

CASE# C15-2014-0161
ROW# 1124 8054
TAX# 0419191401

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT (TCAD ✓)
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 2000 Trede Dr.

LEGAL DESCRIPTION: Subdivision – _____

Lot(s) 1 Block E Outlot _____ Division _____

I/We John D. Sosa on behalf of myself/ourselves as authorized agent for

John D. Sosa affirm that on 10-10, 2014,

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below and state what portion of the Land Development Code you are seeking a variance from)

___ ERECT ___ ATTACH ___ COMPLETE ___ REMODEL ☒ MAINTAIN

Shed built within the street side setback
9 years ago - received variance, but it
expired when permit for shed expired.

in a SF-3 district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

Rebuilding this accessory building in its location is the
only reasonable place for it to be located

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

Property slopes from ^{back} front to back and the location of
existing improvements prevent building from complying with current
setbacks

- (b) The hardship is not general to the area in which the property is located because:

This is a corner lot and the topography exist on this site

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The building is built in the same footprint as previous
accessory building

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed John D. Son Mail Address 200 Trade Drive
City, State & Zip Austin TX 78745

Printed [REDACTED] Phone 512-809-6360 Date 10-10-2014

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed John D. Son Mail Address 200 Trade Drive
City, State & Zip Austin TX 78745

Printed [REDACTED] Phone 512-809-6360 Date 10-10-2014

25-2-476 SPECIAL EXCEPTIONS.

(A) The Board of Adjustment shall grant a special exception for an existing residential structure, or portion of an existing structure, that violates a setback required under Chapter 25-2 (Zoning) if the board finds that the special exception meets the requirements of this section.

(B) The Board shall grant a special exception under Subsection (A) of this section if:

(1) the residential use for which the special exception is sought is allowed in an SF-3 or more restrictive zoning district;

(2) the building official performs an inspection and determines that the violation does not pose a hazard to life, health, or public safety; and

(3) the Board finds that:

(a) the violation has existed for:

(i) at least 25 years; or

(ii) at least 10 years, if the application for a special exception is submitted on or before June 6, 2016;

(b) the use is a permitted use or a nonconforming use;

(c) the structure does not share a lot with more than one other primary residence; and

(d) granting a special exception would not:

(i) alter the character of the area;

(ii) impair the use of adjacent property that is developed in compliance with city code;

or

(iii) grant a special privilege that is inconsistent with other properties in the area or in the district in which the property is located.

(C) A special exception granted under this section:

(1) applies only to the structure, or portion of a structure, for which the special exception was granted and does not run with the land;

(2) may not authorize an increase in the degree of noncompliance or excuse compliance with minimum health and safety requirements; and

(3) may not authorize a remodel or addition to the existing structure, except to the extent required by the building official to meet minimum life and safety requirements.

(D) A structure granted a special exception under this section shall be treated as a non-complying structure under Chapter 25-2, Article 8 (Noncomplying Structures).

Source: Ord. 20110526-098; Ord. 20121108-091; Ord. 20130822-126.

2017-18

REF: LOMON GRUBERMAN

SCALE 1"=20'

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1/2" PIN SET

~~SECRET~~ - SECRET BOARD FENCE

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Case 25-21

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R 11 15.00'

CG 330°45'15"W

CH₄ = 10.00¹

 $L = 1000'$

..R = 24100'

[illegible]

MAJOR (59) JAMES HUGHES

NOTES _____ AFFLY: _____
_____ Wild Intermountain Pine Map for _____ TRAVIS COUNTY, TEXAS

1. ☒ This property is in zone TX of the F.E.M.A. Flood Insurance Rate Map
the Flood Hazard Insurance Study, dated March 1977.

Community Parcel No. _____ within the 100 year flood plain.

1. According to the recorded part of this audio-tape, the six year from plan is contained within the foregoing statement.

through the old. These hydraulic equipment on this in.

THE STATE OF TENNESSEE

COUNTRY OF TEXAS. PREVIOUS SURVEYS AND INVESTIGATIONS. The undersigned does hereby certify that the Survey was this day made on the ground of the property legally conveyed hereto and is correct, and that there are no disputes, conflicts, threatened or actual, boundary line conflicts, encroachments, over-rides, or improvements, visible utility lines or roads in place, except as shown hereon, and lines of improvements, visible utility lines and roads, dedicated roadway, except as shown hereon.

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS RESULTING THEREFROM.

TO OTHERS FOR ANY LOSS RESULTING THEREFROM
 PRIOR TO THE 1974 DAY OF 1-28-74

JOE No. 78263 INVOICE No. 43974

Clinton P. Rippy
CLINTON P. RIPPY
REGISTERED PROFESSIONAL LAND
SURVEYOR NO. 1453

10/25/04 10:09

TX/RX NO. 8991

P.002

No. 0979 P. 7/24

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9:07 AM

AUG. 27. 2011

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Stech

002 2/28

7. 17. 81

➤ It is advised to keep a copy of all documents for future reference.

