



# Application for Certificate of Appropriateness for a City Landmark or Local Historic District

Adopted December 2012

Permit Information	
For Office Use Only	BP- _____ PR- _____ C14H/LHD - _____ Property Name or LHD: _____ Contributing/Non-contributing <input type="checkbox"/> RELEASE PERMIT <input type="checkbox"/> DO NOT RELEASE PERMIT <input type="checkbox"/> HLC REVIEW _____ FEE PAID: \$ _____ _____ HISTORIC PRESERVATION OFFICE _____ DATE: _____
Property Information	
Address: 117 N. 4th Street, Suite 300	
Scope of Work	
See attached sheet with identified scope of work	
Applicant	
Name: RA Sushi Restaurant Contact: Loretta Reeves	
Address: 1889 Manzana Avenue	
City/Zip: Punta Gorda, FL 33950	
Phone: 865-300-6877	
Email: lorettar@ldreeves.com	
Owner	
Name: World Class Capital Group, LLC	
Address: 401 Congress Avenue, 33rd Floor	
City/Zip: Austin, TX 78701	
Phone: 512-327-3300	
Email: wccg@wccapitalgroup.com	
Architect or Contractor Information	
Company: Innovation & Design in Architecture Attn: Geoff Lim	
Address: 218 The Promenade N.	
City/Zip: Long Beach, CA 90802	
Phone: 562-206-7720	

Owner's Signature

Date

Applicant's Signature

Date

10/23/14

Proposed Scope of Exterior Work  
For  
117 W. 4<sup>th</sup> Street, Suite 300  
Austin, TX  
(10/23/14)

- Install a metal roof deck over the existing metal canopy framing;
- Extend canopy to middle of the patio with like material to match existing;
- Clad the upper stairwell enclosure with metal paneling (Metal panels have a natural 'rust' look);
- Replace storefront with operable units (Storefront spec similar to Nana wall with insulated glass);
- Add patio tables and seating including pass-thru bar seating with operable window on storefront;
- Add umbrellas with integral lights and electric heaters;
- Add a prefab firepit;
- Install RA Sushi signature red globe light pendants; and
- Install exterior signage: main sign at canopy, blade sign, and small wall sign at ground level entrance.



## Planning and Development Review Department

P.O. Box 1088, Austin, Texas 78767

One Texas Center, 505 Barton Springs Road

Telephone: (512) 974-6370 Fax: (512) 974-2423

### Site Development Exemption Request

2012-0898

Site Address: 117 West 4th St.  
Project Name: 117 West 4th St.  
Legal Description: Outlot 29, Division E Block 29 Lots 7 & 8  
Zoning: CBD-H Watershed: \_\_\_\_\_ Flood Plain? ☐ Yes ☒ No  
Existing Land Use(s): Restaurant  
Proposed Land Use(s): Restaurant  
Brief /General Description of the Development being sought:  
New Roof Deck

Attach a detailed description of the proposed development in a memorandum or letter and a site plat or survey plan that graphically indicates, but is not limited to,:

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> existing trees   | <input checked="" type="checkbox"/> limits of construction                           |
| <input checked="" type="checkbox"/> buildings  | <input checked="" type="checkbox"/> type of construction                             |
| <input checked="" type="checkbox"/> parking areas  | <input checked="" type="checkbox"/> location of construction                         |
| <input checked="" type="checkbox"/> roadways/streets   | <input checked="" type="checkbox"/> accessible parking                               |
| <input checked="" type="checkbox"/> all areas of impervious cover levels (existing & proposed) | <input checked="" type="checkbox"/> access route                                     |
| <input checked="" type="checkbox"/> erosion controls (i.e.: silt fencing, tree protection)     | <input checked="" type="checkbox"/> on-site sewage (septic) systems and drain fields |

I, Carolyn Apperle, do hereby certify that I am the  
(PRINT NAME)

☐ owner ☒ owner's agent (to act as the owner's agent, written authorization from the owner must be provided) of this described property, and in this capacity, submit this request for exemption from the site plan submittal requirements pursuant to Chapter 25-5-2 of the Austin City Code.

Furthermore, I certify and acknowledge that:

1. Although the proposed development does not require a formal site plan approval, it may require, prior to beginning any site work, the approval of the subdivision or issuance of a building, remodel, and/or demolition permit;
2. Although the proposed development complies with all applicable zoning regulations, it does not prohibit enforcement of restrictive covenants and/or deed restrictions;
3. The approval of this exemption request does not constitute authorization to violate any provisions of the Austin City Code or other applicable requirements, which includes the use or occupancy of the improvement.
4. The approval notice with paid receipt shall be clearly posted on-site and protected from the elements at all times.

Signature of Requester: [Signature] Date: 6/12/12  
Address: 10088 Circleview Dr. Austin, TX 78733  
Telephone: 329-8241

Please indicate how you wish to receive a copy of the results of the review:

☐ FAX: \_\_\_\_\_ ☒ E-mail Address: Please provide e-mail address on other side of form

# Departmental Use Only

Project Name: <b>WASH 17 W 4th</b>		Case Number: <b>DP-2012-0898</b>		Applicant Name: <b>Carolyn Appelle</b>	
<input checked="" type="checkbox"/> If Required	Reviewer	Date	Comments		
<input type="checkbox"/> Site Plan		<b>6-19-12</b>	<input type="checkbox"/> SPOC*		
<b>Aan</b>					
<input type="checkbox"/> Transport		<b>6-19-12</b>	<input type="checkbox"/> SPOC*		
<b>Aan</b>					
<input type="checkbox"/> Drainage		<b>6.13.12</b>	<input type="checkbox"/> SPOC*		
<b>Kelly</b> - PLEASE PROVIDE VERIFICATION OF LICENSE AGREEMENT SUBMITTAL					
<input type="checkbox"/> Environ		<b>6.26.12</b>	<input type="checkbox"/> SPOC*		
<b>Zo Jell</b>					
<input checked="" type="checkbox"/> AFD	<b>Re</b>	<b>6/13</b>			
<b>APPROVED</b>					
<input checked="" type="checkbox"/> AWU	<b>MDL</b>	<b>6-13-12</b>			
<b>N/A</b>					
<input checked="" type="checkbox"/> Plumbing	<b>MDL</b>	<b>6-13-12</b>			
<b>N/A</b>					
<input checked="" type="checkbox"/> AE		<b>6-13-12</b>			
<b>N/A</b>					

• SPOC – Single Point of Contact

<input checked="" type="checkbox"/> Approved	<input type="checkbox"/> Denied	<input type="checkbox"/> Determined to be a <input type="radio"/> Revision <input type="radio"/> New Project
--	---------------------------------	--

Building permit required? ☒ Yes ☐ No ☐ N/A  
 Smart Housing Project? ☐ Yes ☒ No  
 Qualifies for exemption per Section 25-5-2(\_\_\_\_)

**Check all that apply:**

☐ Review Fee(s) Not Required  
☐ Site Plan Correction **Exemption** Review Fee  
☐ Change of Use Review Fee  
☐ Phasing Review: \_\_\_\_\_ phases  
☐ Landscape Inspection: \_\_\_\_\_ acres  
☐ Shared Parking Review



**APPROVED BY**  
**HISTORIC LANDMARK COMMISSION**  
DATE: 3-26-12  
BY: Steve Sedovsky  
for HLC Chair

Improvements and Roof Addition to the  
Nelson Davis Warehouse  
117 W. 4th Street and Colorado Street



**Michael Hsu**  
**Office Of Architecture**

3423 Caudillgate Street, Suite 200  
Austin, Texas 78705  
(512) 766.4303

World Class Capital Group  
Nelson Davis Warehouse

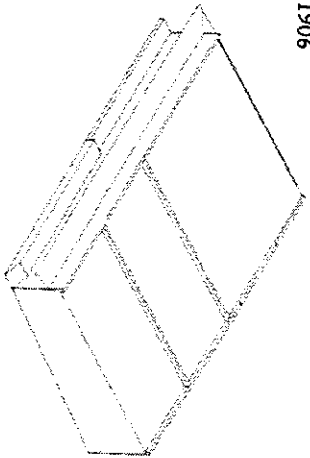
4th and Colorado  
Austin, Texas

2012 March 26

Cover Page

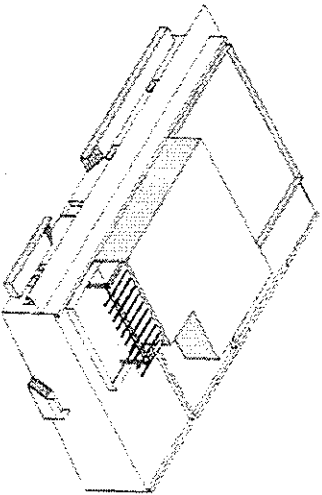


1906



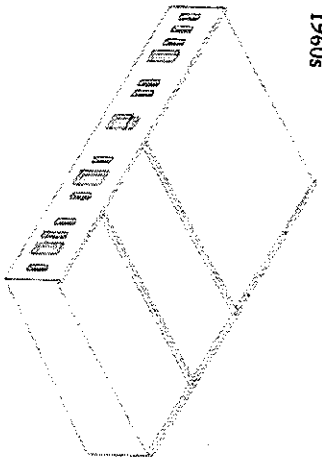
Nelson Davis Warehouse constructed 1905-1906.

2011 - Approved



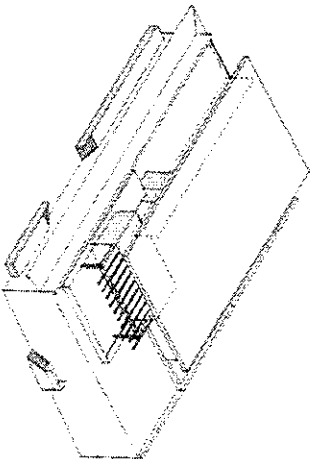
- Roofing Addition Approved by Historic Commission - July 2011
- Great Streets Sidewalk Improvements
- New Raised Docks
- Restoration of Brick
- Replace non-original windows with historic wood-sash profile
- Improved ADA accessible access throughout building

1960s



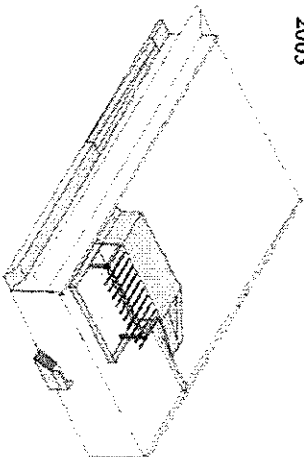
- Building Saved from Demolition
- Speight Warehouse Tenant Building
- Original windows were removed
- All windows were replaced with stopped leaded glass & hand board siding
- Openings infilled with non-matching brick & mortar

2012 - Proposed



- Development of previously approved design
- Great Streets Sidewalk Improvements
- New Raised Docks
- Restoration of Brick
- Replace all non-original windows with historic wood-sash profile
- Improved ADA accessible access throughout building
- New Roofing addition is setback 20' from face of building, 15' overhang setback

2005



- Roofing Addition Approved by Historic Commission
- Storefront modifications along 4th Street & Colorado Street
- Front Dock & Ramp Renovated
- Fire Sprinkler System added
- Electrical Vault added

**APPROVED BY**

**HISTORIC LANDMARK COMMISSION**

DATE: 3-26-12

BY: Steve Kalousky

for HLC Chair

**Michael Hsu**  
**Office Of Architecture**

3423 Guadalupe Street, Suite 200  
Austin, Texas 78703  
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World Class Capital Group  
Nelson Davis Warehouse

4th and Colorado  
Austin, Texas

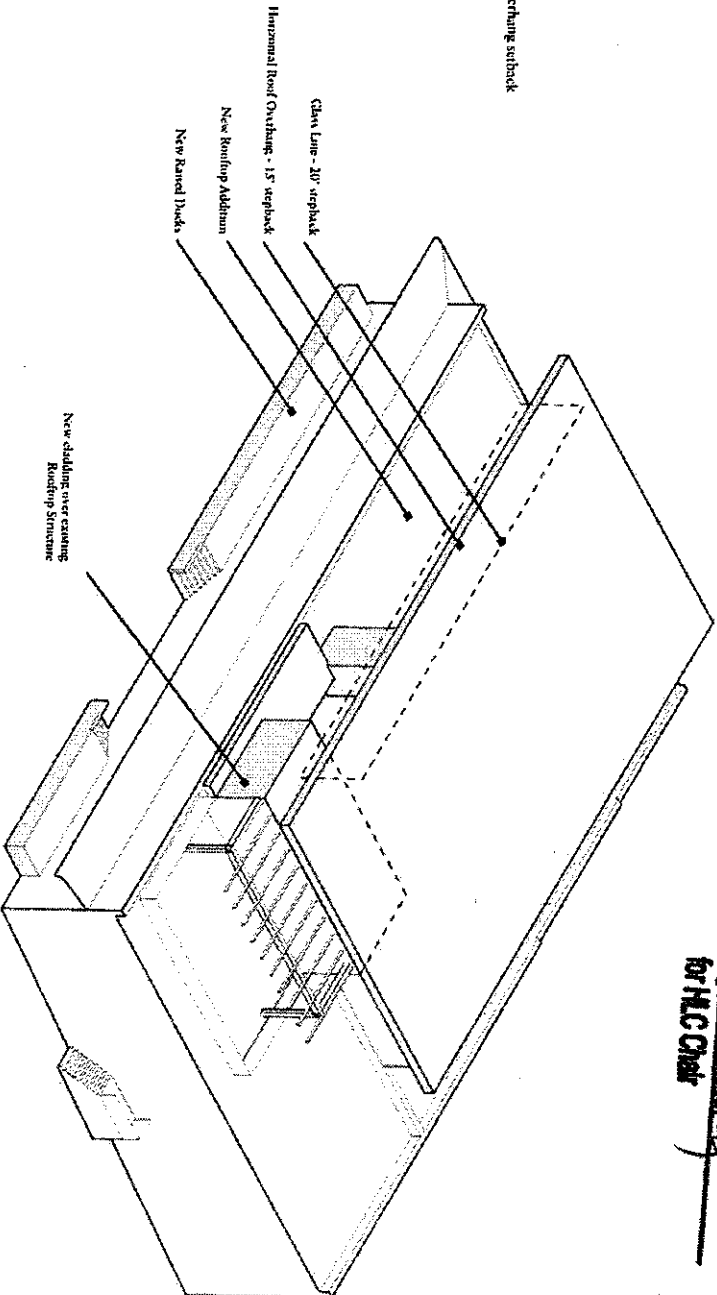
2012 March 26

Building Modification Library Image



## 2012 - Proposed Rooftop & Exterior Restorations

- Developments of previously approved designs
- Great Streets Sidewalk Improvements
- New Raised Docks
- Restoration of Brick
- Replace all non-original windows with historic wood-cash profile
- Improved ADA accessible access throughout building
- New Rooftop addition is setback 20' from face of building, 10' roof overhang setback



**APPROVED BY**  
**HISTORIC LANDMARK COMMISSION**  
DATE: 3-26-12  
BY: Steve K. Boudry  
for HLC Chair

Michael Hsu  
Office Of Architecture

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World Class Capital Group  
Nelson Davis Warehouse

