

CASE# CL5-2014-0159  
ROW# 11247969  
TAX# 043010401  
(TCAD ✓)

CITY OF AUSTIN  
APPLICATION TO BOARD OF ADJUSTMENT  
GENERAL VARIANCE/PARKING VARIANCE

**WARNING: Filing of this appeal stops all affected construction activity.**

**PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.**

STREET ADDRESS: 2224 Parkway

LEGAL DESCRIPTION: Subdivision - \_\_\_\_\_

Lot(s) 24 Block \_\_\_\_\_ Outlot \_\_\_\_\_ Division \_\_\_\_\_

I/We Elizabeth Purcell on behalf of myself/ourselves as authorized agent for

Susan Goff affirm that on Oct 27, 2014

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below and state what portion of the Land Development Code you are seeking a variance from)

ERECT  ATTACH  COMPLETE  REMODEL  MAINTAIN  
ITEM 1) WE HAVE AN EXIST. DECK. ACCORDING TO TCAD HAS BEEN IN EXISTANCE SINCE 1935

2) APPROVAL of an excess of the FAR by 6% for the addition of a second floor. I HAVE ALREADY BEEN given the approval BY STEVE Sadowsky FOR my design

in a SF-3 district.  
(zoning district)

3) Recs property like encroachment

**NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.**

Please see my comments typed on following sheets

Permit Application  
2014-078928 PR

**PURCELL DESIGNS LLC.**  
**ELIZABETH STUART PURCELL**

ARCHITECTURAL INTERN, DESIGN CONSULTANT, PROJECT MANAGEMENT

1611 EVA ST.  
AUSTIN, TX. 78704  
(512) 436-5302  
purcell\_designs@hotmail.com

**APPLICATION TO BOARD OF ADJUSTMENT GENERAL VARIANCE**

**Property: 2224 Parkway**  
**Austin, TX 78703**

**Date: October 26, 2014**

**Client: Susan J. Goff**

**Permit App. No. 2014-078928 PR**

**We are requesting a hearing regarding <sup>3</sup>/<sub>2</sub> variances that we are required to acquire.**

**The first is an existing deck that according to TCAD dates in the late 30's that sits over a 25' easement that was deeded at the time of construction of this residence.**

**And the second is for my FAR on my proposed second floor addition.**

**REASONABLE USE:**

**DECK:** If I could have proved the deck is over 10 years old I could have applied for a Special Exception for this deck that has obviously been a part of this neighborhood and community for years. Please refer to **Attachment "A"** This deck encroaches into the 25' front yard setback. The house does not encroach, but the existing deck does. The portion of the deck that extends to the East provides a carport for the existing driveway, which we are bringing into code compliance.

**FAR:** This residence has many challenges. It is in a Historical Neighborhood. The existing kitchen wall from the original construction in the 30's and existing roof along the west wall are sitting over the P.U.E. so I am applying for an easement release on that. The deck, as mentioned above is over the 25' easement. The residence is considered non-compliant. There exists no real rear property line ( I had to pay to meet with Jaun Camou, City of Austin, on Feb. 4<sup>th</sup>, 2004 to have the Residential Review make up a fictitious rear property line

for me to use. In fact, the C.O.A. had to determine where all of my property lines and setbacks begin and end, because of the unusual shape of the lot. Please Ref: **Attachment A and B**. **Attachment B** shows the property lines and setbacks as determined by the C.O.A. The residence is also 1" away from the neighbors property on the South side.

### HARDSHIP:

#### **DECK:**

There is no proof anywhere how old this deck is. All of the documentation on this property varies. I have yet to find one single piece of older documentation that completely matches the others. The lot is an odd shape. We have already pulled the permit for the life and safety inspection. We have already filed for review and all of our drawings are on file at the City Of Austin to scale. The engineering address's all life and safety issues to bring the deck to current code. **Attachment "C"**. Our only modifications to the deck will be replacing the decking and a new guardrail.

#### **FAR:**

Because the house is non-compliant, I am not allowed to remove more than 50% of exterior walls and structural members. I based my design on only removing the roof structure. 25-2-963 MODIFICATION AND MAINTENANCE OF NONCOMPLYING STRUCTURES. I had to find a clever way of creating a second floor addition without modifying the downstairs except in a few areas of the house that I am raising the ceiling to 9'-0" because they are 7'-6" in height now and my clients would like to have all of their ceilings the same height. Ref: **Attachment "D" and "E"**. I instructed my contractor and Structural Engineer of my intent to keep original ceiling framing and work new framing into the existing to reduce the amount of demolition to the ceiling framing, which is measured in linear feet. This made the upstairs design become very tricky. I had to match, as best as possible the structural walls below. Please Ref: **Attachment "E" and "E" new proposed** New "E" proposed are the modifications to meet the Historical recommendations. I have so many hearings and variances on this project left to attend that I am not making all of my modifications, or having my Structural Engineer make modifications to our drawings until the hearing process is finished. Ref: **Attachment "F" p.1 and p.2**. I am 6% over on my FAR and request a variance due to the complexity of ALL of the zoning issues and historical issues that this project must comply to for permitting the addition of a second floor.

#### **HARDSHIP AND NEIGHBORHOOD:**

The modifications are not general to the area. Our hardships are based on the shape of our lot and the violations of the placement of our building in the 1930's that violated our setbacks and P.U.E. We only have a neighbor on one side, to the south. I am not proposing any modifications that will in anyway impact the only neighbor adjacent to the property.

### AREA CHARACTER:

Neither our proposed second floor addition or our existing (age undetermined) deck will alter the area adjacent to the property. Three sides of the house are the woods with no neighbors. Most of the houses in the area are two story and there is even one that the garage doors are on the sidewalk because of its non-compliance. Our proposed modifications to our structure adds to the neighborhood. It has the thumbs up from historical. The minor overage on the FAR or the variance on the deck effect no one. I am removing the little portion of roof

that overhangs the neighbors property and fire rating that corner, that is the S.E. corner of the residence that I am not making any modifications to.

**Please contact me if you have any questions.**

**Respectfully Submitted,**

*Elizabeth S. Purcell*

**October 26, 2014**

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**Elizabeth S. Purcell**

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**Date**

**PURCELL DESIGNS LLC.**

**1611 EVA ST.**

**AUSTIN, TX. 78704**

**(512) 436-5302**

**[purcell\\_designs@hotmail.com](mailto:purcell_designs@hotmail.com)**

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

\_\_\_\_\_  
\_\_\_\_\_

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

\_\_\_\_\_  
\_\_\_\_\_

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

\_\_\_\_\_  
\_\_\_\_\_

**NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.**

**APPLICANT CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Elizabeth Purcell Mail Address [REDACTED]

City, State & Zip Austin, Tx. 78704

Printed Elizabeth Purcell Phone 512-436-5300 Date Oct. 27<sup>th</sup>, 2014

**OWNERS CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed \_\_\_\_\_ Mail Address \_\_\_\_\_

City, State & Zip \_\_\_\_\_

Printed \_\_\_\_\_ Phone \_\_\_\_\_ Date \_\_\_\_\_

→  
see signed LETTER  
OF Authorization that  
is attached

25-2-476 SPECIAL EXCEPTIONS.

(A) The Board of Adjustment shall grant a special exception for an existing residential structure, or portion of an existing structure, that violates a setback required under Chapter 25-2 (Zoning) if the board finds that the special exception meets the requirements of this section.

(B) The Board shall grant a special exception under Subsection (A) of this section if:

(1) the residential use for which the special exception is sought is allowed in an SF-3 or more restrictive zoning district;

(2) the building official performs an inspection and determines that the violation does not pose a hazard to life, health, or public safety; and

(3) the Board finds that:

(a) the violation has existed for:

(i) at least 25 years; or

(ii) at least 10 years, if the application for a special exception is submitted on or before June 6, 2016;

(b) the use is a permitted use or a nonconforming use;

(c) the structure does not share a lot with more than one other primary residence; and

(d) granting a special exception would not:

(i) alter the character of the area;

(ii) impair the use of adjacent property that is developed in compliance with city code;

or

(iii) grant a special privilege that is inconsistent with other properties in the area or in the district in which the property is located.

(C) A special exception granted under this section:

(1) applies only to the structure, or portion of a structure, for which the special exception was granted and does not run with the land;

(2) may not authorize an increase in the degree of noncompliance or excuse compliance with minimum health and safety requirements; and

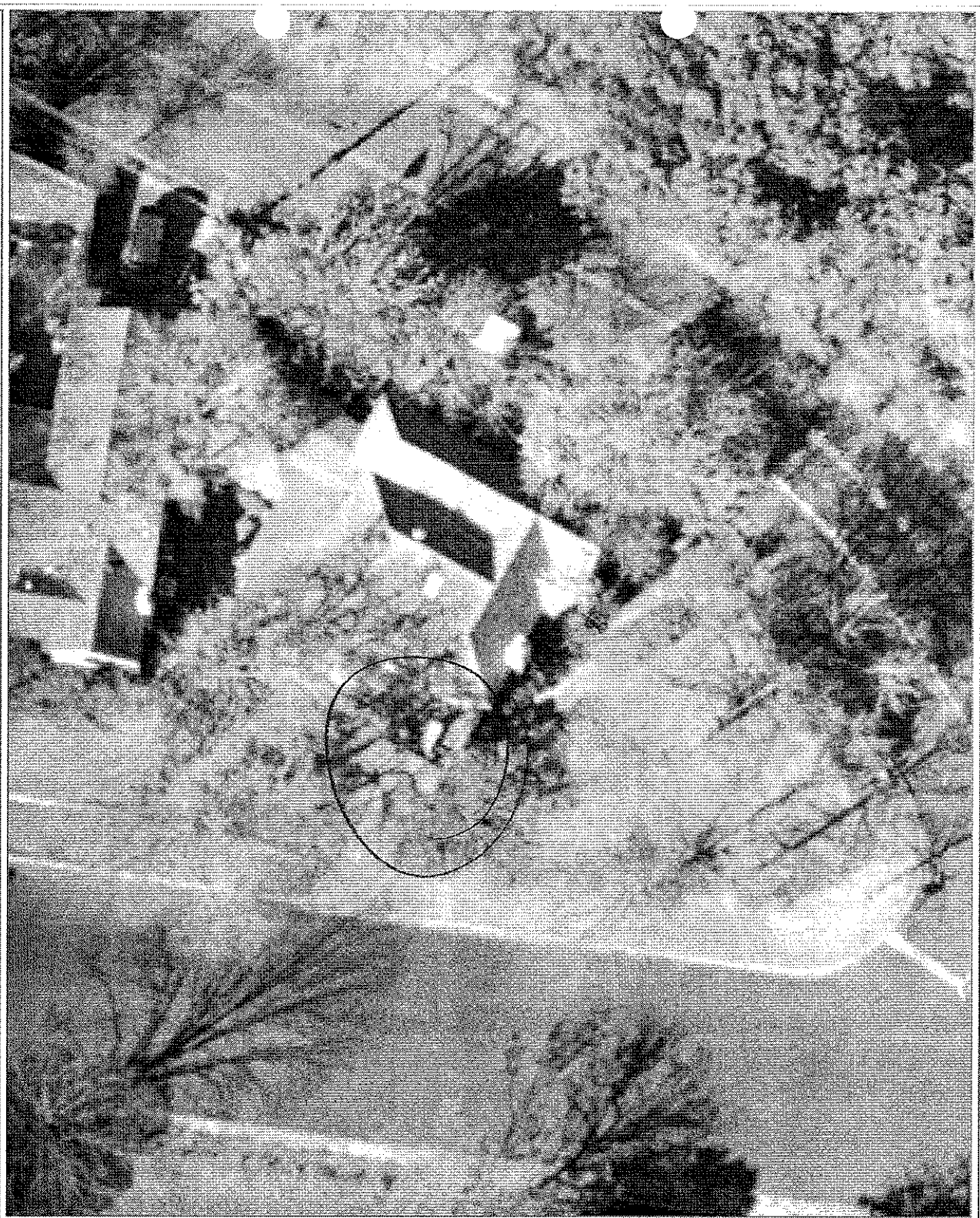
(3) may not authorize a remodel or addition to the existing structure, except to the extent required by the building official to meet minimum life and safety requirements.

(D) A structure granted a special exception under this section shall be treated as a non-complying structure under Chapter 25-2, Article 8 (Noncomplying Structures).








Source: Ord. 20110526-098; Ord. 20121108-091; Ord. 20130822-126.

CITY OF AUSTIN DEVELOPMENT WEB MAP

2003 Aerial






Legend

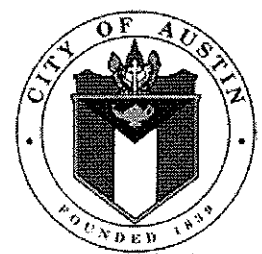
-  Lot Lines
-  Streets
-  Building Footprints
-  Named Creeks
-  Lakes and Rivers
-  Parks
-  County

THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS.



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

CASE#: C15-2014-0159  
 Address: 2224 PARKWAY



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 200'



## Heldenfels, Leane

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**From:** liz purcell [REDACTED]  
**Sent:** Monday, November 17, 2014 5:45 PM  
**To:** Maile Roberts-Loring; leland551960; Scott; Heldenfels, Leane; Sadowsky, Steve; Barr, Susan  
**Subject:** Fwd: Heads up, potential RDCC case application coming in for your 12/3 meeting (2224 Parkway)  
**Attachments:** status.pdf

I think that I may have one additional item I would like to possibly go for a variance on. I need to see. I have a little room to the west of the house, probably the original garage. During th leveling of the house, the floor has a slope from the west side to the east. As all of you are aware, the house has every issue possible at the COA. The ceiling height in this part of the house is only 7'. And I have my "Invented by the COA" rear setback right in the middle of that room. We have already basically gotten approval from historical, but that was based on me not touching that little room. And on top of that the South East corner of the room is 1" away from the property line so I have to fire rate that corner anyway. We need to go up in that setback to get a livable ceiling ht in that room. My clients are all very tall. Can I include that in one of my hearings? Could you guys all pick a day and give me all of my hearings at once? Anyway...can I combine a hearing for raising the ceiling in that little room by a foot where it in croches on the setbacks..except the street side yard of course?

Steve, what will this do to my historic review? will I have to do another?

----- Forwarded message -----

**From:** Heldenfels, Leane <Leane.Heldenfels@austintexas.gov>  
**Date:** Mon, Nov 17, 2014 at 3:50 PM  
**Subject:** Heads up, potential RDCC case application coming in for your 12/3 meeting (2224 Parkway)  
**To:** "Word, Daniel" <Daniel.Word@austintexas.gov>  
**Cc:** "Ramirez, Elaine" <Elaine.Ramirez@austintexas.gov>, liz purcell <[REDACTED]>

This case was first applied for as a BOA setback for existing deck up to property line in 25' front setback and 6% FAR variance, but now we have aerial evidence that deck has been in existence for 10 years and can take the setback part of the request forward as a Special Exception.

So I recommended to applicant to take the FAR request to RDCC since Board will most likely ask if she first attempted that and then postpone her anyway since her request is for only 6% FAR increase, not over 25%.

She/applicant (Liz Purcell) wanted to keep on BOA in case she was denied at RDCC, but I told her it would cost her the fee of \$388 since notices will have to go out soon for the agenda, so now instead she will go to the 1/12 BOA if denied at RDCC in December.

Let me know if questions – she said she would come in ASAP w/ the RDCC application.

Thanks –

Leane

# WINDSOR ROAD EAST

(60' RIGHT-OF-WAY)  
BOOK 3, PAGE 158  
T.C.P.R.

