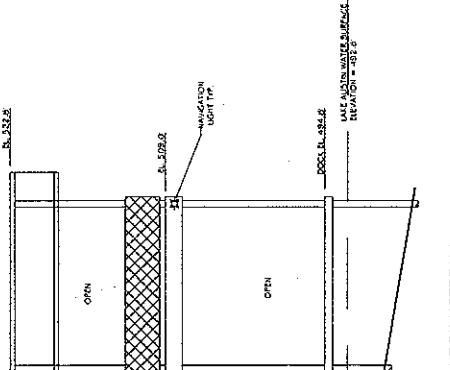
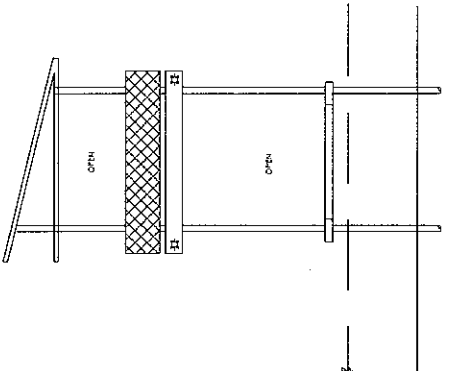
DATE	1/1/2024
BY	J. AUPPERLE
CHECKED BY	M. AUPPERLE
SCALE	AS SHOWN
PROJECT	2009 Lake Shore Drive
SHEET	1 OF 1

SF 2013-0501005

2009 Lake Shore Drive

- NOTES:**
1. DOCKS MUST BE CONTIGUOUS - LIGHTED WITH AMBER - 7" IN BETWEEN BURET AND TURNER EACH DAY.
 2. A DOCK MUST HAVE AT LEAST TWO LIGHT BEAMS. THE LIGHT BEAM MUST BE LOCATED IN THE CENTER OF THE DOCK AND BE DIRECTED TO THE CENTER OF THE DOCK. THE LIGHT BEAM MUST BE VISIBLE TO A PROPERTY APPROXIMATELY 1/4 MILE.
 3. NAVIGATION LIGHTS MUST HAVE A HOUSING FINISH WITH TWO WORKING LIGHTS AND BE PAINTED WHITE. LIGHTS MUST BE PAINTED WITH THE PURPLE - ORANGE/YELLOW LIGHT AND RED AND GREEN LIGHTS. LIGHTS MUST BE PAINTED WITH THE PURPLE - ORANGE/YELLOW LIGHT AND RED AND GREEN LIGHTS. LIGHTS MUST BE PAINTED WITH THE PURPLE - ORANGE/YELLOW LIGHT AND RED AND GREEN LIGHTS. LIGHTS MUST BE PAINTED WITH THE PURPLE - ORANGE/YELLOW LIGHT AND RED AND GREEN LIGHTS.
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 13. THE DOCK IS REQUIRED TO BE LIGHTED.

- ATTENTION INSPECTOR NOTES:**
1. COMPLIANCE WITH BUILDING CODE IS REQUIRED AND IS TO BE REVIEWED FOR COMPLIANCE DURING CONSTRUCTION.
 2. FOR THE DRAINAGE PLAN, A SOUND AND TRAIL LETTER SHALL BE SUBMITTED TO THE CITY OF AUSTIN FOR THE LAND DEVELOPMENT CODE 251.10.2.4. CERTAINING THAT THE STRUCTURE IS COMPLIANT WITH THE CITY OF AUSTIN'S LAND DEVELOPMENT CODE 251.10.2.4. CERTAINING THAT THE STRUCTURE IS COMPLIANT WITH THE CITY OF AUSTIN'S LAND DEVELOPMENT CODE 251.10.2.4. CERTAINING THAT THE STRUCTURE IS COMPLIANT WITH THE CITY OF AUSTIN'S LAND DEVELOPMENT CODE 251.10.2.4.
 3. ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO AND SHOULD VERIFY THE CONSTRUCTION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.



CITY OF AUSTIN
2009 LAKE SHORE DRIVE
DOCK PLAN & ELEVATIONS
6/1/09-2

All responsibility for the accuracy of these plans remains with the client. The City of Austin makes no warranty for the accuracy of the work of the design engineer.

DOCK LOWER DECK PLAN
1" = 5'

DOCK UPPER DECK PLAN
1" = 5'