4th and Colorado  
Austin, Texas

2012 March 26

2012 Renovation Description



# APPROVED BY

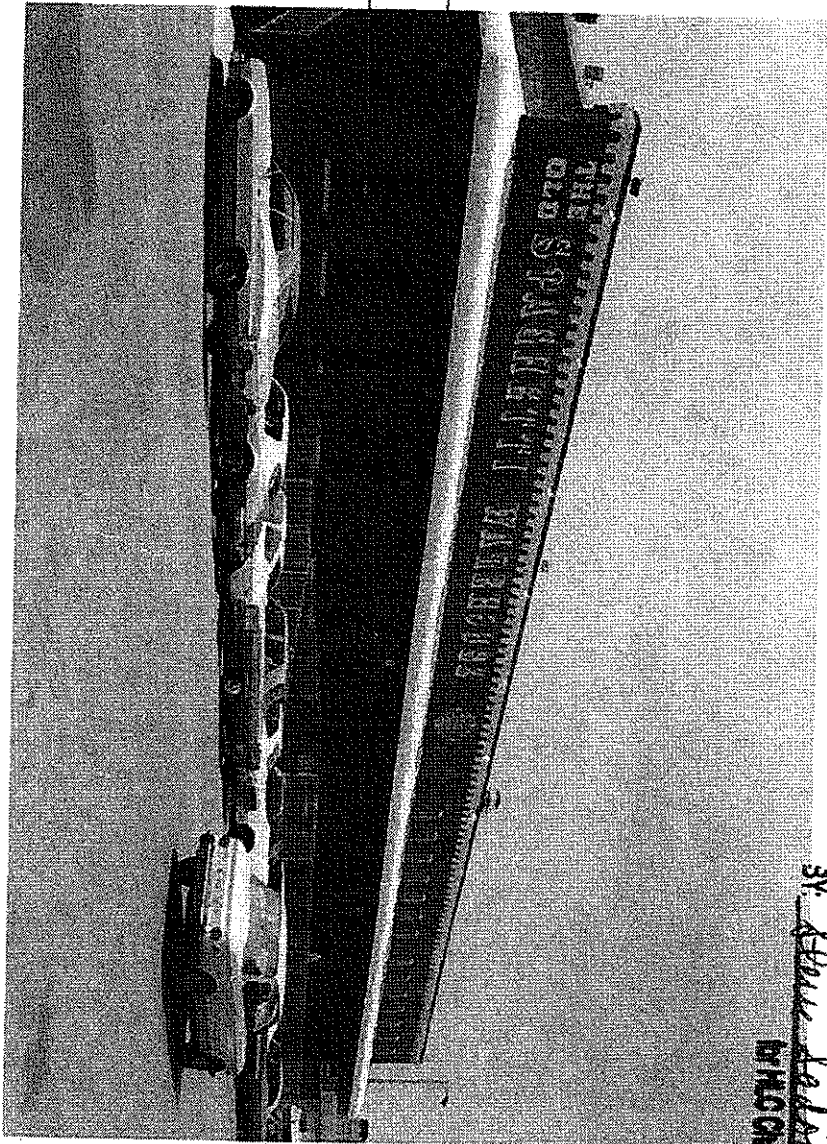
HISTORIC LANDMARK COMMISSION

DATE: 3-26-18

BY: Steve Labaree

CHIEF

Original accessory with end-  
bed and added with inter-  
matching front & monitor  
All Original Windows  
replaced with fixed framed  
plus 2x fixed board



Michael Hsu  
Office Of Architecture

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World Class Capital Group  
Nelson Davis Warehouse

4th and Colorado  
Austin, Texas

2012 March 26

Historic Photograph circa 1979

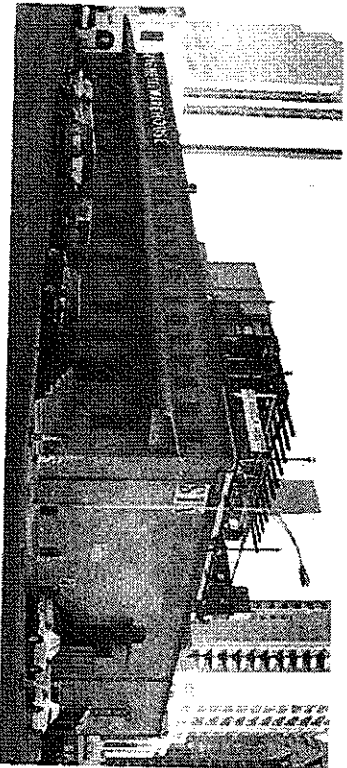
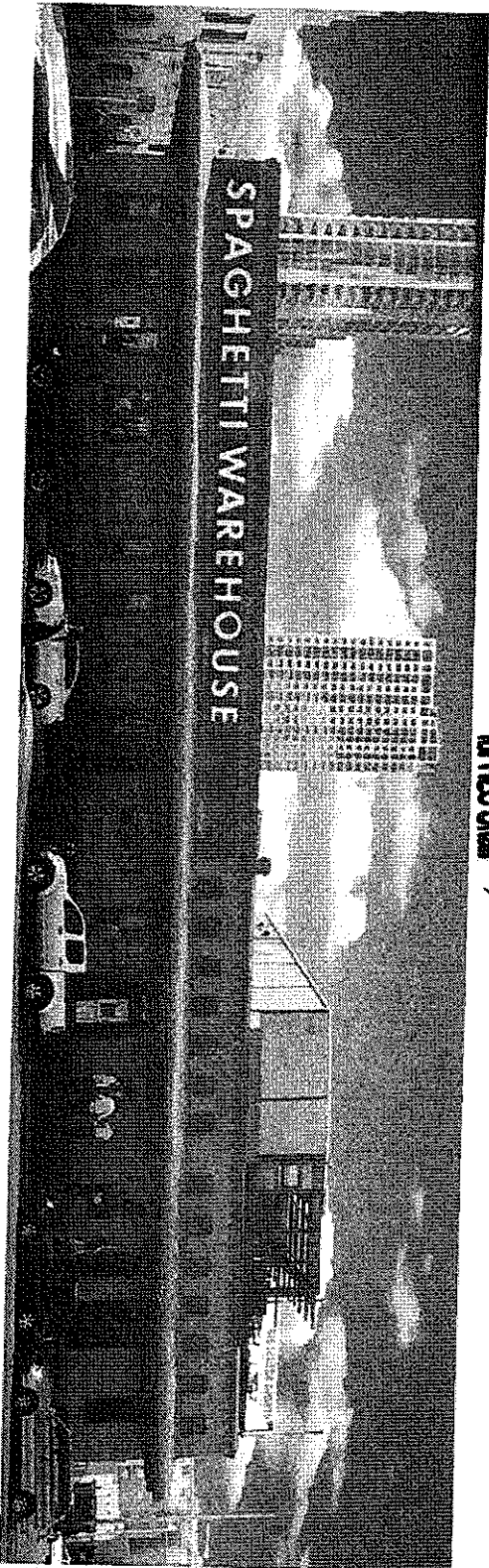


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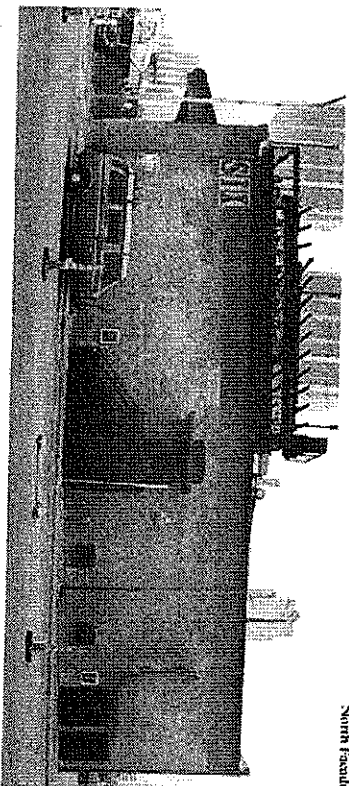
HISTORIC LANDMARK COMMISSION

DATE: 3-26-12

BY: Steve LaBuckley  
for HLC Chair



North West Corner



North Facade

West Facade

Michael Hsu  
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World Class Capital Group  
Nelson Davis Warehouse

4th and Colorado  
Austin, Texas

2012 March 26

Current Photos of Landmark



# APPROVED BY

HISTORIC LANDMARK COMMISSION

DATE: 3-26-12

BY: Steve Kadousky  
for HLC Chair

Approved Design - 2011 July

Rooftop Deck  
Extended to Exterior Wall

Shade Structure

Approved Rooftop Addition  
Wall of addition aligns with existing rooftop

Existing Rooftop Structure



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(512) 706-4313

World Class Capital Group  
Nelson Davis Warehouse

4th and Colorado  
Austin, Texas

2012 March 26

Approved Design - 2011 July 25  
Historic Commission

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# APPROVED BY

## HISTORIC LANDMARK COMMISSION

DATE: 3-26-12

BY: Steve Adair  
for HLC Chair

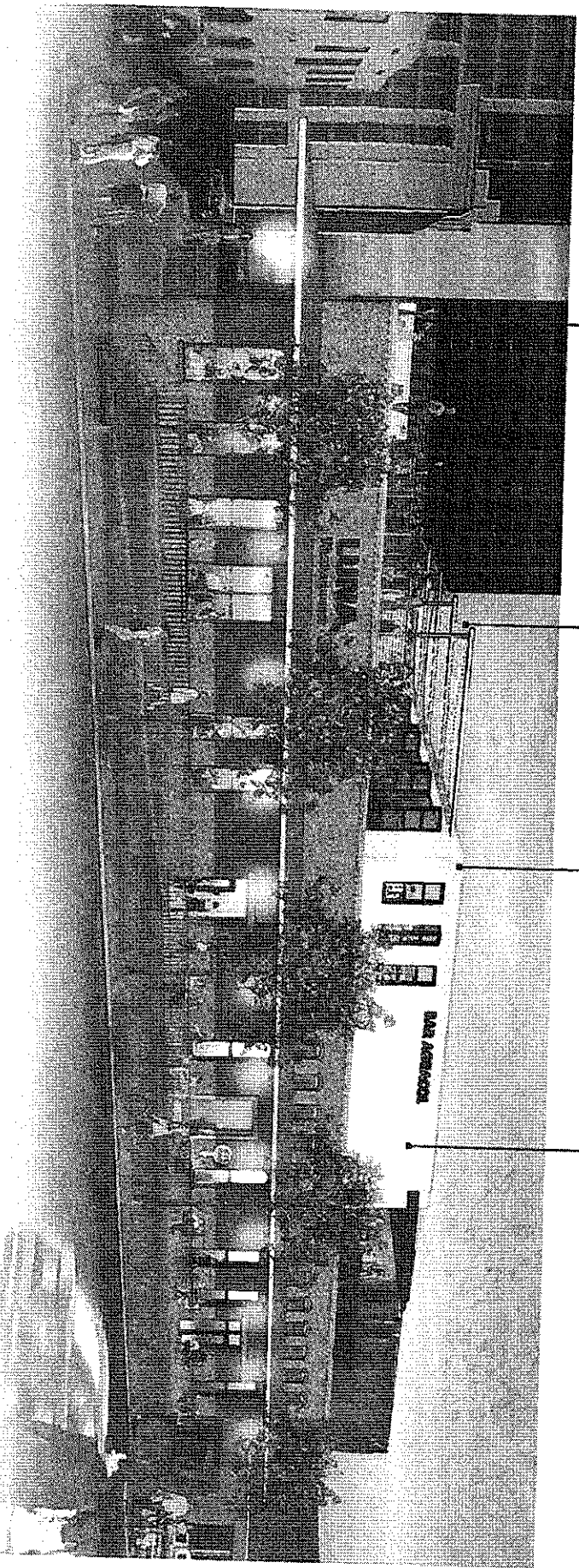
Approved Design - 2011 August

Roofing Deck  
Extended to Existing Wall

Shade Structure

Approved Roofing Addition  
Wall of addition aligns with existing rooftop

New Tinaco finish to extend over  
Existing Rooftop Structure



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2012 March 26

Approved Design - 2011 August 22  
Historic Commission



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## HISTORIC LANDMARK COMMISSION

DATE: 3-26-12

BY: Steve Radewitz

for HLC Chair

Proposed Design - 2012 March

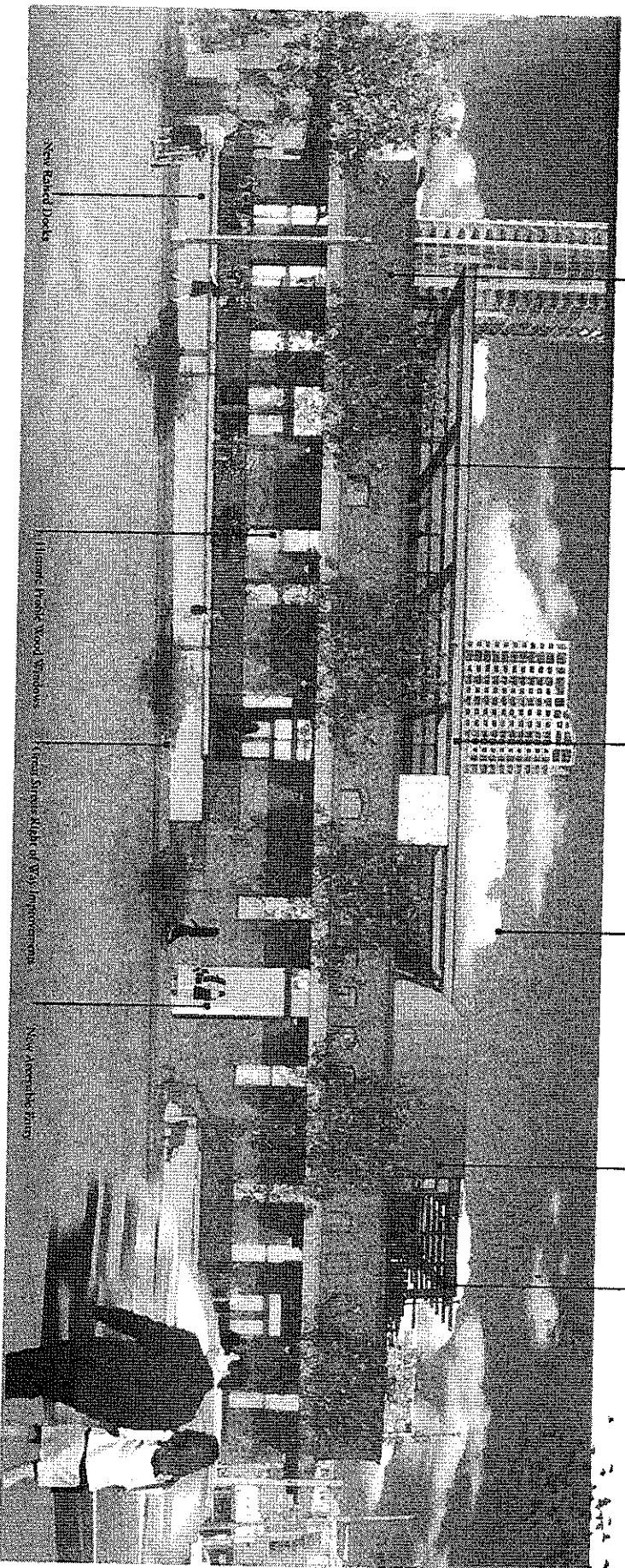
Proposed roof deck is below  
Existing Parapet

New Rooftop Addition & Glass,  
20' setback from face of Historic Building

New Horizontal Roof Overhang  
15' setback from face of Historic Building

Figure 20 - 30 Story High Rise

Reclad Existing Rooftop Structure  
Existing Rooftop Structure to remain



New Glass Docks

Historic Prairie Wood Windows

Reclad Existing Glass of Existing Structure

New Accessible Entry

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Current Proposed Design  
Historic Commission