Additional Comments by Reviewer:

- ~~Re-Permitting~~ Accessory Bldg encroaching into the side yard setback that was previously permitted, but the permits expired - will need to go to BOA for variance ← See LEANNE Heldenfelds IN THE DAC M-F 9am-Noon
- ~~Re-Permitting~~ New Swimming pool permits from 1995

Check on these before Submittal:

- Property Description – project is on a legally subdivided lot
(This can be found on the Travis County Appraisal District website @ www.traviscad.org, see DAC for more information)
- Expired Permits – All expired permits (even from previous owners) must be resolved prior to new submittal
(This site facilitates address searches: https://www.austintexas.gov/devreview/a_queryfolder_permits.jsp)
- Tree Permit – Contact City Arborist if there is a tree equal to or greater than 19 inches in diameter on the property or any adjacent property
(Research Tree Review online here: <http://www.austintexas.gov/department/city-arborist>)
- Floodplain Review – Contact Floodplain Review if property is within 150 feet of any defined floodplain.
(Research Floodplain Review online here: <https://austintexas.gov/department/floodplain-management-and-regulations>)
- Historic Review – Contact Historic Review if changes are being made to the exterior of the building and the property is zoned “H” or “HD”, is located in a National Registered Historic District (NRHD), and / or if the structure is over 40 years old
(Research Historic Review online here: <http://austintexas.gov/department/historic-preservation>)
- Erosion Review – Contact Watershed Protection if property is located within 100 feet of the centerline of a waterway with a drainage area of 64 acres or greater, or where significant erosion is present
(Research Erosion Review online here: <http://www.review.ci.austin.tx.us/department/watershed-protection-ordinance>)
- Fire Review – Contact Fire Review if the structure exceeds a total of 3,600 square feet or if the property is within the defined Hazardous Pipeline Review
(Research Fire Review online here: <http://austintexas.gov/department/afd-plans-review>)



**CITY OF AUSTIN
BOARD OF ADJUSTMENT/SIGN REVIEW BOARD
DECISION SHEET**

____ Herman Thun, Chair
____ Barbara Aybar, Vice Chair
____ Leane Heldenfels
____ Frank Fuentes
____ Betty Edgemond

DATE: January 10, 2005

CASE NUMBER: C15-05-002

APPLICANT: Jim Bennett for Julio Limon

ADDRESS: 2000 Trade Drive

VARIANCE REQUESTED: The applicant has requested a variance to decrease the minimum rear yard setback requirement of Section 25-2-492(D) from 10 feet to 2 feet in order to maintain an accessory building for a single-family residence in an "SF-3", Family Residence zoning district.

The applicant has requested a variance to decrease the minimum side street setback requirement of Section 25-2-492(D) from 15 feet to 1 foot in order to maintain an accessory building for a single-family residence in an "SF-3", Family Residence zoning district.

BOARD'S DECISION: GRANTED 5-0 FOR A 1 STORY 15'X15' ACCESSORY BLDG.

FINDINGS:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because: rebuilding this accessory building in it's location is the only reasonable place for it to be located.

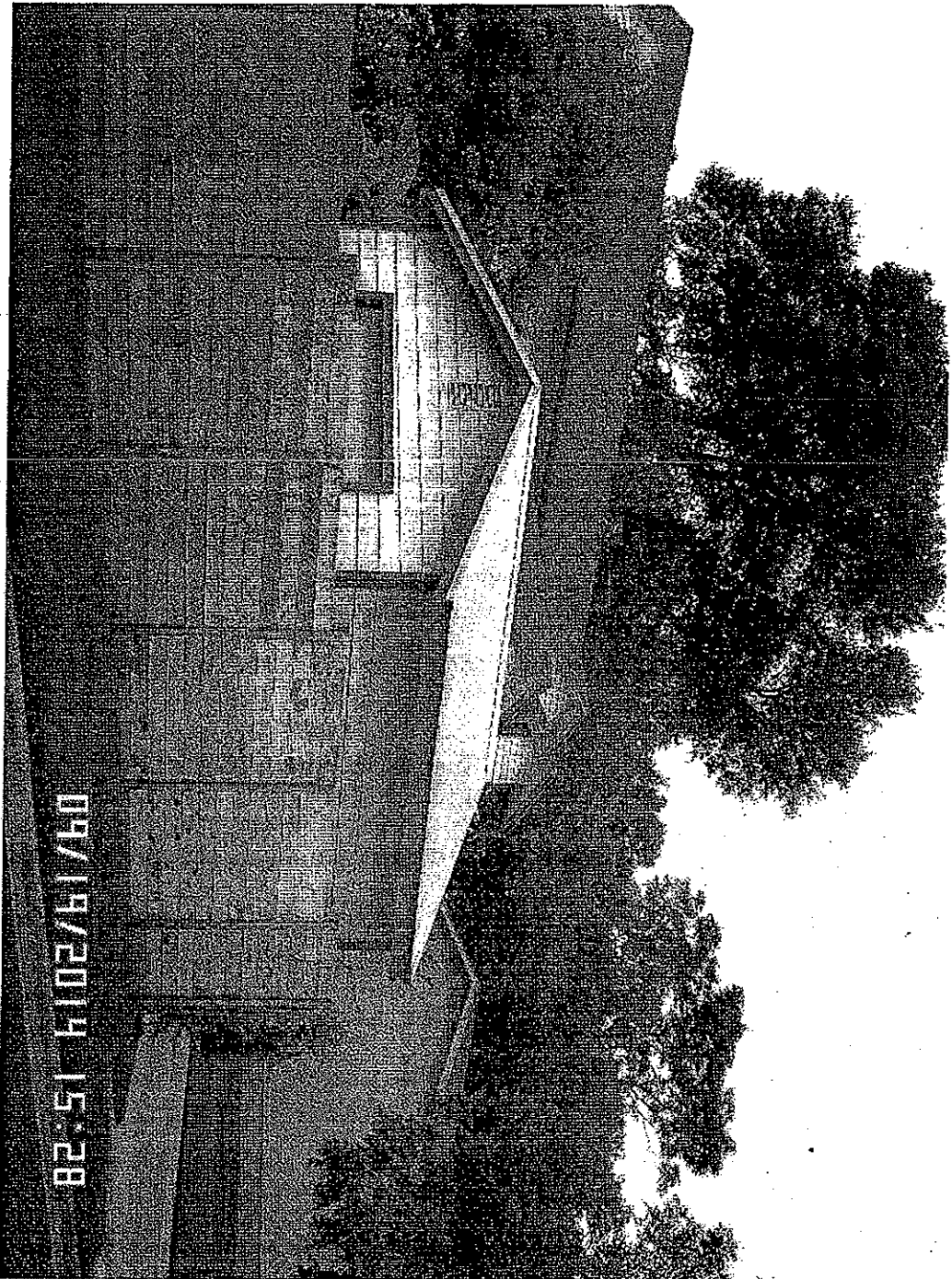
2. (a) The hardship for which the variance is requested is unique to the property in that: property slopes from back to front and the location of existing improvements prevent building from complying with current setbacks.