REFERENCE SP-1 AND SP-2  
FOR SITE PLAN NOTES

THIS is my pretend P.P.L

PER JAN CAHOUL CITY OF AUSTIN  
MEETING DATED FEB. 4, 2014

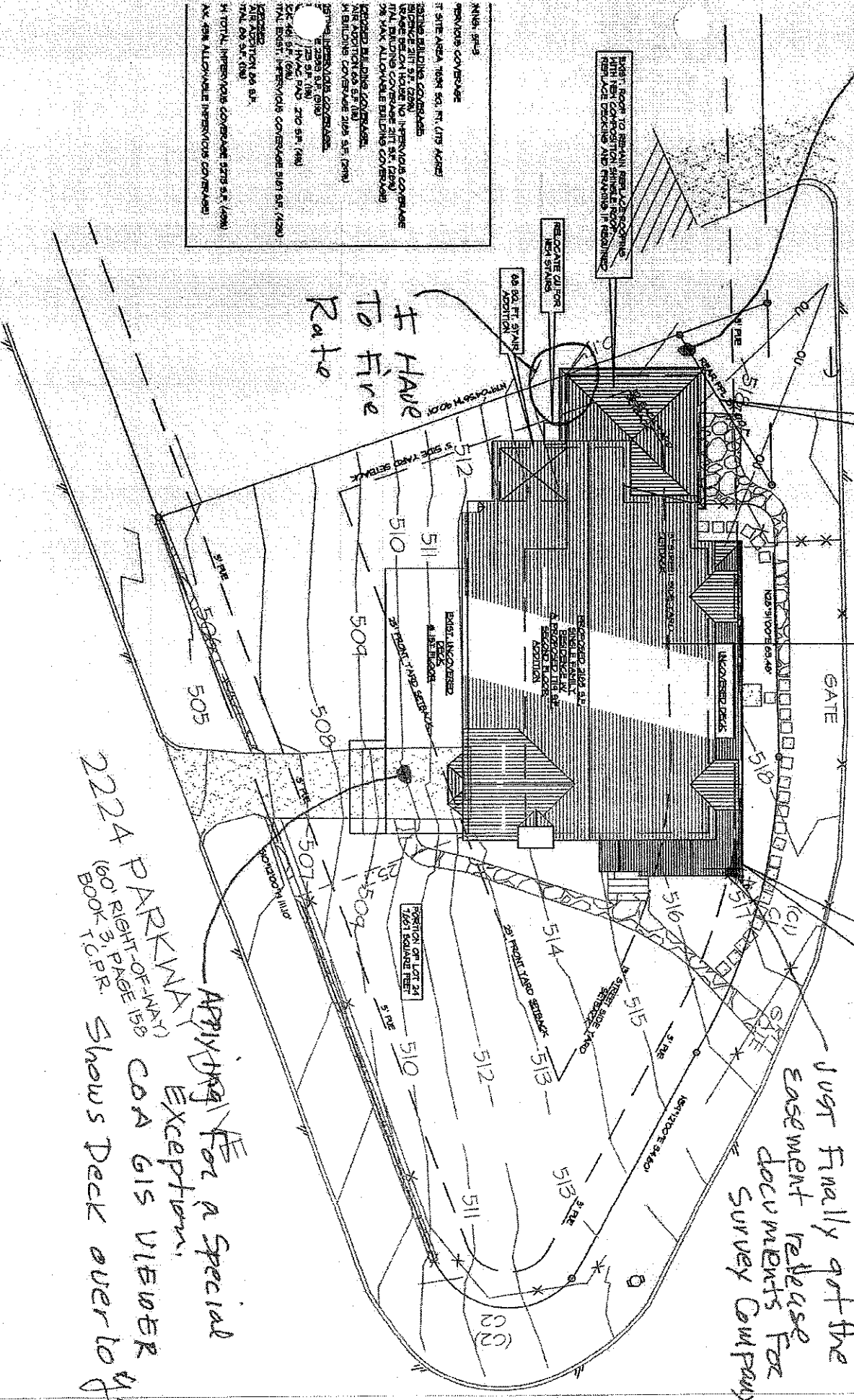
ALLOWABLE SECOND STORY ADDITION  
PER JAN CAHOUL CITY OF AUSTIN  
MEETING DATED FEB. 4, 2014

CONTRACTOR TO PROVIDE GRADING  
AS REQUIRED AFTER LEVELING OF  
FOUNDATION TO GRADE AND  
FROM SITE BY OWNER.

FIRST FLOOR TO REMAIN REFERENCE ROOFING  
WITH NEW COMPOSITION SHINGLE ROOF.  
REPLACE CEILING AND FINISHING IF REQUIRED.

FIRST FLOOR TO REMAIN REFERENCE ROOFING  
WITH NEW COMPOSITION SHINGLE ROOF.  
REPLACE CEILING AND FINISHING IF REQUIRED.

MINOR SP-3  
PERVIOUS COVERAGE  
TOTAL AREA 1094 SQ. FT. (175 ACRES)  
TOTAL BUILDING COVERAGE  
BASED ON 2117 SQ. FT. (22%)  
TOTAL BUILDING COVERAGE  
BASED ON HOUSE NO. IMPERVIOUS COVERAGE  
TOTAL BUILDING COVERAGE 2117 SQ. FT. (22%)  
7% MAX ALLOWABLE BUILDING COVERAGE  
APPROVED BUILDING COVERAGE  
IN ADDITION 605 SQ. FT. (6%)  
IN BUILDING COVERAGE 2185 SQ. FT. (20%)  
GENERAL IMPERVIOUS COVERAGE  
E 2283 SQ. FT. (6%)  
123 SQ. FT. (1%)  
224 SQ. FT. (6%)  
TOTAL EXIST. IMPERVIOUS COVERAGE 2187 SQ. FT. (20%)  
APPROVED  
IN ADDITION 605 SQ. FT.  
TOTAL 2792 SQ. FT. (18%)  
IN TOTAL IMPERVIOUS COVERAGE 2792 SQ. FT. (18%)  
MAX. PER. ALLOWABLE IMPERVIOUS COVERAGE



± HAVE  
TO FIVE  
Rate

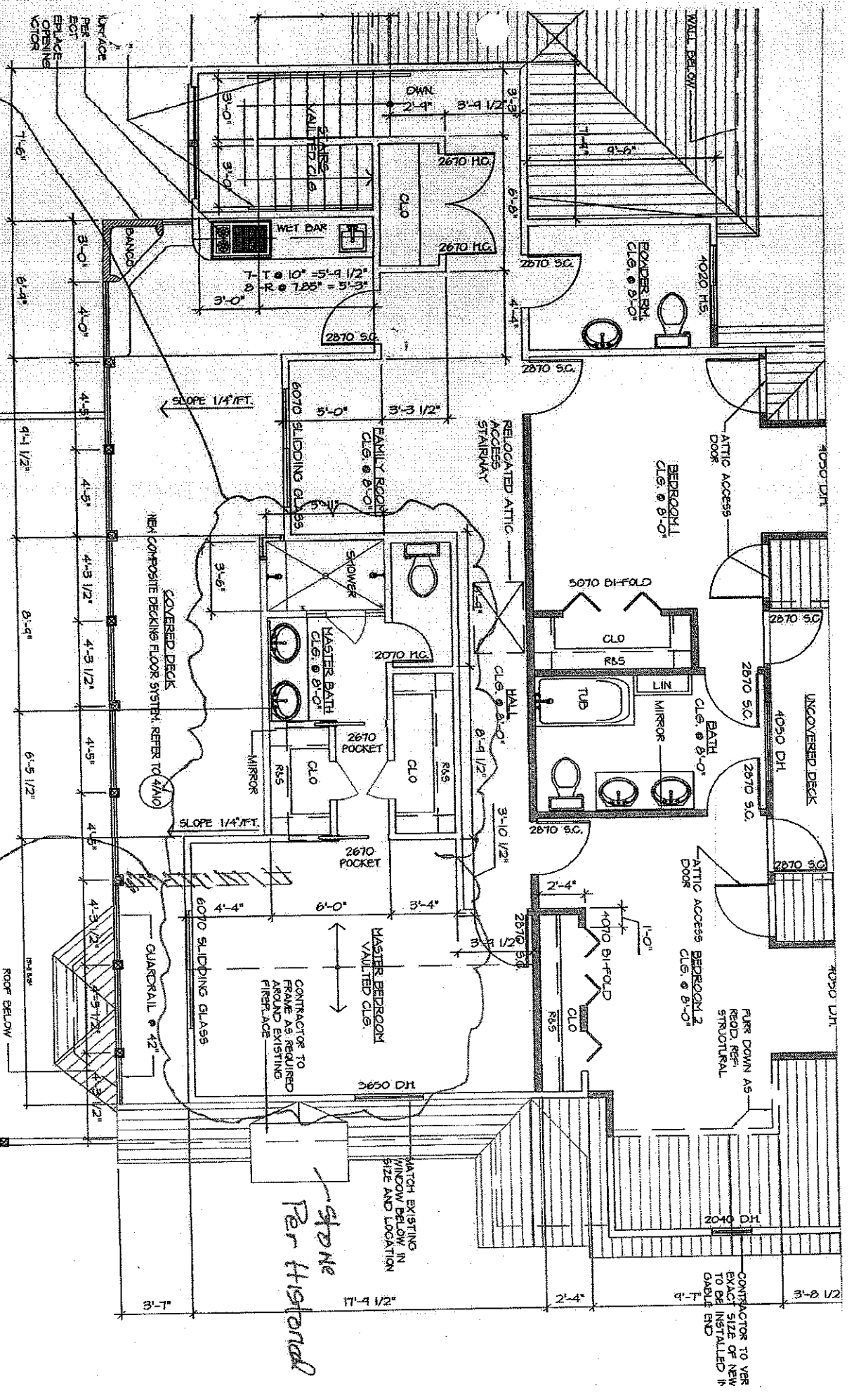
2224 PARKWAY  
(60' RIGHT-PAGE 158)  
BOOK 3, P.P.R. Shows Deck over to yrs  
APPLYING For a Special  
Exception!  
COA GIS VIEWER

Just Finally got the  
Easement release  
documents for  
Survey Company



I shifted this whole area to the south 2' for historical Recommendations

A wall below that is to be removed on our proposed plans on file



STONE  
Per Historical

CONTRACTOR TO VERIFY EXACT SIZE OF NEW GABLE END

FUR DOWN AS RECD. REPAIR STRUCTURAL

CONTRACTOR TO FRAME AS REQUIRED AROUND EXISTING FIREPLACE

WATCH EXISTING WINDOW BELOW IN SIZE AND LOCATION

SLOPE 1/4" FT.

SLOPE 1/4" FT.

NEW COMPOSITE DECKING FLOOR SYSTEM; REFER TO 4110

EXIST UNCOVERED DECK 1ST FLOOR

ROOF BELOW

ATTIC ACCESS BEDROOM 2 CLE. @ 8'-0"

BEDROOM CLE. @ 8'-0"

RELOCATED ATTIC ACCESS STAIRWAY

FAMILY ROOM CLE. @ 8'-0"

6070 SLIDING GLASS

6070 SLIDING GLASS

6070 SLIDING GLASS

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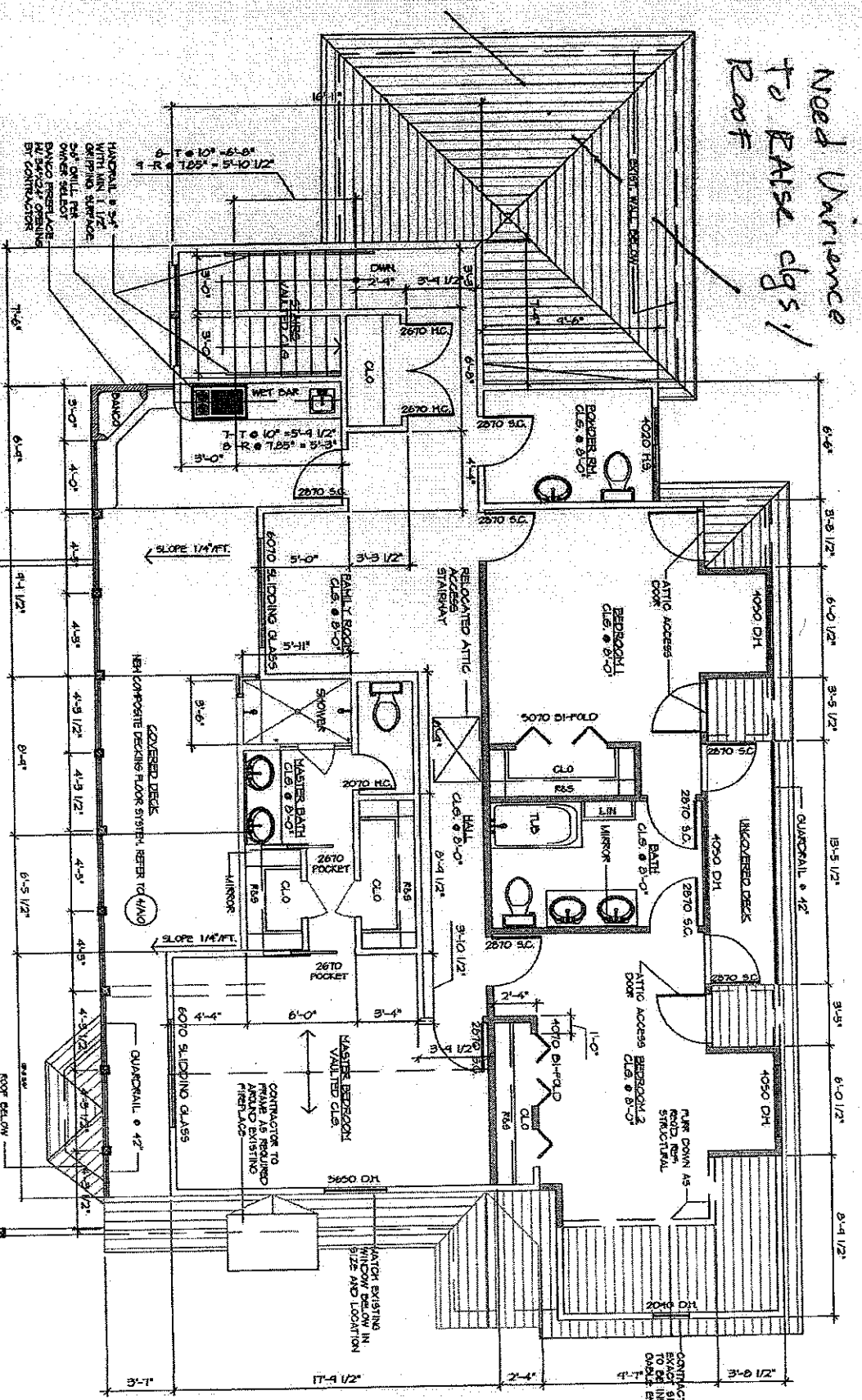
6070 SLIDING GLASS

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6070 SLIDING GLASS

6070 SLIDING GLASS

Need Variance  
to Raise dgs /  
Roof



my FAR is over 40%  
because I am dealing  
with structural issues  
and a house that has  
many interesting issues.  
If you notice my second  
floor design follows the  
structural bearing

walls below. This  
design of size is  
minimal compared  
to the size of most  
other houses in this  
neighborhood

NOTE:  
CONTRACTOR TO COORDINATE WITH  
OWNER ALL INTERIOR FINISHES, EXISTING FLOOR  
REPLACEMENT ETC. AND TO INCLUDE THAT IN THEIR  
BID.