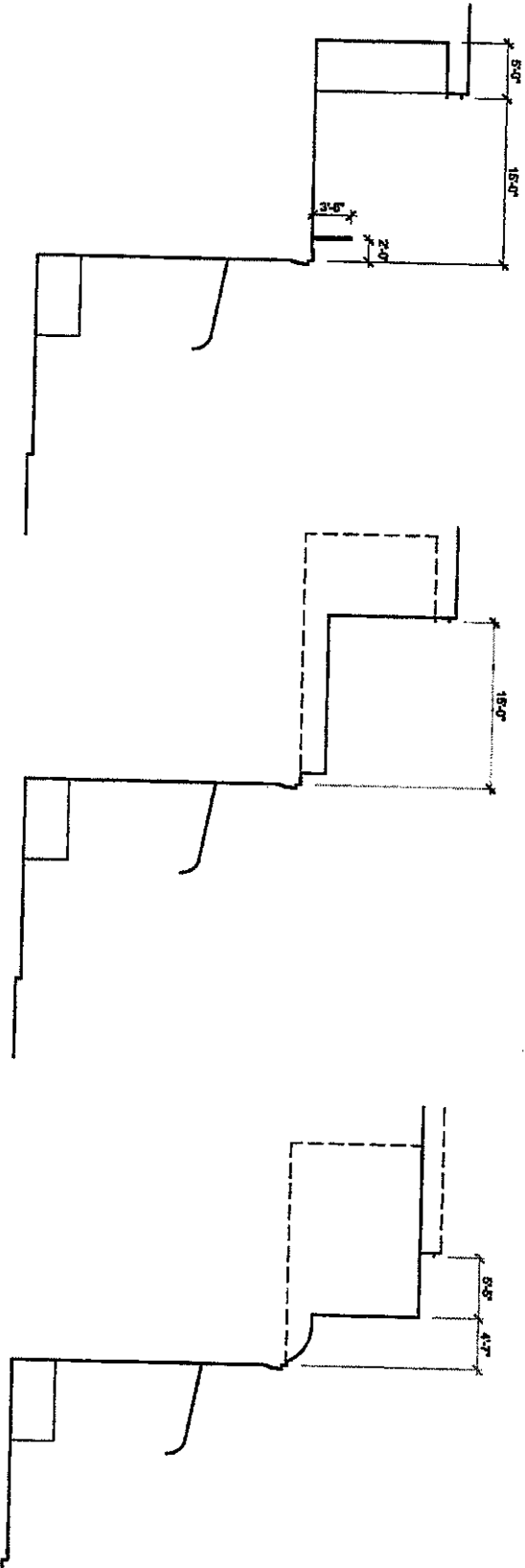
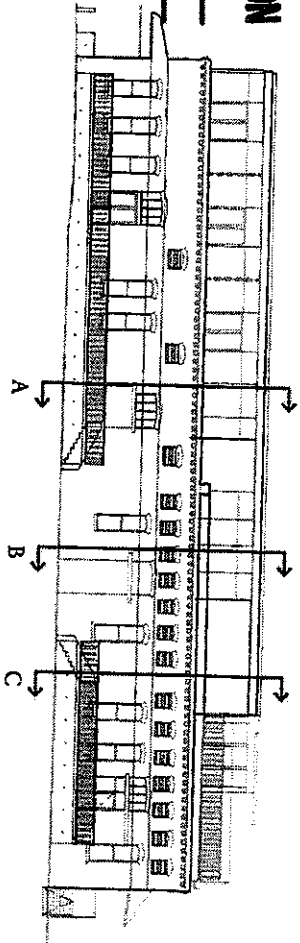


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BY: Steve Kadowky  
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Internal Building Sections Along 4th Street



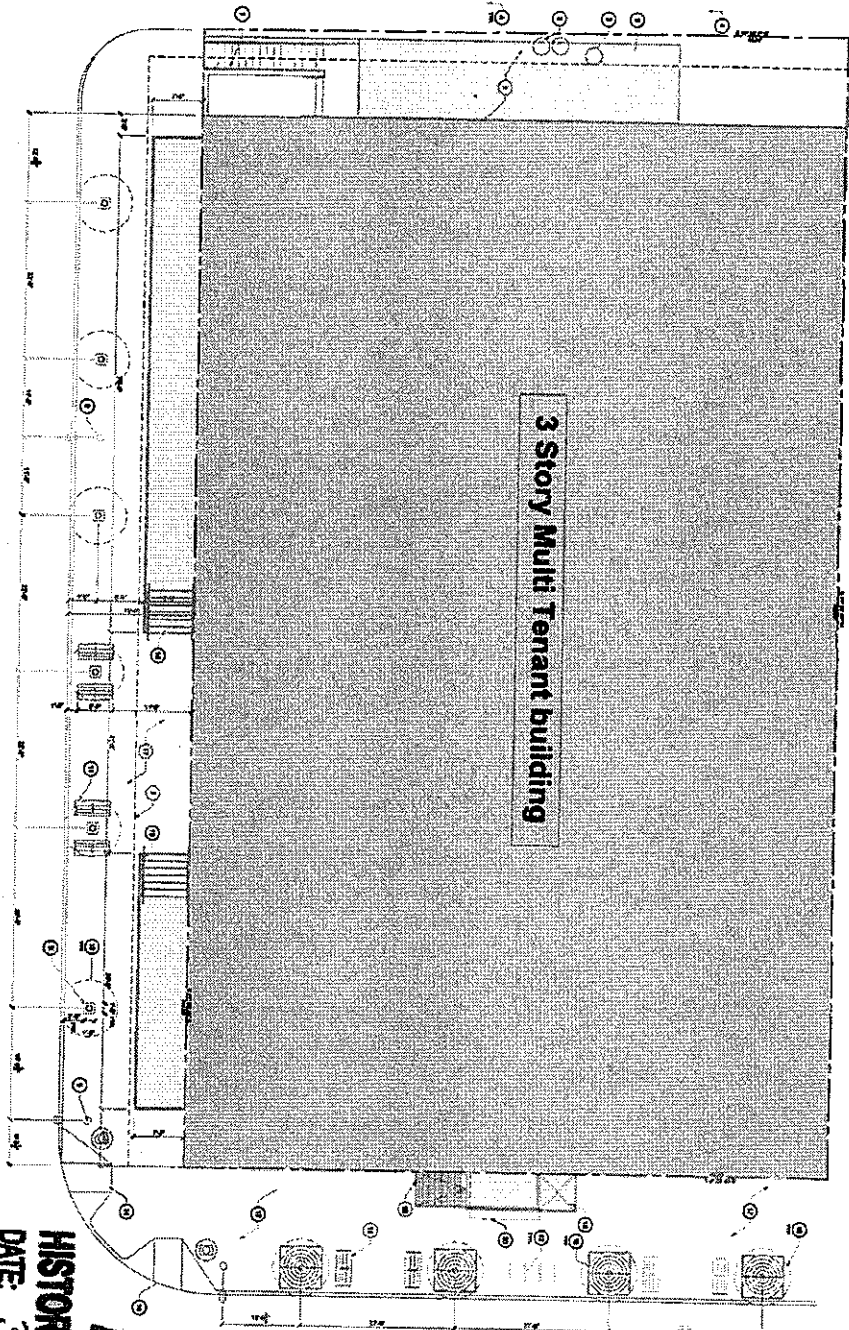
Alley Way

3 Story Multi Tenant building

West 4th Street

Colorado Street

- Keynotes
1. Existing Power pole.
  2. Existing Egress stair and landing.
  3. Existing utilities to be relocated.
  4. Existing Man hole cover.
  5. New electrical vault, shown dashed.
  6. Adjacent building.
  7. Existing awning above, shown dashed.
  8. Paver grate.
  9. Light pole.
  10. Street furniture.
  11. Stairs and dock.
  12. Existing utility.
  13. Bike rack.
  14. ADA curb ramp.
  15. Existing stair and landing to room.
  16. Chair lift.
  17. Sidewalk expansion per local streets program.
  18. Fire Crane.
  19. Street tree.
  20. Existing Awning to remain.
  21. Gas.
  22. New metal guardrail.
  23. New raised dock.
  24. Outdoor cafe seating.



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BY: Donna Selinsky

for HLC Chair

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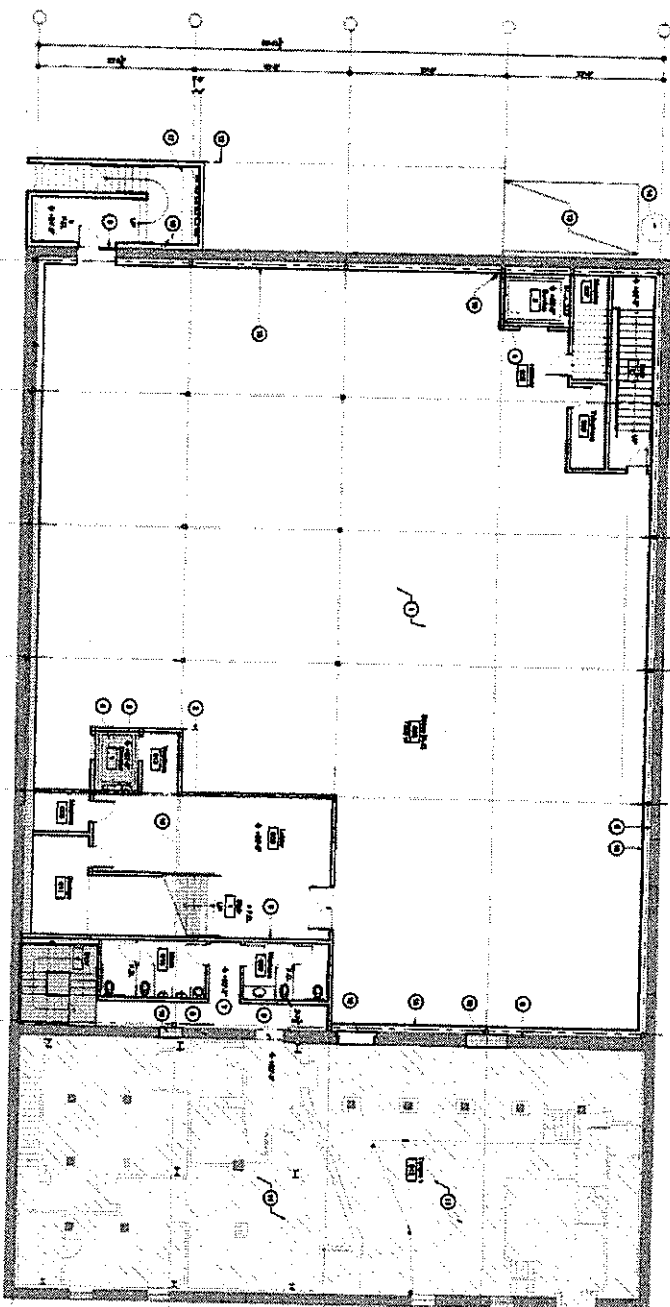
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Austin, Texas

2012 March 26

Proposed Site Plan

3423



# Keynotes

1. New basement floor slab.
2. Plumbing chase above.
3. Steel and concrete entry stair.
4. Elevator shaft pit.
5. Existing masonry wall to be protected.
6. Existing slab on grade to remain.
7. New concrete for existing room.
8. New opening & steel lined in masonry wall.
9. Masonry wall to be filled with brick to match.
10. Existing lease space to remain, N.Y.C.
11. Electric trap.
12. Grinder pump.
13. Concrete retaining wall system.
14. Opening to floor above, shown dashed.
15. Gas meter wall.
16. Fire sprinkler vertical riser.
17. Water hydrant, painted per schedule.
- 18.
- 19.

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BY: Steve Sabatini

for HLC Chair

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Proposed First Floor Plan



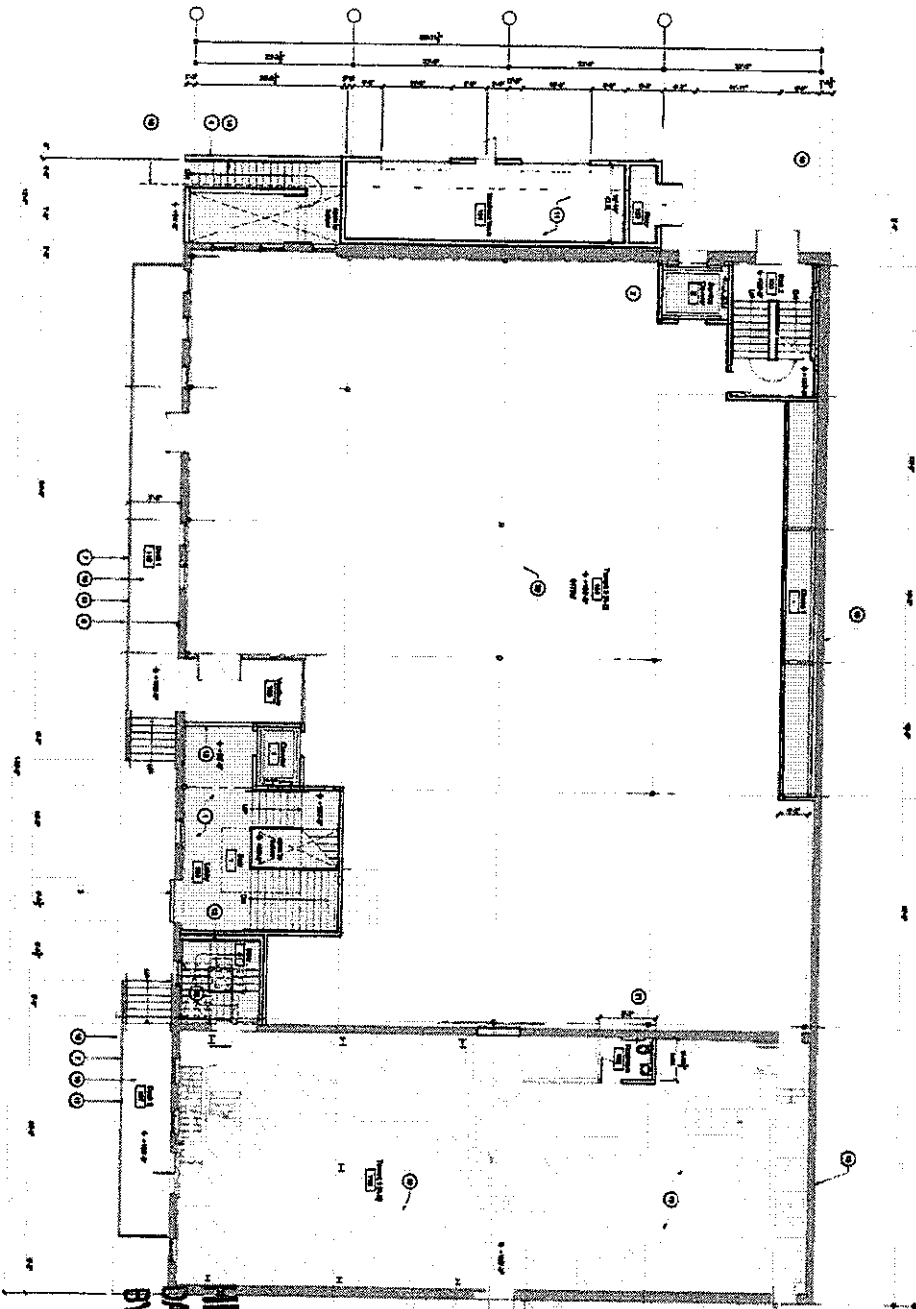
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#### Revisions

1. Street level lobby.
2. Fire sprinkler vertical riser.
3. Launch drums.
4. Cast in place concrete retaining wall.
5. Egress door.
6. Water hyacinth, paint per schedule.
7. Painted steel guardrail.
8. Joints of brick to be in filled to match existing.
9. New exterior egress stair.
10. Existing awning frame with new metal skin above, show doublet, TYP.
11. New electrical vault.
12. Remove existing steel column.
13. Partial height wall.
14. Concrete entry stair down to basement.
15. Concrete entry stair up to ground floor.
16. Raised deck.
17. Painted steel guardrail.
18. Existing openings along South facade to be in filled with brick to match adjacent condition.
19. Existing lease space N.L.C.
20. Concrete topping slab over metal deck.
21. Restrooms for existing tenant.
22. Chair lift.
23. Skylight above.
24. 3-hour fire rated, Cast-in-place concrete wall.