(b) The hardship is not general to the area in which the property is located because: this is a corner lot and the topography exist on this site.

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because: the building is being built in the same footprint as previous accessory building.

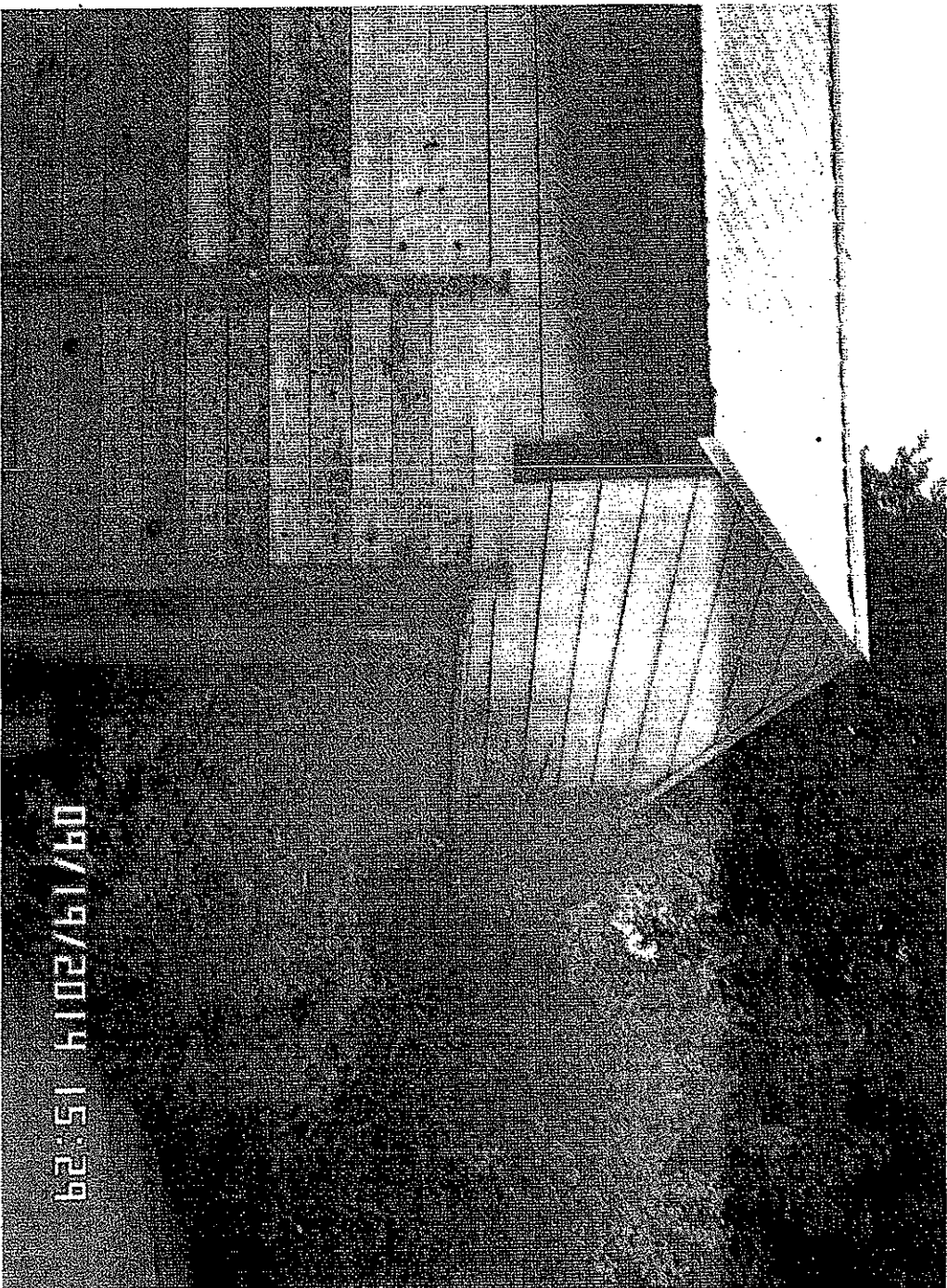

Joseph Pantalion, Executive Secretary


Herman Thun, Chairperson



2000 TREDE DR
Case CC-2014-096545

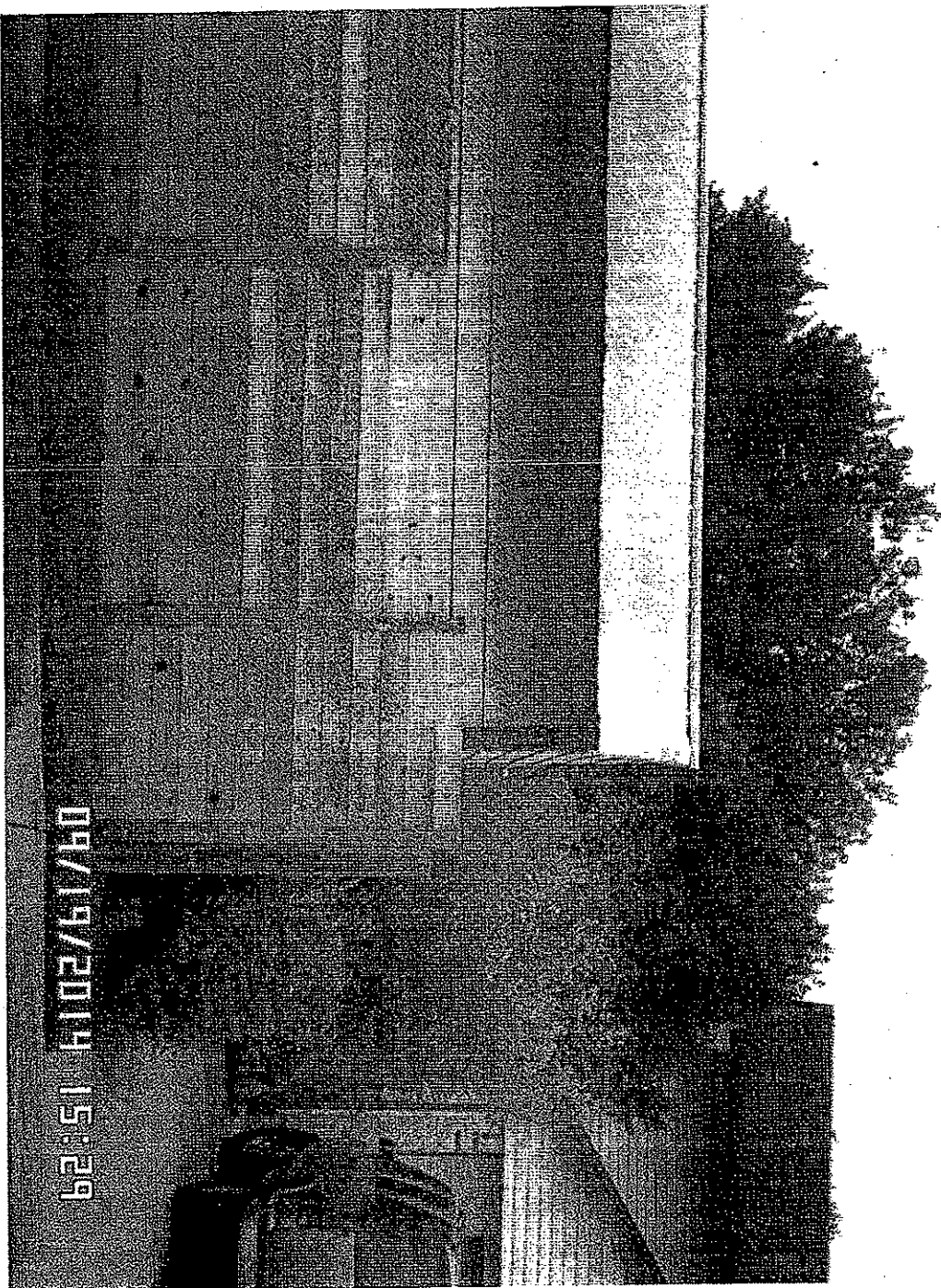
Friday, September 19, 2014
Investigator Irma Ybarra



09/19/2014 15:29

2000 TREDE DR
Case CC-2014-096545

Friday, September 19, 2014
Investigator Irma Ybarra



2000 TREDE DR
Case CC-2014-096545

Friday, September 19, 2014
Investigator Irma Ybarra

John Sosa / Jalsosa

MUST BRING THIS FORM AT THE TIME OF SUBMITTAL

CoA Residential Building Permit – Consultation Checklist

Property Address:

2000 Trade Dr.

New Construction ☒ Addition ☐ Addition/Remodel ☐ Interior Remodel ☐ Subchapter F ☐Fence ☐ Life Safety ☐ Pool ☐ Special Exception ☐ Amnesty CO ☐ Revision (Major) (Minor)Items not previously signed off by a reviewer must be signed off by Intake prior to the submittal being accepted into review:Billing Information Form - As of August 16th 2013 Review Fees are collected **BEFORE** review can beginApplication - Is complete (responses on ALL "yes" or "no" questions and ALL blanks filled) AND signed by applicant4-Page Application ☒2-Page Application ☐Plot Plan/Site Plan - 3 scaled copies are included with metes and bounds

