

Heidenfels, Leane

CITY-2014-0117
ROW 11249440
TAX 0100060602

From: David King <[REDACTED]>
Sent: Monday, October 20, 2014 3:16 PM
To: Guernsey, Greg
Cc: Camou, Juan; gardner sumner
Subject: 2015 Goodrich Avenue - Appeal Issuance of Building Permit - 2014-093888 PR
Attachments: 2015 Goodrich Avenue - Appeal.pdf; 2015 Goodrich appeal reasons.doc

Mr. Greg Guernsey, Director, Planning Development and Review Department,

Please find attached a completed Notice of Appeal for the issuance of the building permit for 2015 Goodrich Avenue, Austin, TX 78704, case # 2014-093888 PR. Gardner Sumner, President of the Zilker Neighborhood Association (ZNA), signed the Appeal. The ZNA Zoning Committee has identified the following problems with the building permit application.

The applicant has:

1. Failed to use the correct lot size,
2. Failed to measure McMansion FAR to the outside surface of the exterior walls,
3. Requested an attic exemption that does not comply with the requirements, and
4. Incorrectly calculated impervious cover. As a result, the house does not comply with the McMansion ordinance which requires that the FAR not exceed 40% nor with the impervious cover ordinance which requires that the impervious cover not exceed 45%.

Please acknowledge receipt of this appeal and let me know if you need any other information or have any questions.

Respectfully,

David King
Zilker Neighborhood Association VP 2

NOTICE OF APPEAL INFORMATION

Austin City Code ARTICLE 7. APPEALS, VARIANCES, SPECIAL EXCEPTIONS, AND ADJUSTMENTS.

Division 1. Appeals

(see page 2 of 2 for appeal process)



Planning and Development Review Department

Address of Property in Question 2015 Goodrich Ave		Permit Number 2014-093888 PR
Appellant Filing Appeal Zilker Neighborhood Association		Relationship to Property subject property is within the neighborhood boundaries
Appellant's status as Interested Party neighborhood association in which subject property is located		
Appellant Contact Information		Permit Holder Contact Information
Name Gardner Sumner, President, ZNA		Name S.Austin Dev.Group LLC (Vance Cobb)
Street 1610 Treadwell Street		Street 802 Josephine St
City Austin	State TX	Zip 78704
Telephone 512-468-6200		Telephone (512)550-2144
E-Mail gsumner@zilker.org		E-Mail vancecobb@gmail.com
Date of Decision Being Appealed: 14 Oct 2014		Date Appeal is Filed: 20 Oct 2014
Decision being appealed: (use additional paper as required) issuance of building permit 2014-093888 PR for 2015 Goodrich Ave		
Reason the appellant believes the decision does not comply with the requirements of the Land Development Code (Title 25) The applicant has 1) failed to use the correct lot size, 2) failed to measure McMansion FAR to the outside surface of the exterior walls, 3) requested an attic exemption that does not comply with the requirements, and 4) incorrectly calculated impervious cover. As a result, the house does not comply with the McMansion ordinance which requires that the FAR not exceed 40% nor with the impervious cover ordinance which requires that the impervious cover not exceed 45%. See attached details.		
BELOW FOR CITY USE ONLY		
Hearing Date:	Board or Commission:	
Action on Appeal:	Date of Action	
Form Bldg 101 Page 1 of 2		
The applicant must complete page 2 of 2 and sign before this application of appeal is complete. The application <u>will not be processed unless the applicant reads and signs page 2 of 2.</u>		

Appeal Process

You may appeal by following the Land Development Code requirements below. You must complete the form with all required information.

ARTICLE 7. APPEALS, VARIANCES, SPECIAL EXCEPTIONS, AND ADJUSTMENTS.

Division 1. Appeals.

§ 25-1-181 STANDING TO APPEAL.

- (A) A person has standing to appeal a decision if:
- (1) the person is an interested party; and
 - (2) a provision of this title identifies the decision as one that may be appealed by that person.
- (B) A body holding a public hearing on an appeal shall determine whether a person has standing to appeal the decision.

Source: Section 13-1-250; Ord. 990225-70; Ord. 030828-65; Ord. 031211-11.

§ 25-1-182 INITIATING AN APPEAL.

An interested party may initiate an appeal by filing a notice of appeal with the responsible director or building official, as applicable, not later than:

- (1) the 14th day after the date of the decision of a board or commission; or
- (2) the 20th day after an administrative decision.

Source: Section 13-1-251(a); Ord. 990225-70; Ord. 031211-11.

§ 25-1-183 INFORMATION REQUIRED IN NOTICE OF APPEAL.

The notice of appeal must be on a form prescribed by the responsible director or building official and must include:

- (1) the name, address, and telephone number of the appellant;
- (2) the name of the applicant, if the appellant is not the applicant;
- (3) the decision being appealed;
- (4) the date of the decision;
- (5) a description of the appellant's status as an interested party; and
- (6) the reasons the appellant believes the decision does not comply with the requirements of this title.

Source: Section 13-1-251(a); Ord. 990225-70; Ord. 010329-18; Ord. 031211-11.

By signing this document, I attest to having read and understand my rights as granted by the Land Development Code for the process of appealing an administrative decision by the building official or the responsible director.

20 OCT. '14 E. SUMNER

Date:

Printed Name:



Signature:

2015 Goodrich Ave (Permit Number 2014-093888 PR)

Reasons the Decision Does Not Comply with the Requirements of the Land Development Code:

- 1) The applicant is using a lot size of 6,325 sq ft to make impervious cover and McMansion FAR calculations. This is the lot size shown at the Travis County Appraisal District (TCAD). However, the applicant presented an actual survey conducted by All Points Surveying on 21 Jul 2014. The property lines shown on this survey calculate to 6,296.6 sf. The surveyed area should be used since the TCAD areas are notoriously inaccurate. This will result in a higher impervious cover and McMansion FAR percentage.
- 2) The architectural plans of the first and second floor (Drawings A1.1 and A1.2) appear to be drawn to the outer edge of the wood framing and not to the "outside surface of the exterior walls" demonstrated by the fact that the first floor plan dimensions (Drawing A1.1) match the foundation plan dimensions (Drawing S-1). Normally, the edge of the framing is aligned with the foundation edge. When sheathing and siding is added, this dimension can increase by an inch or more on all sides. Since the criteria for calculating the McMansion FAR is measurement to the "outside surface of the exterior walls", the McMansion FAR is not calculated correctly. If one assumes a ½" sheathing and ¾" siding, the first floor area is increased to 1,301.6 sf and the second floor area is increased to 1285.3 sf. This is an additional 33.8 sf that must be added to the McMansion FAR calculation.
- 3) The attic exemption from McMansion FAR requested by the applicant is not allowable under the McMansion ordinance. The attic exemption is allowable only if it meets certain conditions:

"3.3.3. Porches, basements, and attics that meet the following requirements shall be excluded from the calculation of gross floor area:

C. A habitable portion of an attic, if:

- 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater;*
- 2. It is fully contained within the roof structure;*
- 3. It has only one floor;*
- 4. It does not extend beyond the footprint of the floors below;*
- 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and*
- 6. Fifty percent or more of the area has a ceiling height of seven feet or less."*

We believe that not all of these requirements have been met and that the attic exemption requirements were intended to prevent exactly what the applicant is trying to do. The proposed plan is inconsistent with the attic exemption requirements for three reasons:

1. The dormers are not fully contained within the roof structure contrary to requirement #2. We believe the dormers are exactly what requirement #2 was specifically intended to prevent. It is hard to envision any other purpose of this provision. While there is a "dormer exception" from the setback plane as described in Section 2.6.E.4.b.ii of Subchapter F (Residential Design and Compatibility Standards), this exception is specifically related to the "Setback Planes" defined in Section 2.6, not to the "Gross Floor Area" defined in Section 3.3.
2. The dormers add additional mass to the structure contrary to requirement #5. In addition, the vertical wall with windows facing the side street which separates the two primary roof slopes also adds mass. If it weren't for that wall, the two slopes would meet at a peak much lower than the proposed peak, and the mass of the roof structure would be less.
3. The third floor deck (called a "roof deck" in the habitable attic plans) is accessible from the "habitable attic". While the deck itself would not be subject to McMansion FAR, the fact that it exists supports our contention that the habitable attic is actually a third floor rather than a fully contained attic.

The attic exemption should be disallowed and the applicant should recalculate the McMansion FAR as if this area is a third floor.

- 4) On page 2 of the application, the applicant has indicated that the impervious cover is 2,481 sf or 44.9%. However, 2,481 sf is 39.2% of their stated lot size of 6,325 sf, not 44.9%. We believe that they probably transposed numbers and that the impervious cover is probably 2,841 sf because 2,841 sf is 44.9%. However, it is not possible to tell because the applicant has not itemized or categorized the impervious cover. It is not clear whether the back deck stairs and landing are included in the impervious cover calculations because they are not shown on the site plan. Also, the A/C pads do not appear to have been included in the impervious cover calculations since they do not appear on the site plan. The applicant should be required to provide an itemized list of the impervious cover as do most applicants so the calculations and arithmetic can be checked. If the correct impervious cover is actually 2,841 sf rather than 2,481 sf, then the impervious cover percentage would be over the limit of 40% based on the correct lot square footage of 6,296.6 sf.

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(see page 2 of 2 for appeal process)



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Appellant Contact Information		Permit Holder Contact Information
Name Gardner Sumner, President, ZNA		Name S.Austin Dev.Group LLC (Vance Cobb)
Street 1610 Treadwell Street		Street 802 Josephine St
City Austin	State TX	Zip 78704
Telephone 512-468-6200	Telephone (512)550-2144	
E-Mail [REDACTED]	E-Mail [REDACTED]	
Date of Decision Being Appealed: 14 Oct 2014		Date Appeal is Filed: 20 Oct 2014
Decision being appealed: (use additional paper as required) issuance of building permit 2014-093888 PR for 2015 Goodrich Ave		
Reason the appellant believes the decision does not comply with the requirements of the Land Development Code (Title 25) The applicant has 1) failed to use the correct lot size, 2) failed to measure McMansion FAR to the outside surface of the exterior walls, 3) requested an attic exemption that does not comply with the requirements, and 4) incorrectly calculated impervious cover. As a result, the house does not comply with the McMansion ordinance which requires that the FAR not exceed 40% nor with the impervious cover ordinance which requires that the impervious cover not exceed 45%. See attached details.		
BELOW FOR CITY USE ONLY		
Hearing Date:	Board or Commission:	
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- (3) the decision being appealed;
- (4) the date of the decision;
- (5) a description of the appellant's status as an interested party; and
- (6) the reasons the appellant believes the decision does not comply with the requirements of this title.