2009 Lake Shore Drive

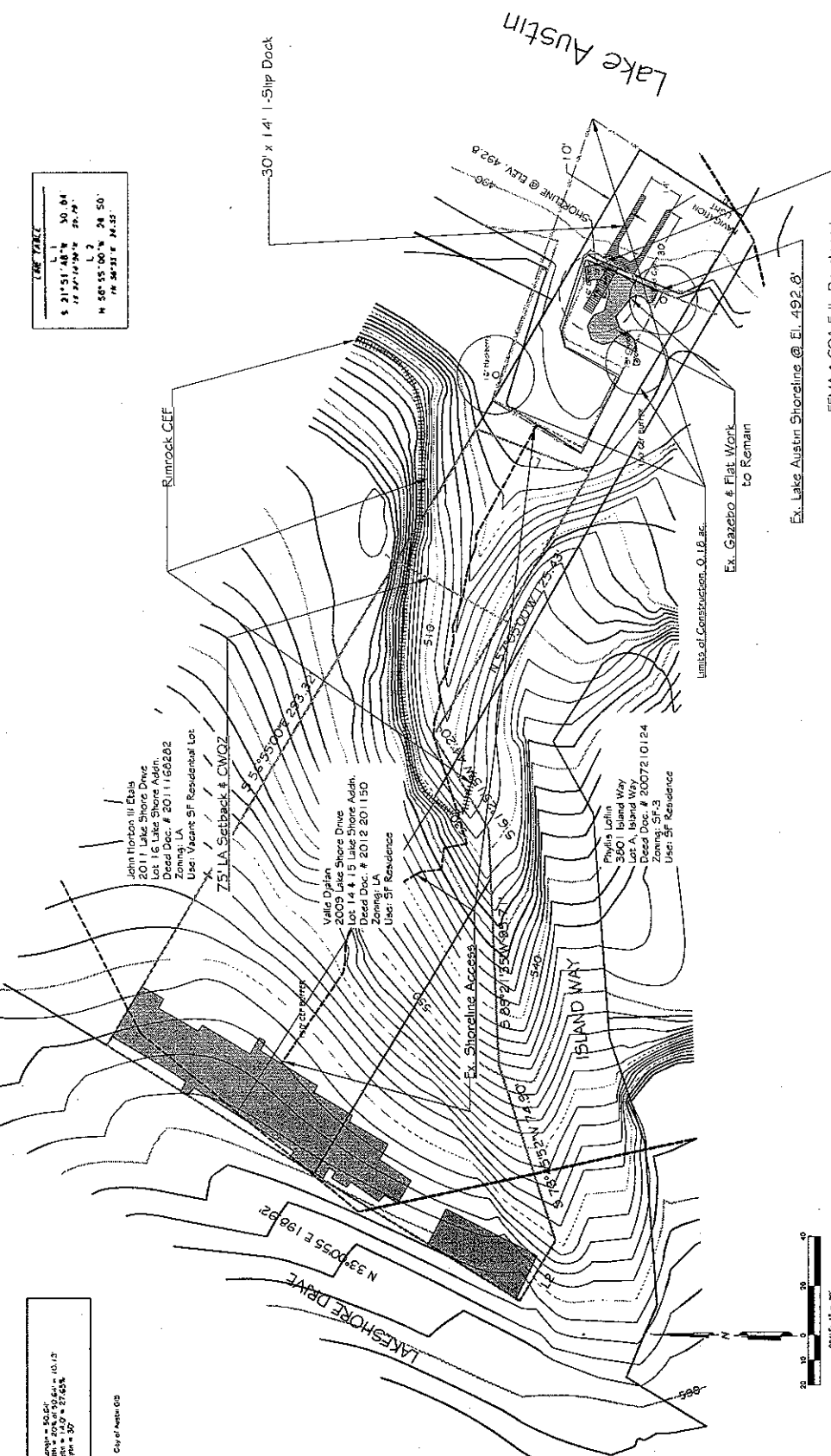
All responsibility for the accuracy of these plans remains with the client. The engineer is not responsible for the accuracy of the data provided by the client or the accuracy of the data provided by the client.

Plan Area: 55.64 ±
 Area of 2009 Lake Shore Drive: 2.08 ± 70.64 ± 10.17
 Proposed Dock Width: 14.0 ± 37.65 ± 1.00
 Proposed Dock Depth: 3.0 ±

Source of Topography: City of Austin GIS

DATE: 08/12/11
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN

L&P TABLE	
L 1	5 21' 51" AB + 30.04
L 2	12 30' 14" AB + 28.79
L 3	18 50' 55" AB + 24.50
L 4	14 36' 23" AB + 21.52



FEMA 100-Year Flood Plain
 Approx. Elev. 492.9'

Proposed Conditions

Ex. Lake Austin Shoreline @ Elv. 492.8'

Ex. Gazebo & Flat Work to Remain

Limit of Construction 0.16 ft.

John Frithos, III Details
 2011 Lake Shore Drive
 2009 Lake Shore Drive
 Diced Doc. # 2011 168282
 Zoning: LA
 Use: Vacant SF Residential Lot

Valis Datan
 2009 Lake Shore Drive
 Lot 14 & 15 Lake Shore Addn.
 Diced Doc. # 2012 201150
 Zoning: SF
 Use: SF Residence

Phyllis Luffin
 300 Island Way
 Lot A, Island Way
 Diced Doc. # 20072 10124
 Zoning: SF-3
 Use: SF Residence

30' x 14' 1-Slip Dock

LAKESHORE DRIVE
 N 33055 E 1882'



Existing Shoreline Length = 50.64'

Allowable Dock Width = 20% of 50.64' = 10.13'

Proposed Dock Width = 14.0' = 27.65%

Proposed Dock Depth = 30'

2009 Lake Shore Drive



MAPSHEET No. 5444-1 City Grid 623
VICINITY MAP

OWNER:
COURTNEY
2009 LAKE SHORE DRIVE
ANN ARBOR, MI 48106

ENGINEER:
BRIAN S. HOFFER, P.E.
ADDRESS CORPUS
17400 CLEVELAND DRIVE
ANN ARBOR, MI 48106-3937
PHONE (313) 622-8345
FAX (313) 622-2441