2 full sized** sets to scale* with current and proposed structures shown with clear and legible dimensions

1 set reduced to scale* with current and proposed structures shown with clear and legible dimensions (8 1/2 x 11, 8 1/2 x 14, or 11 x 17)

Floor Plans - 3 scaled copies are included with applicable technical data of Access. Bldg; add length + width dims of pad to site plan

2 full sized** sets to scale* with clear and legible room labels and dimensions

1 set reduced to scale* with clear and legible room labels and dimensions (8 1/2 x 11, 8 1/2 x 14, or 11 x 17)

Owner(s) Letter of Authorization (if applicant is not owner) - is signed by owner(s) listed on Warranty DeedIn addition if applicable:Foundation, Framing, and Wind Bracing Plans - 3 scaled copies are included with applicable technical data

2 full sized** sets to scale* with clear and legible dimensions

1 set reduced to scale* with clear and legible dimensions (8 1/2 x 11, 8 1/2 x 14, or 11 x 17)

See "Application Process" subsection "f" on pg. 5 for "Single Story" or pg. 6 for "Multi-Story" on the Residential Permit Application. Remodels are subject to Framing Plans if required

BSPA Form (stamped) - is included if new construction or addition is being performedAWU Water/Wastewater Service Verification Form (stamped) - is included if a new meter or upgrade is requiredDemolition Permit Application - Required anytime a portion of an exterior wall, roof, or structure is being removed or demolished.

1. Demolition Application is complete, signed and notarized by all owners. This is NOT the same as the Owner(s) Letter of Authorization. Notary and signatures must be original - NO COPIES!

2. Printed Photos of each side of structure - highlighting what is being demolished

3. Additional Plot Plan indicating what is being demolished

4. Certified Tax Certificate (and Recorded Warranty Deed if new acquisition)

Elevations - 3 scaled copies are included if project is addition/new construction of Access. Bldg.

2 full sized** sets to scale* with clear and legible ceiling height and rooftop dimensions

1 set reduced to scale* with clear and legible ceiling height and rooftop dimensions (8 1/2 x 11, 8 1/2 x 14, or 11 x 17)

Subchapter F setback plane/exemption exhibits (aka "tents") - are included on plot plans and elevations if in RDCC area

Single-story new construction, addition, addition/remodel under 20' - stamps and seal are NOT required on drawings

Multi-story new construction, additions, addition/remodels - stamps and seals are required on Architectural Drawings

Consulting Reviewer (Print name)

JUSAN BARR

Date:

22 Sept 2014

*** The submittal requirement waivers provided hereon are based solely on a verbal discussion of the proposed project during customer consultation. Upon review of the application submittal, additional items, including but not limited to those items waived above, may be required before the permit application is released. ***

See Back for additional comments by Reviewer



*to scale - An acceptable City of Austin scale must be used
 **11X17 or greater paper size constitutes "full size"

➤ It is advised to keep a copy of all documents for future reference.



Additional Comments by Reviewer:

- ~~Re-Permitting~~ Accessory Bldg encroaching into the subgrade setback that was previously permitted, but the permits expired - will need to go to BOA for variance ← See LeAnne Heldenfelds
- ~~Re-Permitting~~ New Swing pool permits from 1995 IN THE DAC M-F 9AM-NOON

Check on these before Submittal:

- Property Description – project is on a legally subdivided lot
(This can be found on the Travis County Appraisal District website @ www.traviscad.org, see DAC for more information)
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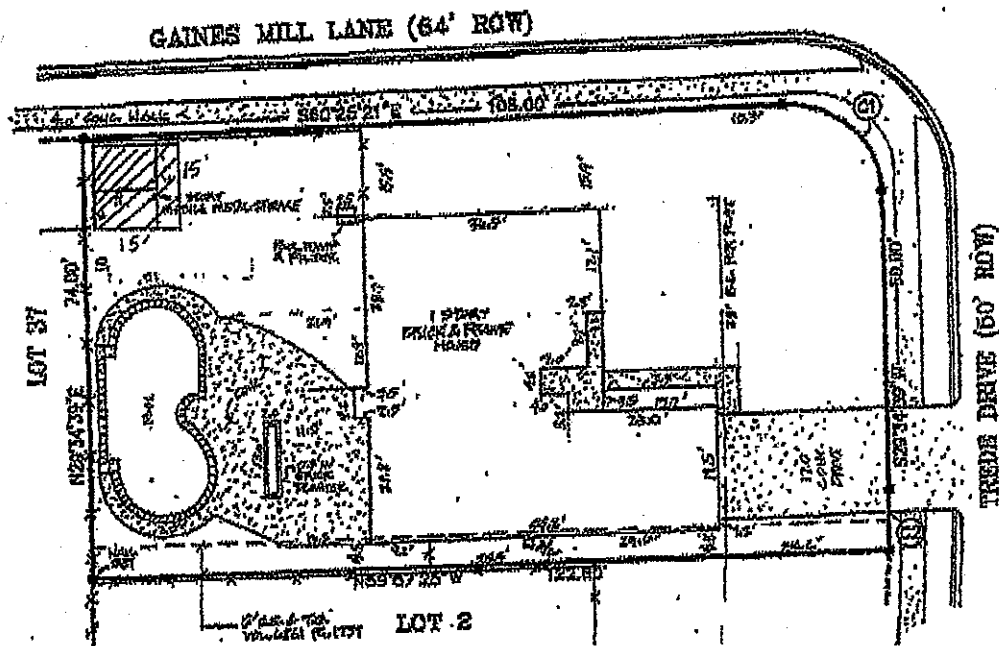
10/25/2004 11:14