~~BEAR  
TRIM  
SETBACK  
FROM  
CORNER~~

8-T @ 10" = 6'-8"  
9-R @ 120" = 5'-10 1/2"

HALL  
CLG. @ 8'-0"

7-T @ 10" = 5'-10"  
8-R @ 120" = 5'-3"

BEDROOM  
CLG. @ 9'-0"

MASTER BEDROOM  
CLG. @ 9'-0"  
F.F. @ 518.74'

(B) CLG. @ 7'-6"  
CEILING TO BE RAISED  
TO 9'-0"

HALL  
CLG. @ 9'-0"  
F.F. @ 518.74'

NEW PANTRY

KITCHEN  
CLG. @ 9'-0"

(B) CLG. @ 7'-6"  
CEILING TO BE RAISED  
TO 9'-0"

LIVING ROOM  
CLG. @ 9'-0"  
F.F. @ 518.74'

REMOVE ATTIC ACCESS  
SALVAGE FOR RELOCATION

DINING ROOM  
CLG. @ 9'-0"  
F.F. @ 518.74'

ENTRY  
CLG. @ 9'-0"

EXISTING UNCOVERED DECK  
& 1ST FLOOR  
NEW IPE DECKING OR EQUAL

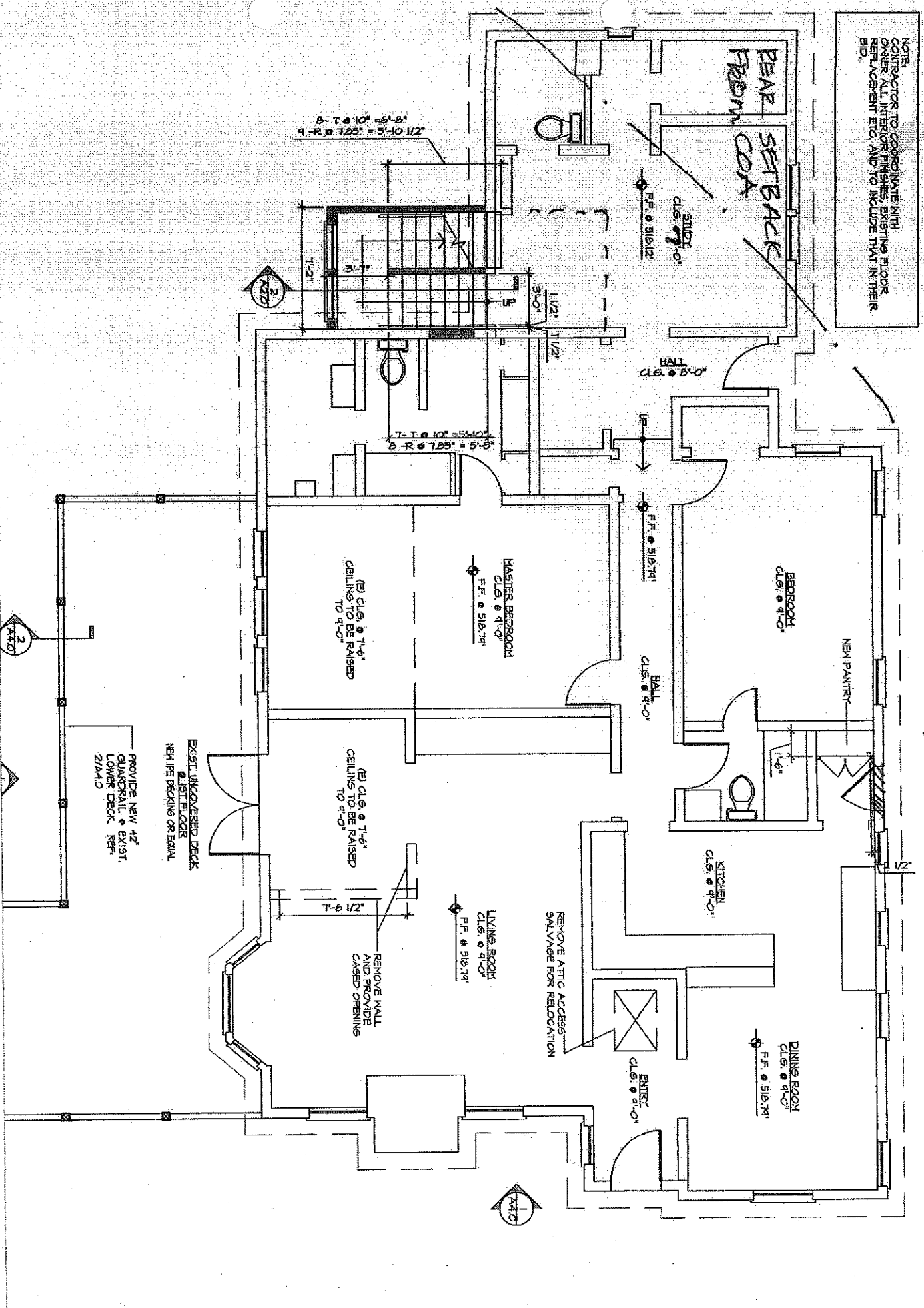
PROVIDE NEW 42"  
GLAZEPAIL @ EX191,  
LOWER DECK REF.  
214410

REMOVE WALL  
AND PROVIDE  
CASED OPENING

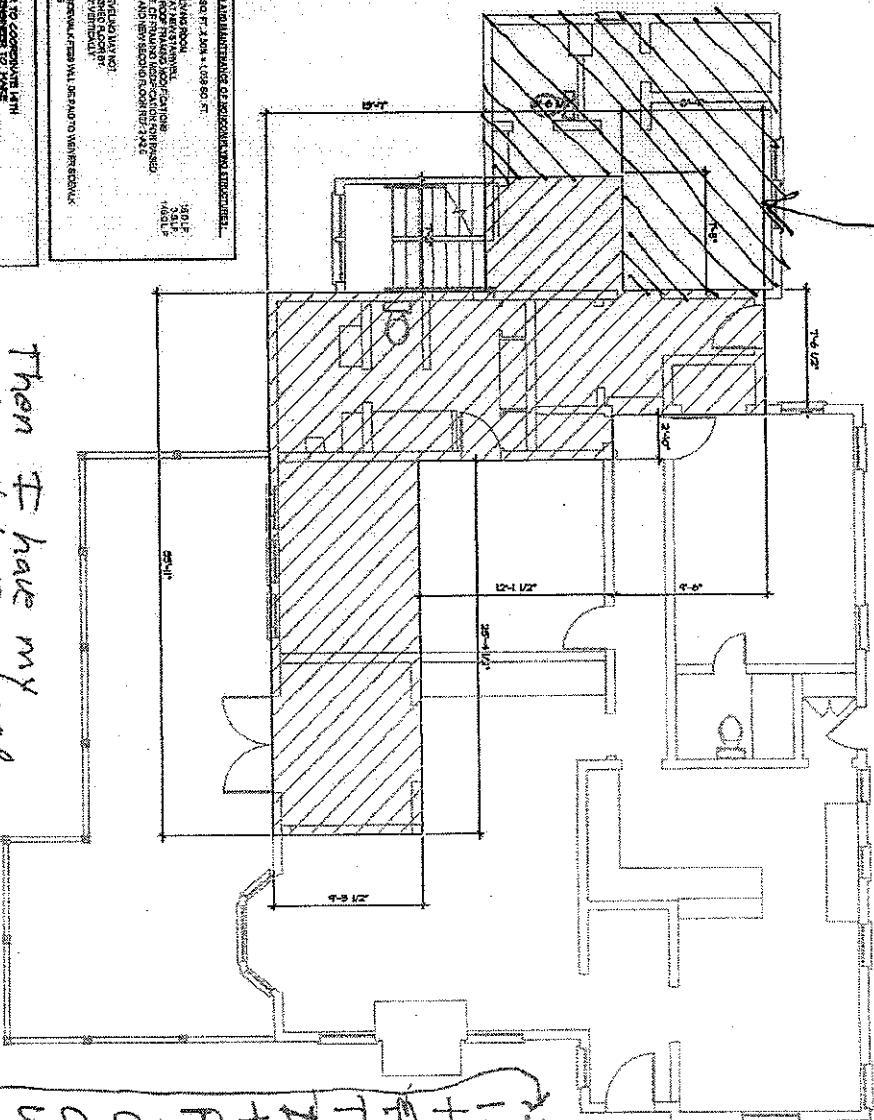
7'-6 1/2"

2  
A410

2  
A410



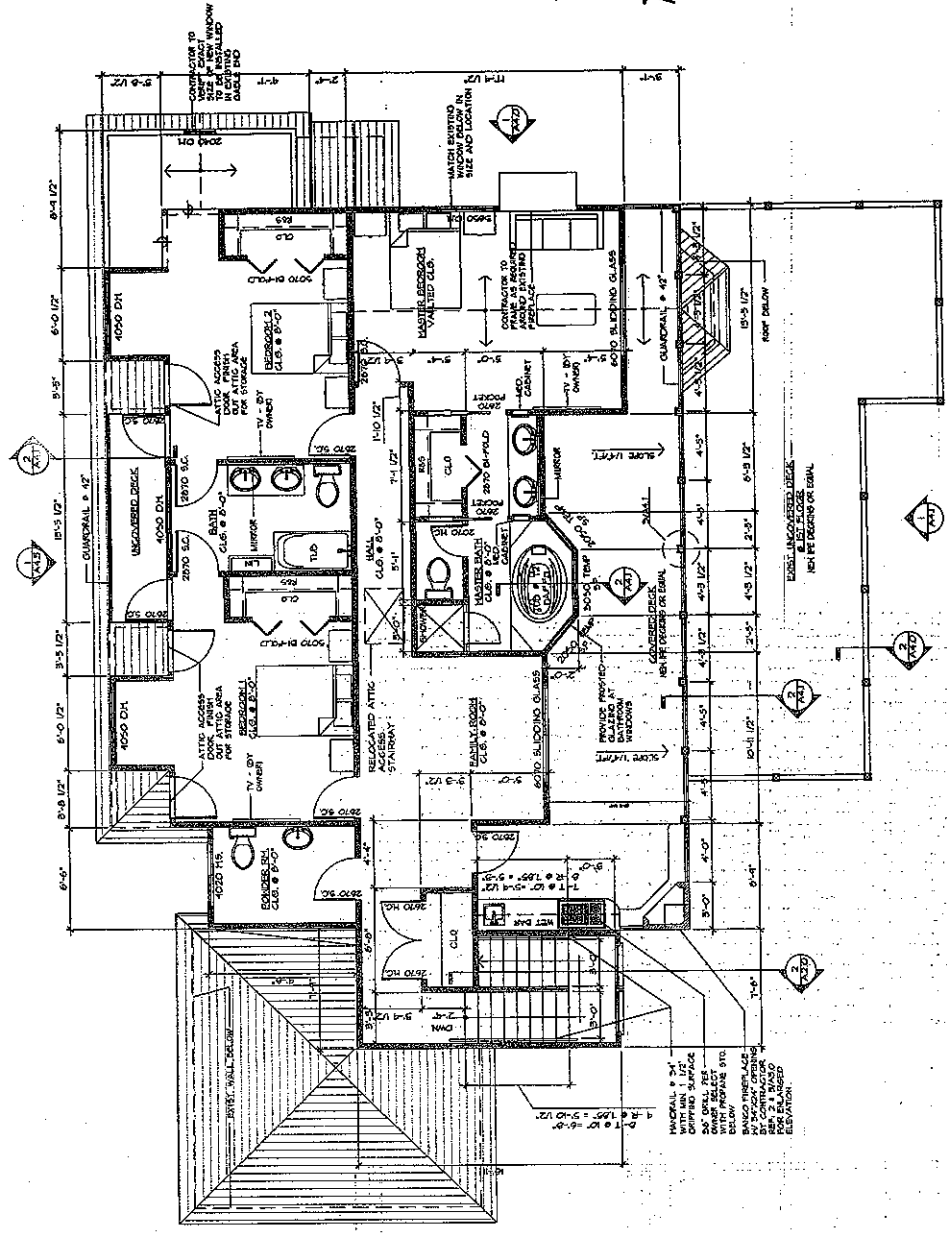
We have an issue in this area.



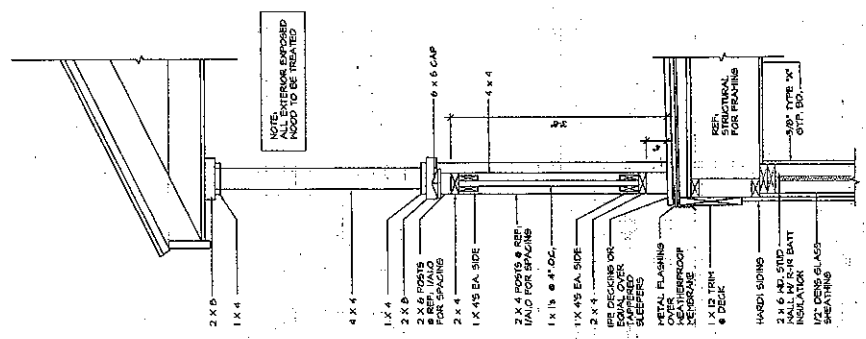
**ROOFING AND LIGHTING OF RESIDENTIAL UNITS**  
 SECTION 211720 - FT. 2.500 x 1.000 80 FT.  
 1. WALL TYPED ROOM  
 2. ORIGINAL EXTERIOR WALL  
 3. ORIGINAL EXTERIOR WALL  
 4. ORIGINAL EXTERIOR WALL  
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 99. ORIGINAL EXTERIOR WALL  
 100. ORIGINAL EXTERIOR WALL

Then I have my allowable removal of structural members due to my non-compliance status. This was what I originally had calculated (Removal of the roof doesn't count)

It have instructed the Contractor Engineer that any Demos was to only be performed in my hatched area and all new framing was to be in place as best as possible to reduce demo of existing However see Blue text.



1 SECOND FLOOR PLAN / 1ST FLOOR ROOF PLAN  
 SCALE: 1/4" = 1'-0" (1/4" X 11" X 17" SHEET SIZE)  
 1/8" = 1'-0" (1/8" X 11" X 17" SHEET SIZE)



2 WALL SECTION  
 SCALE: 1/2" = 1'-0" (1/2" X 11" X 17" SHEET SIZE)



**ESP DESIGN CONSULTANTS  
ELIZABETH STUART PURCELL**

**ARCHITECTURAL INTERN, DESIGN CONSULTANT, PROJECT MANAGEMENT**

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AUSTIN, TX. 78704  
(512) 436-5302

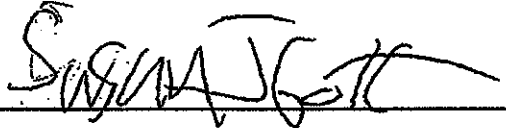
Date: April 27, 2014

**LETTER OF AUTHORIZATION TO ACT AS OWNERS AGENT:**

**Property: 2224 Parkway  
Austin, TX 78703**

**Client: Susan Goff**

**This is to authorize Elizabeth S. Purcell to act as my agent in regards to the property at 2224 Parkway, Austin, TX for building plan submittal, Historical Review, Foundation repair and all other permits required by the City of Austin.**

  
\_\_\_\_\_

4-28-14

Date

**Purcell Designs, LLC  
Elizabeth S. Purcell**

**Austin, Texas 78704  
(512) 436-5302**

~~Purcell\_designs@hotmail.com~~

TAX CERTIFICATE  
Bruce Elfant  
Travis County Tax Assessor-Collector  
P.O. Box 1748  
Austin, Texas 78767  
(512) 854-9473

NO 2242087

ACCOUNT NUMBER: 01-1301-0401-0000

PROPERTY OWNER:

GOFF SUSAN JANELLE  
3101 ABOVE STRATFORD PL  
AUSTIN, TX 78746-4600

PROPERTY DESCRIPTION:

N 111.1 FT APPROX LOT 24 ENFIELD D

ACRES .1787 MIN% .000000000000 TYPE

SITUS INFORMATION: 2224 PARKWAY

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR	ENTITY	TOTAL
2013	AUSTIN ISD	*ALL PAID*
	CITY OF AUSTIN (TRAV)	*ALL PAID*
	TRAVIS COUNTY	*ALL PAID*
	TRAVIS CENTRAL HEALTH	*ALL PAID*
	ACC (TRAVIS)	*ALL PAID*
TOTAL SEQUENCE 0		*ALL PAID*
TOTAL TAX:		*ALL PAID*
UNPAID FEES:		* NONE *
INTEREST ON FEES:		* NONE *
COMMISSION:		* NONE *
TOTAL DUE ==>		*ALL PAID*

TAXES PAID FOR YEAR 2013 \$4,018.46

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2013 EXCEPT FOR UNPAID YEARS LISTED ABOVE.

The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).

Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

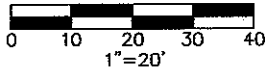
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 05/08/2014

Fee Paid: \$10.00

Bruce Elfant  
Tax Assessor-Collector

By: 

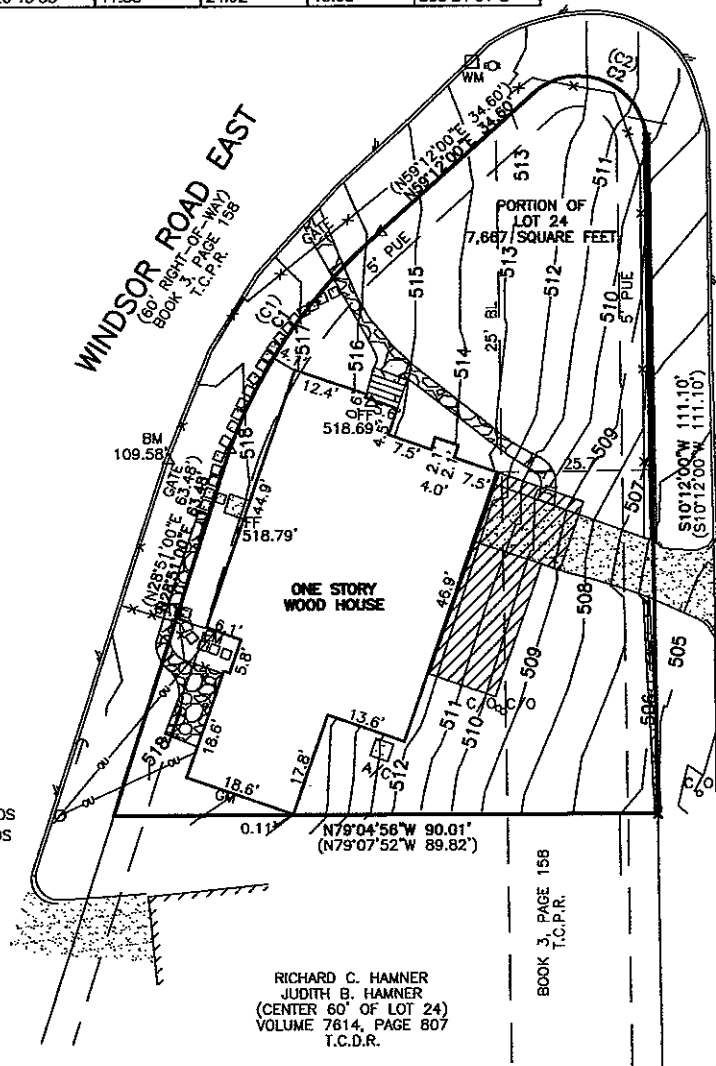




**LEGEND**

- 1/2" IRON ROD FOUND
- △ CALCULATED POINT
- ( ) RECORD INFORMATION
- CONCRETE
- ▨ WOOD DECK
- ▩ ROCK
- WM WATER METER
- C/O CLEANOUT
- EM ELECTRIC METER
- GM GAS METER
- FIRE HYDRANT
- ASPHALT
- WIRE FENCE
- ⊙ POWER POLE
- ⌒ GUY WIRE
- o-o- OVERHEAD UTILITY
- 5' PUE 5' PUBLIC UTILITY EASEMENT  
BOOK 3, PAGE 158 T.C.P.R.
- 25' BL 25' BUILDING LINE SETBACK  
BOOK 3, PAGE 158 T.C.P.R.
- T.C.D.R. TRAVIS COUNTY DEED RECORDS
- T.C.P.R. TRAVIS COUNTY PLAT RECORDS

CURVE TABLE					
No.	Radius	Arc Length	Chord Length	Chord Bearing	
C1	28°56'54"	87.14'	44.03'	43.56'	N45°56'02"E
(C1)	28°56'42"	87.14'	44.02'	43.56'	N45°56'02"E
C2	122°47'52"	11.35'	24.33'	19.93'	S55°24'01"E
(C2)	120°43'33"	11.35'	24.92'	19.93'	S55°24'01"E



2224 PARKWAY DRIVE  
 (50' RIGHT-OF-WAY)  
 BOOK 3, PAGE 158  
 T.C.P.R.

Attachment "A"  
 with DECK AS  
 IS

NOTES:  
 1. BOUNDARY, EASEMENTS AND BUILDING LINES AS PER PLAT AND SURVEY DATED 10/15/2013 BY WINDROSE LAND SERVICES. NO ADDITIONAL RESEARCH WAS DONE BY LIVE OAK SURVEYING FOR ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD WHICH MAY AFFECT THIS PROPERTY.

TO: ELIZABETH PURCELL

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND OF THE PROPERTY SHOWN HEREON AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DEAN A WOODLEY DATE:  
 REGISTERED PROFESSIONAL  
 LAND SURVEYOR NO. 5086

© COPYRIGHT DEAN WOODLEY, 2014  
 ALL RIGHTS RESERVED

CLIENT: ELIZABETH PURCELL  
 FIELD BOOK: , PAGE:  
 DRAWN BY: P.M.W.  
 PROJECT NO.: 1074-01-14  
 DATE: APRIL 30, 2014  
 FILE: 10740114.DWG

**SURVEY**  
 OF 0.175 ACRES OF THE NORTH PART OF LOT 24  
 ENFIELD "D"  
 AS RECORDED IN BOOK 3, PAGE 158  
 TRAVIS COUNTY, TEXAS



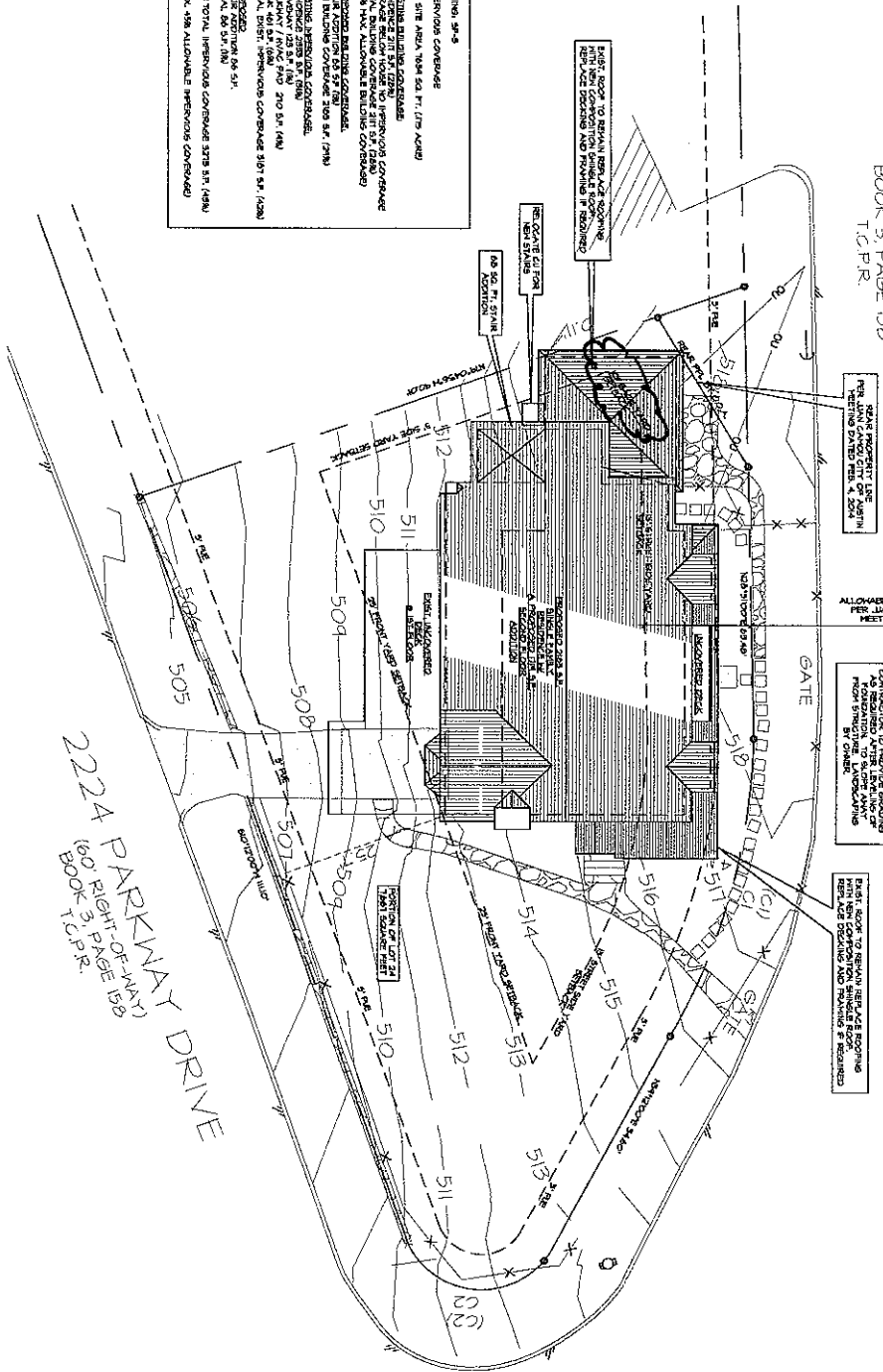
**LIVE OAK SURVEYING**  
 12421 WYCLIFF LANE  
 AUSTIN, TX 78727-5220  
 (512) 837-1018

# ATTACHMENT "B"

## WINDSOR ROAD EAST

(60' RIGHT-OF-WAY)  
BOOK 3, PAGE 158  
T.C.P.R.

<b>ZONING SF-5</b>	<b>PERMITTED COVERAGE</b>
NET SITE AREA: 1044 SQ. FT. (178 ACRES)	
<b>EXISTING BUILDING COVERAGE:</b>	
EXISTING 211 SF (211) IMPERVIOUS COVERAGE	
TOTAL BUILDING COVERAGE 211 SF (211)	
<b>MAX. ALLOWABLE BUILDING COVERAGE</b>	
EXISTING BUILDING COVERAGE	
PERMITTED BUILDING COVERAGE	
TOTAL BUILDING COVERAGE: 300 SF (27%)	
<b>EXISTING IMPERVIOUS COVERAGE:</b>	
EXISTING 211 SF (211)	
PERMITTED IMPERVIOUS COVERAGE	
TOTAL IMPERVIOUS COVERAGE: 310 SF (29%)	
<b>PERMITTED</b>	
STORY ADDITION 24 SF (2%)	
PERMITTED IMPERVIOUS COVERAGE: 335 SF (32%)	
<b>MAX. ALLOWABLE IMPERVIOUS COVERAGE</b>	
PERMITTED IMPERVIOUS COVERAGE: 335 SF (32%)	



ALLOWABLE SECOND STORY ADDITION PER PLAN GAMESO CITY OF AUSTIN MEETING DATED FEB. 4, 2014

CONTRADICTIONS TO ANY OTHER DRAWING OR SPECIFICATION TO TAKE PRECEDENCE FROM THIS DRAWING. LANDSCAPING IS A GENERAL.

EXIST. 211 SF TO REMAIN WITH 42 SF REMOVED WITH NEW CONSTRUCTION. REMOVED FLOOR AREA COULD BE REUSED FOR OTHER PURPOSES.

NOTE:  
REFERENCE SP-1 AND SP-2 FOR SITE PLAN NOTES

1 ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0" (11" X 17" SHEET SIZE)

	<b>SUSAN GOFF RESIDENTIAL REMODEL</b> 2224 PARKWAY AUSTIN TX		<b>RB ARCHITECT</b> 1100 N. BRUNNEN AUSTIN, TEXAS 78704 TEL: 512.436.5302 FAX: 512.436.5303		<b>ESP</b> DESIGN CONSULTANTS 1611 EVA STREET AUSTIN, TEXAS 78704 PH: (512) 436-5302 EMAIL: PURCELL_DESIGNS@HOTMAIL.COM
	PREPARED BY: [Signature] DATE: [Date]		1100 N. BRUNNEN AUSTIN, TEXAS 78704 TEL: 512.436.5302 FAX: 512.436.5303		

# ATTACHMENT "C"

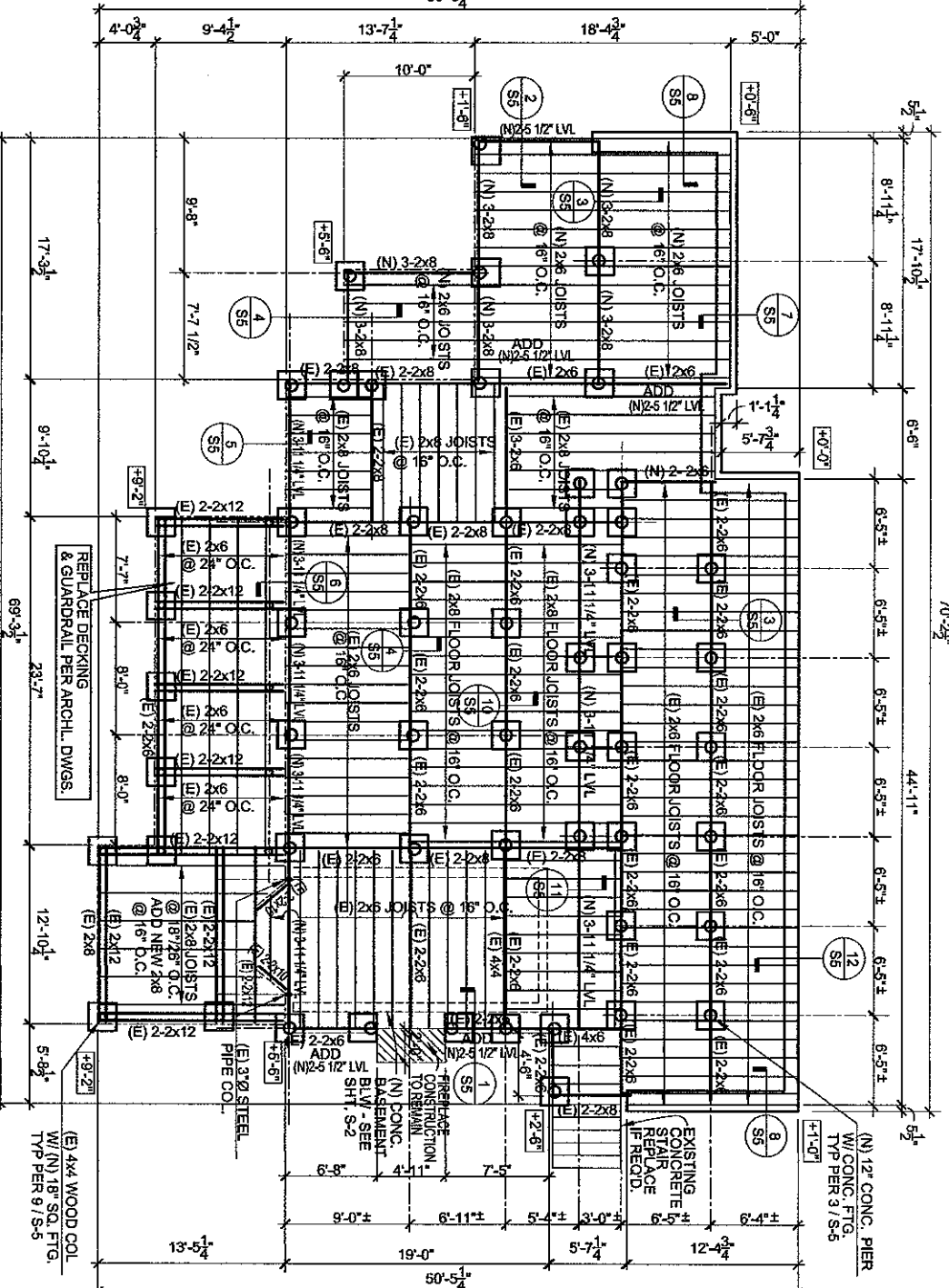


## FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

- PLAN NOTES:
1. O.C. SHALL PROVIDE POSITIVE SITE DRAINAGE PER ARCH/ENGINEER OR DISCHARGE PRIOR TO CONSTRUCTION.
  2. SEE SHEET 87 FOR STRUCTURAL NOTES.
  3. (E) INDICATES EXISTING CONSTRUCTION, (N) INDICATES NEW CONSTRUCTION.
  4. VERIFY THAT THE EXISTING SILL, BEAM JOISTS BREAK AT PROPOSED EXISTING PIERS AND ADD SUPPLEMENTAL 2x6 BEAM REINFORCEMENT AS REQUIRED TO ACHIEVE THIS CONDITION.
  5. (E) DENOTES APPROXIMATE FINISH FLOOR ELEVATION ABOVE ADJACENT EXISTING GRADES.