APPENDIX A - TECHNICAL CORRECTIONS

- 1. The contractor shall provide adequate lighting and weather protection for the project site at all times during construction.
- 2. The contractor shall maintain the site in accordance with the requirements of the Michigan Department of Environmental Quality and the Michigan Department of Transportation. The contractor shall be responsible for all costs associated with the cleanup and restoration of the site after completion of the project.
- 3. The contractor shall provide adequate lighting and weather protection for the project site at all times during construction.
- 4. The contractor shall maintain the site in accordance with the requirements of the Michigan Department of Environmental Quality and the Michigan Department of Transportation. The contractor shall be responsible for all costs associated with the cleanup and restoration of the site after completion of the project.
- 5. The contractor shall provide adequate lighting and weather protection for the project site at all times during construction.
- 6. The contractor shall maintain the site in accordance with the requirements of the Michigan Department of Environmental Quality and the Michigan Department of Transportation. The contractor shall be responsible for all costs associated with the cleanup and restoration of the site after completion of the project.
- 7. The contractor shall provide adequate lighting and weather protection for the project site at all times during construction.
- 8. The contractor shall maintain the site in accordance with the requirements of the Michigan Department of Environmental Quality and the Michigan Department of Transportation. The contractor shall be responsible for all costs associated with the cleanup and restoration of the site after completion of the project.

REVISIONS / CORRECTIONS

NO	DESCRIPTION	REVISED DATE	BY	CHKD BY	DATE

The contractor shall provide adequate lighting and weather protection for the project site at all times during construction. The contractor shall maintain the site in accordance with the requirements of the Michigan Department of Environmental Quality and the Michigan Department of Transportation. The contractor shall be responsible for all costs associated with the cleanup and restoration of the site after completion of the project.

PLAN SHEET LIST

- 2009 LAKE SHORE DRIVE
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- 2009 LAKE SHORE DRIVE

Approved By:

Planning Commission _____ Date _____

For Director, Planning & Development Review Department _____ Date _____

City of Ann Arbor _____

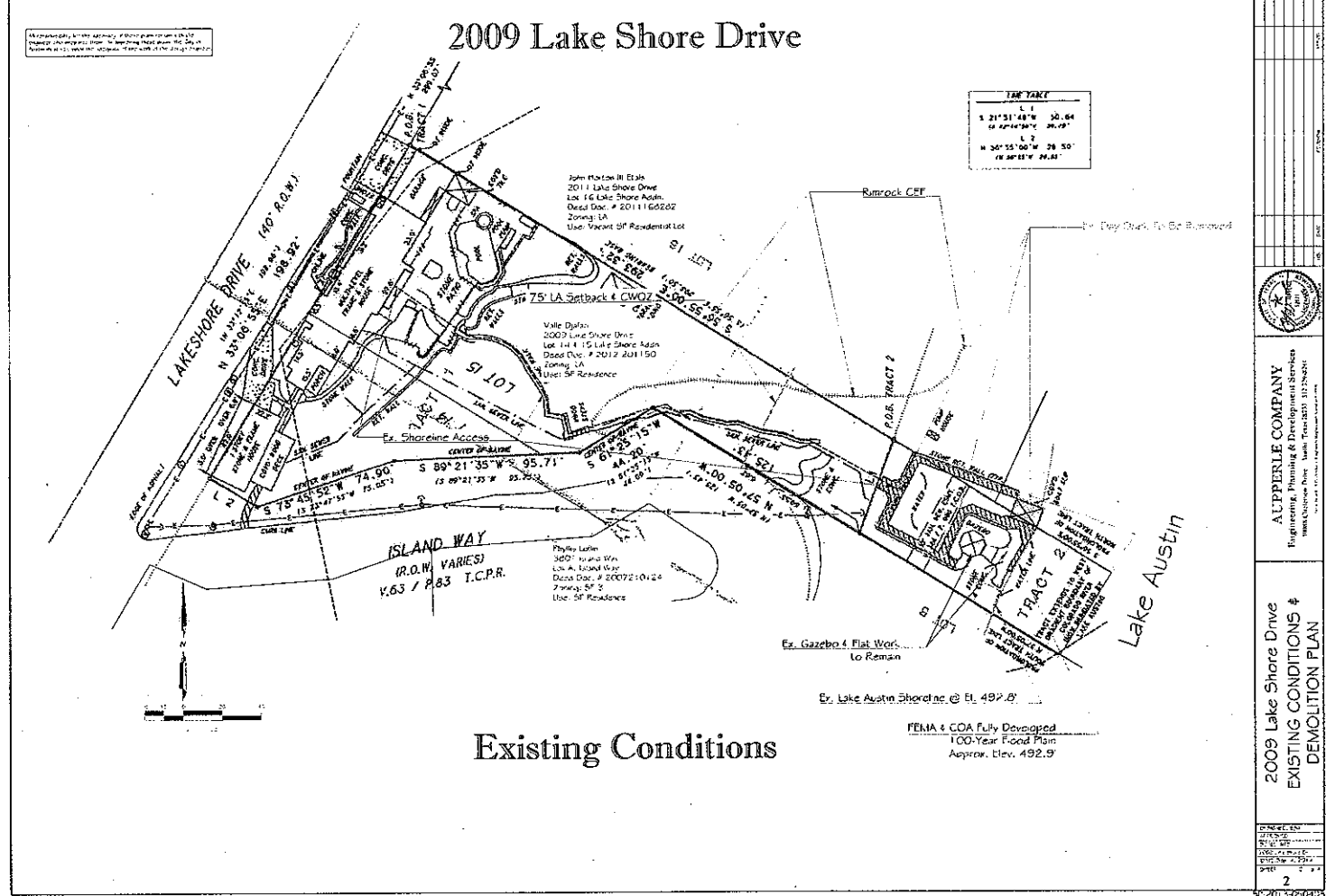
Date: 03/11/2013

Submitted By:

As shown on this plan, the agency of the State of Texas has approved the proposed plat of land shown hereon for recording in the public records of this county.