SURVEY PLAT OF LOCAL ADDRESS 3000 TOWN DRIVE REF: LITON CEMETERY
LEGAL DESCRIPTION: LOT 2, BLOCK 2, ROYAL HARBOR GOLF & ESTATES II
A SUBDIVISION IN TRAVIS COUNTY, TEXAS, OF RECORD IN BOOK 78, PAGE 350
THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

SCALE: 1" = 20'
+ 1/2" PIN FOUND
O 1/2" PIN SET
--- 8 IN. SQUARE CORNER
--- WIRE FENCE

①
CB = S15°25'20"E
CH = 21.21'
L = 23.55'
R = 15.00'

②
CB = S30°48'18"W
CH = 10.00'
L = 10.00'
R = 240.00'



NOTES APPLY:
1. ☒ This property is in zone XX of the F.E.M.A. Flood Insurance Rate Map for TRAVIS COUNTY, Texas.
Community Panel No. 48580C 0210E, dated 2-5-82.
2. ☐ According to the recorded plat of this subdivision, 10% of the area is within the 100 year flood plain.
3. ☐ According to the recorded plat of this subdivision, the 100 year flood plain is contained within the drainage easements shown on the plat. There are drainage easements on this plat.
THE STATE OF TEXAS: TO THE LENDERS AND/OR THE OWNERS OF THE
COUNTY OF TRAVIS: PREMISES SURVEYED AND TO THE RECORDING OFFICE, THIS CERTIFICATE OF AUSTIN
The undersigned does hereby certify that this survey was this day made on the ground
of the property legally described herein and is correct, and that there are no disputes,
angles, conflicts, shortages in area, boundary line disputes, encroachments, overlaps,
pins of improvements, visible utility lines or roots in place, except as shown herein, and
that said property has access to and from a dedicated roadway, except as shown herein.
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES
SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE
TO OTHERS FOR ANY LOSS RESULTING THEREFROM.
Dated this 10th day of NOV, 192004.
JOB No. 18066 INVOICE No. 45974

Clinton P. Rippy
CLINTON P. RIPPY
REGISTERED PROFESSIONAL LAND
SURVEYOR NO. 1452

No. 0979 P. 7/24

10/25/04 10:09

TX/RX NO. 0991

P. 002

Aug. 27, 2011 9:07AM HONDA HONDA

**CITY OF AUSTIN
BOARD OF ADJUSTMENT/SIGN REVIEW BOARD
DECISION SHEET**

____ Herman Thun, Chair
____ Barbara Aybar, Vice Chair
____ Leane Heldenfels
____ Frank Fuentes
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DATE: January 10, 2005

CASE NUMBER: C15-05-002

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BOARD'S DECISION: GRANTED 5-0 FOR A 1 STORY 15'X15' ACCESSORY BLDG.

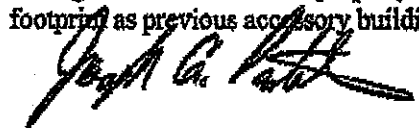
FINDINGS:

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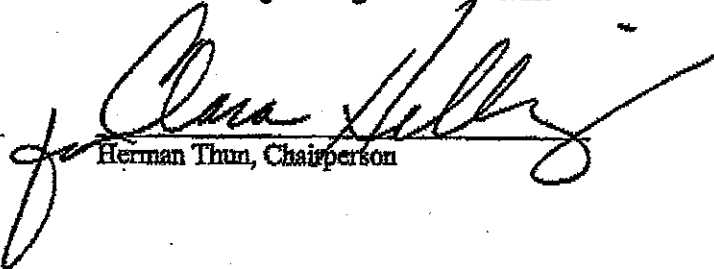
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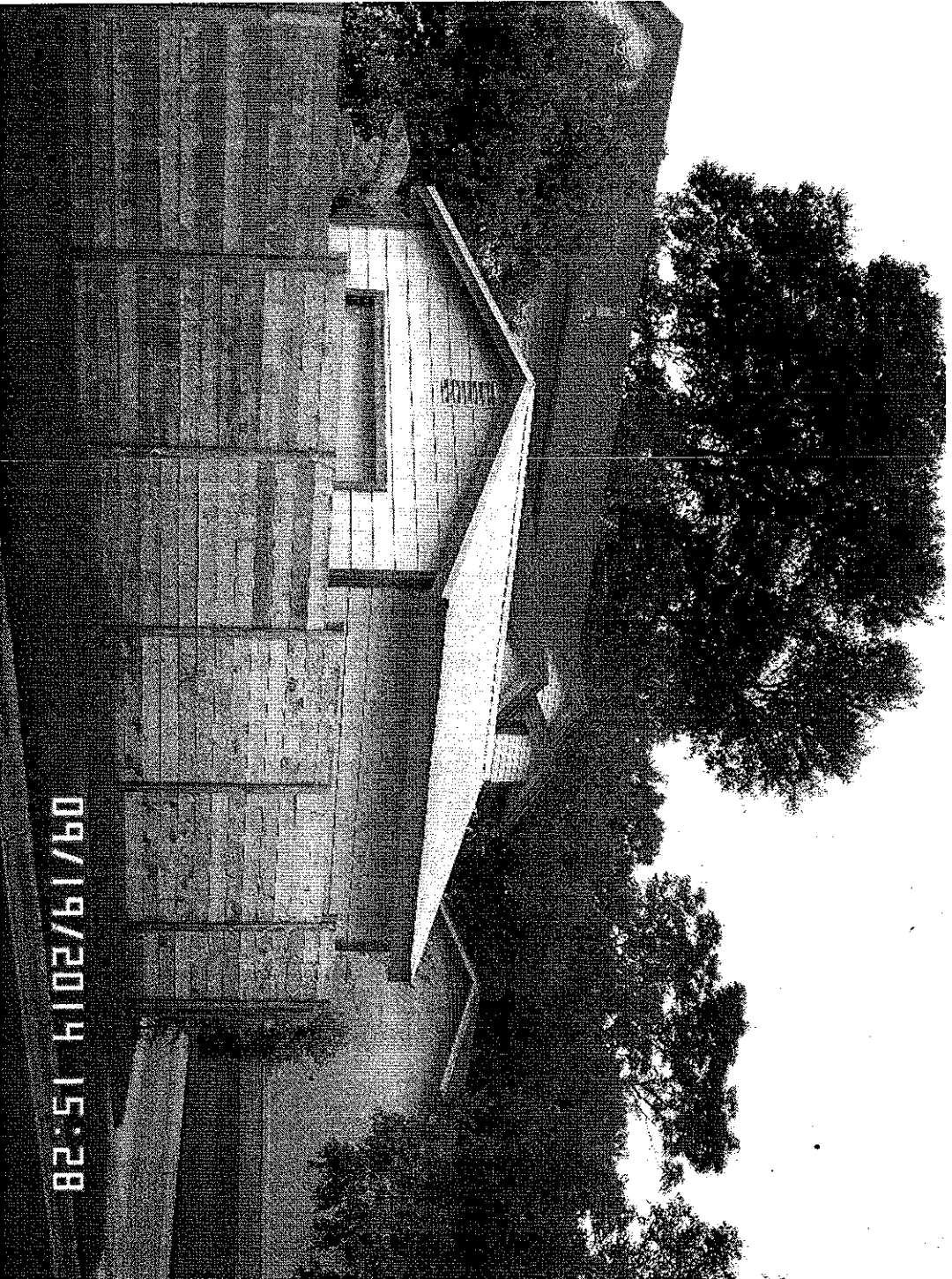
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Joseph Pantalion, Executive Secretary