6. O.C. SHALL VERIFY ALL EXISTING CONSTRUCTION INCLUDING DIMENSIONS W/ SITE CONDITIONS AND NOTIFY ARCH/ENGINEER OR DISCHARGE PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL REPLACE ANY EXISTING DAMAGED, DETERIORATED OR BADLY WARPED FLOOR JOISTS, BEAMS, DECKING & WOOD COILS, AS REQD. O.C. SHALL ALSO REPAIR THE EXISTING SYSTEM AS REQUIRED AS PART OF THE FOUNDATION UPGRADE.
8. THE ALL BEAMS TO PIERS WITH SIMPSON PATE OR EQUIVALENT.
9. SEE ARCH'L FOR DEMOLITION REQUIREMENTS.
10. THE O.C. SHALL INSTALL AND REMOVE SHORING AS REQUIRED FOR THE EXECUTION OF THE WORK. CONSULT WITH THE STRUCTURAL ENGINEER IF REQUIRED FOR ASSISTANCE.
11. USE TREATED MATERIAL FOR SILL, BEAMS LESS THAN 12" ABOVE FINISH GRADE AND FLOOR JOISTS LESS THAN 9" ABOVE FINISH GRADE.
12. USE 5000 PSI CONCRETE AND ASTERGRACE GROUT TO BEAR.
13. NOTIFY O.C. WITHIN 48 HOURS FOR FOOTING & RANKING INSPECTIONS. THE O.C. SHALL VERIFY ALL SHALL VERIFY THE PERFORMANCE OF THE FOUNDATION DESIGN.

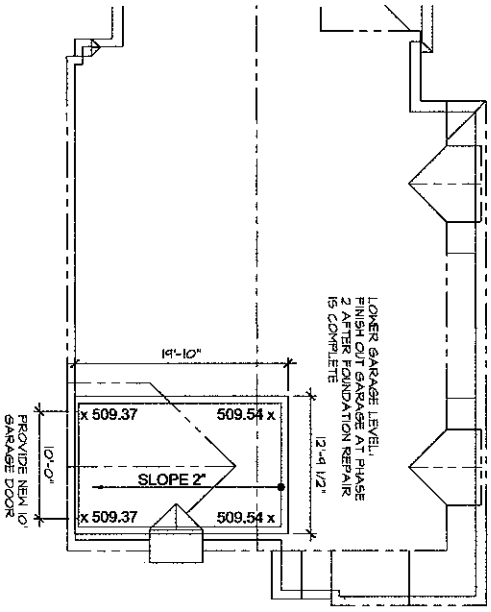


<p><b>GOFF RESIDENCE REMODEL</b> 2224 PARKWAY AUSTIN TEXAS</p>	<p><b>SUSAN GOFF</b> 2224 PARKWAY AUSTIN TEXAS</p>		<p><b>LOConsultants</b> Civil, Structural and Environmental Engineers Texas Registered Engineering Firm F-4755 1000 E. 17th Street, Suite 100 Austin, TX 78702-4400 Phone: 512.452.8888 Fax: 512.452.8889</p>
<p>DRAWN BY: <u>PRD</u> CHECKED BY: <u>TO</u> REVISIONS:</p>	<p><b>S-1</b> OF 8</p>	<p>S14007 5-28-14</p>	

# ATTACHMENT "D"



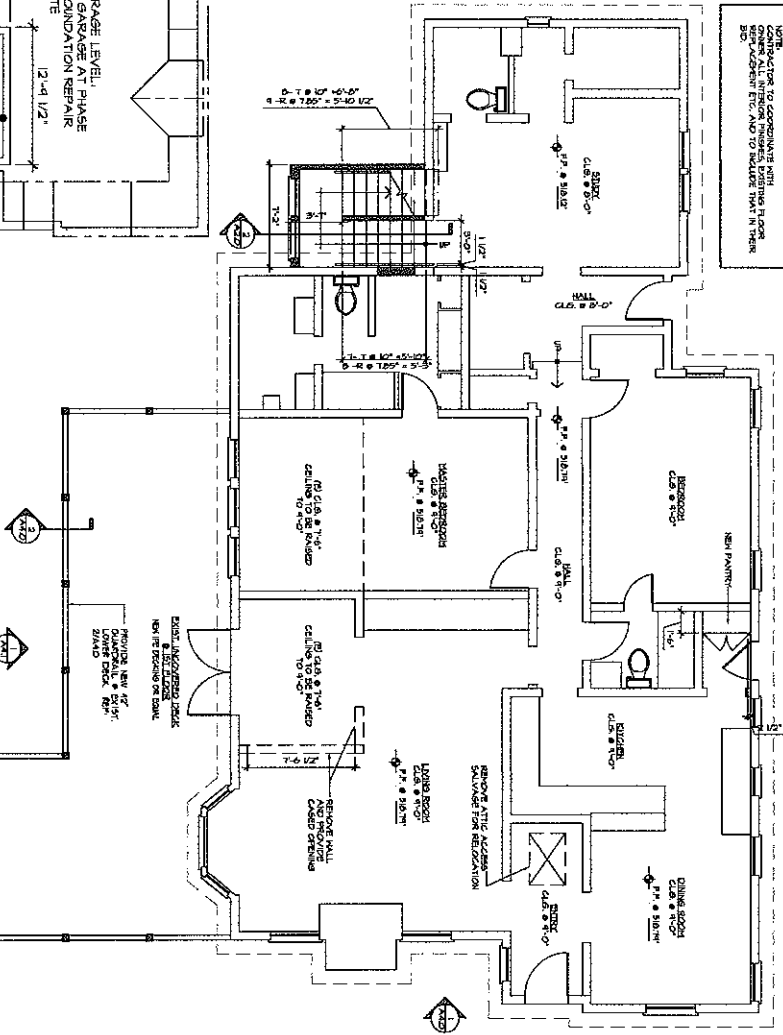
**2 FIRST LEVEL GARAGE PLAN**  
 SCALE: 1/8" = 1'-0" (11" X 17" SHEET SIZE)  
 1/8" = 1'-0" (11" X 17" SHEET SIZE)



- FIRST FLOOR SCOPE OF WORK:
1. INTERIOR PAINTING
  2. NEW PAINT AT ENTRY
  3. CEILING TO BE REMOVED IN ROOMS
  4. REPAIR OF STRUCTURE AS REQUIRED
  5. REPAIR OF WALLS IN ROOMS
  6. REMOVE OF WALLS IN ROOMS



**1 FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" (11" X 17" SHEET SIZE)  
 1/8" = 1'-0" (11" X 17" SHEET SIZE)

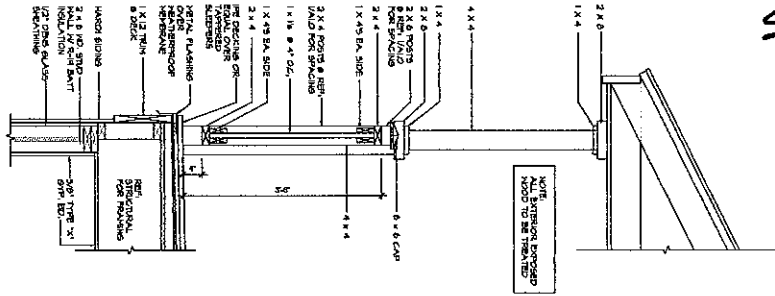


<p><b>A1.0</b></p> <p>OF 17</p>	<p><b>SUSAN GOFF RESIDENTIAL REMODEL</b>                  2224 PARKWAY                  AUSTIN TX</p>		<p>DAVID M. BAKER                  LICENSED PROFESSIONAL ENGINEER                  STATE OF TEXAS                  NO. 13584</p>		<p>BOB BERMAN                  LICENSED PROFESSIONAL ARCHITECT                  STATE OF TEXAS                  NO. 13584</p>	<p><b>ESP</b></p>	<p><b>DESIGN CONSULTANTS</b>                  1611 EVA STREET                  AUSTIN, TEXAS 78704</p> <p>PH: (512) 436-5302                  E-MAIL: PURCELL_DESKINS@HOTMAIL.COM</p>

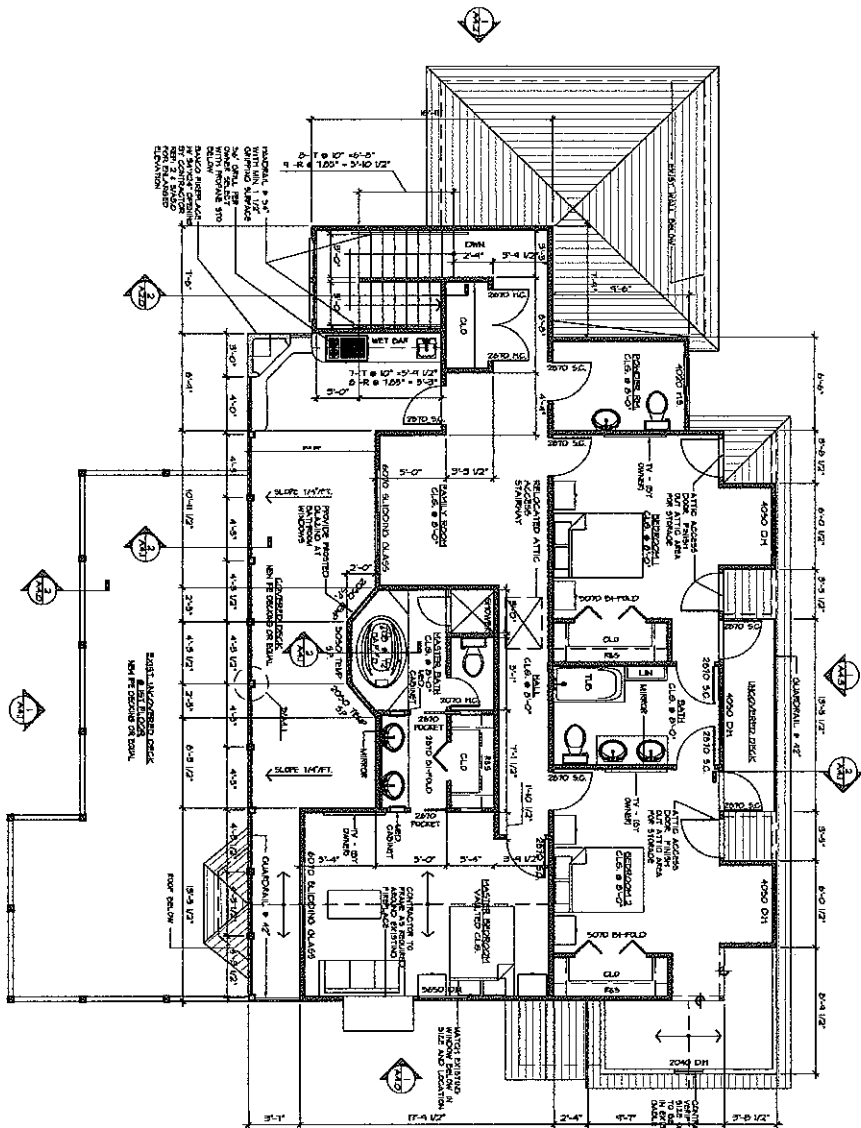
# ATTACHMENT "E" (BEFORE MODIFICATION PER HISTORICAL REVIEW APPROVAL

SEE  
ATT. E-R

**2 WALL SECTION**  
SCALE: 1/2" = 1'-0" (22" X 34" SHEET SIZE)  
1/2" = 1'-0" (11" X 17" SHEET SIZE)



**1 SECOND FLOOR PLAN / 1ST FLOOR ROOF PLAN**  
SCALE: 1/8" = 1'-0" (22" X 34" SHEET SIZE)  
1/8" = 1'-0" (11" X 17" SHEET SIZE)

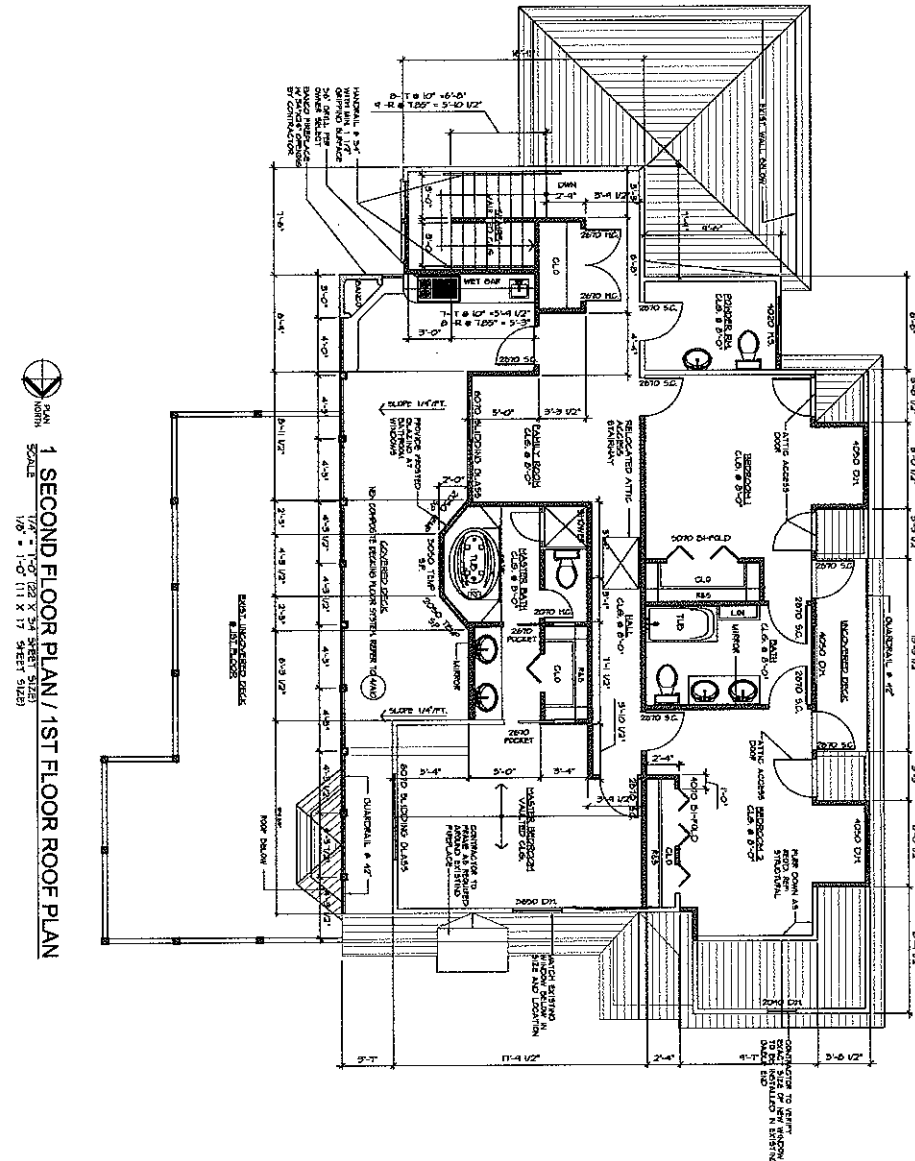
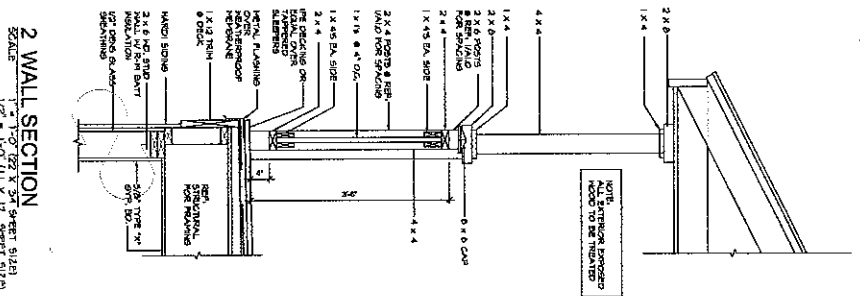