Source: Section 13-1-251(a); Ord. 990225-70; Ord. 010329-18; Ord. 031211-11.

By signing this document, I attest to having read and understand my rights as granted by the Land Development Code for the process of appealing an administrative decision by the building official or the responsible director.

20 OCT. '14 G. SUMNER

Date:

Printed Name:



Signature:

We believe that not all of these requirements have been met and that the attic exemption requirements were intended to prevent exactly what the applicant is trying to do. The proposed plan is inconsistent with the attic exemption requirements for three reasons:

1. The dormers are not fully contained within the roof structure contrary to requirement #2. We believe the dormers are exactly what requirement #2 was specifically intended to prevent. It is hard to envision any other purpose of this provision. While there is a "dormer exception" from the setback plane as described in Section 2.6.E.4.b.ii of Subchapter F (Residential Design and Compatibility Standards), this exception is specifically related to the "Setback Planes" defined in Section 2.6, not to the "Gross Floor Area" defined in Section 3.3.
2. The dormers add additional mass to the structure contrary to requirement #5. In addition, the vertical wall with windows facing the side street which separates the two primary roof slopes also adds mass. If it weren't for that wall, the two slopes would meet at a peak much lower than the proposed peak, and the mass of the roof structure would be less.
3. The third floor deck (called a "roof deck" in the habitable attic plans) is accessible from the "habitable attic". While the deck itself would not be subject to McMansion FAR, the fact that it exists supports our contention that the habitable attic is actually a third floor rather than a fully contained attic.

The attic exemption should be disallowed and the applicant should recalculate the McMansion FAR as if this area is a third floor.

- 4) On page 2 of the application, the applicant has indicated that the impervious cover is 2,481 sf or 44.9%. However, 2,481 sf is 39.2% of their stated lot size of 6,325 sf, not 44.9%. We believe that they probably transposed numbers and that the impervious cover is probably 2,841 sf because 2,841 sf is 44.9%. However, it is not possible to tell because the applicant has not itemized or categorized the impervious cover. It is not clear whether the back deck stairs and landing are included in the impervious cover calculations because they are not shown on the site plan. Also, the A/C pads do not appear to have been included in the impervious cover calculations since they do not appear on the site plan. The applicant should be required to provide an itemized list of the impervious cover as do most applicants so the calculations and arithmetic can be checked. If the correct impervious cover is actually 2,841 sf rather than 2,481 sf, then the impervious cover percentage would be over the limit of 40% based on the correct lot square footage of 6,296.6 sf.

2015 Goodrich Ave (Permit Number 2014-093888 PR)

Reasons the Decision Does Not Comply with the Requirements of the Land Development Code:

- 1) The applicant is using a lot size of 6,325 sq ft to make impervious cover and McMansion FAR calculations. This is the lot size shown at the Travis County Appraisal District (TCAD). However, the applicant presented an actual survey conducted by All Points Surveying on 21 Jul 2014. The property lines shown on this survey calculate to 6,296.6 sf. The surveyed area should be used since the TCAD areas are notoriously inaccurate. This will result in a higher impervious cover and McMansion FAR percentage.
- 2) The architectural plans of the first and second floor (Drawings A1.1 and A1.2) appear to be drawn to the outer edge of the wood framing and not to the "outside surface of the exterior walls" demonstrated by the fact that the first floor plan dimensions (Drawing A1.1) match the foundation plan dimensions (Drawing S-1). Normally, the edge of the framing is aligned with the foundation edge. When sheathing and siding is added, this dimension can increase by an inch or more on all sides. Since the criteria for calculating the McMansion FAR is measurement to the "outside surface of the exterior walls", the McMansion FAR is not calculated correctly. If one assumes a ½" sheathing and ¾" siding, the first floor area is increased to 1,301.6 sf and the second floor area is increased to 1285.3 sf. This is an additional 33.8 sf that must be added to the McMansion FAR calculation.
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C. A habitable portion of an attic, if:

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- 2. It is fully contained within the roof structure;*
- 3. It has only one floor;*
- 4. It does not extend beyond the footprint of the floors below;*
- 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and*
- 6. Fifty percent or more of the area has a ceiling height of seven feet or less."*

**CITY OF AUSTIN APPLICATION TO BOARD
OF ADJUSTMENT INTERPRETATIONS
PART I: APPLICANT'S STATEMENT
(Please type)**

STREET ADDRESS: 2015 Goodrich Ave, Austin, TX 78704

LEGAL DESCRIPTION: Subdivision –
Fowler HTS

Lot (s) 1 Block D Outlot _____ Division _____

ZONING DISTRICT: SF-3

I/WE Dave Piper on behalf of myself/ourselves as
authorized

Agent for Zilker Neighborhood Association affirm that on 19th

Day of November, 20 14, hereby apply for an interpretation hearing before the Board of
Adjustment.

Planning and Development Review Department interpretation is: Re: 2014-093888 PR

PDRD interpretation is that project complies with Chapter 25-2 Subchapter F of the Land Development Code (McMansion Ordinance)

1. PDRD accepted TCAD data instead of survey measurements.
2. PDRD accepted FAR measurements to edge of framing instead of to edge of exterior walls.
3. PDRD accepted the attic exemption that adds mass and is not contained within the roof structure.
4. ~~PDRD accepted calculations for impervious cover that didn't include A/C pad and accurate~~
measurements.

I feel the correct interpretation is:

1. The application permit does not contain the correct lot size.
2. The application permit contains McMansion FAR measurements that are NOT to the outside surface of the exterior walls.
3. The application permit contains an attic exemption that does not meet the requirements of Subchapter F, Article 3,3.3.3. The habitable space adds mass and is not fully contained within the roof structure.
4. The application permit has incorrect calculations for impervious cover.

As a result of the 4 items listed above, the house does not comply with the McMansion Ordinance, which requires FAR not exceed 40% and impervious cover not exceed 45%.

NOTE: The board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable findings statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

1) There is a reasonable doubt of difference of interpretation as to the specific intent of the ordinance or map in that:

1) The permit shows a lot size of 6,325 sq ft to make impervious cover and McMansion FAR calculations. This is the lot size shown at the Travis County Appraisal District (TCAD).

However, the owner presented an actual survey conducted by All Points Surveying on 21 Jul 2014. The property lines shown on this survey calculate to 6,296.6 sf. The surveyed area should be used since the TCAD areas are notoriously inaccurate. This will result in a higher impervious cover and McMansion FAR percentage.

2) The architectural plans of the first and second floor (Drawings A1.1 and A1.2) are drawn to the outer edge of the wood framing and not to the outside surface of the exterior walls. demonstrated by the fact that the first floor plan dimensions of the building permit (Drawing A1.1) match the foundation plan dimensions (Drawing S-1). Normally, the edge of the framing is aligned with the foundation edge. When sheathing and siding is added, this dimension can increase by an inch or more on all sides. Since the criteria for calculating the McMansion FAR is measurement to the "outside surface of the exterior walls", the McMansion FAR is not calculated correctly. If one assumes a ½" sheathing and ¾" siding, the first floor area is increased to 1,301.6 sf and the second floor area is increased to 1285.3 sf. This is an additional 33.8 sf that must be added to the McMansion FAR calculation.

3) The attic exemption from McMansion FAR shown on the building permit is not allowable under the McMansion ordinance. The attic exemption is allowable only if it meets certain conditions:

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C. A habitable portion of an attic, if:

- 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater;*
- 2. It is fully contained within the roof structure;*
- 3. It has only one floor;*
- 4. It does not extend beyond the footprint of the floors below;*
- 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and*
- 6. Fifty percent or more of the area has a ceiling height of seven feet or less."*

We believe that all of these requirements have NOT been met and that the attic exemption requirements were intended to prevent exactly what the owner is trying to do. The proposed plan is inconsistent with the attic exception requirements for three reasons:

1. The dormers are not fully contained within the roof structure contrary to requirement #2. We believe the dormers are exactly what requirement #2 was specifically intended to prevent. It is hard to envision any other purpose of this provision. While there is a

"dormer exception" from the setback plane as described in Section 2.6.E.4.b.ii of Subchapter F (Residential Design and Compatibility Standards), this exception is specifically related to the "Setback Planes" defined in Section 2.6, not to the "Gross Floor Area" defined in Section 3.3.

2. The dormers add additional mass to the structure contrary to requirement #5. The attic exemption should be disallowed and the applicant should recalculate the McMansion FAR.
- 4) Page 2 of the building permit shows that the impervious cover is 2,481 sf or 44.9%. However, 2,481 sf is 39.2% of the stated lot size of 6,325 sf, not 44.9%. It is not clear whether the back deck stairs and landing are included in the impervious cover calculations because they are not shown on the site plan. Also, the A/C pads do not appear to have been included in the impervious cover calculations since they do not appear on the site plan. If the correct impervious cover is actually 2,841 sf rather than 2,481 sf, then the impervious cover percentage would be over the limit of 40% based on the correct lot square footage of 6,296.6 sf.

2. An appeal of use provisions could clearly permit a use which is in character with the uses enumerated for the various zones and with the objectives of the zone in question because: _____

Applicant is not appealing use provisions of the Code, but rather Subchapter F sections of the code. _____

3. The interpretation will not grant a special privilege to one property inconsistent with other properties or uses similarly situated in that: _____

The attic space does not meet the exempt attic requirements outlined in 25-2 Subchapter F, Article 3, 3.3.3. The habitable space adds mass and is not fully contained within the roof structure. _____

APPLICANT/AGGRIEVED PARTY CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Dave Piper—2nd Vice President, Zilker Neighborhood Assn

Printed _____

Mailing Address 607 Jessie St

City, State & Zip Austin, TX 78704

Phone 512-916-9636

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

(Applicant is not the owner.)