2009 Lake Shore Drive

TAX TABLE	
L 1	
S 21° 51' 48" W	50.64
E 42° 44' 56" E	26.19
L 2	
N 30° 08' 54" E	28.55
E 20° 01' 10" W	26.81

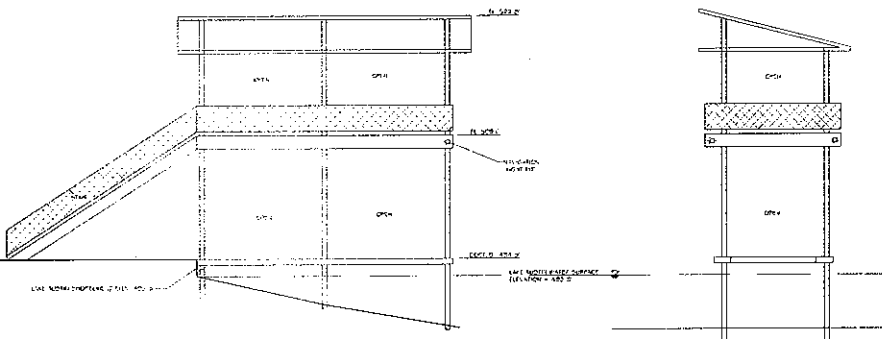


AUPPERLE COMPANY
Engineering, Planning & Development Services
18000 Chimney Pkwy. Austin, Texas 78758 512-254-5241

2009 Lake Shore Drive
EXISTING CONDITIONS &
DEMOLITION PLAN

DATE	BY	CHKD.
07/15/2011	STW	STW
07/15/2011	STW	STW
07/15/2011	STW	STW
07/15/2011	STW	STW
07/15/2011	STW	STW
07/15/2011	STW	STW
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07/15/2011	STW	STW
07/15/2011	STW	STW

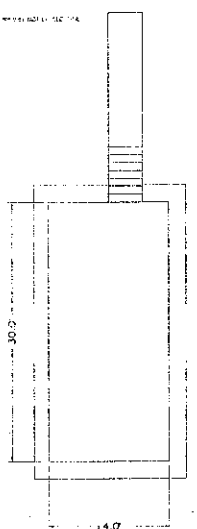
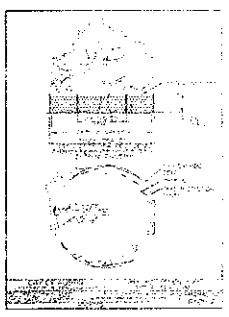
2009 Lake Shore Drive



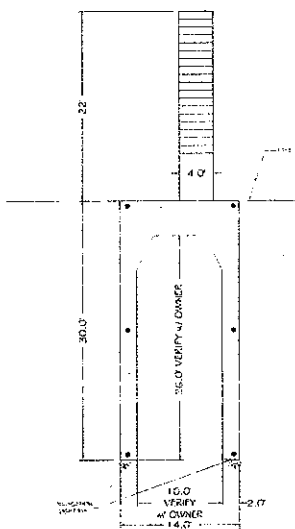
ELEVATION FROM DOWNSTREAM
1" = 5'

ELEVATION FROM LAKE
1" = 5'

1. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
2. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC).
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DOCK UPPER DECK PLAN
1" = 5'



DOCK LOWER DECK PLAN
1" = 5'

2009 Lake Shore Drive
DOCK PLAN & ELEVATIONS

ALPHERLE COMPANY
Engineering, Planning & Development Services
1000 Lake Shore Drive, Suite 100, Lake Shore, IL 60054