<b>A2.0</b> OF 17	SUSAN GOFF RESIDENTIAL REMODEL 2224 PARKWAY AUSTIN TX			DESIGN CONSULTANTS 1811 EVA STREET AUSTIN, TEXAS 78704 PH: (512) 436-6302 E-MAIL: PURCELL_DESIGNS@HOTMAIL.COM
	PROJECT BY: <b>ESP</b> DRAWN BY: <b>ESP</b> CHECKED BY: <b>ESP</b> DATE:	ALL INFORMATION HEREIN IS UNCLASSIFIED DATE 08/12/2009 BY 60322 JAG/STP	BOB MANN, AIA 	THE ARCHITECT AND CONTRACTOR LICENSE NO. 12345 STATE OF TEXAS



# ATTACHMENT "E"

## NEW PROPOSED



<p><b>A2.0</b></p> <p>OF 17</p>	<p>SUSAN GOFF RESIDENTIAL REMODEL 2224 PARKWAY AUSTIN TX</p>		<p>ROBEY BLANK, INC. 10000 N. MOORE AVENUE DALLAS, TEXAS 75243</p>		<p>ESP</p>	<p>DESIGN CONSULTANTS 1611 EVA STREET AUSTIN, TEXAS 78704</p>
						<p>PH: (512) 436-5302 E-MAIL: PURCELL_DESIGNS@HOTMAIL.COM</p>

# ATTACHMENT "F" 4.1

Building and Site Area			
Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
<small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>			
a) 1 <sup>st</sup> floor conditioned area	2112	67	2179
b) 2 <sup>nd</sup> floor conditioned area		1387	1387
c) 3 <sup>rd</sup> floor conditioned area	-	-	-
d) Basement	-	-	-
e) Covered Parking (garage or carport)	253		253
f) Covered Patio, Deck or Porch		344	344
g) Balcony		50	50
h) Other	-	-	-
i) Uncovered Wood Deck	489	-	489
<b>Total Gross Building Area (total A through I)</b>	<b>2854</b>	<b>1848</b>	<b>4702</b>
j) Pool	-	-	-
k) Spa	-	-	-

Site Development Information	
<b>Building Coverage Information</b>	
<small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small>	
Total Building Coverage (sq ft): <u>2374</u>	% of lot size: <u>31%</u> lot = 7,639 3055.6 max
<b>Impervious Cover Information</b>	
<small>Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small>	
Total Impervious Cover (sq ft): <u>3273</u>	% of lot size: <u>43%</u> lot = 7,639 3437.55 max
<b>Setbacks</b>	
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-513)	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3)	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
<b>Height Information</b> (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	<b>Parking</b> (LDC 25-6 Appendix A & 25-6-478)
Building Height: <u>30.5</u> ft Number of Floors: <u>2</u>	# of spaces required: <u>2</u> # of spaces provided: <u>2</u>
<b>Right-of-Way Information</b>	
Is a sidewalk required for the proposed construction? (LDC-6-353)	<input type="checkbox"/> Y <input type="checkbox"/> N
<b>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</b>	
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project?	<input type="checkbox"/> Y <input type="checkbox"/> N
Width of approach (measured at property line): _____ ft	Distance from intersection (for corner lots only): _____ ft
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? <input type="checkbox"/> Y <input type="checkbox"/> N	

# ATTACHMENT "F" P.2

## Subchapter F - 'McMansion'

### Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls. Areas with ceiling height over 15 feet are counted twice.

	Existing	New	Exemption	Total
1 <sup>st</sup> Floor	2112	67		2179
2 <sup>nd</sup> Floor		1342		1342
3 <sup>rd</sup> Floor				
Basement				
Attic	77		77	0
Garage (attached)	296		200	16
(detached)				
Carport (attached)				
(detached)				
Accessory building(s) (detached)				
Ceilings over 15 ft				
<b>TOTAL GROSS FLOOR AREA</b>				<b>3937</b>

(Total Gross Floor Area /lot size) = 0.46 Floor-To-Area Ratio (FAR)

- Is this project claiming a "parking area" exemption as described under Article 3?  Y  N
- Is this project claiming a "ground floor porch" exemption as described under Article 3?  Y  N
- Is this project claiming a "basement" exemption as described under Article 3?  Y  N
- Is this project claiming a "habitable attic" exemption as described under Article 3?  Y  N
- Is a sidewall articulation required for this project?  Y  N
- Does any portion of the structure extend beyond a setback plane?  Y  N
- Are any ceilings over 15 feet in height?  Y  N

**Parking Area exemption:** Up to 450 square feet of a parking area may be deducted if it is a detached rear parking area that is separated from the principal structure by not less than 10 feet; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width; or a parking area that is open on two or more sides, if it does not have habitable space above it; and the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport. Up to 200 square feet may be deducted if it is an attached parking area used to meet the minimum parking requirement; or a garage that is less than 10 feet from the rear of the principal structure, provided that the garage is either detached from the principal structure; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width. An applicant may receive only one 450-square foot exemption per site under Article 3, but only for an attached parking area used to meet minimum parking requirements.

**Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fifty percent or more of the area has a ceiling height of seven feet or less.



**City of Austin**  
**Planning and Development Review**  
**Land Status Determination**  
**1995 Rule Platting Exception**

**March 11, 2014**

File Number: **C8I-2014-0069**

Address: **2224 PARKWAY**

Tax Parcel I.D. #**0113010401**

Tax Map Date: **08/08/2013**

The Planning & Development Review Department has determined that this parcel, as described in the attached description and map, **IS EXCEPTED FROM THE REQUIREMENT TO PLAT** in accordance with the Land Development Code, Section 25-4-2(C), and is eligible to receive utility service.

The parcel of land consists of five acres or less, and is described as being a tract or parcel of land containing 0.175 acres (7,639 sq ft) out of and a part of lot 24, Enfield D and being all of that tract of land called the "north part of lot 24" in the current deed, recorded on Nov 12, 2013, in Document #2013203682, Travis County Deed Records. This parcel existed in its current configuration on January 1, 1995, as evidenced by a deed recorded on Mar 31, 1980, in Volume 6936, Page 911, Travis County Deed Records. The parcel was lawfully receiving utility service, as defined in Section 212.012 of the Texas Local Government Code, on January 1, 1995, as evidenced by water service on Mar 31, 1975. The parcel meets the requirements of the Land Development Code for roadway frontage and is located on an existing street.

Additional Notes/Conditions:

NONE

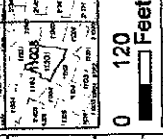
This determination of the status of the property is based on the application of Chapter 212, Municipal Regulation of Subdivisions and Property Development, Texas Local Government Code; and the City of Austin Land Development Code, Chapter 25-4, Subdivision. Recognition hereby does not imply approval of any other portion of the City Code or any other regulation.

By: Michelle Casillas  
**Michelle Casillas, Representative of the Director**  
**Planning and Development Review Department**

**Travis Central Appraisal District**  
 P.O. Box 140912  
 Austin, Texas 78714  
 Internet Address: [www.traviscad.org](http://www.traviscad.org)  
 Main Telephone Number (512) 624-6317  
 Approved Information (512) 634-6119  
 TDD (512) 629-3024

This tax map was compiled solely for the use of TCAD. Areas depicted by these digital products are approximate, and are not necessarily accurate to mapping, surveying or engineering standards, conditions shown on the premises or the responsibility of the user. The TCAD makes no warranty or promises or guarantees about the accuracy, completeness or adequacy of the information and expressly disclaims liability for any errors and omissions. The mapped data does not constitute a legal document.

NAD 1983 StatePlane  
 Texas Central FIPS 4203 Feet  
 Projection: Lambert Conformal Conic  
 N  
 Scale = 1:0 scale map  
 Tm = 100 scale map  
 Bld = 500 scale map



Revision Date:  
 8/8/2013  
 11301



COT-2014-0069

**PURCELL DESIGNS LLC.  
ELIZABETH STUART PURCELL**

**ARCHITECTURAL INTERN, DESIGN CONSULTANT, PROJECT MANAGEMENT**

1611 EVA ST.  
AUSTIN, TX. 78704  
(512) 436-5302  
~~purcell\_designs@hotmail.com~~

**2<sup>ND</sup> FLOOR ADDITION**

**Property: 2224 Parkway  
Austin, TX 78703**  
**Date: July 25, 2014**  
**Client: Susan J. Goff**

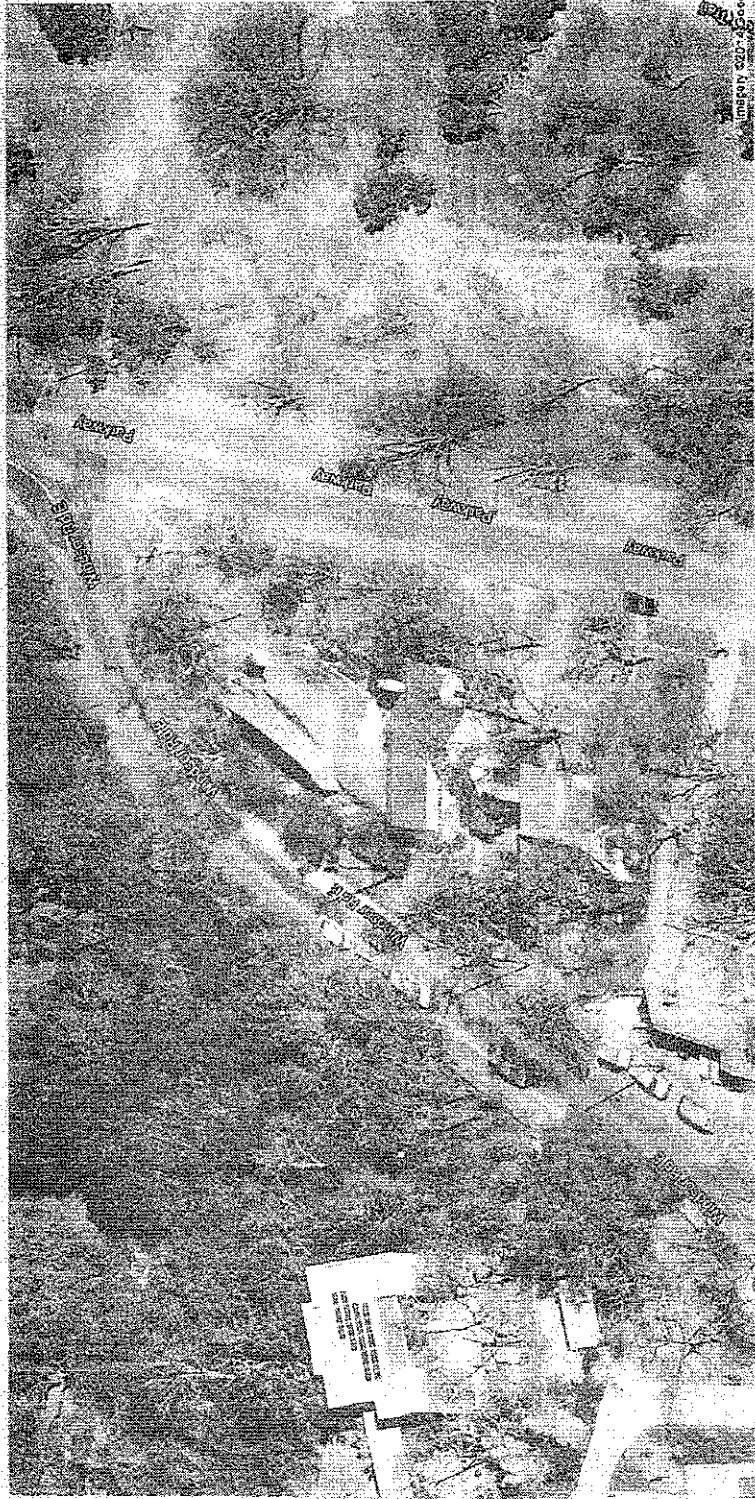
**SCOPE OF PROJECT:**

**The scope of work is to raise the ceilings in areas of the existing residence and add a second floor as indicated on the plans. We are only adding a stairwell to the existing footprint of the structure to gain access to the new second floor. We are a non-compliant structure but according to the code I am allowed to go up within the 15' street side yard setback as I have indicated on my plans. I have had numerous meetings with reviewers at the COA to verify everything I have done is in compliance.**

**The site is a "boomerang" site and I had no rear setback according to all of the legal surveys. I met with Juan Camou on Feb. 4, 2014 in a paid consultation to verify my setbacks, my non compliance issues and the exceeding of the FAR requirement and was informed that the COA made up a rear setback for the site for me to comply to and that if I exceeded the FAR that would just require sidewalks and a driveway. We are prepared to pay the fee to waiver the sidewalks and are providing a driveway with a Type 1 apron. Not only did Juan advise me on the FAR but I also had 2 other reviewers confirm that this would require sidewalks.**

To see all the details that are visible on the screen, use the "Print" link next to the map.

Google



Map data ©2014 Google

CASE# \_\_\_\_\_  
ROW# \_\_\_\_\_  
TAX# \_\_\_\_\_

**CITY OF AUSTIN  
APPLICATION TO BOARD OF ADJUSTMENT  
GENERAL VARIANCE/PARKING VARIANCE**

**WARNING: Filing of this appeal stops all affected construction activity.**

**PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.**

STREET ADDRESS: 2224 Parkway

LEGAL DESCRIPTION: Subdivision - TRACT OF land Containing 0.175 acres

Lot(s) 24 Block \_\_\_\_\_ Outlot \_\_\_\_\_ Division \_\_\_\_\_ I/

We Elizabeth Purcell on behalf of myself/ourselves as authorized agent for

Susan Goff affirm that on 10 , 15 , 2004

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below and state what portion of the Zoning Code you are seeking a variance from)

   ERECT    ATTACH    COMPLETE    REMODEL       MAINTAIN

To maintain an EXIST. 489 sq. ft. Deck built  
in 1938. (TCAD has the wrong sq. ft) a no 184.0  
sq. ft. Deck was ever built. Engineering Drawings  
Have already been submitted to Bring the Deck up to  
in a \_\_\_\_\_ district. current Codes.

**NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.**



**VARIANCE FINDINGS:** I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

**REASONABLE USE:**

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

SPECIAL EXCEPTION

**HARDSHIP:**

SEE SPECIAL EXCEPTION ATTACHMENT.

2. (a) The hardship for which the variance is requested is unique to the property in that:

This Deck is also an historical feature of the house.

- (b) The hardship is not general to the area in which the property is located because:

N/A

**AREA CHARACTER:**

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

N/A

**PARKING:** (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

N/A

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

N/A

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

N/A

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

N/A

**NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.**

**APPLICANT CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Elizabeth Purcell Mail Address 1611 EVA ST.

City, State & Zip AUSTIN, TX, 78704

Printed Elizabeth Purcell Phone 512-436-5302 Date 10-15-2014

**OWNERS CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed \_\_\_\_\_ Mail Address \_\_\_\_\_

City, State & Zip \_\_\_\_\_

Printed \_\_\_\_\_ Phone \_\_\_\_\_ Date \_\_\_\_\_

see Attachment I have the owners notorized authorization

WE ARE APPLYING FOR A SPECIAL EXCEPTION  
Please see all the \* that apply to our  
situation.

25-2-476 SPECIAL EXCEPTIONS.

(A) The Board of Adjustment shall grant a special exception for an existing residential structure, or portion of an existing structure, that violates a setback required under Chapter 25-2 (Zoning) if the board finds that the special exception meets the requirements of this section.

(B) The Board shall grant a special exception under Subsection (A) of this section if:

\* yes (1) the residential use for which the special exception is sought is allowed in an SF-3 or more restrictive zoning district;

\* (2) the building official performs an inspection and determines that the violation does not pose a hazard to life, health, or public safety; and

(3) the Board finds that:

(a) the violation has existed for:

\* (i) at least 25 years; or SEE T CAD ATTACHMENT

(ii) at least 10 years, if the application for a special exception is submitted on or before June 6, 2016;

\* (b) the use is a permitted use or a nonconforming use; The house is already non-conform

\* (c) the structure does not share a lot with more than one other primary residence; and NO

(d) granting a special exception would not:

\* (i) alter the character of the area; ITS BEEN THERE SINCE 1938

or \* (ii) impair the use of adjacent property that is developed in compliance with city code; IT DOES NOT

(iii) grant a special privilege that is inconsistent with other properties in the area or in the district in which the property is located.