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for HLC Chair

Proposed Second Floor Plan



Michael Hsu  
Office Of Architecture

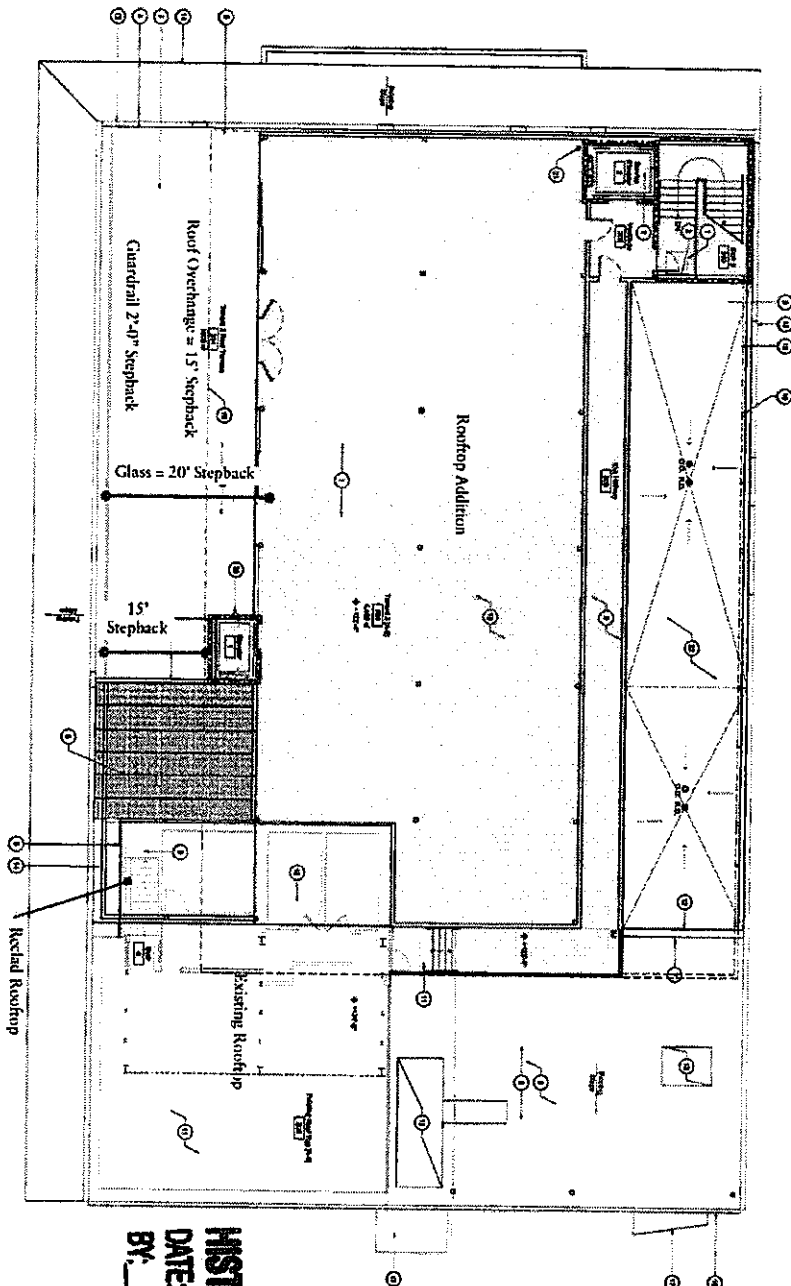
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2012 March 26

Proposed Roof Deck Plan



#### Keynotes

1. Roof access hatch above.
2. Roof access ladder.
3. Skylight per schedule.
4. Guardrail.
5. Re-clad existing rooftop enclosure.
6. New shade structure / roof overhang above.
7. New wind roof deck on adjustable pedestals.
8. Connected roof drain under deck.
9. Roof top equipment area.
10. Existing roof top structure to remain.
11. Existing roof deck to remain.
12. Existing equipment wall below.
13. Reclad mechanical equipment.
14. New steel metal roofing awning.
15. Concrete slab over metal deck, per structural.
16. New sheet metal gutter & downspouts.
17. Awning to remain.
18. Mechanical equipment screen.
19. Painted steel mechanical screen support.
20. Water hydrant, paint per schedule.
21. Vertical fire riser.

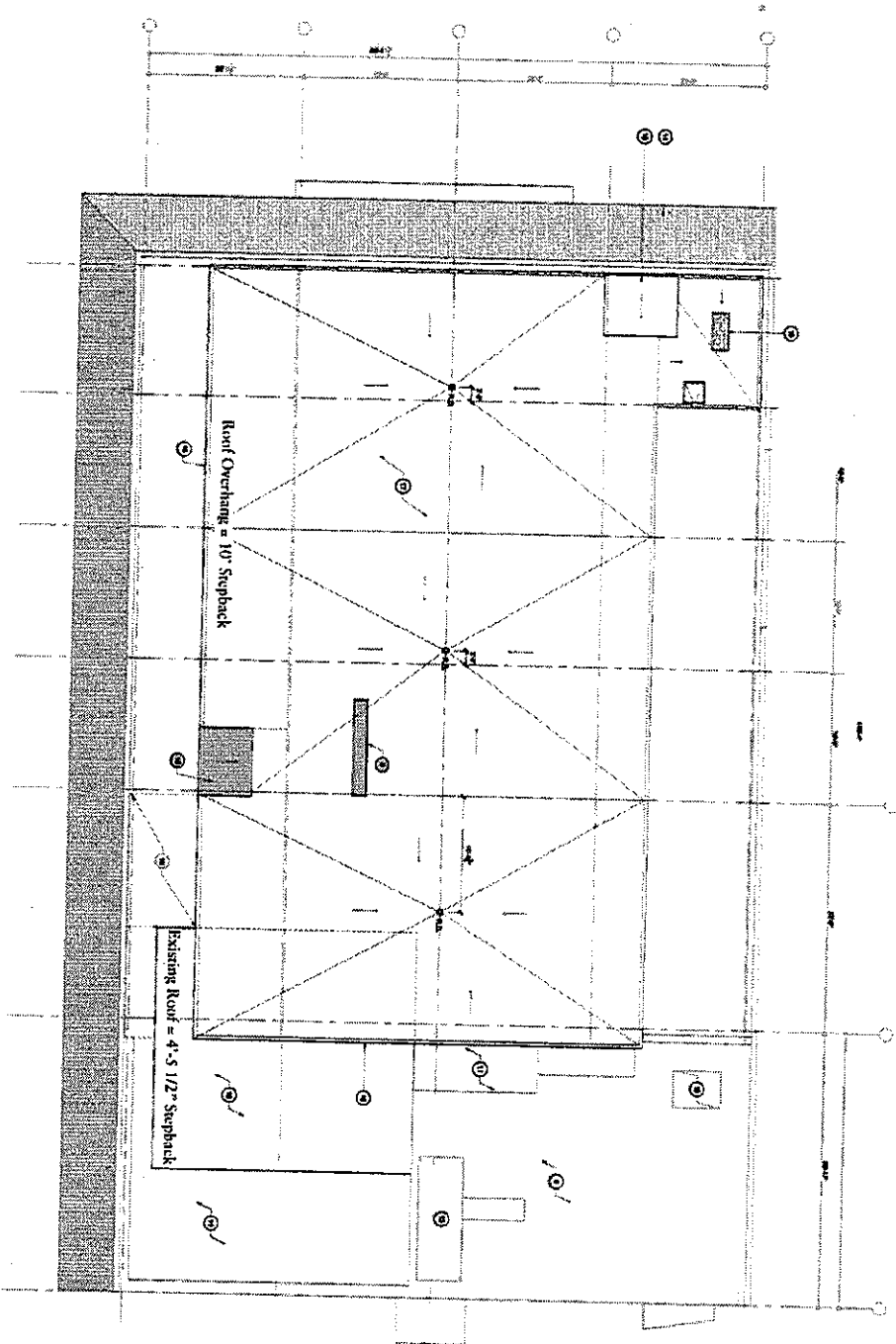
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**HISTORIC LANDMARK COMMISSION**

DATE: 3-26-12

BY: Steve Radomsky

for HLC Chair



1. New walk.
2. New gress start.
3. Loose, refer to schedule.
4. Elevation.
5. Windows, refer to schedule.
6. New shingle structure.
7. Remove roof deck and base.
8. Perforated sheet metal over pipe strand.
9. New roof equipment area.
10. Existing roof top shingle structure to remain.
11. Existing roof deck to remain.
12. Existing chimney wall below.
13. Existing mechanical equipment.
14. New corrugated sheet metal roofing.
15. Elevation over "phosphate".
16. Mechanical equipment area below.
17. New TPO roofing over R-15 insulation.
18. Steel over metal coping, uncutted seams.
19. New skylight.

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DATE: 3-26-12

Steve Anderson  
for HLC Chair

2012 March 26

### Proposed Roof Plan

## HD0.0



# ALLEY

92'-0"

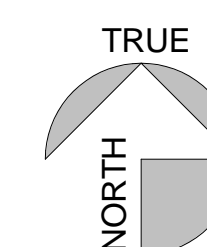
## EXISTING PARKING LOT

**160'-4"**

# RA SUSHI

92'-0"

# COLORADO STREET



1 SITE PLAN  
1/8" = 1'-0"

**Design Consultant:**

Architects:

**GEOFFREY B. LIM**  
AIA, NCARB, LEED AP

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**Project Owner:**

## BENIHANA

Stamp:

**Issue For:**

HISTORIC DISTRICT REVIEW

**Issue Date:**

10.22.14

[illegible]

PRINCIPAL IN CHARGE:

PROJECT MANAGER:

DRAWN

KS

**Project Address:**

RA SUSHI AUSTIN

117 WEST 4TH ST SUITE No.  
300 AUSTIN, TX 78701

Project Number:

03-043-14

**Sheet Title:**

SITE PLAN

Sheet Number:

A0.1

THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF. HE SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INADEQUACIES OR DISCREPANCIES WITH THE CONDITIONS OF THE EXISTING OR PROPOSED CONDITIONS OR ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS.

2 SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION AND NOTIFY ARCHITECT BEFORE PROCEEDING. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM DEMOLITION ACTIVITIES.

3 CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING TO HAVE ACCEPTED SUCH CONDITIONS AND TO HAVE MADE ALLOWANCES THEREFORE IN PREPARING HIS BID.

4 PLANS SHOW GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE REMAINING CONTRACT DOCUMENTS, INCLUDING THE PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS. WORK INCLUDES REMOVAL AND LEGAL DISPOSAL OF ALL EXISTING CONSTRUCTION ITEMS THAT ARE NOT UTILIZED IN THE FINISHED PROJECT. REMOVE ALL ITEMS SPECIFICALLY INDICATED IN THE DRAWINGS AND ITEMS WHICH ARE NECESSARY TO BE REMOVED IN ORDER TO FACILITATE THE FINISHED PROJECT.

5 FIELD VERIFY ALL DIMENSIONS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT. DO NOT SCALE DRAWINGS. DIMENSIONS OF EXISTING WALLS ARE TAKEN FROM OUTSIDE FACE OF EXISTING PARTITIONS OR SURFACE OF MASONRY UNLESS OTHERWISE INDICATED.

6 COMPLY WITH GOVERNING AEA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY.

EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, OR DETERMINED BY OWNER TO REMAIN THE OWNER'S PROPERTY, DEMOLISH MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM TO ENSURE MINIMAL INTERFERENCE WITH ROAD, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. REMOVE & TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.

8 STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED.

9 EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER. COORDINATE ALL WORK WITH THE LANDLORD/PROPERTY MANAGER TO VERIFY USE OF THE STORAGE ROOM, POWER, TEMPORARY STORAGE, SITE ACCESS, HOURS OF WORK ETC..

10 SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERING ELEMENTS WHICH AFFECT:

A. STRUCTURAL INTEGRITY OF ELEMENT

B. INTEGRITY OF WEATHER EXPOSED OR MOISTURE RESISTANT ELEMENTS.

11 PROVIDE TEMPORARY BRACING AND SHORING WITH CONNECTIONS OF SUFFICIENT STRENGTH TO BEAR IMPOSED LOADS, AND TO PROTECT ALL PERSONS AND PROPERTY, AND TO ENSURE PROPER ALIGNMENT. COMPLY WITH ALL STATE, O.S.H.A. AND LOCAL CODES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROVIDING ADEQUATE BRACINGS OF WALLS DURING DEMOLITION AND TO PROTECT TO PREVENT DAMAGE DUE TO HIGH PRESSURE OR OTHER LATENT SHAFTS AND COLD CURRENT IMPACTS. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR DAMAGE DUE TO HIS FAILURE TO TAKE SUCH PRECAUTIONS.

12 SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.

13 REMOVE & REINSTALL ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.

14 THE CONTRACTOR SHALL PROTECT ALL UNALTERED PORTIONS OF THE EXISTING CONDITIONS, AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURE OR UTILITIES BY OTHERS.

15 MAINTAIN EXISTING UTILITIES WHERE APPLICABLE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. VERIFY THAT SERVICE IS NOT DISCONNECTED IN OTHER TENANT SPACES DURING DEMOLITION.

16 PROVIDE TEMPORARY WEATHER PROTECTION, DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION, ON EXTERIOR SURFACES AND NEW CONSTRUCTION TO ENSURE THAT NO WATER DAMAGE OCCURS TO STRUCTURE, EXTERIOR, OR INTERIOR AREAS.

17 PROTECT WALLS, ROOF, SIDEWALKS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION.

18 GENERAL CONTRACTOR TO REVIEW CONDITION OF CONCRETE SLABS (INTERIOR & EXTERIOR) TO BE RE-USED WITH OWNER'S SELECTION. CONTRACTOR MANAGER AFTER DEMOLITION OF EXISTING WALLS, FLOORS, & CEILINGS IS COMPLETE. GENERAL CONTRACTOR TO REVIEW PATCH LOCATIONS & COLOR FOR: TRENCHING LOCATIONS FOR NEW PLUMBING; NON-COMPLIANT CODE CONDITIONS; AND SIGNIFICANT COSMETIC DEFECTS WITH OWNER'S CONSTRUCTION MANAGER.

19 ANY EXISTING FINISHED SURFACES TO REMAIN THAT ARE AFFECTED BY SELECTIVE DEMOLITION SHALL BE PATCHED TO MATCH EXISTING ADJACENT SURFACES UNLESS CONTRACTOR AND OWNER HAVE OBTAINED A QUALIFIED SPECIALIST CONTRACTOR TO VALIDATE, ABATE, WHERE NEW WORK ADJOINS EXISTING WORK, THE CONTRACTOR SHALL DO ALL NECESSARY CUTTING, PATCHING AND FITTING. JUNCTURES OF NEW AND EXISTING OR OTHER WORK SHALL BE REPAIRED AND PATCHED TO MATCH ADJACENT EXISTING SURFACES. EXISTING WALLS REQUIRING MODIFICATION OF ANY KIND SHALL BE REFINISHED TO THE NEAREST OUTSIDE OR INSIDE CORNER.

20 DISCONNECT AND REMOVE AND/OR CAP ALL EXISTING UTILITIES (ELECTRIC, GAS, WATER, SANITARY & STORM) WHERE SCHEDULED NOT TO BE REUSED, IN ACCORDANCE WITH CITY AND GOVERNING CODE AND UTILITY COMPANY REQUIREMENTS.

22 PROVIDE TEMPORARY LIGHTING/POWER AS REQUIRED. DURING AND AFTER DEMOLITION FOR ALL AREAS WITHIN LIMITS OF THIS PROJECT, SUCH SERVICE SHALL BE TAKEN FROM EXISTING PANEL BOARDS, AND EXISTING EQUIPMENT MAY BE UTILIZED WHERE FEASIBLE.

23 ALL EXISTING CONDUIT AND WIRE INTERFERING WITH THE NEW WORK SHALL BE REROUTED CONCEALED IN THE NEW CONSTRUCTION, UNLESS NOTED OTHERWISE.

24 ALL UNUSED CONDUIT AND WIRE REMOVED SHALL BE REMOVED COMPLETELY BACK TO SOURCE, AND BRANCH OVER-CURRENT PROTECTIVE DEVICES PROPERLY LABELED "SPARE".

25 UPON COMPLETION OF THE NEW INSTALLATION WORK, DISCONNECT, REMOVE, AND PROPERLY DISPOSE OF ALL TEMPORARY LIGHTING, POWER, AND WIRING.

26 PROVIDE PHOTOGRAPHS OR VIDEOAPE, SUFFICIENTLY DETAILED, OF EXISTING CONDITIONS OF ADJOINING CONSTRUCTION AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION OPERATIONS.