3

2009 Lake Shore Drive

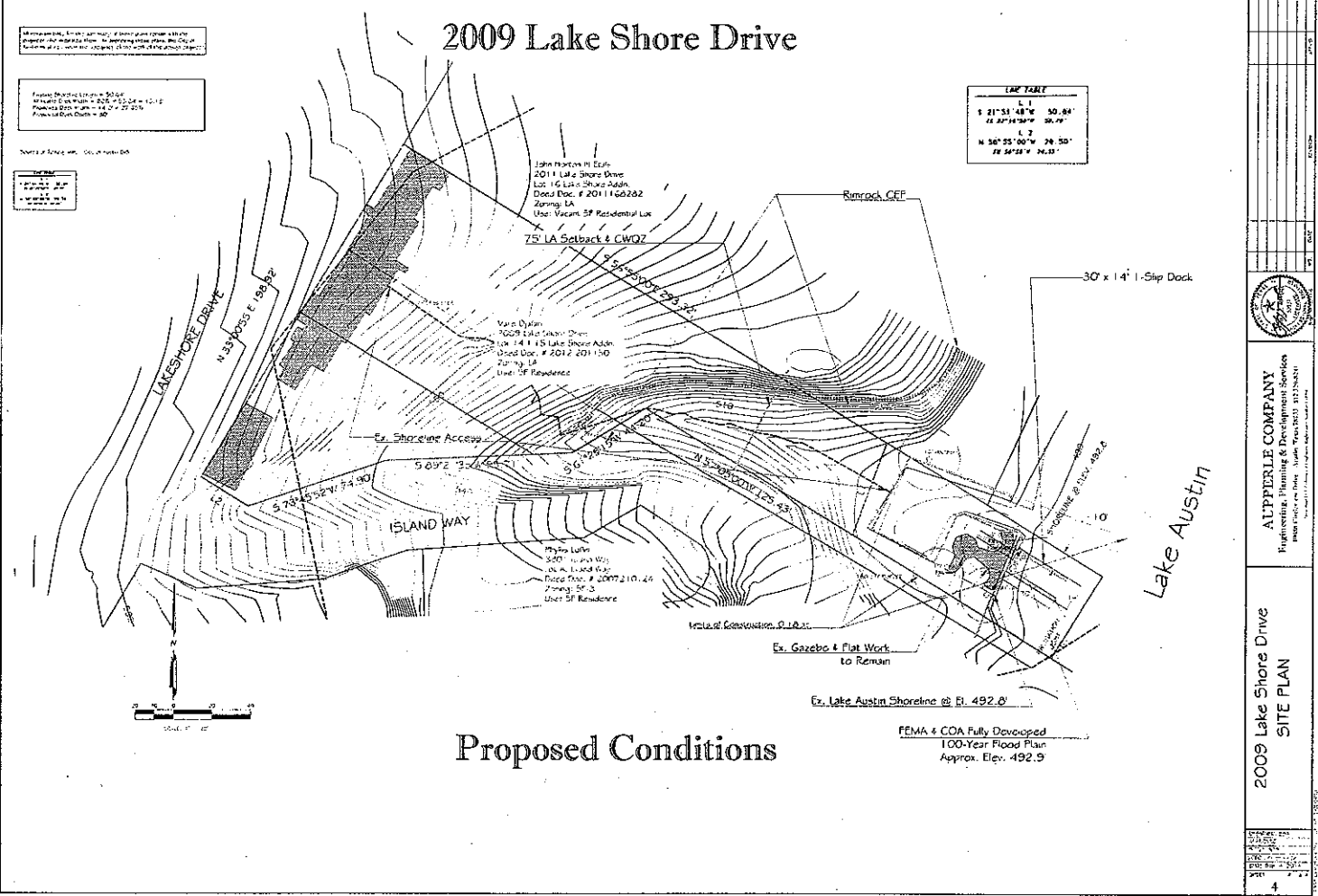
Information: Elevation of 100-year flood is 492.9 feet. The map shows the 100-year flood plain. The 100-year flood plain is shown with a wavy line pattern. The 100-year flood plain is shown with a wavy line pattern.

Project: 2009 Lake Shore Drive
 Project: 2009 Lake Shore Drive
 Project: 2009 Lake Shore Drive

North Arrow: True North

Scale: 1" = 100'

LAK TABLE	
S 21° 53' 48" E	50.84'
E 82° 14' 30" W	50.79'
L 3	
N 50° 55' 00" W	29.50'
E 54° 28' W	24.33'



Proposed Conditions

FEMA & COA Fully Developed
 100-Year Flood Plain
 Approx. Elev. 492.9'


UPPERLE COMPANY Engineering, Planning & Development Services 8808 Fidelity Center, Austin, Texas 78753 512-754-2424 <small>Professional Engineer License No. 10436, State of Texas</small>
2009 Lake Shore Drive SITE PLAN
SHEET NO. 4 OF 4

Heldenfels, Leane

From: Johnston, Liz
Sent: Tuesday, September 30, 2014 10:24 AM
To: Heldenfels, Leane; Crosby, Cindy
Cc: Johnson, Christopher [PDRD]; Simmons-Smith, Michael
Subject: RE: 2009 Lakeshore Drive BOA case for 10/13, c15-2014-0127

Yes, there is a site plan under review at 2009 Lakeshore. There was an EV variance that the EV Board recommended for approval earlier this month and will be heard by ZAP next week.

Is the BoA request to exceed 20% of the shoreline? According to a discussion I had with Brent Lloyd, approval processes aren't grandfathered. So approvals that would have been granted by Planning Commission are now under BoA purview. Does that help?

Thanks,

Liz Johnston

Environmental Review Specialist Senior
Land Use Review
City of Austin
505 Barton Springs Road, 4th Floor
512.974.1218

If you need assistance completing this application (general inquires only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

CASE # C15-2014-0127
ROW # 11207642
Roll # 0119110506

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

See Revised

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 2009 Lake Shore

LEGAL DESCRIPTION: Subdivision - LOT 15 LESS S 50FT OF E 140' LOT 14 W 8000SF (100' FRT) LAKE SHORE ADDN

Lot(s) _____ Block _____ Outlot _____ Division _____

I/We Carolyn Aupperle on behalf of myself/ourselves as authorized agent for _____ Deleted: _____

DJAFARI VALLA affirm that on August 28, 2014, Deleted: _____

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

ERECT ATTACH COMPLETE REMODEL MAINTAIN
a new boat dock greater then 20% width of the shoreline

in a LA district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

The property is too narrow to fit a safe boat dock, which is 14'.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

Most lots today are required to have 100' of lake front.