(C) A special exception granted under this section:

(1) applies only to the structure, or portion of a structure, for which the special exception was granted and does not run with the land;

(2) may not authorize an increase in the degree of noncompliance or excuse compliance with minimum health and safety requirements; and

(3) may not authorize a remodel or addition to the existing structure, except to the extent required by the building official to meet minimum life and safety requirements.

(D) A structure granted a special exception under this section shall be treated as a non-complying structure under Chapter 25-2, Article 8 (Noncomplying Structures).

Source: Ord. 20110526-098; Ord. 20121108-091; Ord. 20130822-126.

\* WE ARE CALLING FOR THE INSPECTION THIS WEEK

THIS DECK IS HISTORICAL

Attached are the structural and architectural  
DWGs. which are already submitted and  
on file with the City. The only modifications  
we are proposing are replacing the Decking  
&

**ESP DESIGN CONSULTANTS  
ELIZABETH STUART PURCELL**

**ARCHITECTURAL INTERN, DESIGN CONSULTANT, PROJECT MANAGEMENT**

1611 EVA ST.  
AUSTIN, TX. 78704  
(512) 436-5302

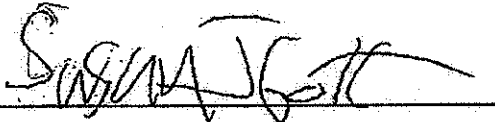
Date: April 27, 2014

**LETTER OF AUTHORIZATION TO ACT AS OWNERS AGENT:**

**Property: 2224 Parkway  
Austin, TX 78703**

**Client: Susan Goff**

**This is to authorize Elizabeth S. Purcell to act as my agent in regards to the property at 2224 Parkway, Austin, TX for building plan submittal, Historical Review, Foundation repair and all other permits required by the City of Austin.**

  
\_\_\_\_\_

4-28-14

Date

**Purcell Designs, LLC  
Elizabeth S. Purcell**

**Austin, Texas 78704  
(512) 436-5302**



Travis CAD

Property Search

Map Search

New Search

Property Search Results > 112615 GOFF SUSAN JANELLE for Year 2014

Details

Map

Click on a title bar to expand or collapse the information.

Property

Account

Property ID: 112615 Legal Description: 0.1754 AC OF LOT 24 ENFIELD D.  
Geographic ID: 0113010401 Agent Code:  
Type: Real  
Property Use Code:  
Property Use Description:

Location

Address: 2224 PARKWAY Mapsec: 584H  
TX 78703  
Neighborhood: OLD ENFIELD (SFR) Map ID: 011008  
Neighborhood CD: Z31000

Owner

Name: GOFF SUSAN JANELLE Owner ID: 1596018  
Mailing Address: 3101 ABOVE STRATFORD % Ownership: 100.000000000000%  
AUSTIN, TX 78746

Exemptions:

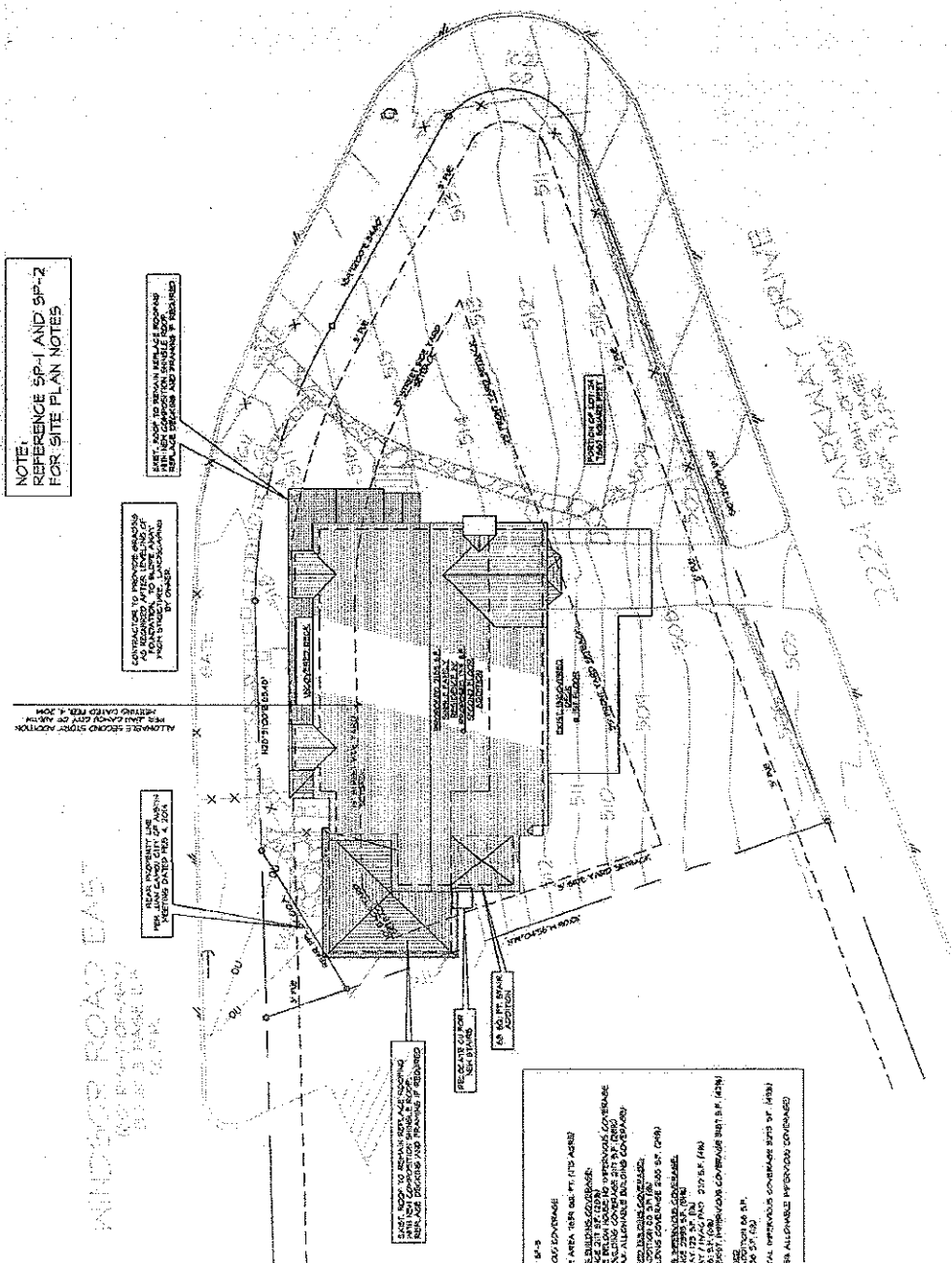
Valuations

Taxing Jurisdiction

Improvement Details

Improvement #1:	1 FAM DWELLING	State Code:	A1	Living Area:	1944.0 sqft	Value:	\$215,762
Type	Description	Class CD	Exterior Wall	Year Built	SQFT		
1ST	1st Floor	WW - 4+		1938	1944.0		
003	GARAGE DET BASMT	WW - 4+		1938	160.0		
061	CARPORT ATT 1ST	* - 4+		1938	184.0		
095	HYAC RESIDENTIAL	* - *		1938	1944.0		
251	BATHROOM	* - *		1938	2.0		
512	DECK UNCOVERED	* - 4+		1938	583.0		
522	FIREPLACE	* - 4+		1938	1.0		
512	DECK UNCOVERED	WW - 4+		2004	184.0		

- This is 489 S.F.  
not here



NOTE:  
 REFERENCE SP-1 AND SP-2  
 FOR SITE PLAN NOTES

ALL STRUCTURES TO BE REMOVED SHALL BE DEMOLISHED  
 AND REMOVED AFTER THE END OF WORK  
 AND THE SITE SHALL BE RESTORED TO ORIGINAL  
 CONDITIONS AND FINISHED AS SHOWN

ALL UTILITIES TO BE REMOVED SHALL BE  
 DEMOLISHED AND REMOVED AFTER THE END OF  
 WORK AND THE SITE SHALL BE RESTORED TO  
 ORIGINAL CONDITIONS AND FINISHED AS SHOWN

ALLOWABLE SECOND STORY ADDITION  
 SHALL BE 1000 SQ. FT. MAXIMUM

THIS PROPERTY IS  
 PART OF A SUBDIVISION  
 AS SHOWN ON THE PLAT

ALL UTILITIES TO BE REMOVED SHALL BE  
 DEMOLISHED AND REMOVED AFTER THE END OF  
 WORK AND THE SITE SHALL BE RESTORED TO  
 ORIGINAL CONDITIONS AND FINISHED AS SHOWN

ROOMS: 54-5  
 UNIMPROVED GARAGE  
 NET SITE AREA: 108,747 S.F. (7.5 ACRES)  
 EXISTING GARAGE: 2,000 S.F.  
 EXISTING HOUSE: 2,000 S.F.  
 EXISTING PORCH: 1,000 S.F.  
 EXISTING DRIVEWAY: 2,000 S.F.  
 EXISTING PATIO: 1,000 S.F.  
 EXISTING DECK: 1,000 S.F.  
 EXISTING FENCE: 1,000 S.F.  
 EXISTING UTILITY: 1,000 S.F.  
 EXISTING LANDSCAPE: 1,000 S.F.  
 EXISTING TOTAL: 10,000 S.F.  
 NEW SECOND STORY ADDITION: 10,000 S.F.  
 NEW DRIVEWAY: 2,000 S.F.  
 NEW PATIO: 1,000 S.F.  
 NEW DECK: 1,000 S.F.  
 NEW FENCE: 1,000 S.F.  
 NEW UTILITY: 1,000 S.F.  
 NEW LANDSCAPE: 1,000 S.F.  
 NEW TOTAL: 20,000 S.F.  
 NET TOTAL IMPROVED COVERAGE: 20,000 S.F. (0.46 AC)  
 MAX. 45% ALLOWABLE IMPROVED COVERAGE

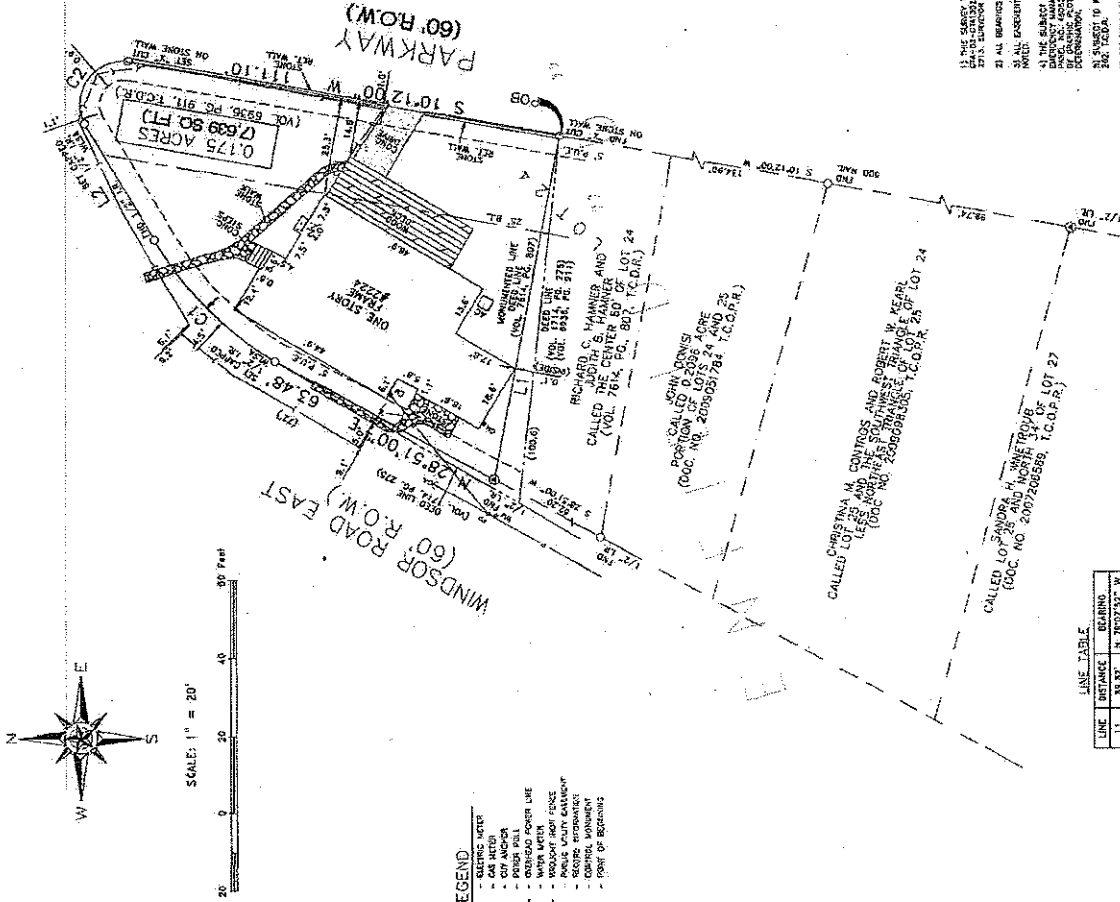
**1 ARCHITECTURAL SITE PLAN**  
 SCALE: 1/8" = 1'-0" (11" X 17" SHEET SIZE)  
 DATE: 10/15/11



**SURVEY OF  
0.175 ACRE (7,639 SQ. FT.)  
BRING THE NORTH PART OF LOT 24  
ENFIELD D  
VOL. 3, PG. 158, T.C.P.R.  
TRAVIS COUNTY, TEXAS**

**GENERAL NOTES**

1. THIS SURVEY IS A SURVEY OF LAND CONTAINED WITHIN TRACTS 24, 25, 26, 27 AND 28, COMMERCIAL TRACT NO. 2095208184, TRAVIS COUNTY, TEXAS. THE TRACTS ARE DESCRIBED AS FOLLOWS: TRACT 24, 0.175 ACRE (7,639 SQ. FT.) AS SHOWN ON A PLAN OF SUBDIVISION RECORDED IN VOLUME 3, PAGE 158, TRAVIS COUNTY RECORDS; TRACT 25, 0.175 ACRE (7,639 SQ. FT.) AS SHOWN ON A PLAN OF SUBDIVISION RECORDED IN VOLUME 3, PAGE 158, TRAVIS COUNTY RECORDS; TRACT 26, 0.175 ACRE (7,639 SQ. FT.) AS SHOWN ON A PLAN OF SUBDIVISION RECORDED IN VOLUME 3, PAGE 158, TRAVIS COUNTY RECORDS; TRACT 27, 0.175 ACRE (7,639 SQ. FT.) AS SHOWN ON A PLAN OF SUBDIVISION RECORDED IN VOLUME 3, PAGE 158, TRAVIS COUNTY RECORDS; TRACT 28, 0.175 ACRE (7,639 SQ. FT.) AS SHOWN ON A PLAN OF SUBDIVISION RECORDED IN VOLUME 3, PAGE 158, TRAVIS COUNTY RECORDS.



**GENERAL NOTES**

1. THE SURVEY HAS BEEN MADE IN ACCORDANCE WITH THE PROVISIONS OF TITLE 25, CHAPTER 163, SUBCHAPTER B, OF THE TEXAS PROPERTY CODE, WHICH GIVES THE SURVEYOR THE AUTHORITY TO SURVEY AND SET CORNERS FOR LANDS OF OTHER PERSONS.
2. ALL MEASUREMENTS ARE MADE IN ACCORDANCE WITH THE PROVISIONS OF TITLE 25, CHAPTER 163, SUBCHAPTER B, OF THE TEXAS PROPERTY CODE.
3. THE SURVEYOR HAS BEEN ADVISED BY THE OWNER THAT THE SURVEYED AREA IS SUBJECT TO A DEED OF RESTRICTIONS RECORDED IN VOLUME 1, PAGE 102, TRAVIS COUNTY RECORDS.
4. THE SURVEYOR HAS BEEN ADVISED BY THE OWNER THAT THE SURVEYED AREA IS SUBJECT TO A DEED OF RESTRICTIONS RECORDED IN VOLUME 1, PAGE 102, TRAVIS COUNTY RECORDS.
5. THE SURVEYOR HAS BEEN ADVISED BY THE OWNER THAT THE SURVEYED AREA IS SUBJECT TO A DEED OF RESTRICTIONS RECORDED IN VOLUME 1, PAGE 102, TRAVIS COUNTY RECORDS.