27 CLEAN ALL HORIZONTAL SURFACES OF ACCUMULATED DUST AND DEBRIS. SWEEP THE BUILDING BROOM CLEAN ON COMPLETION OF DEMOLITION OPERATION.

28 SHOULD THE CONTRACTOR ENCOUNTER SUSPICIOUS MATERIAL OR BECOME AWARE OF THE PRESENCE OF ASBESTOS CONTAINING MATERIALS, THEN THE CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER OF SUCH CONDITIONS. THE CONTRACTOR SHALL NOT CONTINUE WITH WORK UNTIL THE AREA IS INSPECTED AND APPROVED BY A QUALIFIED SPECIALIST CONTRACTOR TO VALIDATE, ABATE, ENCAPSULATE OR OTHERWISE ADDRESS THE ASBESTOS-CONTAINING MATERIALS AND WARRANT TO THE CONTRACTOR THAT THE WORK CAN PROCEED IN FULL COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS.

01	PROVIDE SLAB LEVELING MATERIAL AS NEEDED TO CREATE SOLID FLUSH SURFACE TO ACCEPT NEW FLOOR FINISHES.
02	REMOVE PART OF EXISTING INTERIOR PARTITIONS. COORDINATE WITH NEW CONSTRUCTION
03	GC TO VERIFY THAT EXISTING EXIT DOOR COMPLIES WITH APPLICABLE CODES, ADA REQUIREMENTS AND PANIC HARDWARE. IF NOT
04	COORDINATE WITH DOOR VENDOR AND PROVIDE PANIC HARDWARE
05	REMOVE EXISTING STOREFRONT SYSTEM, DOOR AND WINDOWS. COORDINATE WITH NEW CONSTRUCTION PLAN
06	REMOVE ALL EXISTING ELECTRICAL RECEPTACLES & FIXTURES NOT TO BE INCORPORATED INTO NEW DESIGN. REMOVE WIRE BACK
	TO PANEL CAP & SEAL CONDUITS BELOW SLAB, ABOVE NEW CEILING, OR IN WALL.
06	NEW CONCRETE CURB BY G.C. REFERENCE COCKTAIL BAR DETAILS

Technical drawing of a cabinet. A red dashed line indicates a diagonal measurement from the top-left corner of the cabinet's front panel to the bottom-right corner. A vertical double-headed arrow is positioned to the left of the cabinet, with a small box containing the number '04' in the center, indicating a height or depth dimension.


This architectural floor plan depicts a large hall with several rooms and corridors. The plan includes the following labeled areas and features:

- Rooms and Areas:**
  - 02:** Multiple small rooms or corridors along the top and left walls.
  - 03:** A room located near the top left corner.
  - 05:** A room located in the upper middle section.
  - 01:** A room located in the middle section.
  - 04:** Several rooms and corridors along the bottom and right sides.
  - 06:** A long, narrow corridor or hallway running horizontally across the middle of the plan.
  - 2 DM1.0:** A room located in the bottom left corner.
  - 55 A4.2:** A room located in the bottom middle section.
  - 3 DM1.0:** A room located in the bottom right corner.
- Corridors and Pathways:**
  - Arrows indicate the direction of flow or movement through the corridors.
  - Red dashed lines highlight specific pathways or boundaries within the plan.
- Structural Elements:**
  - Thick black lines represent walls and structural boundaries.
  - Thin black lines represent corridors and smaller rooms.
  - Small squares and circles are scattered throughout the plan, possibly representing doors, windows, or furniture.

DM1.0


 EXISTING PARTITIONS / WALLS TO REMAIN
  NEW PARTITIONS

- 1 ALL DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF MTL. STUD OR SURFACE OF CONCRETE UNLESS OTHERWISE INDICATED. ALL EXISTING CONDITIONS ARE TO BE PROVIDED BY THE LANDLORD & VERIFIED BY G.C.
- 2 ALL FINISHED WOOD TO BE SEALED W/ FIRE RETARDER INTUMESCENT SEALER TO MEET FIRE CLASS "B" RATING OR BETTER.
- 3 ALL CONCEALED WOOD BLOCKING TO BE FIRE RETARDED TREATED WOOD.
- 4 RE-SPRAY ALL DAMAGED FIRE PROTECTION AROUND COLUMNS, WHERE APPLIES.
- 5 COORDINATE W/ EQUIPMENT & PLUMBING PLANS FOR TRENCH DRAINS, FLOOR DRAINS, FLOOR SINKS & HUB DRAINS. DRAINS TO BE SET AT MIN. ELEVATION TO PROVIDE PROPER DRAINAGE. SLAB TO BE SLOPED 1/4" PER 1'-0" UNLESS OTHERWISE NOTED.
- 6 GC TO INSTALL SILICONE SEALANT TO ALL SS PANEL JOINTS LOCATED AT WALK-IN COOLERS & FREEZER, COORDINATE WITH EQUIPMENT MANUFACTURER
- 7 PROVIDE FIRE CAULKING AT ALL PENETRATIONS IN DEMISING WALLS IN ORDER TO MAINTAIN FIRERATING
- 8 GC TO PROVIDE: CLASS "K" WET CHEMICAL SURFACE MOUNTED FIRE EXTINGUISHERS & TYPE 2A10BC FIRE EXTINGUISHERS IN RECESSED CABINETS - VERIFY QUAINTITY & LOCATION IN FIELD W/ FIRE MARSHALL.
- 9 ALL GAPS UNDER EXTERIOR DOORS NOT TO EXCEED 1/4"
- 10 REFERENCE ELEVATIONS FOR ALL NEW WALL FINISHED
- 11 GC TO INSTALL GREASE AND SLIP RESISTANT ROOF WALKWAYS AROUND GREASE PAN AS REQUIRED BY MALL ROOFER AND ROOF MANUFACTURER WHO RETAINS WARRANTY.
- 12 GC TO REMOVE TEMPORARY COVER ON EXTERIOR FENESTRATIONS FOR NEW STOREFRONT AND DOORS.



**Architect:**

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## HISTORIC DISTRICT REVIEW

10.22.14

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PROJECT MANAGER:

KS

RA SUSHI AUST

**Project Number:**

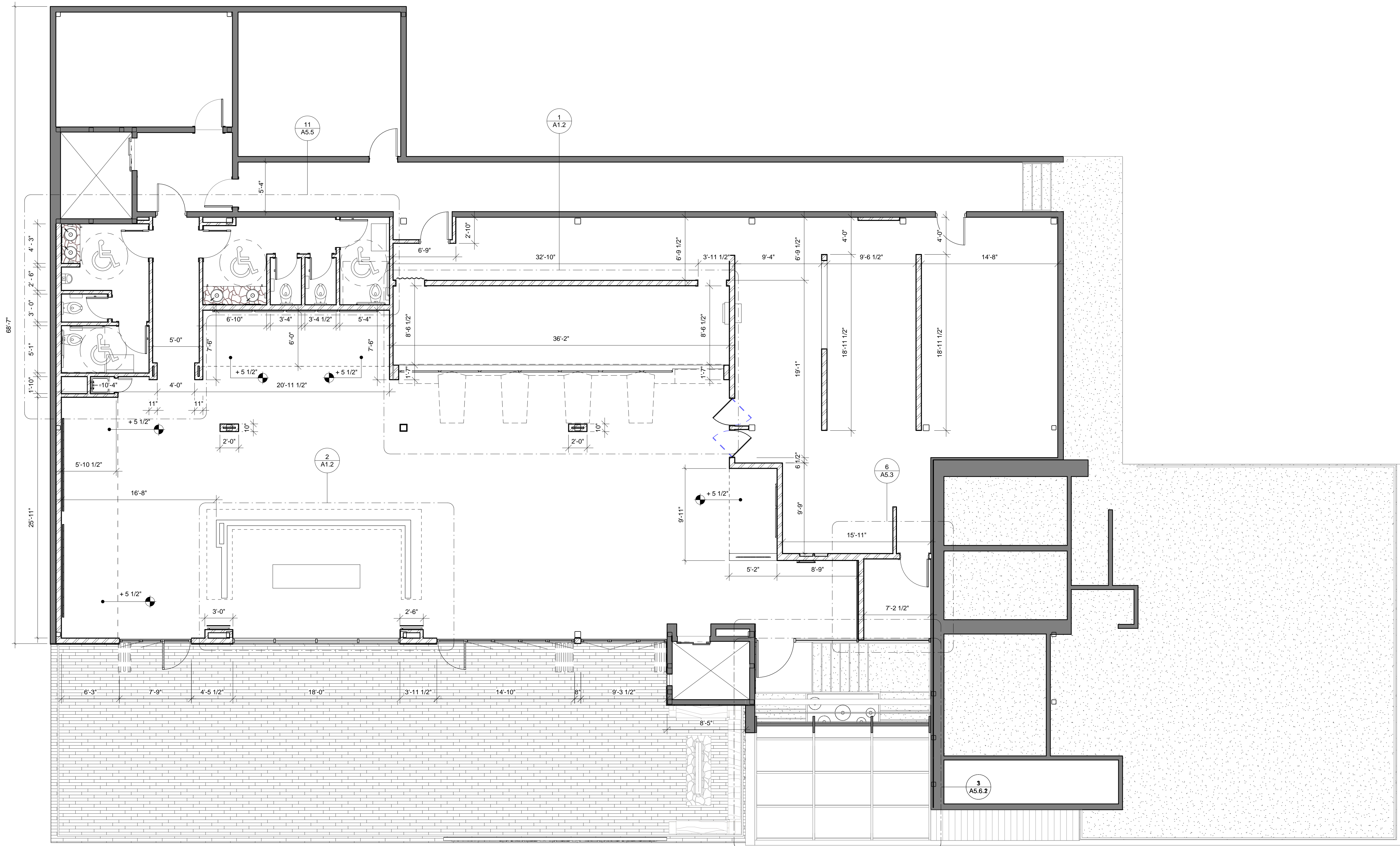
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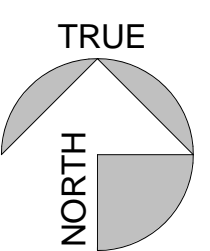
FLOOR PLAN  
DIMENSIONED

Sheet Number:

## A1.1



① FLOOR PLAN DIMENSIONS  
3/16" = 1'-0"





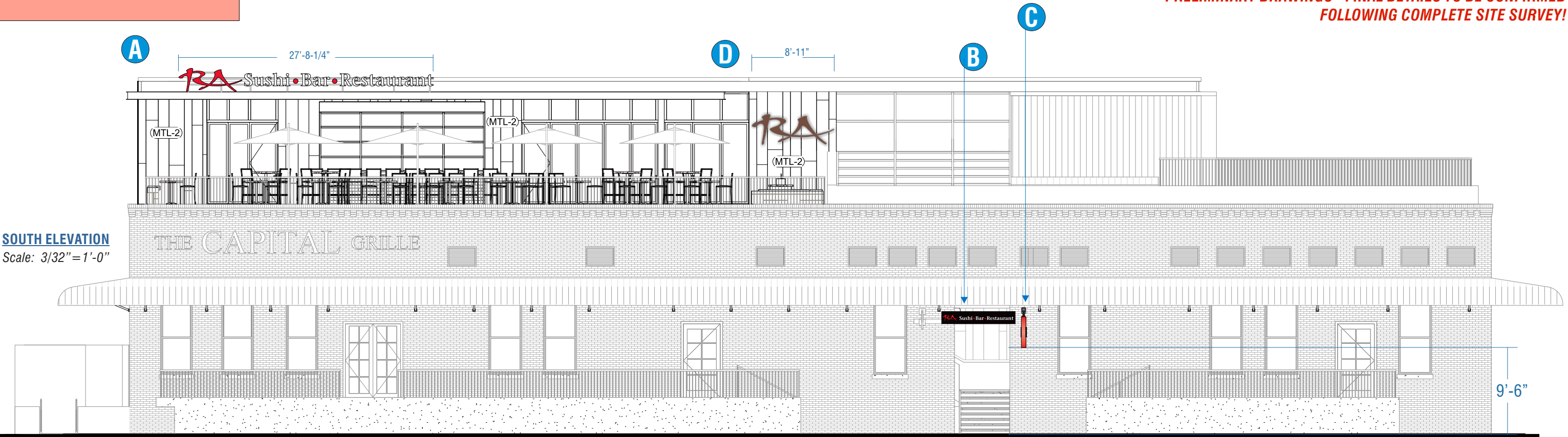




### A4.3

BUILDING ELEVATIONS

PRELIMINARY DRAWINGS - FINAL DETAILS TO BE CONFIRMED  
FOLLOWING COMPLETE SITE SURVEY!



ENLARGED ELEVATION 3-A  
Scale: 3/16"=1'-0"



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Sushi Bar Restaurant  
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1	326645	10/16/14		
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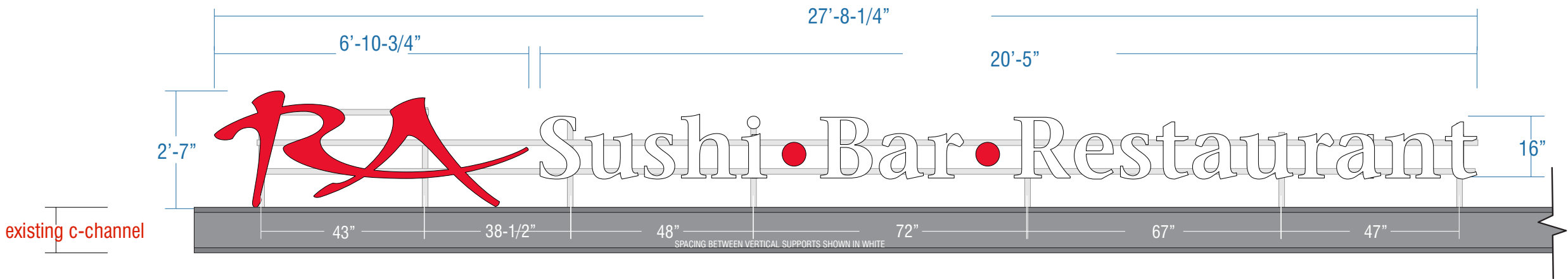
FACE LIT, LED CHANNEL LETTERS

Scale: 3/8"=1'-0"

71.5 square feet

PRELIMINARY DRAWINGS - FINAL DETAILS TO BE CONFIRMED  
FOLLOWING COMPLETE SITE SURVEY!