Signed _____ Printed _____

Mailing Address _____

City, State & Zip _____

Phone _____

REQUESTS FOR INTERPRETATION
(Appeal of an Administrative Decision)

REQUIRED ITEMS FOR A COMPLETE APPLICATION:

The following items are required in order to file an application for interpretation to the Board of Adjustment.

- ☐ A completed application with all information provided. Additional information may be provided as an addendum to the application.
- ☐ Standing to Appeal Status: A letter stating that the appellant meets the requirements as an Interested Party as listed in Section 25-1-131(A) and (B) of the Land Development Code. The letter must also include all information required under 25-1-132(C).
- ☐ Site Plan/Plot Plan drawn to scale, showing present and proposed construction and location of existing structures on adjacent lots.
- ☐ Payment of application fee for residential zoning or for commercial zoning. See Current Fee Schedule (<http://www.austintexas.gov/department/fees>) for Applicable Fees. Checks should be made payable to the City of Austin.

An appeal of an administrative decision must be filed by the 20th day after the decision is made (Section 25-1-182). Applications which do not include all the required items listed above will not be accepted for filing.

If you have questions on this process contact Leane Heldenfels at

512-974-2202 or leana.heldenfels@austintexas.gov.

**To access the Land Development Code, go to
<http://www.austintexas.gov/department/online-tools-resources>**

Dave Piper
Zilker Neighborhood Association
607 Jessie St
Austin, TX, 78704

To: Board of Adjustment, Austin TX

November 19, 2014

Re:2014-093888 PR (2015 Goodrich Ave)

Dear BoA:

I, as a Vice President of the Zilker Neighborhood Association, meet the requirements as an Interested Party as listed in Section 25-1-131(A) and (B) of the Land Development Code.

Sincerely,
Dave Piper

Lot - 6325 sq. ft.

City of Austin Residential Permit Application

Residential Review, 2nd floor, One Texas Center
505 Barton Springs, Austin, TX 78704
(512) 978-4000

Project Information	
Project Address: <u>2015 Goodnick Ave Austin TX 78704</u>	Tax Parcel ID: <u>100468</u>
Legal Description: <u>Lot 1 Fowler Heights</u>	
Zoning District or PUD: <u>SF3</u>	Lot Size (square feet): <u>6325</u>
Neighborhood Plan Area (if applicable):	Historic District (if applicable):
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Note: Boundaries are defined under Title 25-2 Subchapter F of the Land Development Code.	
Does this site currently have water availability? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N wastewater availability? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.	
Does this site have or will it have an auxiliary water source? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, submit approved auxiliary and potable plumbing plans (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site have a septic system? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, submit a copy of approved septic permit to construct	
Does this site require a cut or fill in excess of four (4) feet? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, contact the Development Assistance Center for a Site Plan Exemption	
Does this site front a paved street? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Is this site adjacent to a paved alley? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	
Does this site have a Board of Adjustment (BOA) variance? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.	
Does the project impact a tree protected by ordinance? This includes canopy and/or critical root zone impacts to nearby trees. <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Note: If yes, application for a tree permit with the City Arborist may be required.	
Is this site within one hundred-fifty (150) feet of the one hundred (100) year floodplain? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Note: Proximity to a floodplain may require additional review time.	

Description of Work	
Existing Use: <input checked="" type="checkbox"/> vacant <input checked="" type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential other <u>To be demolished</u>	
Proposed Use: <input type="checkbox"/> vacant <input checked="" type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential other _____	
Project Type: <input checked="" type="checkbox"/> new construction <input type="checkbox"/> addition <input type="checkbox"/> addition/remodel <input type="checkbox"/> remodel/repair other _____	
# of existing bedrooms:	# of bedrooms upon completion: <u>4</u>
# of existing baths:	# of baths upon completion: <u>3.5</u>
Will all or part of an existing exterior wall be removed as part of the project? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N <u>Complete demolition</u> Note: Removal of all or part of a structure requires a demolition permit.	
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary) <u>Completely demolish house and detached garage, sidewalk and driveway. Build new 2 story residence, detached 2 car garage and pour new driveway/sidewalk & sidewalk in row.</u>	
Trades Permits Required: <input checked="" type="checkbox"/> electric <input checked="" type="checkbox"/> plumbing <input checked="" type="checkbox"/> mechanical (HVAC) <input checked="" type="checkbox"/> concrete (right-of-way) (circle all that apply)	

Job Valuation	
Total Job Valuation: \$ <u>250,000.00</u>	Portion of Total Job Valuation Dedicated to Addition/New Construction: \$ <u>250,000.00</u>
	Bldg: \$ <u>200,000</u> Elec: \$ <u>10,000</u>
	Plmbg: \$ <u>10,000</u> Mech: \$ <u>10,000</u>
	Primary Structure: \$ <u>200,000</u>
	Accessory Structure: \$ <u>50,000</u>
	Portion of Total Job Valuation Dedicated to Remodel/Repair: \$ _____
	Bldg: \$ _____ Elec: \$ _____
	Plmbg: \$ _____ Mech: \$ _____

Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.

Lot - 6325 sq. ft.

Building and Site Area			
Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 st floor conditioned area		1285	1285
b) 2 nd floor conditioned area		1243	1243
c) 3rd floor conditioned area habitable attic 5 ft tall + greater		649	649
d) Basement			
e) Covered Parking (garage or carport)		448	448
f) Covered Patio, Deck or Porch 55 porch + 152 c. deck		207	207
g) Balcony roof deck		159	159
h) Other exterior steps		24	24
i) Uncovered Wood Deck			
Total Gross Building Area (total A through I)		4015	4015
j) Pool			
k) Spa			

Site Development Information	
Building Coverage Information Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)	
Total Building Coverage (sq ft): <u>1940</u>	% of lot size: <u>30.7</u>
Impervious Cover Information Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)	
Total Impervious Cover (sq ft): <u>2841</u>	% of lot size: <u>44.9</u>
Setbacks Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-513) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Building Height: <u>30.48</u> ft Number of Floors: <u>2 floors + habitable attic</u>	Parking (LDC 25-6 Appendix A & 25-6-478) # of spaces required: <u>2</u> # of spaces provided: <u>2</u>
Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC-6-353) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more. Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Width of approach (measured at property line): <u>12</u> ft Distance from intersection (for corner lots only): _____ ft Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	

Subchapter F - 'McMansion'

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls. Areas with ceiling height over 15 feet are counted twice.

	Existing	New	Exemption	Total
1 st Floor		1285		1285
2 nd Floor		1243		1243
3 rd Floor		-		-
Basement		-		-
Attic		649	649	649 0
Garage (attached)				
(detached)		448	448	0
Carport (attached)				
(detached)				
Accessory building(s)				
(detached)				
Ceilings over 15 ft				

TOTAL GROSS FLOOR AREA

2528

(Total Gross Floor Area / lot size) = 39.97 Floor-To-Area Ratio (FAR)

- Is this project claiming a "parking area" exemption as described under Article 3? ☐ Y ☒ N
- Is this project claiming a "ground floor porch" exemption as described under Article 3? ☒ Y ☐ N
- Is this project claiming a "basement" exemption as described under Article 3? ☐ Y ☒ N
- Is this project claiming a "habitable attic" exemption as described under Article 3? ☒ Y ☐ N
- Is a sidewall articulation required for this project? ☒ Y ☐ N
- Does any portion of the structure extend beyond a setback plane? ☐ Y ☒ N
- Are any ceilings over 15 feet in height? ☐ Y ☒ N

Parking Area exemption: Up to 450 square feet of a parking area may be deducted if it is a detached rear parking area that is separated from the principal structure by not less than 10 feet; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width; or a parking area that is open on two or more sides, if: it does not have habitable space above it; and the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport. Up to 200 square feet may be deducted if it is an attached parking area used to meet the minimum parking requirement; or a garage that is less than 10 feet from the rear of the principal structure, provided that the garage is either detached from the principal structure; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width. An applicant may receive only one 450-square foot exemption per site under Article 3. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under Article 3, but only for an attached parking area used to meet minimum parking requirements.

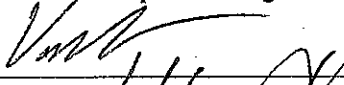
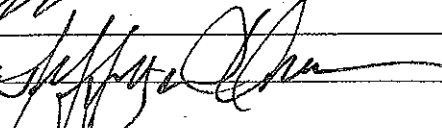
Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fifty percent or more of the area has a ceiling height of seven feet or less.

Lot - 6325 sq. ft

Contact Information			
Owner	South Austin Development Group LLC	Applicant or Agent	Owner
Mailing Address	1600 B Valleyridge Dr Austin TX 78704	Mailing Address	
Phone	512.550.2144	Phone	
Email	WAGG@SADG.com	Email	
Fax		Fax	
General Contractor	Owner	Design Professional	Jeff Overman / Overman Custom Design
Mailing Address		Mailing Address	11512 Trinity Hill Dr. Austin 78753
Phone		Phone	512.472.0975
Email		Email	jeff@overmandesign.com
Fax		Fax	

Acknowledgments
Is this site registered as the owner's homestead for the current tax year with the appraisal district? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N
I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.
I understand that I am responsible for complying with any subdivision notes, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property.
If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.
I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.
I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.
I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required and compliance with current code may be required.
I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.
I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.
I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or cityarborist@austintexas.gov. This initiates the tree permitting requirement needed to proceed with the development review process.
Erosion and Sedimentation Controls are required per Section 25-8-181.
I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.
I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.
Applicant's signature:  Date: 8/28/14
Design Professional's signature:  Date: 8-28-14



Austin Water Utility

Water & Wastewater Service Plan Verification (WWWSPV)

Service Address:	2015 Godrich Ave Austin, TX 78704		
Lot:	1	Block:	
Subdivision:	Fowler Heights		
Existing Use:	<input type="radio"/> Vacant	<input checked="" type="radio"/> Single-Family Res.	<input type="radio"/> Duplex
Garage Apt.	<input type="radio"/> Other		
Proposed Use:	2 nd Structure	<input checked="" type="radio"/> Single-Family Res.	<input type="radio"/> Duplex
Garage Apt.	<input type="radio"/> Other		
Existing # Baths	Additional # Baths	Total number of bathrooms the meter will feed 3.5	

Vance Cobb	8/29/14	512-550-2144
Applicant's Name & Title	Date	Phone

City of Austin Office Use

Water main size	Service stub size 3/4"	Service stub upgrade required:	Yes <input type="radio"/> No <input checked="" type="radio"/>
Existing meter # 133718	Existing meter size 3/8"	Upgrade required: Y <input checked="" type="radio"/> N <input type="radio"/>	New meter size 3/4"
Existing water service line/meter location 35' L/R			
WW main size WW Service line/clean-out location 15' S/N			
AWU Pipeline Engineering approval required: Yes <input checked="" type="radio"/> No <input type="radio"/>			
Comments: Same driveway			
AUG 29 2014			
AUSTIN WATER UTILITY CONSUMER SERVICE DIVISION - TAPS			

AWU Engineer Representative

AWU Taps Representative

Date

8-29-14

Date

Phone

972-0000

Phone

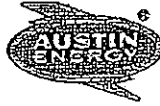
Water meters & wastewater clean-outs are not permitted in sidewalks or driveways.