- (b) The hardship is not general to the area in which the property is located because:

This lot is configured in a very unique way based on the land.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

There is no other property like this.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 10088 Circlerview
Drive _____

City, State & Zip Austin, TX
78733

Printed Carolyn Aupperle Phone 512-422-
7838 Date August 28, 2014

January 7, 2013

City of Austin
Planning and Development Review Department
PO Box 1088
Austin, TX 78716

To Whom It May Concern:

I, Valla Djafari, own the property at 2009 Lake Shore Drive. I wish to construct a new dock at the property. Bruce S. Aupperle, P.E. and Aupperle Company are our authorized agents for the City of Austin applications needed for the subject work at the property. Please contact me if you have any questions.

Regards,



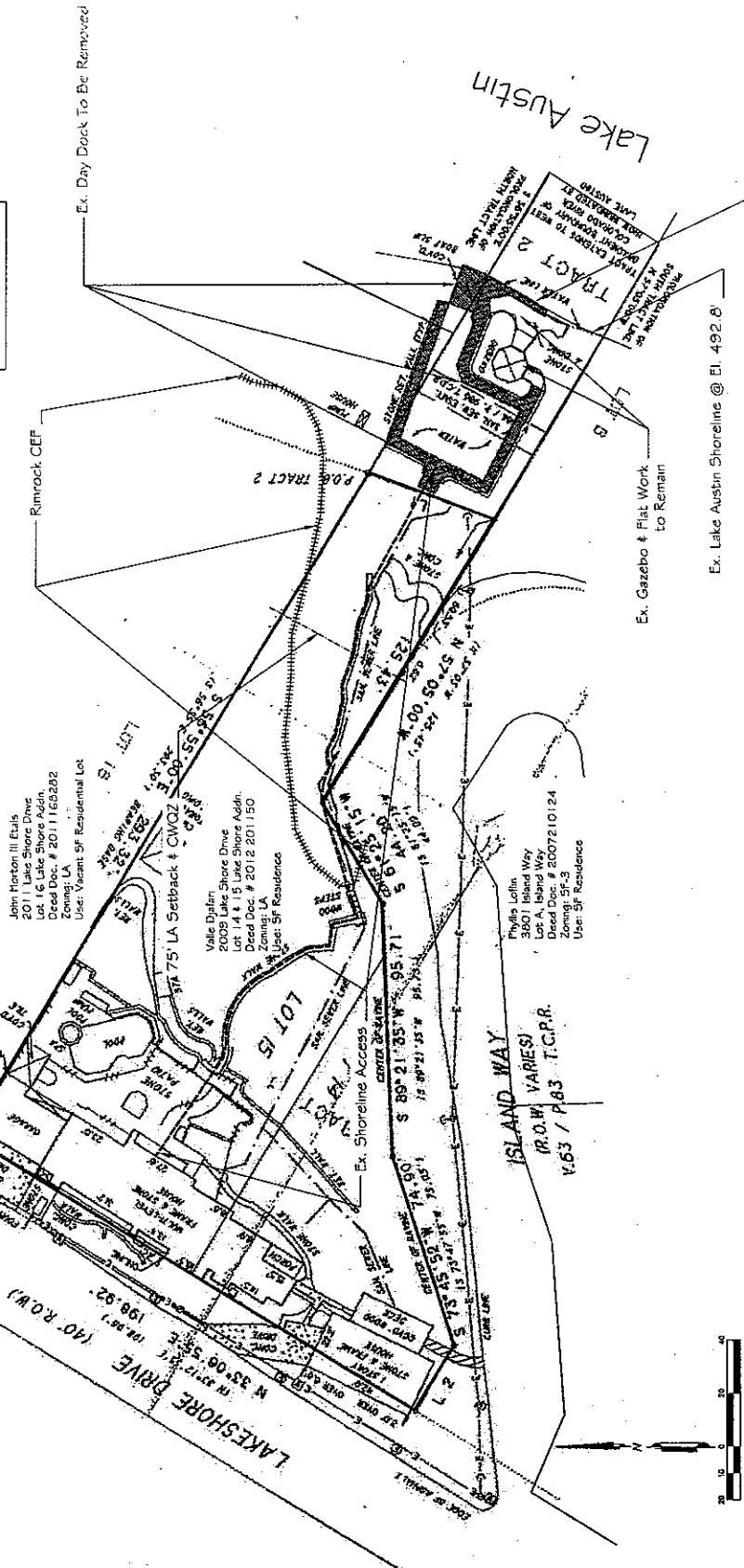
Valla Djafari
2009 Lakeshore Drive
Austin, TX 78746

2009 Lake Shore Drive



TABLE

S 31°31'41" W	50.04'
N 88°55'00" W	24.50'
N 88°55'00" W	24.50'
S 31°31'41" W	50.04'



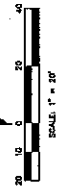
Existing Conditions

FEMA & COA Fully Developed
100-Year Flood Plain
Approx. Elev. 492.9'

Ex. Lake Austin Shoreline @ El. 492.8'

Ex. Gazebo & Flat Work
To Remain

Ex. Day Dock To Be Removed



AUPPERLE COMPANY
Engineering, Planning & Development Services
10008 Clearwater Drive, Austin, Texas 78735 512.929.8241

2009 Lake Shore Drive
EXISTING CONDITIONS &
DEMOLITION PLAN

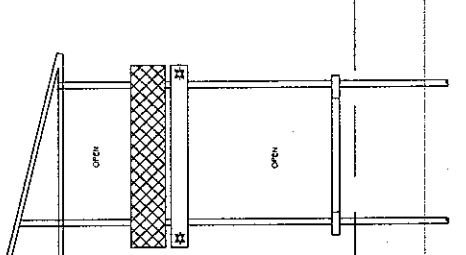
DESIGNED BY	
APPROVED	
DATE: 11/10/2014	
SHEET	2