A

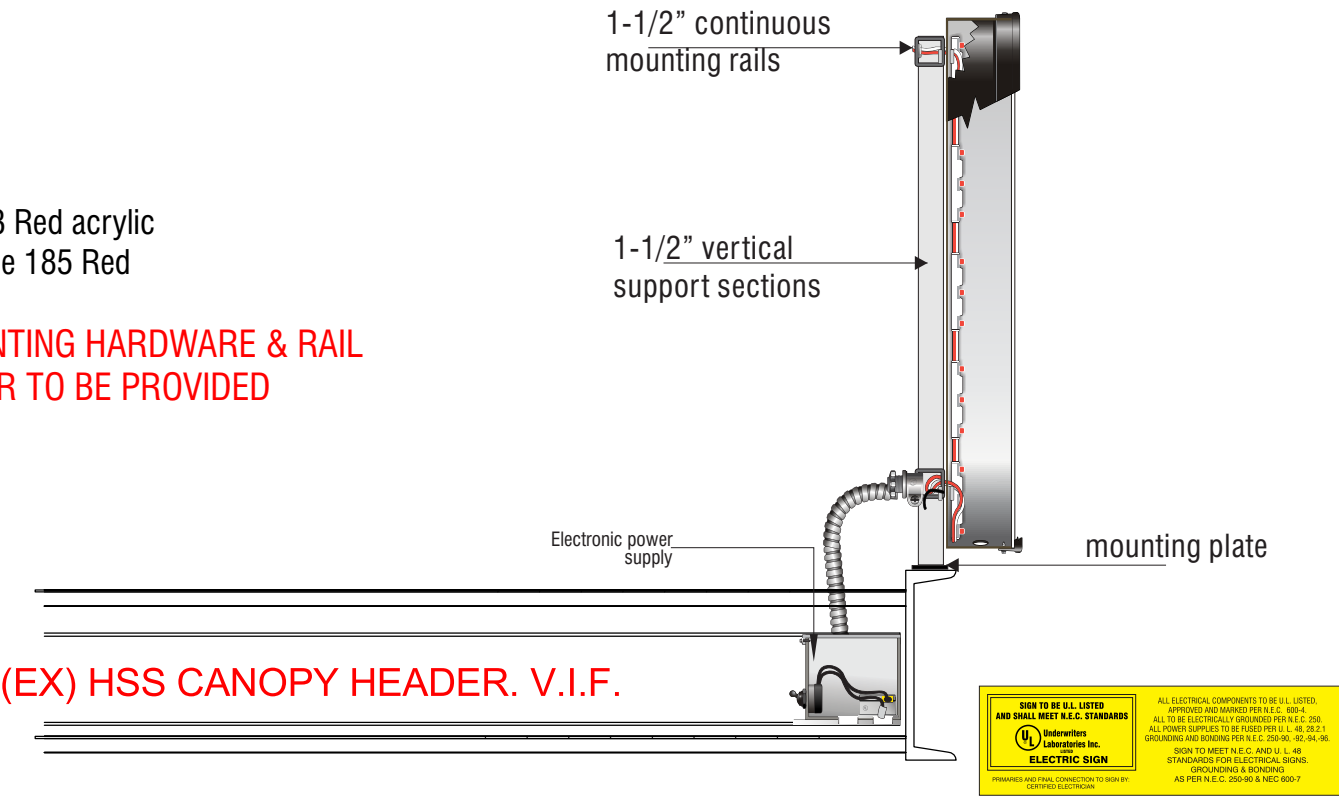


- RA & BULLET FACES:** 3/16" #2793 Red acrylic
- COPY FACES:** 3/16" #7328 White acrylic
- TRIMCAP:** 1" Black jewelite trimcap for all
- RETURNS:** 5" deep .050 pre-finished Black alum.
- ILLUM.:** RA & bullets to have Red LED's  
Copy to have White LED's - all with remote power supplies  
**ELECTRICAL ACCESS TO BE CONFIRMED**
- RAIL SYSTEM:** 1-1/2" square continuous alum. mounting tubes to run length of copy as shown  
1-1/2" square alum. vertical supports to be welded between horizontal mounting tubes in sections as shown - to be hidden behind letters where possible
- Vertical rails welded to 2" x 6" alum. plates at bottom to be drilled & tapped into c-channel canopy as required

- White
- #2793 Red acrylic  
Pantone 185 Red
- MOUNTING HARDWARE & RAIL  
COLOR TO BE PROVIDED**

LED CHANNEL - RAIL MOUNTED

scale: 1"=1'-0"



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**S/F ILLUMINATED DOORWAY SIGN**

Scale: 1"=1'-0"

10.7 square feet

**PRELIMINARY DRAWINGS - FINAL DETAILS TO BE CONFIRMED  
FOLLOWING COMPLETE SITE SURVEY!**

**B**

8'-0" CABINET

8"

6" lintel

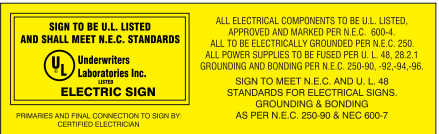
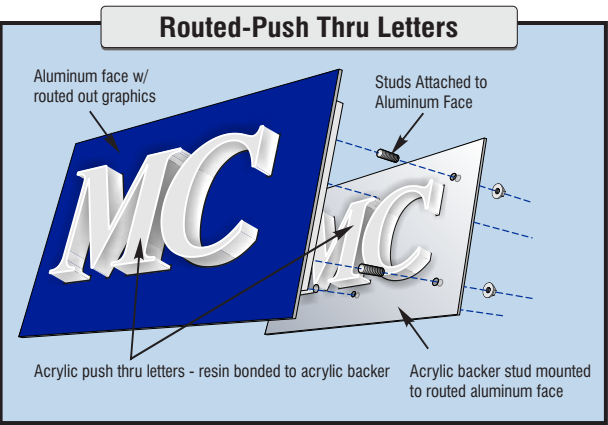
**RA Sushi • Bar • Restaurant**

4-1/2" 16" CABINET

- CABINET:** 4" deep fabricated aluminum cabinet  
Top to be removable for service access  
All painted Satin Black finish - to include backside of cabinet which is visible from back view
- FACE:** .090 alum. w/ routed copy - painted Satin Black
- GRAPHICS:** Routed from alum. face  
1/2" thick clear acrylic push -polished edges  
Surface applied trans. Red & White vinyl overlays
- ILLUM.:** White LED illumination - power supplies to be housed within cabinet  
**ELECTRICAL ACCESS TO BE CONFIRMED**
- INSTALL:** Cabinet to be mounted to existing 6" high lintel along bottom edge

 Black - satin finish

 #2793 Red acrylic  
Pantone 185 Red  
VINYL TO MATCH



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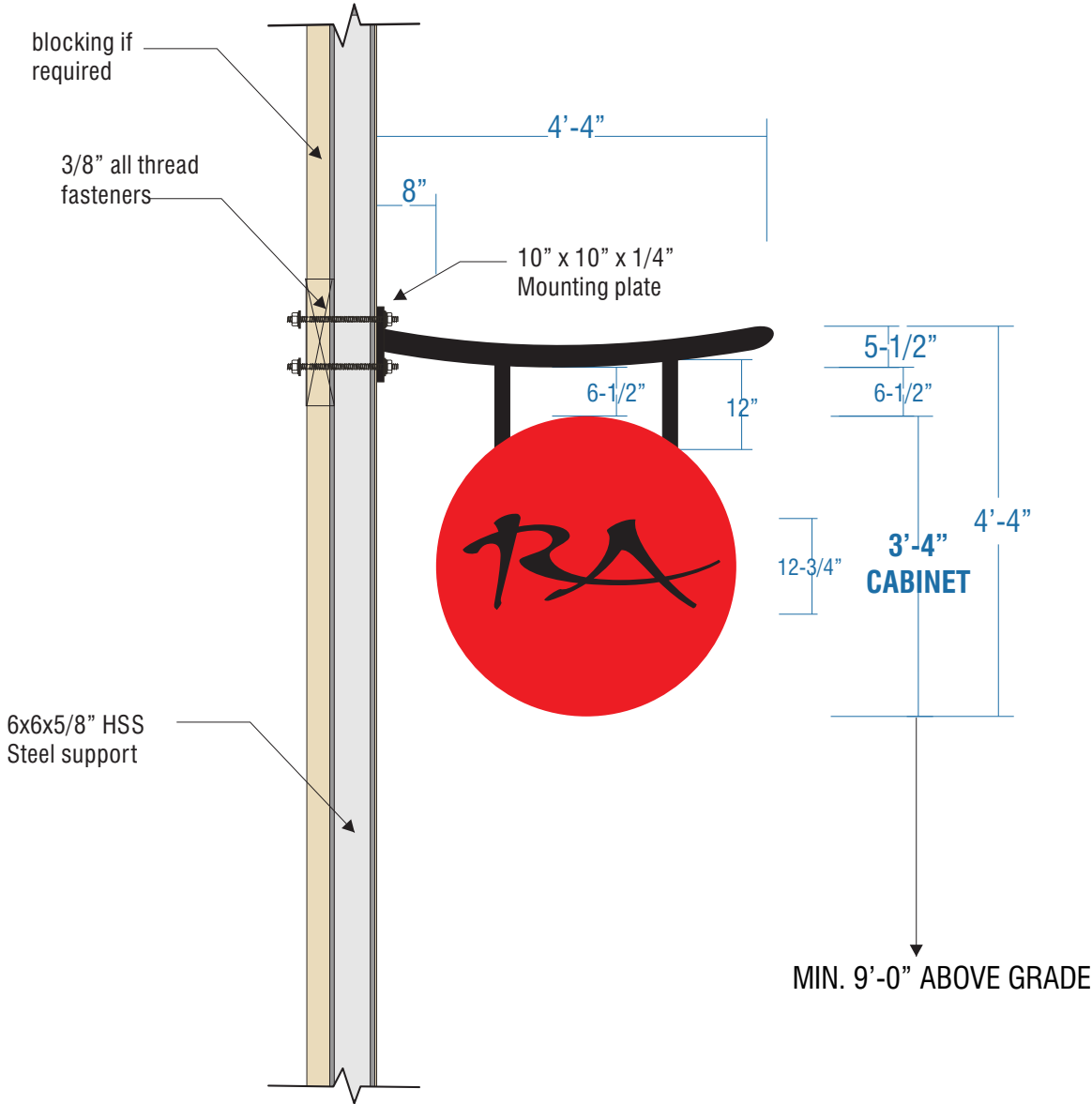
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D/F ILLUMINATED BLADE SIGN

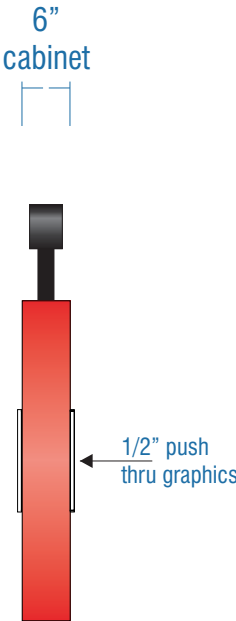
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16 square feet

C



3630-22 Matte Black  
Pantone 185 Red

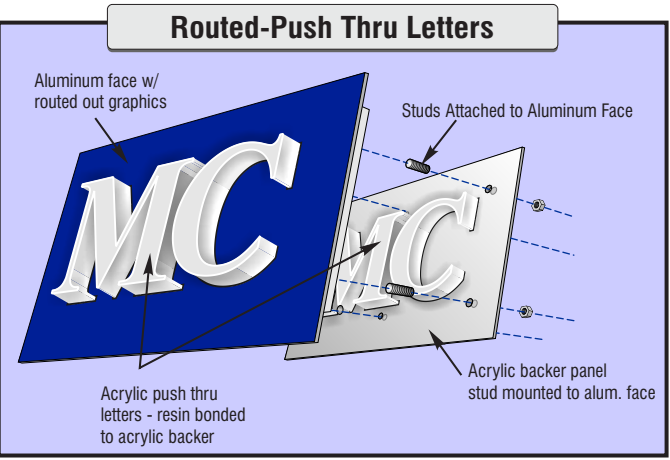


PRELIMINARY DRAWINGS - FINAL DETAILS TO BE CONFIRMED  
FOLLOWING COMPLETE SITE SURVEY!

- CABINET:** 6" deep fabricated aluminum w/ .080 alum. faces all painted Red - Satin finish
- GRAPHICS:** Routed from alum. face & push thru 1/2" thick Clear acrylic w/ polished edges & surface applied Matte Black vinyl
- ILLUM.:** Internal White LED's as required w/ self contained power supply  
Wiring to run thru mounting tubes

ELECTRICAL ACCESS TO BE CONFIRMED

- MOUNTING:** Curved steel horizontal square tube support w/ Curved cap at end; 2" square alum. vertical mounting tubes welded to horizontal support & secured thru top of sign - all painted Black  
Secured to HSS Steel support - 6x6x5/8"
- MOUNTING DETAILS TO FOLLOW CONFIRMATION OF WALL AREA AND FINAL SURVEY  
BRACKET MAY NEED TO MATCH EXISTING TENANT!



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HALO-LIT, REVERSE CHANNEL LETTER

Scale: 3/4"=1'-0"

29.7 square feet

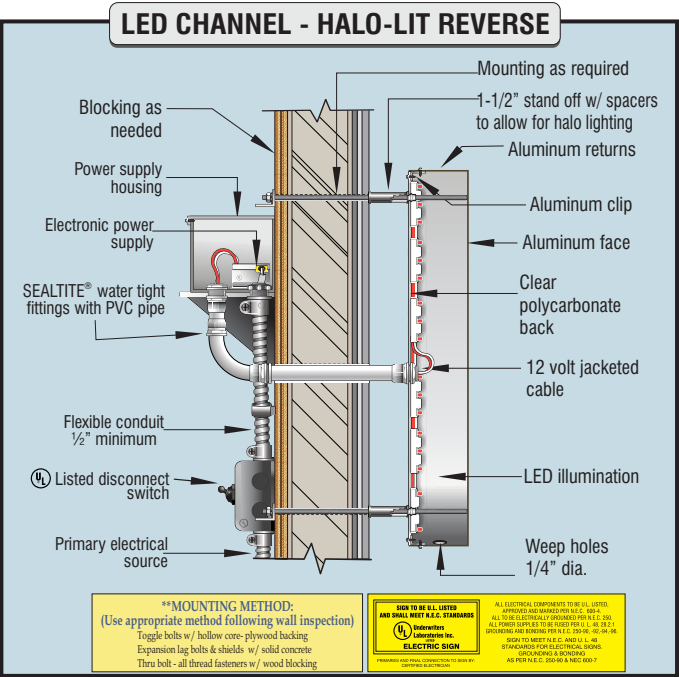
D



Paint color/finish to follow

PRELIMINARY DRAWINGS - FINAL DETAILS TO BE CONFIRMED  
FOLLOWING COMPLETE SITE SURVEY!

- FACES:** .090 alum. faces paint - finish to be determined
- RETURNS:** 2" deep .063 alum. returns welded to faces - all welds sanded smooth - paint to match faces
- BACKS:** .25 Clear hyzod polycarbonate
- ILLUM.:** Internal RedLED's as required to provide Red halo lighting  
Power supply location to be verified
- ELECTRICAL ACCESS TO BE CONFIRMED**
- MOUNTING:** Mounted w/ 1-1/2" stand off from wall surface to allow for halo lighting - stand offs painted to match wall
- MOUNTING DETAILS TO FOLLOW CONFIRMATION OF WALL AREA AND FINAL SURVEY**
- QUANTITY:** (1) One set required for exterior patio wall



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HALO-LIT, REVERSE CHANNEL LETTER

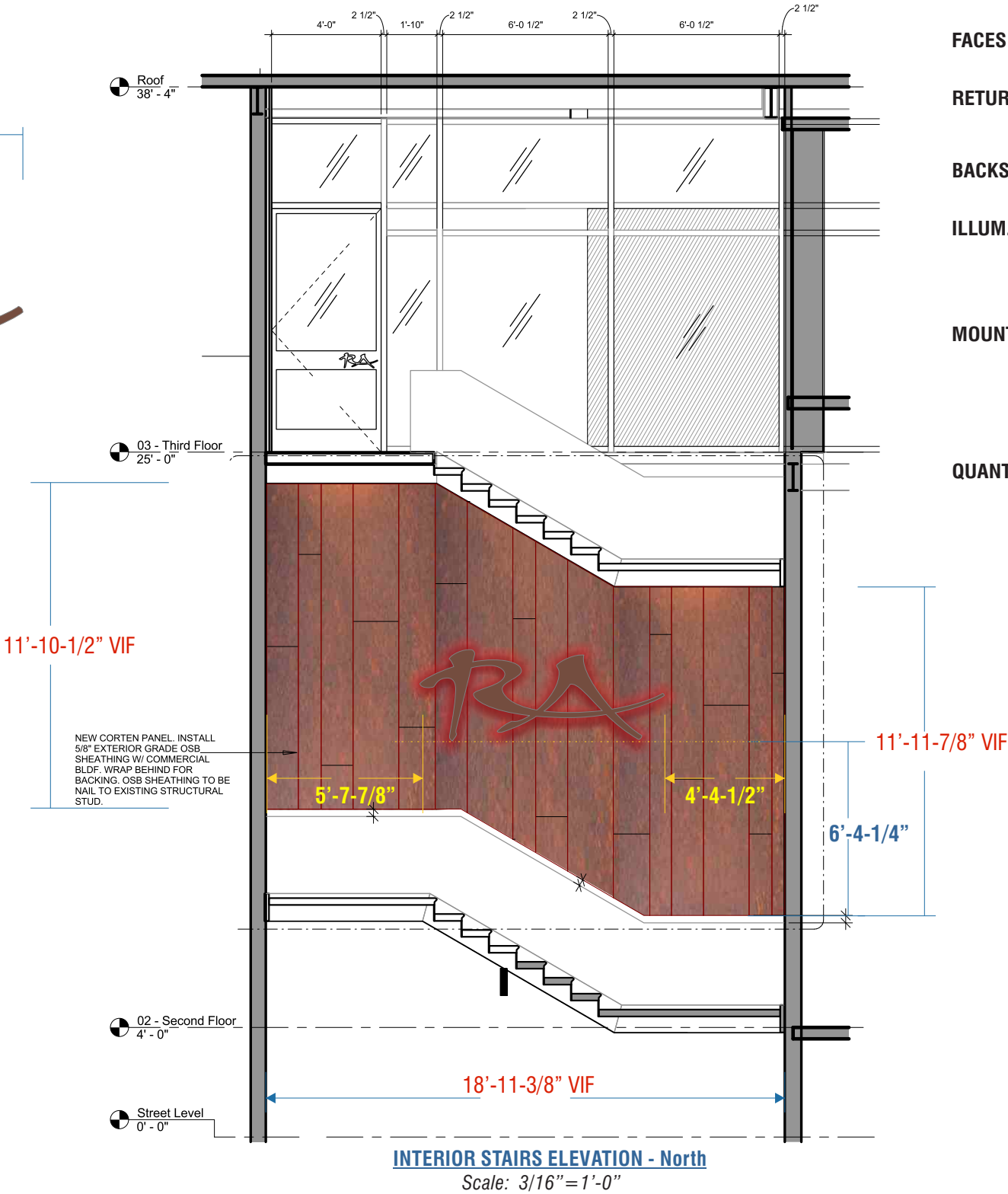
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INTERIOR