Relocation of services necessary to remove them from proposed sidewalks or driveways shall be performed at the applicant's expense.

If the existing water meter was pulled for demolition, apply for a new building permit or contact Customer Care at 512-494-9400 to have the same size meter reinstalled within 120 days of meter removal to avoid city connect charges being applied.

Verification expires 180 days after date of submittal

One Stop Shop
505 Barton Springs Rd
(512) 974-2632 – phone
(512) 974-9112 – phone
(512) 974-9109 – fax
(512) 974-9779 – fax

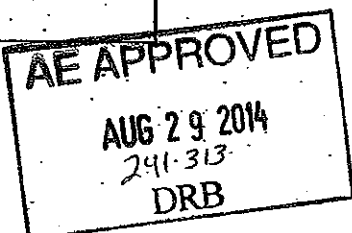


Austin Energy
Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only
For use in One Stop Shop Only

Responsible Person for Service Request <u>Vance Cobb</u>		
Email <u>vancecobb@gmail.com</u>	Fax _____	Phone <u>512-550-2144</u>
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial	<input type="checkbox"/> New Construction <input type="checkbox"/> Remodeling
Project Address <u>2015 Goodrich Ave Austin TX 78704</u> OR		
Legal Description <u>Fowler Heights</u>	Lot <u>1</u>	Block _____
Who is your electrical provider? <input checked="" type="checkbox"/> AE <input type="checkbox"/> Other _____		
<input type="checkbox"/> Overhead Service <input checked="" type="checkbox"/> Underground Service <input type="checkbox"/> Single-phase (1Ø) <input type="checkbox"/> Three-phase (3Ø)		
Location of meter _____		
Number of existing meters on gutter _____ (show all existing meters on riser diagram)		
Expired permit # _____		
Comments _____		
All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.		
BSPA Completed by (Signature & Print Name) _____		Date _____ Phone _____
Approved <input type="checkbox"/> Yes <input type="checkbox"/> No _____		
AE Representative _____		Date _____ Phone _____

Application expires 180 days after the date of approval
(Any change to the above information requires a new BSPA)





ALL POINTS SURVEYING
1714 FORTVIEW ROAD - SUITE 200
AUSTIN TX 78704
TEL: (512) 440-0071 - FAX: (512) 440-0199
FIRM REGISTRATION # 1011890

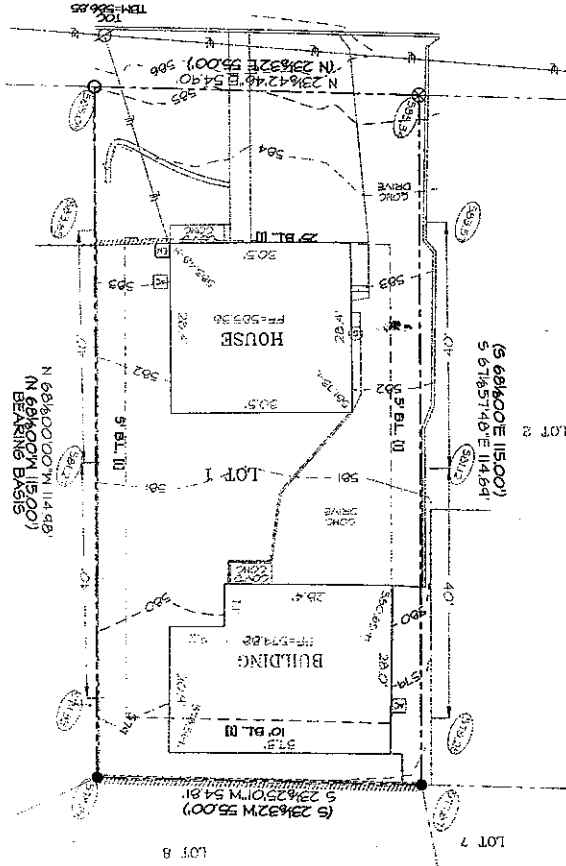
DATE: 7-21-14
BY: JS
FIELD WORK: JS
CHECKING: JS
SURVEY DATE: 7-21-14
JOB NO: 07817214
SCALE: 1"=20'

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEFECTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT BOUNDARY ADJUSTMENTS, ADDITIONS, EASEMENTS AND SETBACKS MAY AFFECT LOT 1

LOT NO. 1
BLOCK 1
PHASE 1
COUNTY, TEXAS
CITY: AUSTIN
SUBMISSION / ADDITION
FOUNDER HEIGHTS
COURT: -
BOOK: -
PAGE(S): -
OFFICIAL PUBLIC RECORDS OF -
JUDGE S. MOORE
Reference: -

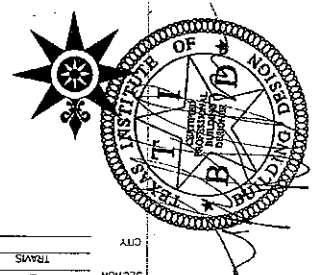
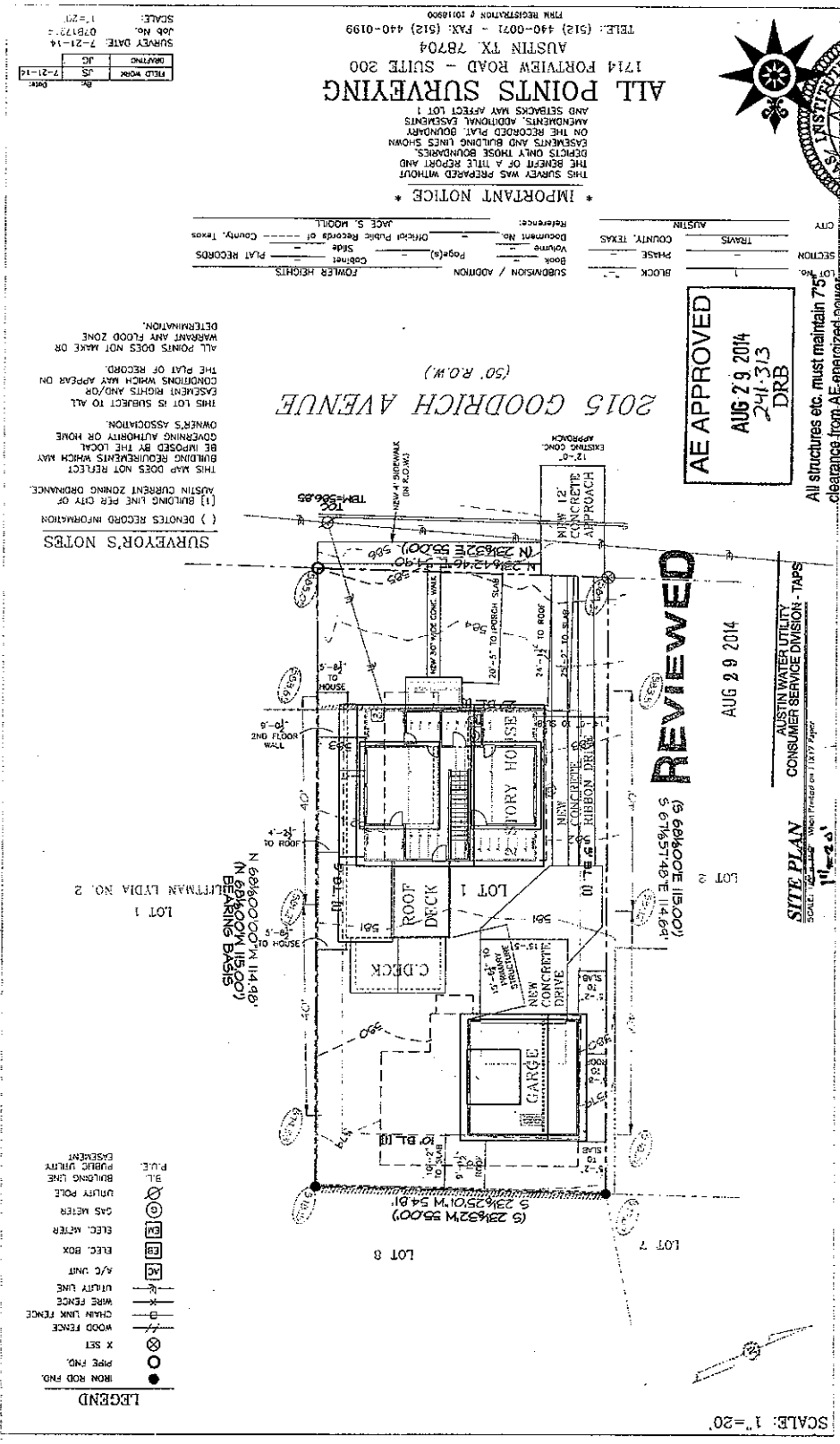
SURVEYOR'S NOTES
(1) BUILDING LINE PER CITY OF AUSTIN CURRENT ZONING ORDINANCE
THIS MAP DOES NOT REFLECT BUILDING REQUIREMENTS WHICH MAY BE IMPOSED BY THE LOCAL GOVERNING AUTHORITY OR HOME OWNER'S ASSOCIATION.
THIS LOT IS SUBJECT TO ALL EASEMENTS WHICH MAY APPEAR ON THE PLAT OF RECORD.
ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

2015 GOODRICH AVENUE
(50' R.O.W.)



ORIGINAL SURVEY
SCALE: 1"=20'

- LEGEND
- IRON ROD FND.
 - PIPE FND.
 - X SET
 - WOOD FENCE
 - CHAIN LINK FENCE
 - WHOLE FENCE
 - UTILITY LINE
 - A/C UNIT
 - ELEC. BOX
 - ELEC. METER
 - CAS. METER
 - UTILITY POLE
 - BUILDING LINE
 - P.L.C.
 - EASEMENT



All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.