**LINE TABLE**

LINE	DISTANCE	BEARING
L1	33.82	N 70° 37' 53" W
L2	34.60	N 37° 13' 00" E

**CORNER TABLE**

CORNER	RANGE	DEG	MIN	SEC	N	S	E	W
C1	07° 14'	26° 56' 41"	44.02	N	27° 06' 52"	C	44.53	
C2	11° 13'	18° 43' 33"	23.92	S	85° 24' 01"	E	15.93	

**REVISIONS**

DATE	REASON	DRAWN
10/28/13		

**Windrose Land**

1675 S. WINDY HILL DR.  
DALLAS, TEXAS 75241  
PHONE: 972-251-1176  
FAX: 972-251-1177

OWNER: [Blank]  
PROJECT NO: [Blank]

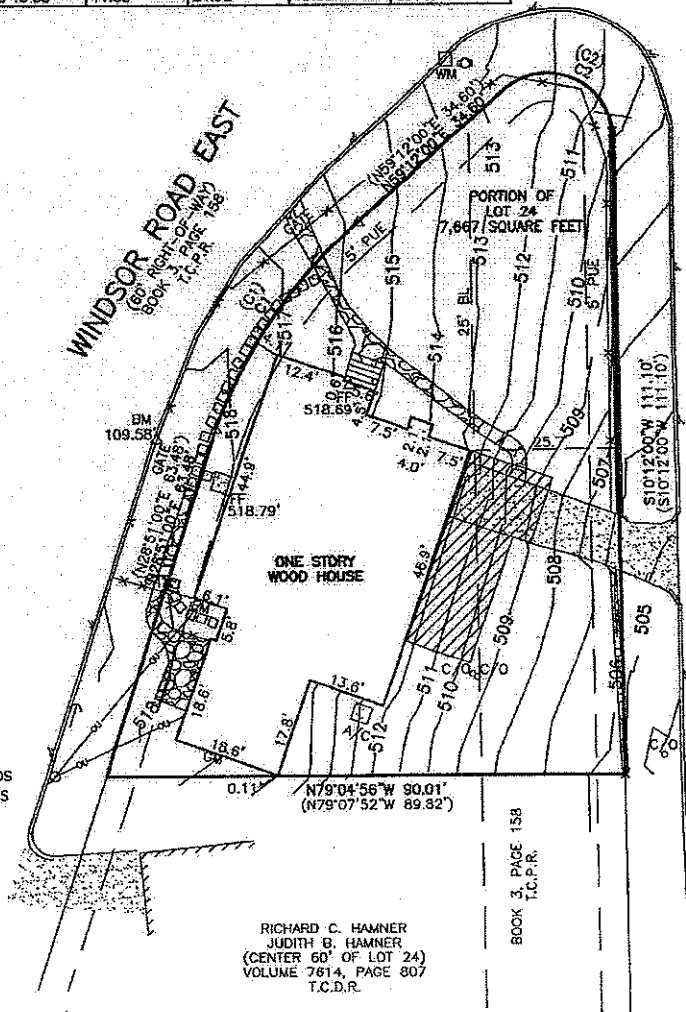




CURVE TABLE					
No.	Delta	Radius	Ars Length	Chord Length	Chord Bearing
CT	28°56'54"	87.14'	44.03'	43.56'	N45°56'02"E
(C1)	28°56'42"	87.14'	44.02'	43.56'	N45°58'02"E
CZ	122°47'52"	11.35'	24.33'	19.93'	S55°24'01"E
(C2)	120°43'33"	11.35'	24.92'	19.93'	S55°24'01"E

### LEGEND

- 1/2" IRON ROD FOUND
- △ CALCULATED POINT
- ( ) RECORD INFORMATION
- ▢ CONCRETE
- ▨ WOOD DECK
- ▣ ROCK
- WM WATER METER
- C/O CLEANOUT
- EM ELECTRIC METER
- GM GAS METER
- FIRE HYDRANT
- ASPHALT
- ××× WIRE FENCE
- ⊙ POWER POLE
- GUY WIRE
- o—o— OVERHEAD UTILITY
- 5' P.U.E. 5' PUBLIC UTILITY EASEMENT  
BOOK 3, PAGE 158 T.C.P.R.
- 25' BL. 25' BUILDING LINE SETBACK  
BOOK 3, PAGE 158 T.C.P.R.
- T.C.D.R. TRAVIS COUNTY DEED RECORDS
- T.C.P.R. TRAVIS COUNTY PLAT RECORDS



### NOTES:

1. BOUNDARY, EASEMENTS AND BUILDING LINES AS PER PLAT AND SURVEY DATED 10/15/2013, BY WINDROSE LAND SERVICES. NO ADDITIONAL RESEARCH WAS DONE BY LIVE OAK SURVEYING FOR ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD WHICH MAY AFFECT THIS PROPERTY.

TO: ELIZABETH PURCELL

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND OF THE PROPERTY SHOWN HEREON AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DEAN A. WOODLEY                      DATE:  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 5086

CLIENT: ELIZABETH PURCELL  
FIELD BOOK: , PAGE:  
DRAWN BY: P.M.W.  
PROJECT NO.: 1074-01-14  
DATE: APRIL 30, 2014  
FILE: 1074014.DWG

**SURVEY**  
OF 0.175 ACRES OF THE NORTH PART OF LOT 24  
ENFIELD "D"  
AS RECORDED IN BOOK 3, PAGE 158  
TRAVIS COUNTY, TEXAS

© COPYRIGHT DEAN WOODLEY, 2014  
ALL RIGHTS RESERVED.



**LIVE OAK  
SURVEYING**  
12421 WYCLIFF LANE  
AUSTIN, TX 78727-5220  
(512) 857-1018



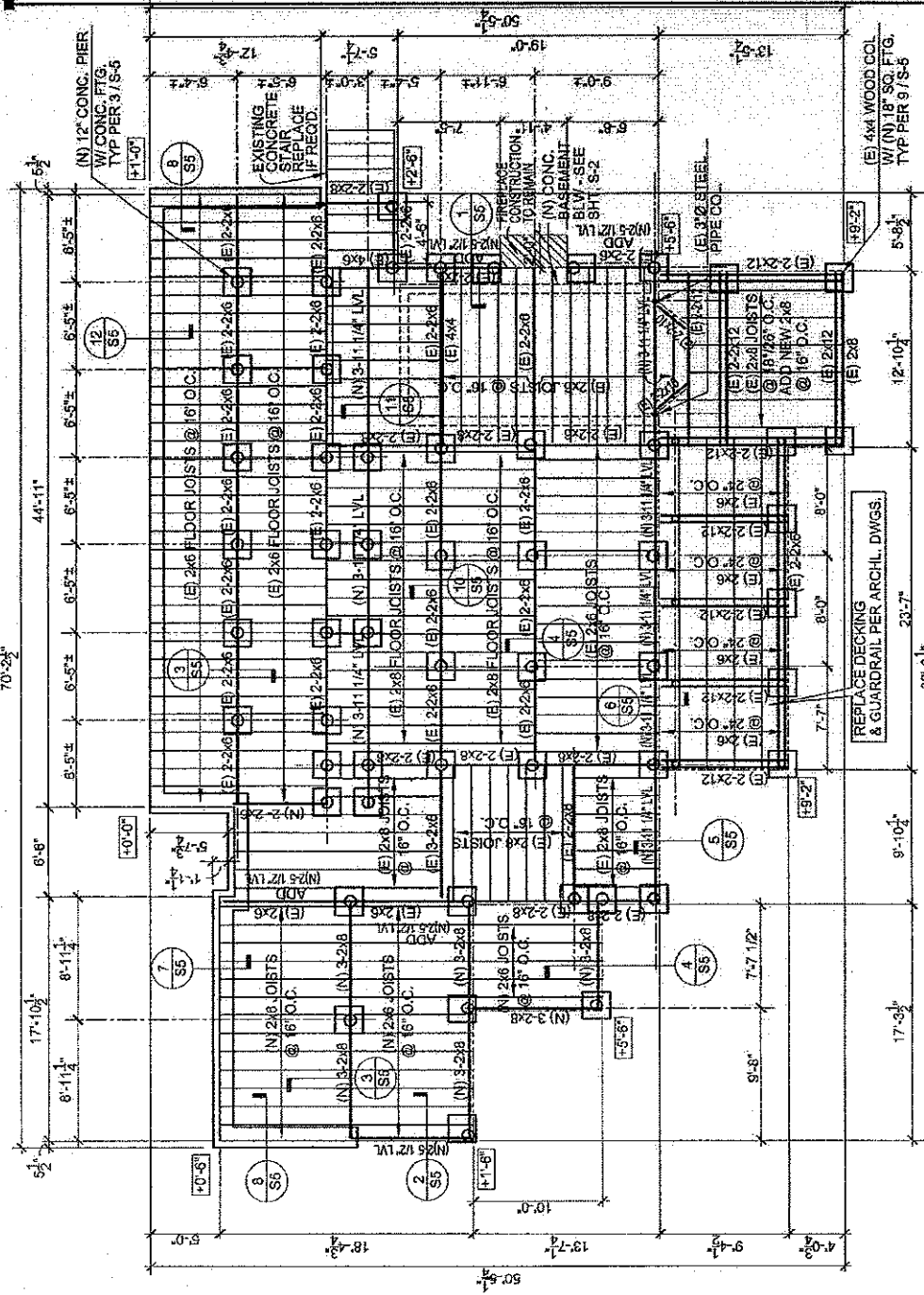
**FOUNDATION PLAN**  
SCALE: 1/8"=1'-0"

**PLAN NOTES:**

- O.C. SHALL PROVIDE POSITIVE SITE DRAINAGE PER IRC REQUIREMENTS.
- SEE SHEET 67 FOR STRUCTURAL NOTES.
- (E) INDICATES EXISTING CONSTRUCTION, (N) INDICATES NEW CONSTRUCTION.
- VERIFY THAT THE EXISTING SILL BEAM JOISTS BREAK AT PROPOSED EXISTING PIERS AND ADD SUPPLEMENTAL 2x6 BEAM REINFORCEMENT AS REQUIRED TO ACHIEVE THIS CONDITION.
- VERIFY THAT THE FINISH FLOOR RELATION ABOVE ADJACENT EXISTING GRADES.

- O.C. SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION INCLUDING DIMENSIONS VS SITE CONDITIONS AND NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE ANY EXISTING DAMAGED, DETERIORATED OR DEFICIENT CONSTRUCTION WITH NEW CONSTRUCTION OF THE FOUNDATION UPGRADE.
- THE O.C. SHALL ALSO LEVEL THE EXISTING SYSTEM AS PART OF THE FOUNDATION UPGRADE.
- ALL BEAMS TO PIERS WITH GUSSET PLATE OR EQUIVALENT.
- SEE ARCHIT. FOR DEMOLITION REQUIREMENTS.
- THE O.C. SHALL INSTALL AND REMOVE SHORING AS REQUIRED FOR THE FOUNDATION UPGRADE AND CONSULT WITH THE STRUCTURAL ENGINEER IF REQUIRED FOR ASSISTANCE.

- USE TREATED MATERIAL FOR ALL BEAMS LESS THAN 12" ABOVE FINISH GRADE AND FLOOR JOISTS LESS THAN 18" ABOVE FINISH GRADE.
- USE 80# SB CONCRETE AND ASTM GRADE GRADE AS REBAR FOR FOUNDATION UPGRADE MATERIALS.
- NOTIFY LCC WITHIN 96 HOURS FOR FOOTING & FRAMING INSPECTIONS. FAILURE TO NOTIFY LCC FOR REBAR INSPECTION SHALL NEGATE ANY LIABILITY FOR THE PERFORMANCE OF THE FRAMING DESIGN.



5-28-14

**LOConsultants**  
Civil, Structural and Environmental Engineers  
Texas Registered Engineering Firm F-4255  
10001 LBJ Fwy, Suite 1000  
Austin, Texas 78758

**GOLF RESIDENCE REMODEL**  
2224 PARKWAY  
AUSTIN TEXAS

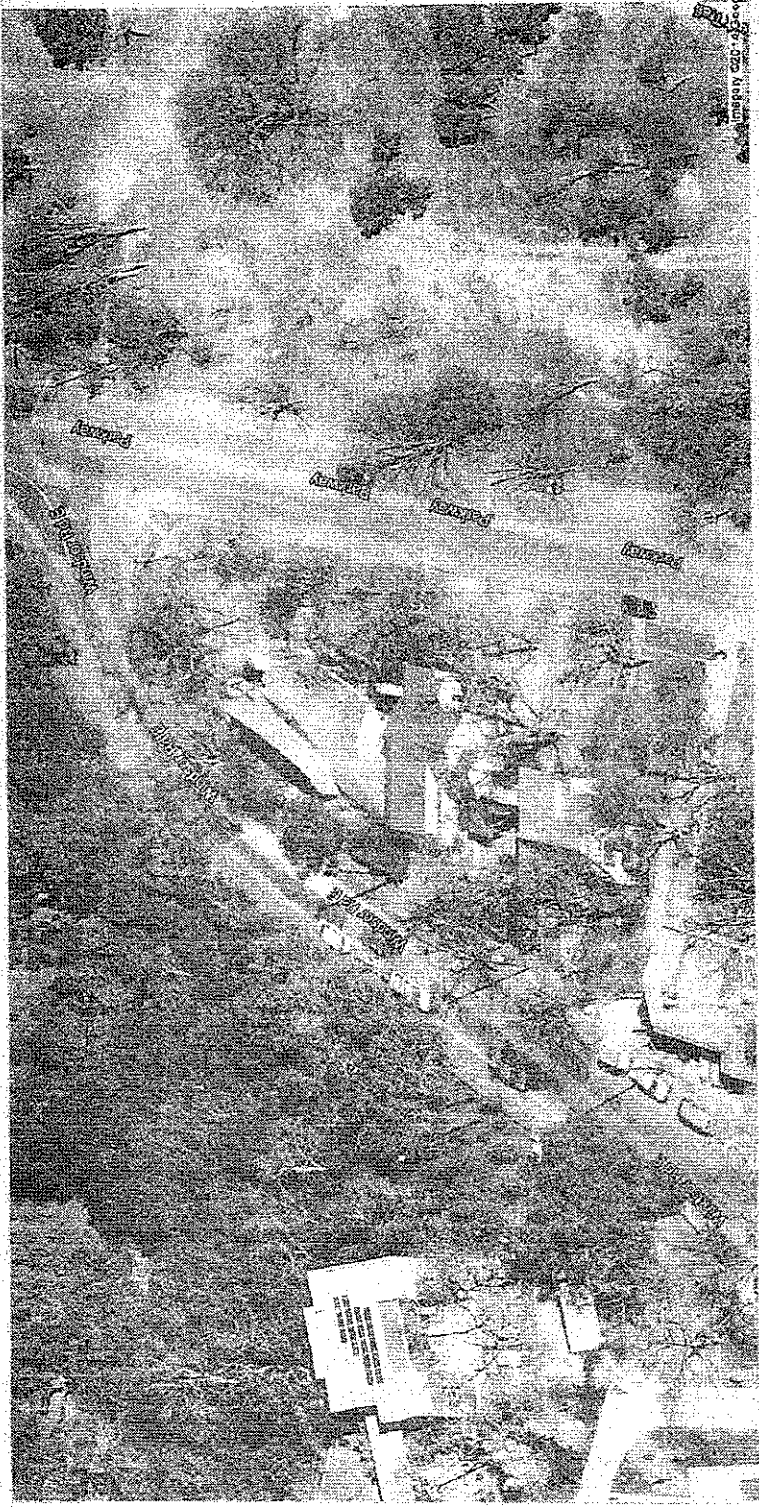
**SUSAN GOLF**  
2224 PARKWAY  
AUSTIN TEXAS

DRAWN BY: PRD  
CHECKED BY: TO  
REVISIONS:

**S-1**  
OF 8

To see all the details that are visible on the screen, use the "Print" link next to this trap.

Google



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