512-201-3-04040

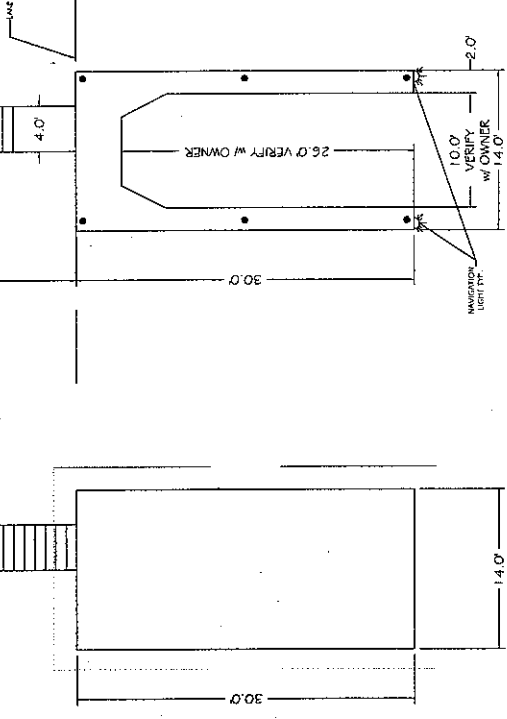
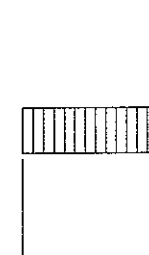
2009 Lake Shore Drive

- NOTES:**
1. A DOCK MUST BE CONTINUOUSLY LIGHTED WITH A MINIMUM HEIGHT BETWEEN SUBJECT AND INTERSECTING DRIVE.
 2. THE DOCK SHALL BE AT LEAST TWO (2) FEET ABOVE THE LOWEST FINISHED GRADE IN VICINITY OF THE DOCK AND SHALL BE VISIBLE TO A PROBABLY APPROACHING WATERCRAFT.
 3. NAVIGATION LIGHTS SHALL BE LOCATED AT THE CORNERS OF THE DOCK AND SHALL BE VISIBLE TO THE DOCK FROM ALL DIRECTIONS. THIS DOES NOT MEAN THAT LIGHTS SHALL BE LOCATED AT THE CORNERS OF THE DOCK FROM ALL DIRECTIONS. THIS DOES NOT MEAN THAT LIGHTS SHALL BE LOCATED AT THE CORNERS OF THE DOCK FROM ALL DIRECTIONS. THIS DOES NOT MEAN THAT LIGHTS SHALL BE LOCATED AT THE CORNERS OF THE DOCK FROM ALL DIRECTIONS. THIS DOES NOT MEAN THAT LIGHTS SHALL BE LOCATED AT THE CORNERS OF THE DOCK FROM ALL DIRECTIONS. THIS DOES NOT MEAN THAT LIGHTS SHALL BE LOCATED AT THE CORNERS OF THE DOCK FROM ALL DIRECTIONS. THIS DOES NOT MEAN THAT LIGHTS SHALL BE LOCATED AT THE CORNERS OF THE DOCK FROM ALL DIRECTIONS.
 4. NO MATERIALS OR EQUIPMENT MAY BE DELIVERED TO THE SITE FROM THE LANDWARD SIDE OF THIS DOCK.
 5. NO PORTABLE WINDMILLS ARE ALLOWED WITH THIS SITE.
 6. NO TRAILS GREATER THAN 6" IN DIAMETER WILL BE IMPACTED BY THE PROPOSED DOCK CONSTRUCTION.
 7. CONSTRUCTION MATERIALS, INCLUDING STAIRS, SHALL BE STORED OFF-SITE OR AT THE PROPERTY OWNER'S RISK. OTHER PRECAUTIONS MAY NOT BE REQUIRED ON DOCKS BORDERING LAKE AUSTIN.
 8. THE PROPOSED DOCK SHALL COMPLY WITH ALL REQUIREMENTS OF USC 25-2-1.174 BUILDING CODE AND THE BUILDING CODES MANUAL WITH CHAPTER 25.212, ARTICLE 1. THROUGH 3.0.
 9. THE PROPOSED DOCK SHALL BE ACCESSIBLE TO THE PRINCIPAL SINGLE-FAMILY RESIDENCE AT 2009 LAKE SHORE DRIVE.
 10. FOR LAZING OR BATHING PURPOSES AND FOR THE STORAGE OF BOATS AND EQUIPMENT, THE DOCK SHALL BE CONSTRUCTED WITH THE FOLLOWING FEATURES:
 - 1.1. FENCING IS NOT REQUIRED WITH THIS DEVELOPMENT.
 - 1.2. WATER OR WASTEWATER LITTER IS NOT PERMITTED WITH THIS DEVELOPMENT.
 - 1.3. NO TIE-UP PROPOSED WITH THIS DEVELOPMENT.