SCALE:	1"=20'
SURVEY DATE:	7-21-14
JOB NO.:	07-17
DRAWING:	15
FIELD WORK:	15
DATE:	7-21-14

ALL POINTS SURVEYING

1714 FORTEVIEW ROAD - SUITE 200

AUSTIN TX 78704

TEL: (512) 440-0071 - FAX: (512) 440-0199

FILE REGISTRATION # 1011890



THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEFECTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT BOUNDARY AND SETBACKS MAY AFFECT LOT 1 AMENDMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT LOT 1

IMPORTANT NOTICE

LOT NO.	1	BLOCK	1	PHASE	1	CITY	AUSTIN
SECTION	1	COUNTY	TRAVIS	STATE	TEXAS		
SUBMISSION / ADDITION BOOK: _____ VOLUME: _____ PAGE(S): _____ COGNATE: _____ SIDE: _____ PLAT RECORDS: _____ FOLDER HEIGHTS: _____ JACE S. MOORE							

SURVEYOR'S NOTES

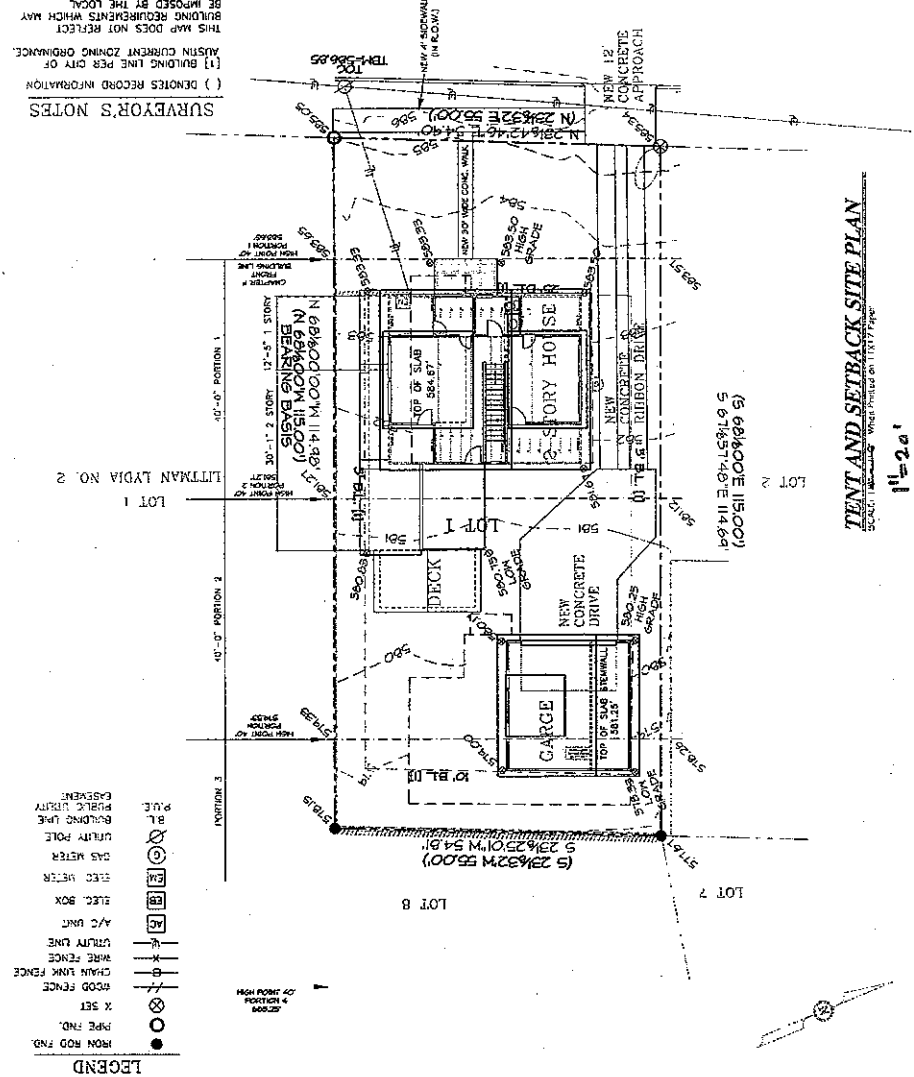
() DENOTES RECORD INFORMATION

THIS MAP DOES NOT REFLECT BUILDING REQUIREMENTS WHICH MAY BE IMPOSED BY THE LOCAL GOVERNING AUTHORITY OR HOME OWNER'S ASSOCIATION.

THIS LOT IS SUBJECT TO ALL EASEMENTS RIGHTS AND/OR CONDITIONS WHICH MAY APPEAR ON THE PLAT OF RECORD.

ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

2015 GOODRICH AVENUE (50' R.O.W.)



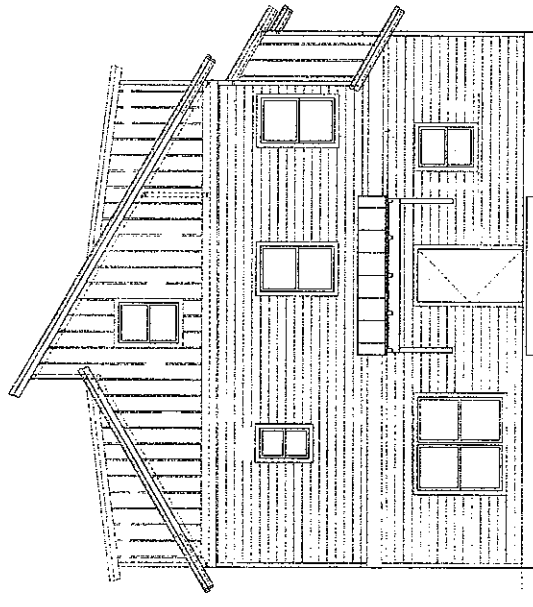
TENT AND SETBACK SITE PLAN

SCALE: 1"=20' (When Printed on TYPF Paper)

SCALE: 1"=20'

SHEET NUMBERING GUIDE

- C1.0 COVER SHEET
- C1.1 SITE PLAN - PROPOSED
- C1.2 TENT AND SETBACK SITE PLAN
- A1.1 HOUSE - 1ST FLOOR PLAN
- A1.2 HOUSE - 2ND FLOOR and HABITABLE (EXEMPT) ATTIC PLANS
- A2.1 HOUSE - FRONT and REAR ELEVATIONS
- A2.2 HOUSE - LEFT ELEVATION
- A2.3 HOUSE - RIGHT ELEVATION
- A2.4 HOUSE - BUILDING SECTIONS A-B-C
- A3.1 HOUSE ROOF PLAN and ATTIC EXEMPTION PLAN
- A4.1 STAIR NOTES
- A4.2 INTERIOR STAIR DETAILS
- A4.3 EXTERIOR STAIR DETAILS
- A5.1 VISIBILITY INFORMATION
- E1.1 1ST FLOOR ELECTRICAL PLANS (HOUSE AND GARAGE)
- E1.2 2ND FLOOR AND HABITABLE ATTIC ELECTRICAL PLANS
- AG1.1 GARAGE FLOOR PLAN, ROOF PLAN AND ELEVATIONS



PROJECT: 2015 GOODRICH AVENUE AUSTIN, TX 78704

LOT INFORMATION

ZONING: 9F3
PROPERTY TAX ID: 100466
LOT AREA (TCAD): 6325 SQ.FT.

OWNERS:

South Austin Development Group, LLC
David Jones
1813 Collier Street
Austin, TX 78704
469-396-6409

BUILDER:

OWNERS

DESIGNER:

JEFF OVERMAN
OVERMAN CUSTOM DESIGN
TEXAS INSTITUTE of BUILDING DESIGN SEAL #452
11512 TRINITY HILL DRIVE
AUSTIN, TX 78753
512-627-0746

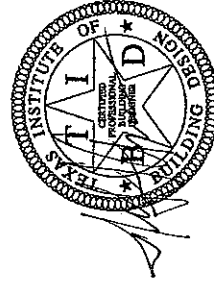
ENGINEER: TO BE DETERMINED

ELECTRICAL CONTRACTOR: TO BE DETERMINED

PLUMBING CONTRACTOR: TO BE DETERMINED

MECHANICAL CONTRACTOR: TO BE DETERMINED

CITY
SET



2015 GOODRICH AVENUE
AUSTIN, TX 78704

JEFF OVERMAN (P.E.)
11512 TRINITY HILL DRIVE
AUSTIN, TX 78753
(512) 627-0746
jeff@overmandesign.com



THIS PLAN IS NOT TO BE
REPRODUCED OR USED FOR
ANY OTHER PROJECT WITHOUT THE
WRITTEN CONSENT OF THE
DESIGNER.
DATE: AUG. 28, 2014
PROJECT NO.: 14066123-2950
SHEET NO.: 1
SHEET TOTAL: 1
DRAWN BY: J. Overman
CHECKED BY: J. Overman
CITY OF AUSTIN
CL.0
TAMM L. HARRIS, TEXAS, P.E. #10



ALT POINTS SURVEYING

1714 FORTVIEW ROAD - SUITE 200
AUSTIN TX 78704

TELE: (512) 440-0071 - FAX: (512) 440-0199

FORM REGISTRATION # 1011800

DATE	7-21-14
SURVEY	7-21-14
JOB NO.	07812714
SCALE	1"=20'