E



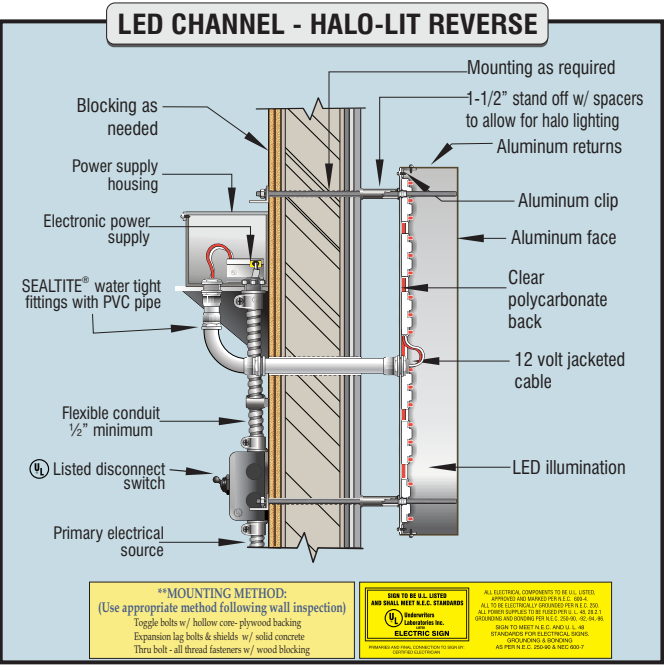
Paint color/finish to follow



PRELIMINARY DRAWINGS - FINAL DETAILS TO BE CONFIRMED  
FOLLOWING COMPLETE SITE SURVEY!

- FACES:** .090 alum. faces paint - finish to be determined
- RETURNS:** 2" deep .063 alum. returns welded to faces - all welds sanded smooth - paint to match faces
- BACKS:** .25 Clear hyzod polycarbonate
- ILLUM.:** Internal RedLED's as required to provide Red halo lighting  
Power supply location to be verified
- ELECTRICAL ACCESS TO BE CONFIRMED**
- MOUNTING:** Mounted w/ 1-1/2" stand off from wall surface to allow for halo lighting - stand offs painted to match wall
- MOUNTING DETAILS TO FOLLOW CONFIRMATION OF WALL AREA AND FINAL SURVEY**
- QUANTITY:** (1) One set required for interior stairway

- FOR ALL ELECTRIC INTERIOR SIGN INSTALLATIONS:**
1. UL labels must be positioned on top side of signage or as necessary to keep from line of sight.
  2. No drain holes! No visible fasteners!



8959 TYLER BLVD.  
MENTOR, OHIO 44060

PH. 440-209-6200  
FAX 440-209-6277  
www.mcsign.com

CLIENT:	
	Sushi • Bar • Restaurant
ADDRESS:	117 WEST 4TH STREET - SUITE 300 AUSTIN, TX 78701

PAGE NUMBER	TICKET NO.:	DATE:	DATE:	REVISIONS:
6	326645	10/16/14		
PROJECT MANAGER:		DESIGNER:		
GERRI ANN HOFFMAN		Viv		
ELECTRONIC FILE NAME:				
BENIHANA\RA SUSHI\2014\TX\AUSTIN				

NOTE: PRINTS ARE THE EXCLUSIVE PROPERTY OF 'MCSIGN COMPANY'. ANY UNAUTHORIZED USE OR DUPLICATION WILL RESULT IN A 20% CHARGE PER OCCURANCE PER THE VALUE OF THE DISPLAY. © MC SIGN CO 1998

Sign On.™

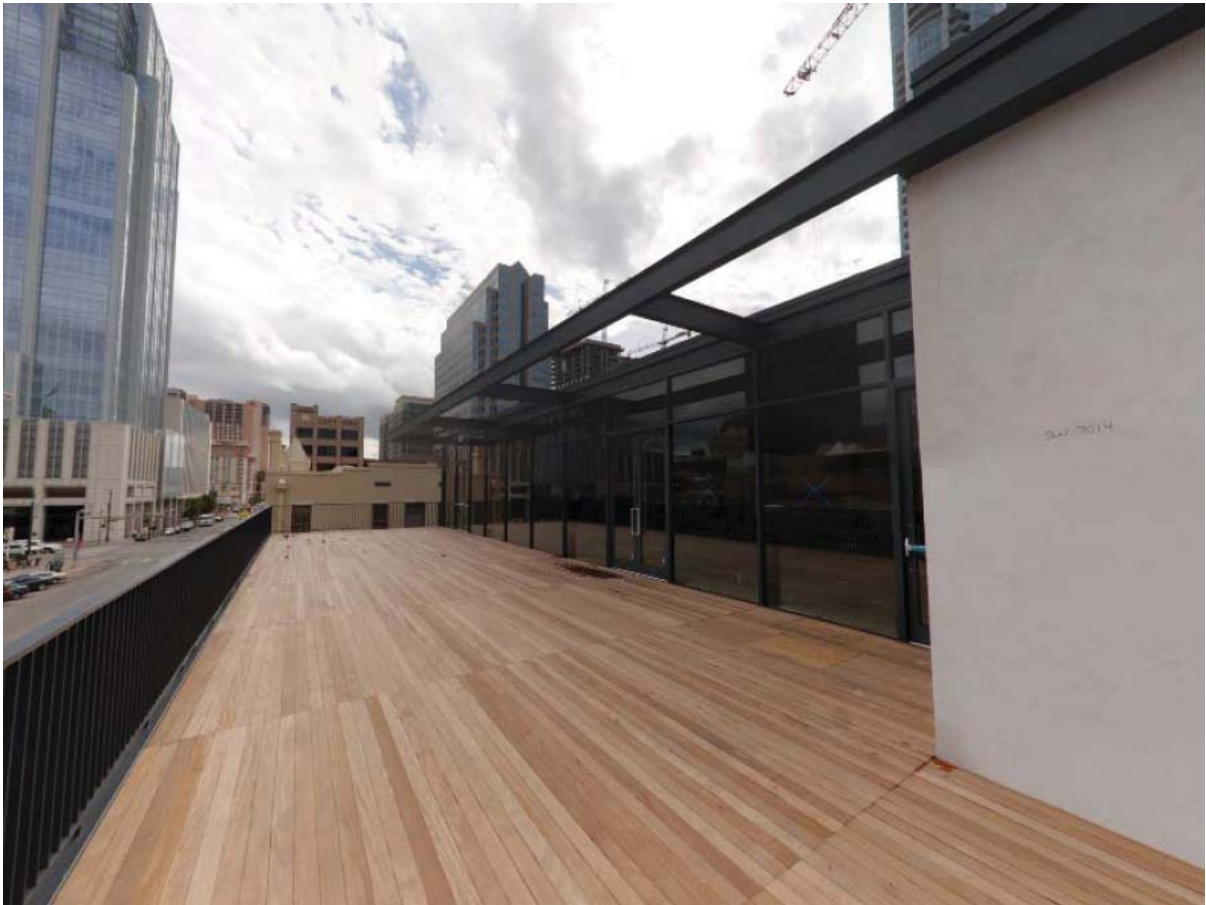
Partner with the best.



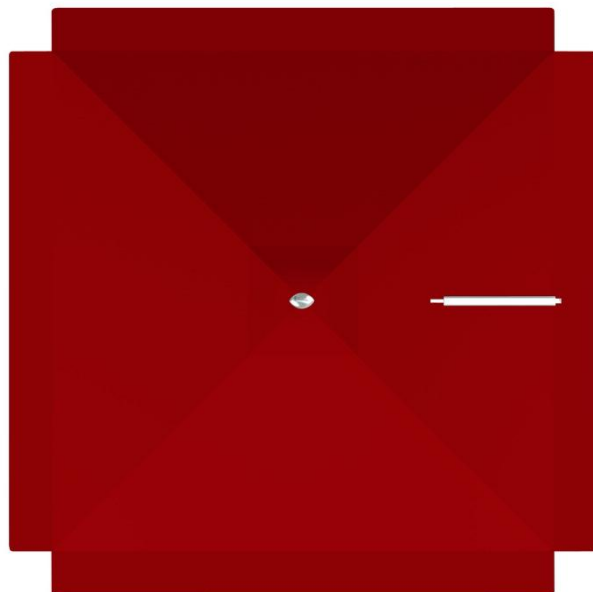
CLIENT SIGNATURE & APPROVAL DATE:







# TUUCI



*cantilever*

*sizes*  
[ft/m]

*mast height*  
(open, including  
finial)

*a*  
(in/cm)

*canopy height*

*b*  
(in/cm)

*flat to flat*  
(diameter)

*c*  
(in/cm)

*point to point*  
(diameter)

*d*  
(in/cm)

*table clearance*

*e*  
(in/cm)

*mast diameter*

*f*  
(in/cm)

*total height*  
(closed)

*g*  
(in/cm)

*folded canopy*  
(diameter)

*h*  
(in/cm)

*diameter*  
(including mast)

*i*  
(in / cm)

*square*



12.0' / 3.65m

108 / 274

86 / 218

144 / 366

144 / 366

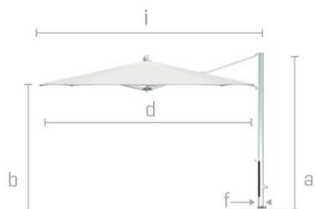
31 / 79

4.2 / 10.7

140 / 356

20 / 51

151 / 384



# NANAWALL FOLDING GLASS WALLS

## NANAWALL FOLDING GLASS WALLS

NanaWall Folding Glass Walls offer clean lined aesthetics and narrow stiles across its complete line of folding products. Folding walls are available in aluminum, solid wood and clad finishes with a choice of numerous sill options, including a surface mounted sill and ADA compliant sill options.

When closed, NanaWall Folding Glass Walls' superior performance protects from water and air infiltration, provides sound attenuation, and are energy efficient. Each system has built-in adjustability should building settling occur.

**Folding System Highlights**

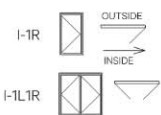
- Nine distinct systems of connected bi-folding door panels.
- Match any architectural style with numerous system choices.
- Easy operation—no matter the size or number of panels.
- Top-hung or floor mounted models, inward or outward openings.
- Panel heights of up to 12 feet (3660 mm) and widths of 4 feet (1220 mm) are possible.
- Convenient swing entry doors, with an up to 180° swing plane, may be hinged to a side jamb or be configured within the chain of panels.



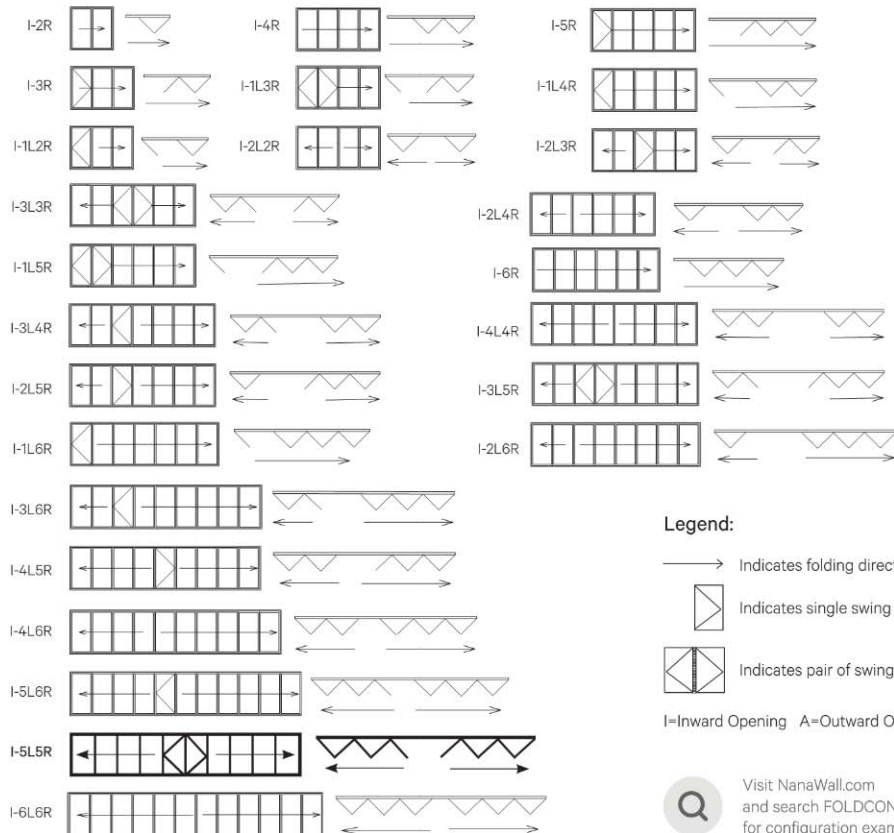
## Standard Configurations

Over fifty opening configurations are possible with inward and outward openings. For easy entry/egress, locking swing panels may be attached to a side jamb or attached to the end of a chain of bi-fold panels.

### MODEL:



This chart shows inward opening configurations with most panels folded to the right. **The exact mirror configurations can be achieved with the majority of the panels folded to the left.** The same configurations are also available outward opening. See chart at right for all 4-panel possibilities.



### Legend:

- Indicates folding direction
  - Indicates single swing panel
  - Indicates pair of swing doors
- I=Inward Opening A=Outward Opening

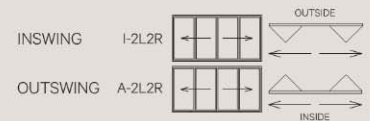


Visit [NanaWall.com](http://NanaWall.com)  
and search FOLDCONFIG  
for configuration examples

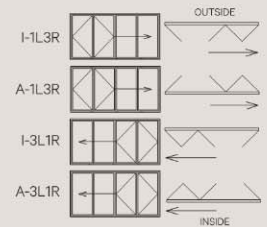
## 4-Panel Folding System

### Basic Configurations

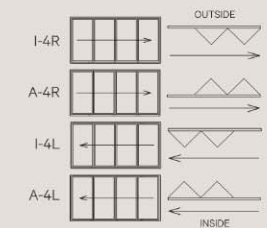
#### SYMMETRIC SOLUTION



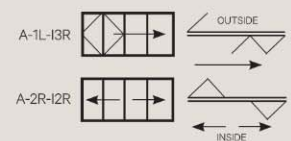
#### PAIR OF SWING DOORS SOLUTION



#### ALL PANELS FOLDING TO ONE SIDE



#### INWARD / OUTWARD



Similar configurations are possible with other numbers of panels.