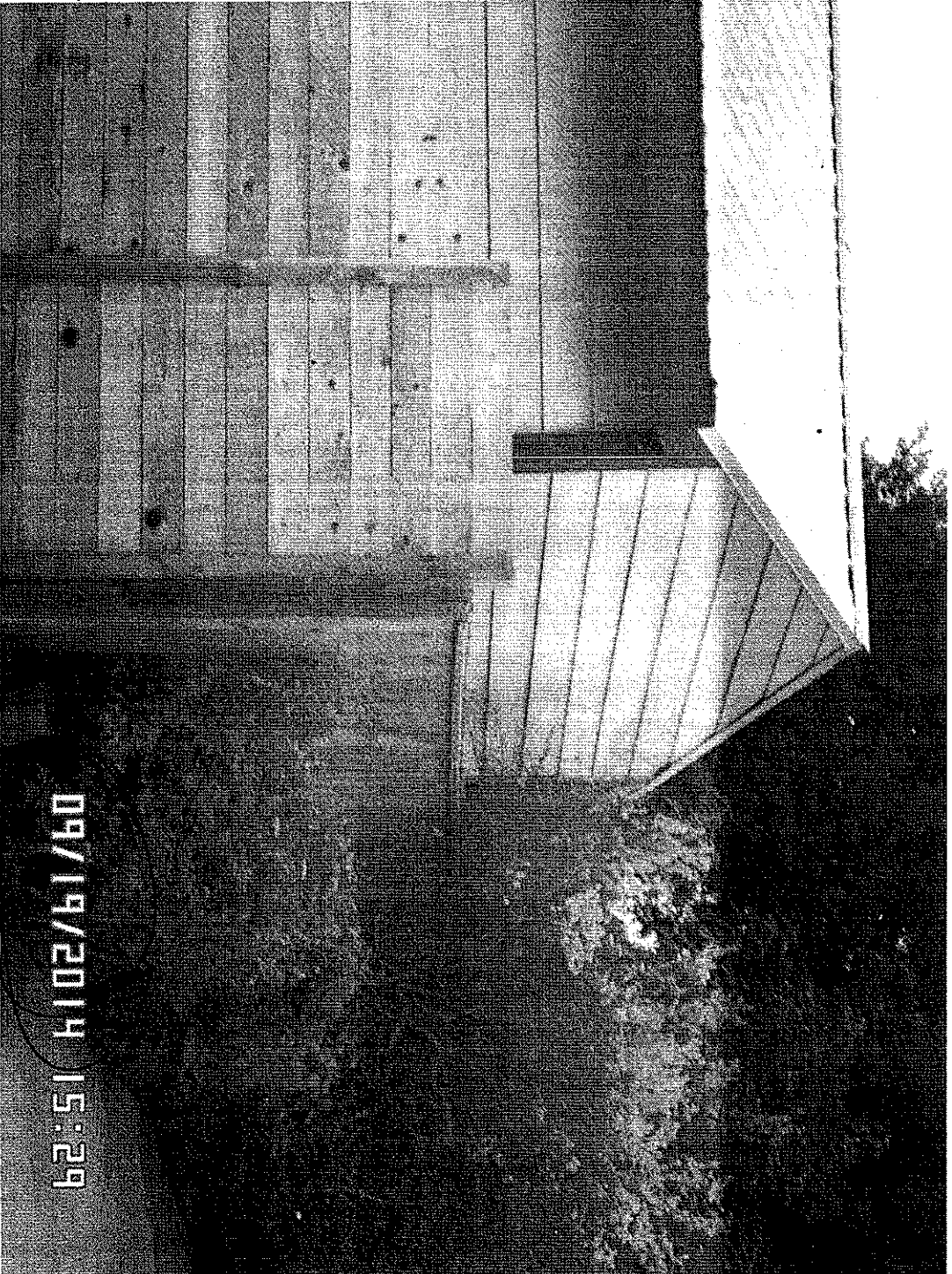


Herman Thun, Chairperson



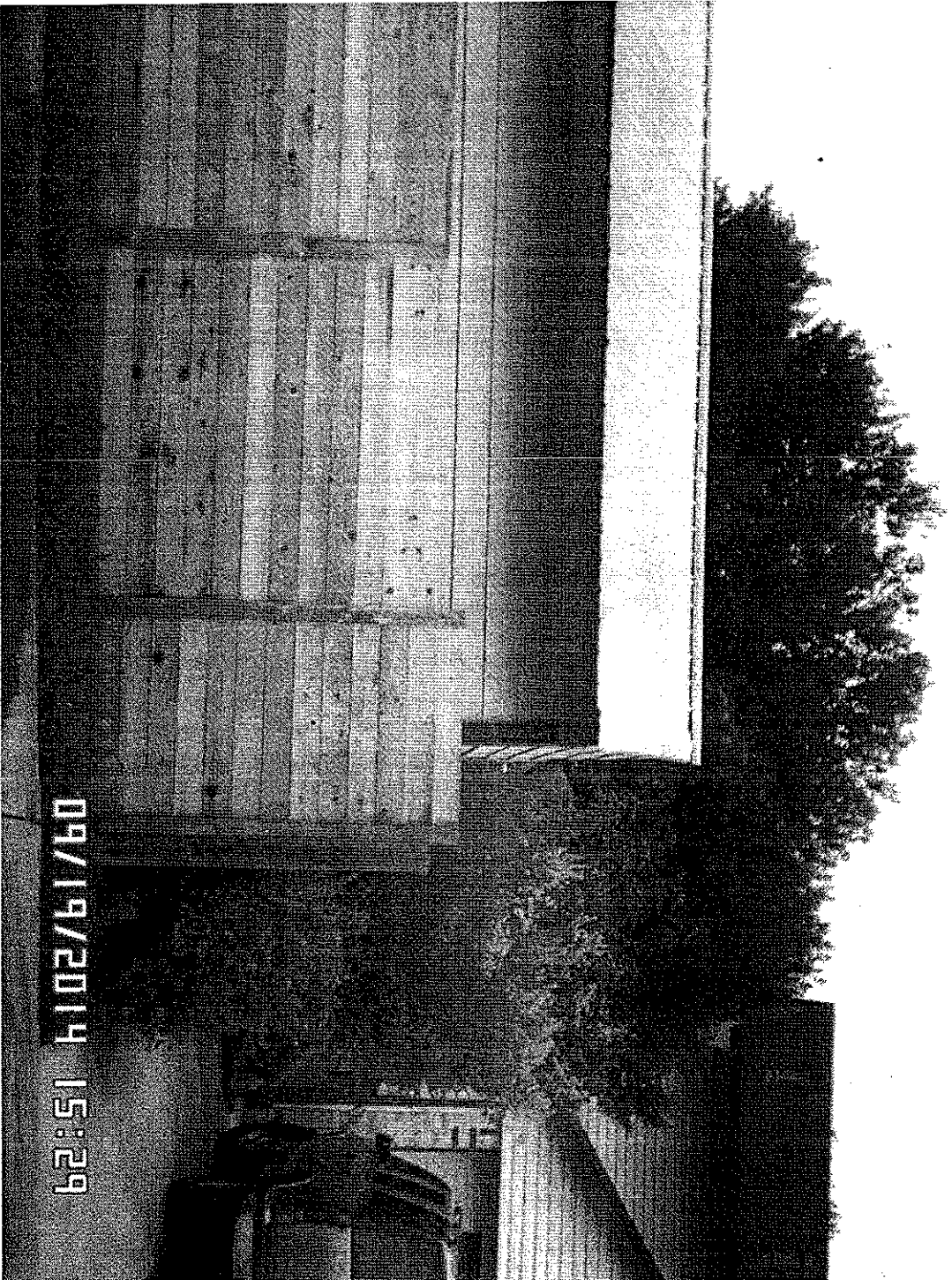
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Friday, September 19, 2014
Investigator Irma Ybarra



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Legend

-  Lot Lines
-  Streets
-  Building Footprints
-  Named Creeks
-  Lakes and Rivers
-  Parks
-  County

THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS.