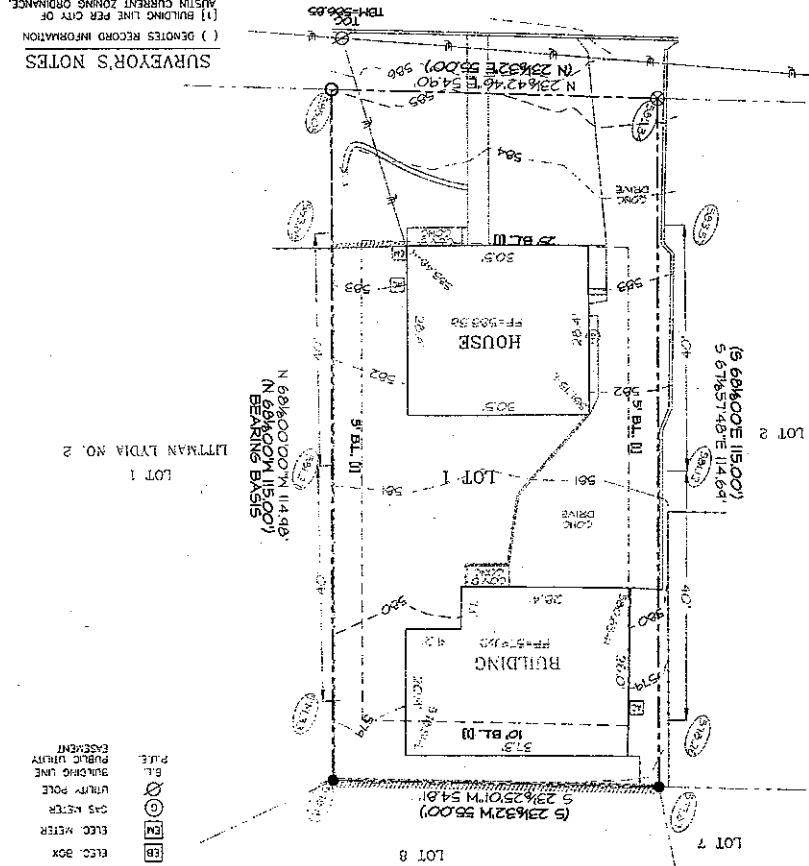
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEPICTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT. BOUNDARY AMENDMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT LOT 1

* IMPORTANT NOTICE *

LOT NO.	1	BLOCK		SUBDIVISION / ADDITION		FORWARD HEIGHTS	
SECTION	18A	COUNTY, TEXAS		Volume		Side	County, Texas
CITY	AUSTIN	Reference		Document No.		Official Public Records of	JACE S. MOORE

ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.
THIS LOT IS SUBJECT TO ALL EASEMENTS WHICH MAY APPEAR ON THE PLAT OF RECORD.
CONVEYANCE RIGHTS MAY APPEAR ON THE PLAT OF RECORD.
GOVERNING AUTHORITY OR HOME OWNER'S ASSOCIATION.
THIS MAP DOES NOT REFLECT BUILDING REQUIREMENTS WHICH MAY BE IMPOSED BY THE LOCAL AUSTIN CURRENT ZONING ORDINANCE.
() DENOTES RECORD INFORMATION
SURVEYOR'S NOTES

2015 GOODRICH AVENUE
(50' R.O.W.)



ORIGINAL SURVEY
SCALE: 1"=20'

LEGEND	
IRON ROD END	●
POLE END	○
X SET	⊗
WOOD FENCE	—
CHAIN LINK FENCE	—
WIRE FENCE	—
UTILITY LINE	—
A/C UNIT	⊠
ELEC. BOX	⊞
ELEC. METER	⊞
GAS METER	⊞
UTILITY POLE	⊞
BUILDING LINE	—
PUBLIC UTILITY	—
EASEMENT	—

SCALE: 1"=20'

SCALE: 1"=20'

SCALE: 1"=20'
 SURVEY DATE: 7-21-14
 JOB NO.: 078-1114
 DRAWING: [Blank]
 FIELD WORK: [Blank]
 BY: [Blank]

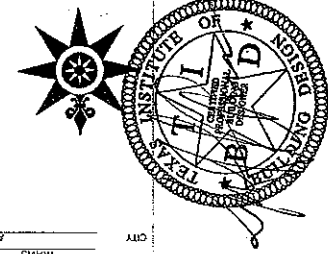
TEL: (512) 440-0071 - FAX: (512) 440-0198
 AUSTIN TX 78704
 1714 FORTVIEW ROAD - SUITE 200

ALL POINTS SURVEYING

THIS SURVEY WAS PREPARED WITHOUT
 THE BENEFIT OF A TITLE REPORT AND
 DEPICTS ONLY THOSE BOUNDARIES,
 EASEMENTS AND BUILDING LINES SHOWN
 ON THE RECORDED PLAT. BOUNDARY
 AMENDMENTS, ADDITIONAL EASEMENTS
 AND SETBACKS MAY AFFECT LOT 1

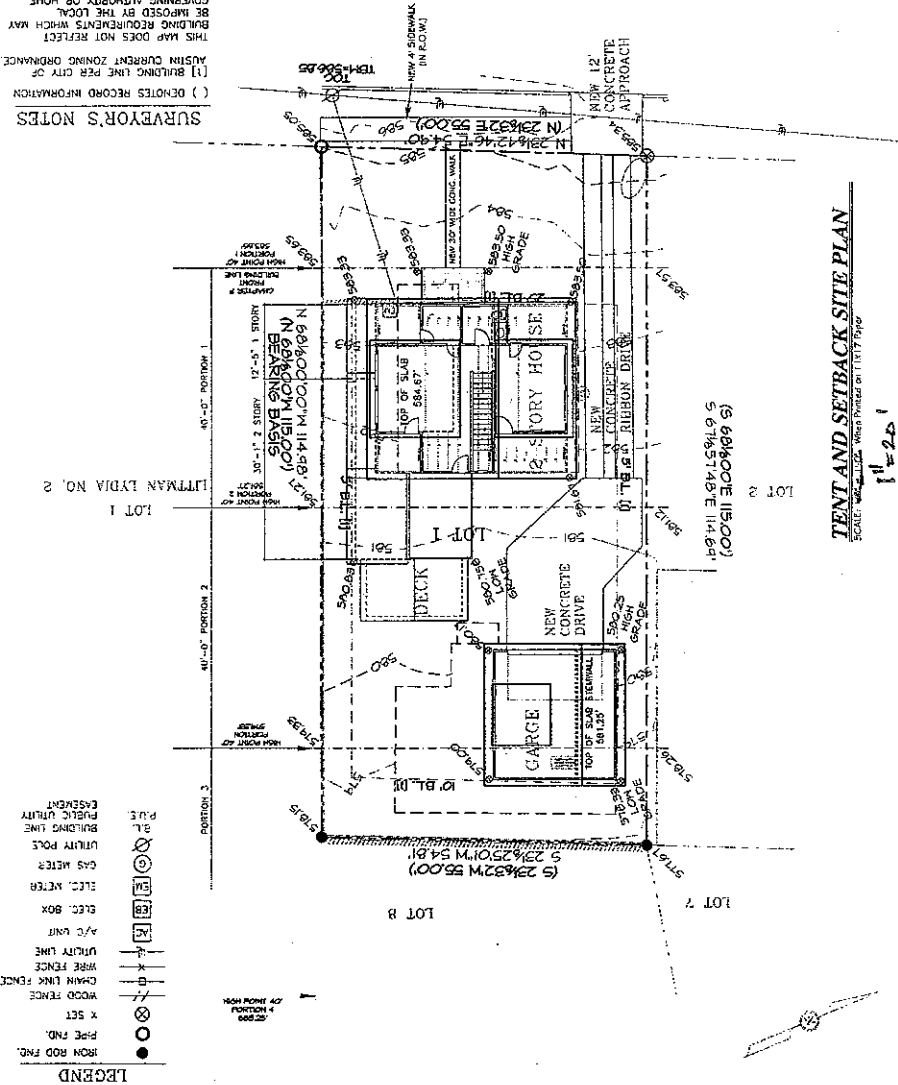
* IMPORTANT NOTICE *

LOT No. 1 SECTION 1 BLOCK 1
 SUBDIVISION / ADDITION
 PLAT RECORDS
 COUNTY, TEXAS
 CITY: AUSTIN



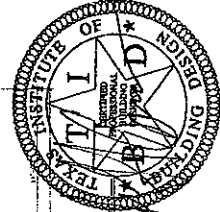
SURVEYOR'S NOTES
 (1) DENOTES RECORD INFORMATION
 THIS MAP DOES NOT REFLECT
 BUILDING REQUIREMENTS WHICH MAY
 BE IMPOSED BY THE LOCAL
 GOVERNING AUTHORITY OR HOME
 OWNER'S ASSOCIATION.
 THIS LOT IS SUBJECT TO ALL
 EASEMENTS WHICH MAY APPEAR ON
 THE PLAT OF RECORD.
 ALL POINTS DOES NOT MAKE OR
 WARRANT ANY FLOOD ZONE
 DETERMINATION.