ELEVATION FROM DOWNSTREAM
1" = 5'

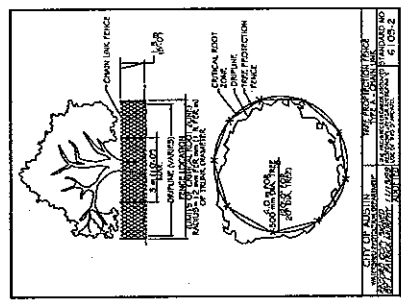


ELEVATION FROM LAKE
1" = 5'



DOCK LOWER DECK PLAN
1" = 5'

DOCK UPPER DECK PLAN
1" = 5'



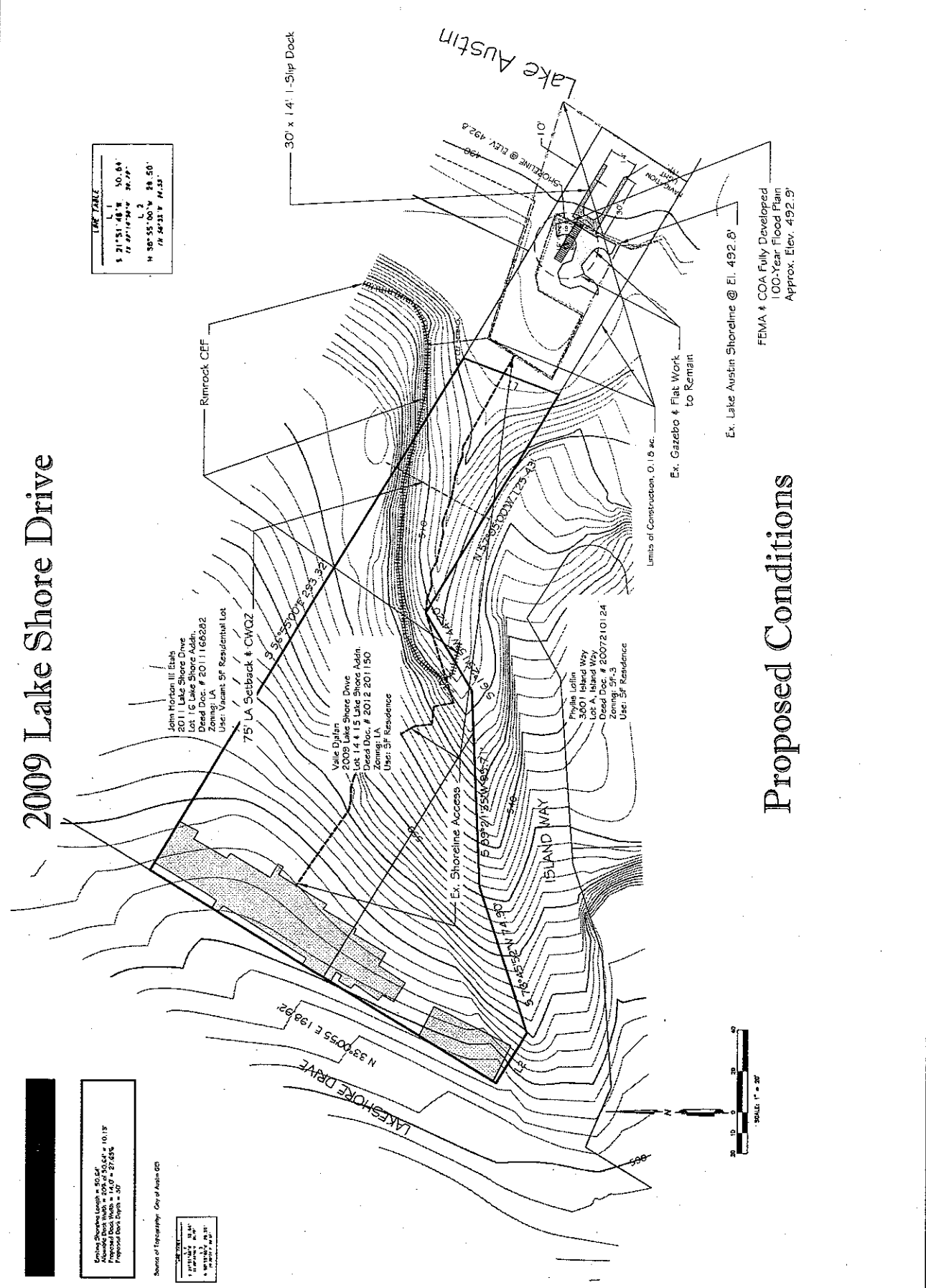
2009 Lake Shore Drive

Existing Shoreline Length = 50.64'
 Proposed Shoreline Length = 50.64' + 10.13' = 60.77'
 Proposed Dock Width = 24.0' - 27.65%
 Proposed Dock Depth = 30'

Source of Topography: City of Austin GED

DATE: 11/11/11
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]

LIMIT TABLE	
L 1	50.64'
L 2	10.13'
L 3	24.00'
H 1	50.64'
H 2	10.13'
H 3	24.00'



Ex. Lake Austin Shoreline @ El. 492.8'
 FEMA # COA Fully Developed
 100-Year Flood Plain
 Approx. Elev. 492.9'

Proposed Conditions



2009 Lake Shore Drive
 SITE PLAN

APPERLE COMPANY
 Engineering, Planning & Development Services
 10889 Cheltenham Drive, Austin, Texas 78733 512.229.8241



DATE: 11/11/11	SCALE: 1" = 20'
DRAWN BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	DATE: 11/11/11
PROJECT NO: 2011-0014	SHEET NO: 4

SP 2011-0014-04