## Examples of Additional Possibilities

### FoldFlat Against the Adjacent Wall

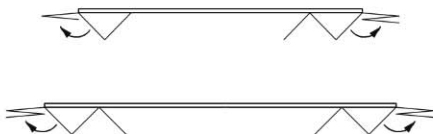
Possible with SL45 and WD65. Add to either one side of the system's opening or both with a maximum of 3 panels per side. For larger openings, combine an up to 3 panel FoldFlat on one side with a standard chain of bi-fold doors on the other. FoldFlat panels stack out of and parallel to the opening.



2L3R



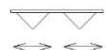
3L3R



### Paired Panels

Possible with SL45, WD65, and WA67. Any number of paired panels can be added to the standard configurations. Unhinged paired panels can be used for extra side openings and move independently from each other and stack to either side.

Model I-2LR2LR



Model I-4LR



### Segmented Curves

The SL45, SL70, and WD65 systems can be configured with 6° – 12° segmented curves and 90° – 135° open corners.



90° Angle Turns

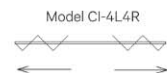


135° Angle Turns



### Center Pivot

Possible with SL45 and WD65.



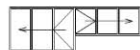
Model CI-3LR



Not Hinged to Side Jambs

### Window / Door Combinations (Kitchen Transition)

Possible with select systems and certain configurations.



3L3R



3L2R

## Options and Finishes

### Panels and Options

- Panel heights of up to 12 feet (3660 mm) and widths of 4 feet (1220 mm) are possible depending on configuration and model.
- Top-hung or floor mounted options are available for most systems.
- Inswing, outswing, or center pivot options are available for most systems.
- Convenient swinging entry/egress panels may be hinged to a side jamb or be configured within the chain of panels. Swing panels can open up to 180° depending on installation details.

### Finishes for Aluminum Systems

With 50 standard and over 200 colors available in powder coat and anodized finishes as well as PVDF Kynar for select systems. Custom matched colors and simulated wood effects are also available. For accurate color swatch examples, please request our Powder Coating Finish Options brochure.

### Wood System Options

Wood choices include Douglas fir, pine, western hemlock, meranti, oak, spruce, sapeli mahogany, and laminated bamboo. Specialty woods are available on request. For wood finishes examples, please request our Wood Finish Options brochure.

### Glazing Area Options

Glazing options include insulated, low-E, argon filled triple insulated low-E, bird protection glass, turtle glass, Heat Mirror, impact, and other specialty glass. Custom layouts with horizontal mullions, simulated divided lites, inserts, and high bottom rails are possible.

### Hardware Options

The standard locking hardware is compatible with a wide array of commercially available handle sets and escutcheon plates to match any design style. Custodial hardware is available and swing panels may be fitted with door closers and panic hardware by others.

## Aluminum Frame Options

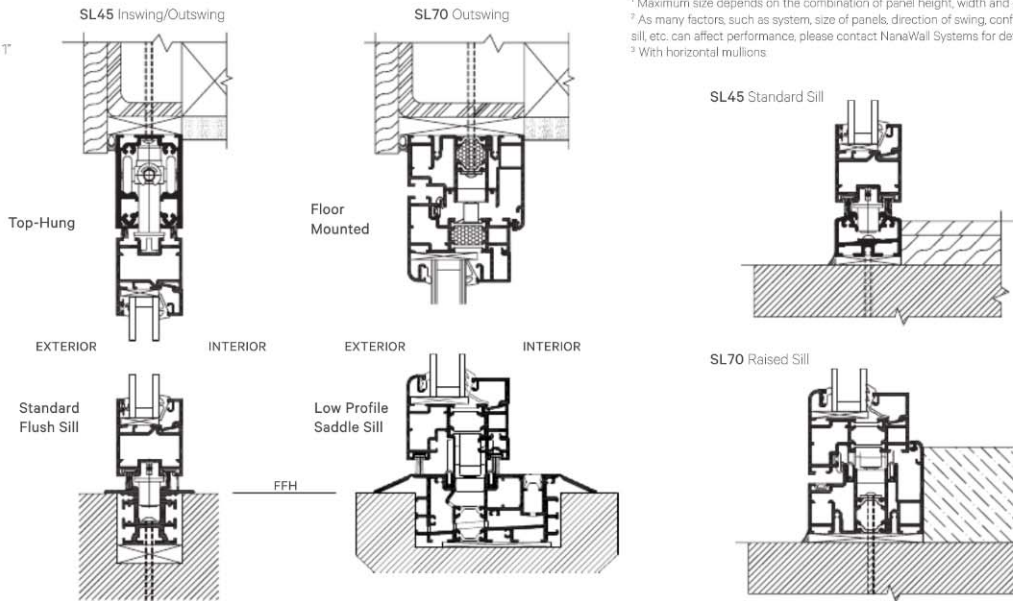
NanaWall Systems offers five different aluminum systems to meet weather resistance, thermal performance, size, function, stacking, and aesthetic requirements.



Visit [NanaWall.com](http://NanaWall.com)  
and search FOLDSELECT  
for the Product Selection Tool

System	Support	Max Panel Widths/Max Frame Heights <sup>1</sup>	Key Properties <sup>2</sup>
SL45	Top-Hung	3'7" x 8'6" – 2'11" x 9'6" (1100 mm x 2600 mm) (900 mm x 2900 mm)	Monumental top-hung system, angle changes, segmented curves and center pivot possible. STC ratings.
SL60	Top-Hung or Floor Mounted	up to 3' 3" x 9' 10" (1000 mm x 3000 mm)	Thermally broken system, high weather testing results with the raised sill (inswing tested to 15 psf), primarily residential. NFRC certified, Energy Star rated with select glazings, STC ratings.
SL70	Floor Mounted	4' x 8'2" – 3' x 12' with horizontal mullions (1220 mm x 2500 mm) (925 mm x 3600 mm)	Monumental thermally broken system, high weather testing results with the raised sill (inswing and outswing tested to 12 psf), high DP rating, 90° and 135° angle changes possible. NFRC certified, Energy Star rated with selected glazing, STC ratings.
SL73	Floor Mounted	up to 3' x 10' (for Miami-Dade County, 3' x 8'2") (915 mm x 3050 mm) (915 mm x 2500 mm)	Miami-Dade County/AAMA hurricane approved system, with impact glass, vandal resistant, NFRC Certified, Energy Star rated with selected glazing.
SL80 81	Floor Mounted	up to 3' 2" x 10' (965 mm x 3050 mm)	Monumental thermally broken aluminum folding panel system with narrow stiles and superior thermal performance. When closed, the stiles where the folding panels meet measure 4 1/8". With double insulated laminated glass, an STC rating of 45 is achieved.
SL82	Floor Mounted	up to 3'3" x 8'2" (1100 mm x 2500 mm)	Edge-to-edge glass, minimal exterior stiles and rails, thermally broken system. CE Mark Certified with select glazing. Winner of multiple design awards.

Scale: 1/4" = 1"



<sup>1</sup> Maximum size depends on the combination of panel height, width and glazing

<sup>2</sup> As many factors, such as system, size of panels, direction of swing, configurations, type of sill, etc. can affect performance, please contact NanaWall Systems for detailed test results.

<sup>3</sup> With horizontal mullions



### Weather Resistance

Double gaskets provide weather resistant comfort. Concealed hinges ride in a secure track on the spine of wood panels providing some adjustability and overall system stability.



### Durability

Dual stainless steel runners and tracks for floor mounted systems prevent wear and are not affected by track debris.



### Trouble-Free Operation

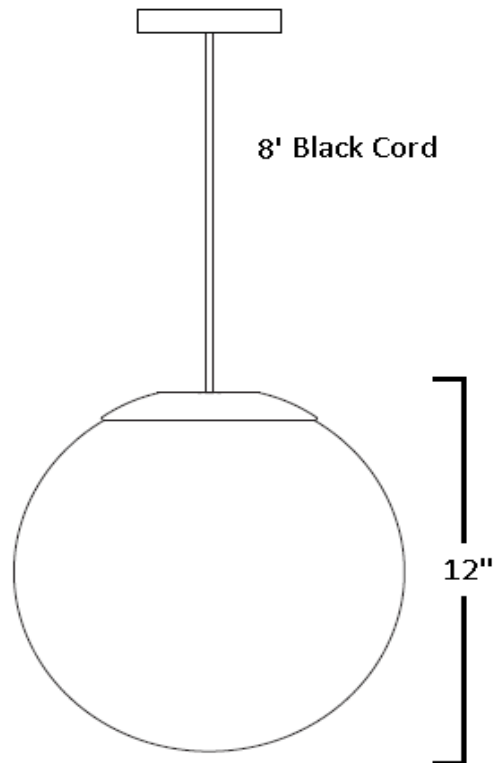
Patented twin independent-axle running carriage with polyamide rollers provide smooth operation on top-hung systems with no "flat tire" effect if doors remain closed for long periods.



### Long-Term Performance

Built-in adjustment and compensation points ensure continued ease of operation if building settling occurs.

**Crystal Lighting Corporation 13182 Flores St. Santa Fe Springs CA 90670**  
**Phone: 562-944-0223 Fax: 562-944-0225 WEB: www.crystallighting.us Email: hector@crystallighting.us**

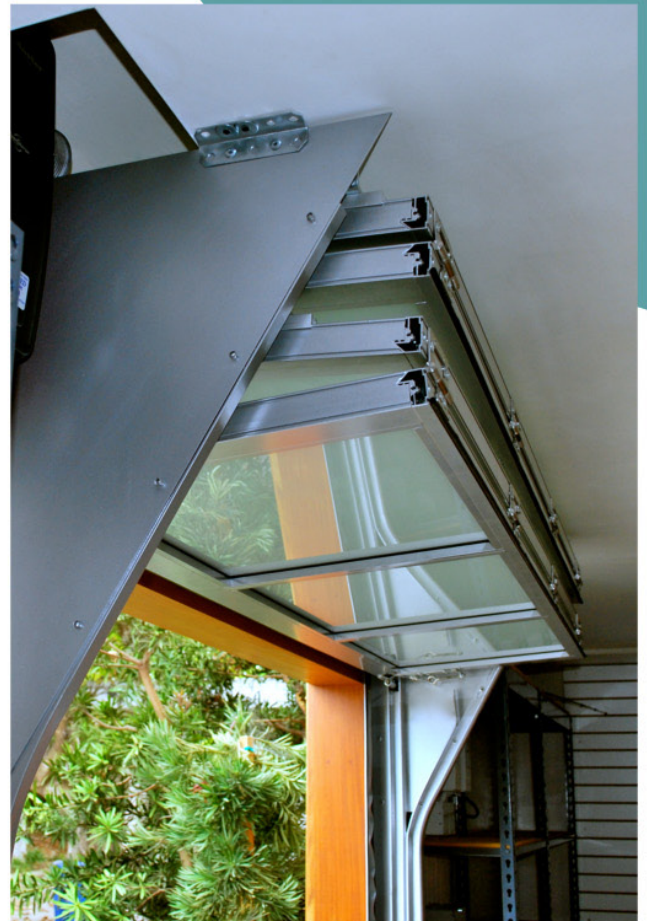


PROJECT NAME:	TYPE:	UL LISTED SUITABLE FOR: DRY LOCATION	CATALOG #: CLH-3050-60INC-12IN-RED-120V-C
CUSTOMER NAME / REP NAME :	DATE: 22-Oct-14	LAMPING: 1-60W MEDIUM BASE INCANDESCENT	DIMENSIONS: SEE DRAWING
	DRAWING DONE BY: <b>HECTOR NARANJO</b>	STYLE: DECORATIVE GLOBE PENDANT	FINISH: RED POWDERCOAT
APPROVED BY:	Any & all information appearing here is propriety & confidential. It may not be used without prior authorization of: CRYSTAL LIGHTING CORPORATION		LENS: RED ACRYLIC
			MATERIAL: ALUMINUM
			VOLTAGE: 120V

# Renlita Doors

## SOVEREIGN DOORS

A contemporary strategy for vertical sectional doors, this door opens effortlessly by folding vertically. Leaving no ceiling tracks to worry about, it creates a safer environment and more efficient use of valuable space. This door is the ultimate in style and strength.



# SPECIFICATIONS

## Opening Size

Up to 12 feet high x 16 feet wide.

## Curtain

The curtain is constructed from specially designed aluminum profiles that are 1.6" thick. Door panels can be glazed with materials up to 1/4" thick. For alternate glazing options please consult the manufacturer.

## Panels

The glazed panels shall be secured by glazing bead, sanoprene or PVC wedges. Panel heights are normally an even division of the opening height (ie: 4, 6, or 8) but should not exceed 24" per panel height.

## Side Guide

5.5" x 2.4" x 3/16" extruded aluminium section.

## Locking

Manual doors are locked with standard dead bolt unless otherwise specified.

## Brackets

Brackets and tracks are finished to match door frames.

## Counter Balance

Door shall be balanced by the use of torsion springs connected to a rotating shaft. The shaft ends are attached to cable drums that lift / lower the curtain via a flexible cable.

## Operation

Manual or electric operation is via a jackshaft operator with built in auto safety sensing. Control is by remote radio control, push button or key switch.

## Finish

Standard finish is clear anodized or powder coat to selected color.

*For typical drawings and CSI specs visit [www.renlitadoors.com](http://www.renlitadoors.com)*

THE SOVEREIGN DOOR OFFERS VISIBILITY AND SECURITY WITH A VERTICALLY OPERATING DOOR SYSTEM WITH NO OVERHEAD CEILING TRACKS.

The Sovereign Door is suitable for many commercial and residential applications including the following:

- Residential garages
- Residential patios
- Sports complexes
- Bars and Countertops
- Restaurants
- Retail stores



# CONTACT DETAILS

Renlita Doors North America, LLC

Mailing Address: P.O. Box B, Bonham, TX 75418

Shipping Address: 220 E First St, Bonham, TX 75418

Phone: 903.583.7500 | Fax: 903.583.7544

Email: [sales@renlitadoors.com](mailto:sales@renlitadoors.com)

Renlita Doors North America, LLC is a licensee of The ARA Group

Visit our website: [www.renlitadoors.com](http://www.renlitadoors.com).





Manufacturer of the Crossfire Burners & Distinctive Outdoor Fire Pits

Phone: (303) 346-2224

1-877-556-5255

Fax: (303) 346-2225

www.warming-trends.com

info@warming-trends.com

## Firepit Kit Pricing Guide

Fire Pit Kits include the following: Please choose from the inventory options: Choice of Square, Round or Octagon Aluminum Frame with Concrete Board ready to finish base, 7 piece Pine Log Set OR Cool Color Glass, Drop in Manual Light Burner in Pan and a 5/8" 36" Flex Line with 1/2" Key Valve & 12" Key. \*\*\*Linear fire pits and fire tables custom built to your specifications.



### Square Series

Item	Dimensions	#
FT3636	36"ODL x 18"H	24" MLS
FT4848	48"ODL x 18"H	30" MLS
FT5454	54"ODL x 18"H	36" MLS

Logs or Glass

60K BTU  
120K BTU  
180K BTU



### Rectangle Series

FT4830	48"ODL x 30"W x 18"H with 10" Coping with 28"x10" pan
FT6036	60"ODL x 36"W x 18"H with 11" Coping with 38"x14" pan
FT7242	72"ODL x 42"W x 18"H with 11" Coping with 48"x18" pan

60K BTU  
150K BTU  
210K BTU



### Octagon Series

Item	Dimensions	#
F042	42" ODL x 18" H	24" MLS
F054	54" ODL x 18" H	30" MLS
F060	60" ODL x 18" H	36" MLS

Logs or Glass

60K BTU  
120K BTU  
180K BTU



### Round Series

Item	Dimensions	#
FC42	42" ODL x 18" H	24" MLS
FC54	54" ODL x 18" H	30" MLS
FC60	60" ODL x 18" H	36" MLS

Logs or Glass

60K BTU  
120K BTU  
180K BTU