2015 GOODRICH AVENUE (50' R.O.W.)

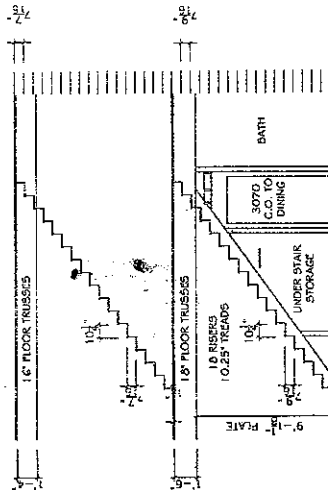


- LEGEND**
- IRON ROD END
 - PIPE END
 - × SET
 - WOOD FENCE
 - CHAIN LINK FENCE
 - WIRE FENCE
 - UTILITY LINE
 - A/C UNIT
 - ELEC. BOX
 - ELEC. METER
 - GAS METER
 - UTILITY POLE
 - PUBLIC UTILITY
 - EASEMENT

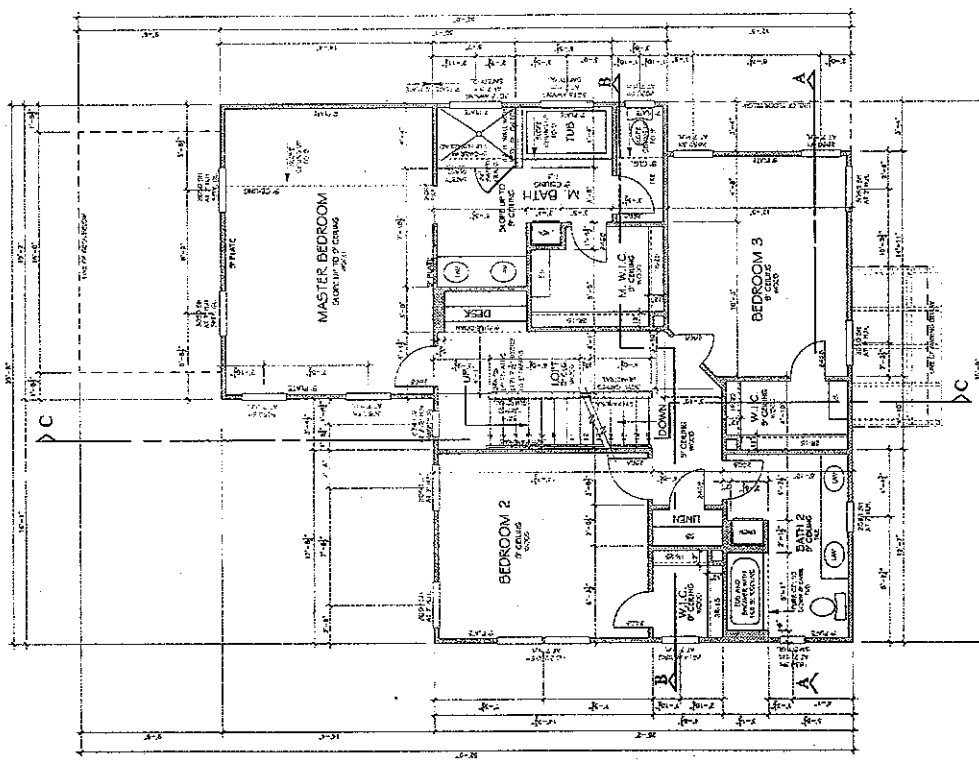
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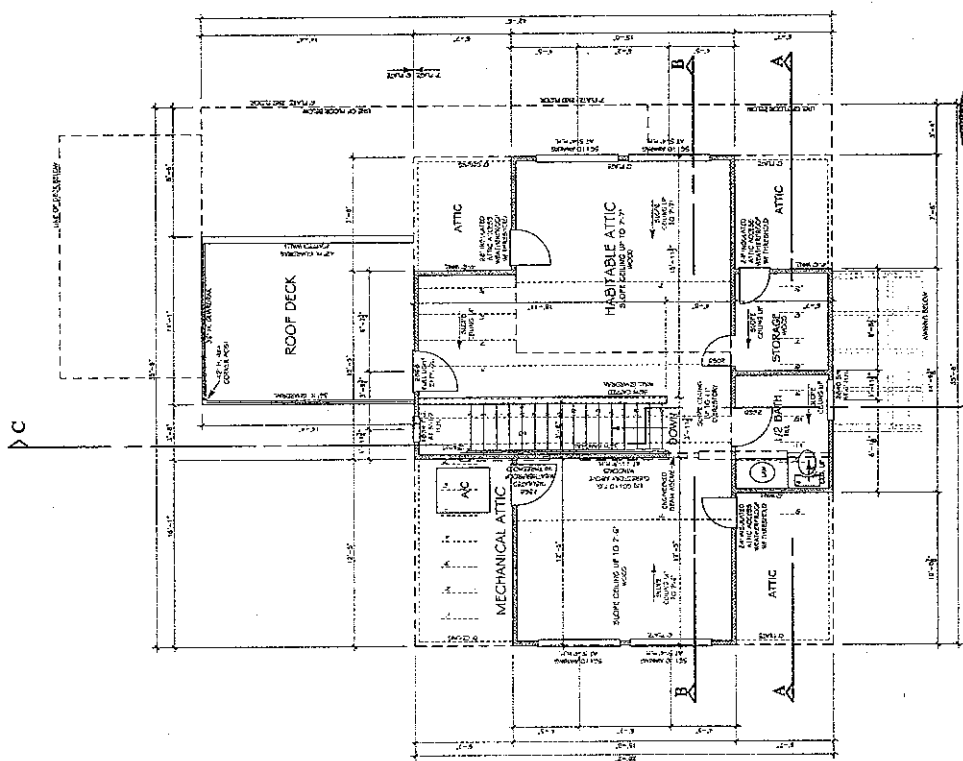
1. PREVENTING SECOND BLOODING AT ALL CRIMES AND ALL CRIMINAL CHARGES FOR CRIMES
2. PREVENTING SECOND BLOODING AT ALL CRIMES AND ALL CRIMINAL CHARGES FOR CRIMES
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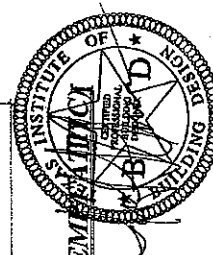
SCHEMATIC STAIR SECTION

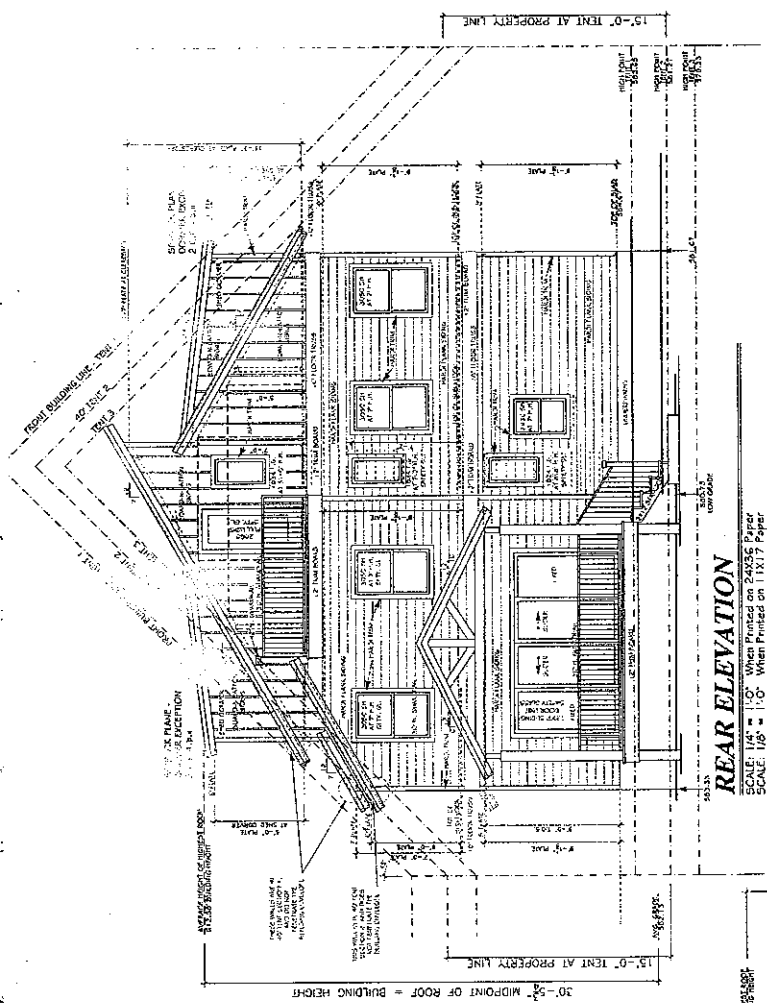
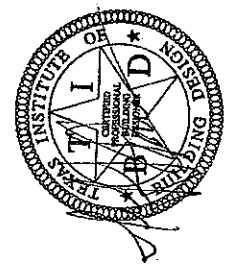


1244 SQ. FT. LIVING
2nd FLOOR PLAN
SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



656 SQ. FT. LIVING AT 5' + CEILING HEIGHT
664 SQ. FT. AT 4'-0" WALLS
HABITABLE ATTIC PLAN
SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper

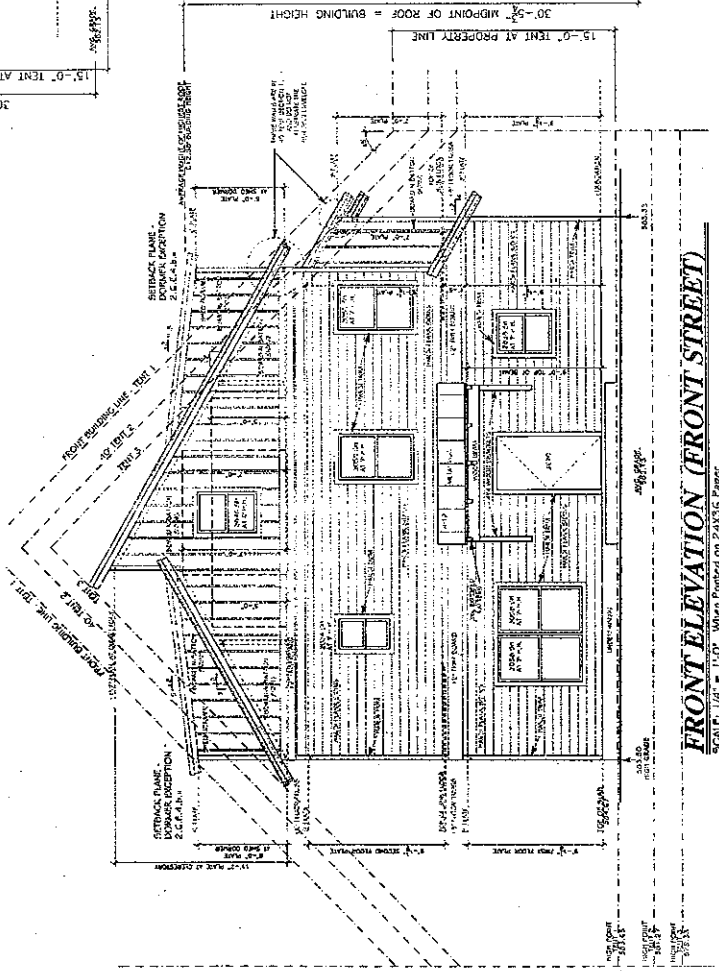




REAR ELEVATION

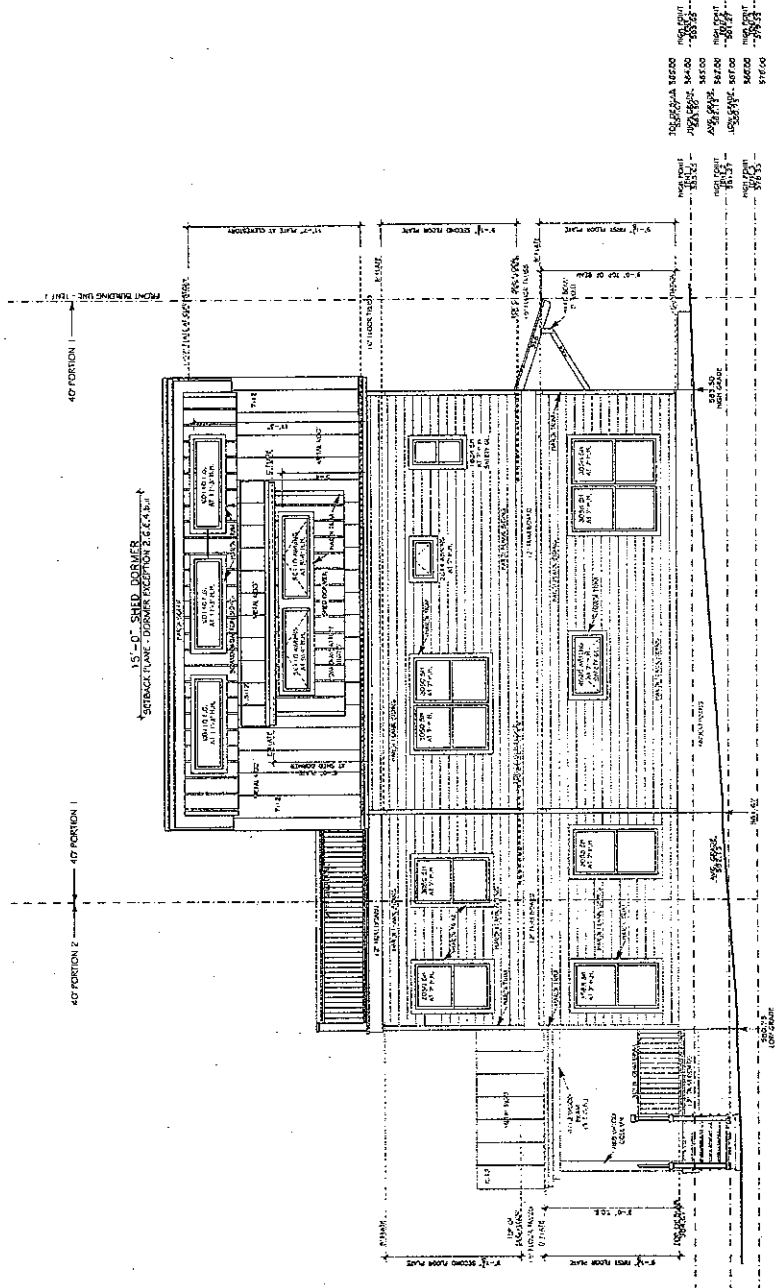
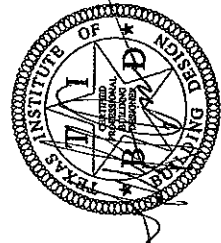
SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper

DATE	DESCRIPTION	AMOUNT	BALANCE
10/01/2020	OPENING BALANCE	500.00	500.00
10/05/2020	PAYROLL	100.00	400.00
10/10/2020	RENT	200.00	200.00
10/15/2020	SALES	300.00	500.00
10/20/2020	PAYROLL	100.00	400.00
10/25/2020	RENT	200.00	200.00
10/30/2020	SALES	300.00	500.00
11/01/2020	CLOSING BALANCE	500.00	500.00



FRONT ELEVATION (FRONT STREET)

SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper

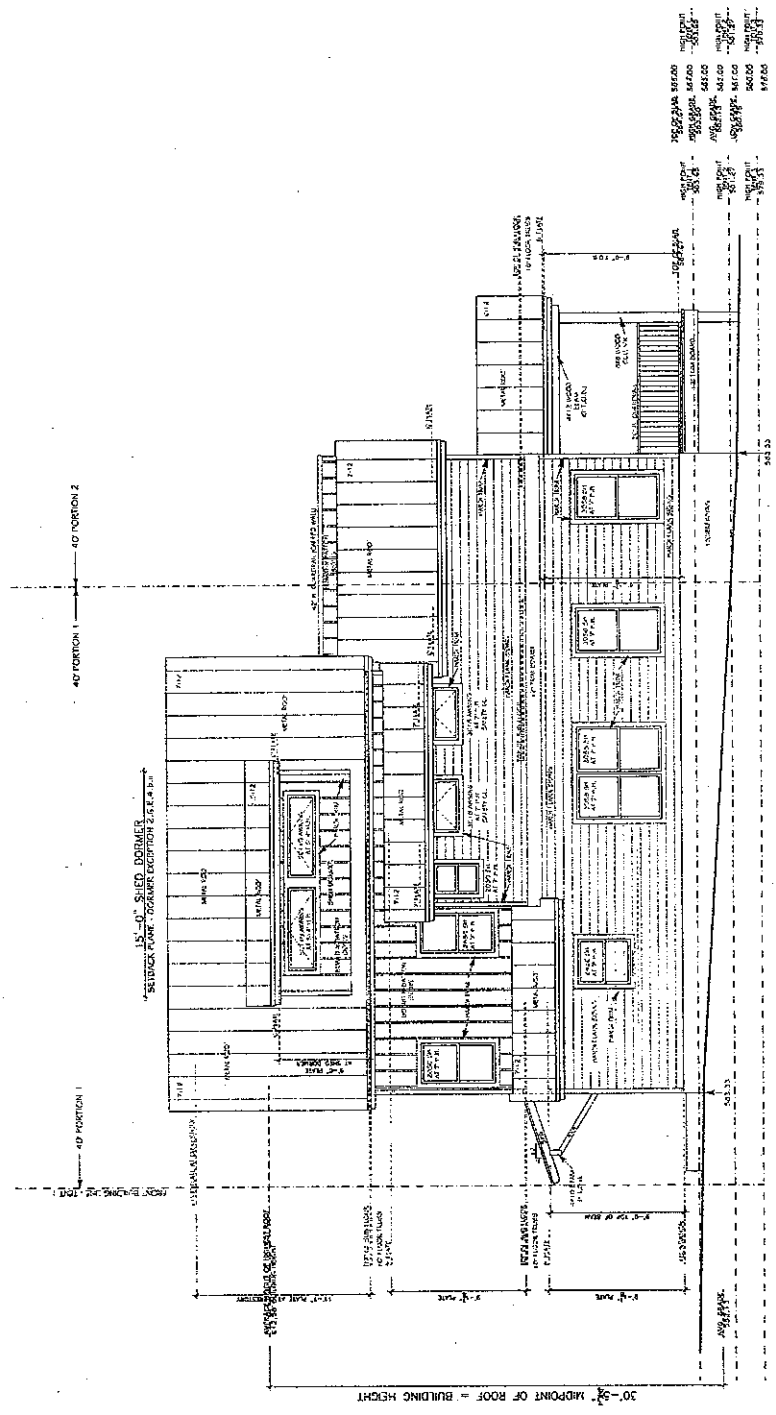


LEFT ELEVATION (SIDE STREET)

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SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



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DATED: Aug. 28, 2014

SUBJECT: 1406-1123-2950
1407-2424-3444
1408-2424-3444
1409-2424-3444

JOB NO.

BY: M. J. Murphy & Overman
and Rightful Heirs

DRAWN BY:

A2.3

SECTION 5, OREGON UTAH, T14-48



GermanCustomDesign.Com



Jeff Overman CPED
15152 Trinity Hill Drive
Austin, Texas 78723
(512) 472-0975

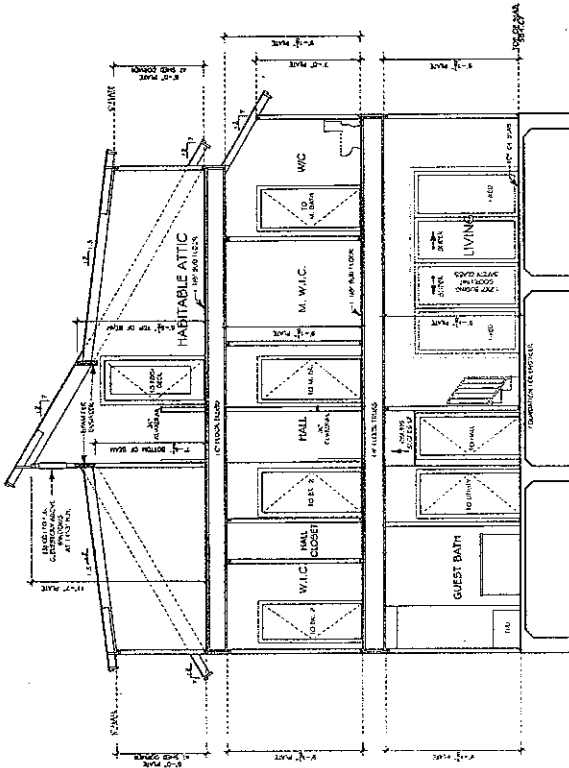
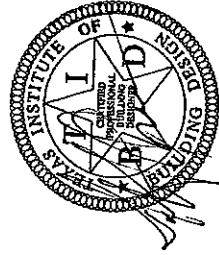
2015 GOODRICH AVENUE
AUSTIN, TX 78704

2015 GOODRICH AVENUE
AUSTIN, TX 78704

11512 TRILITE BLVD
AUSTIN, TEXAS 78753
(512) 473-0975
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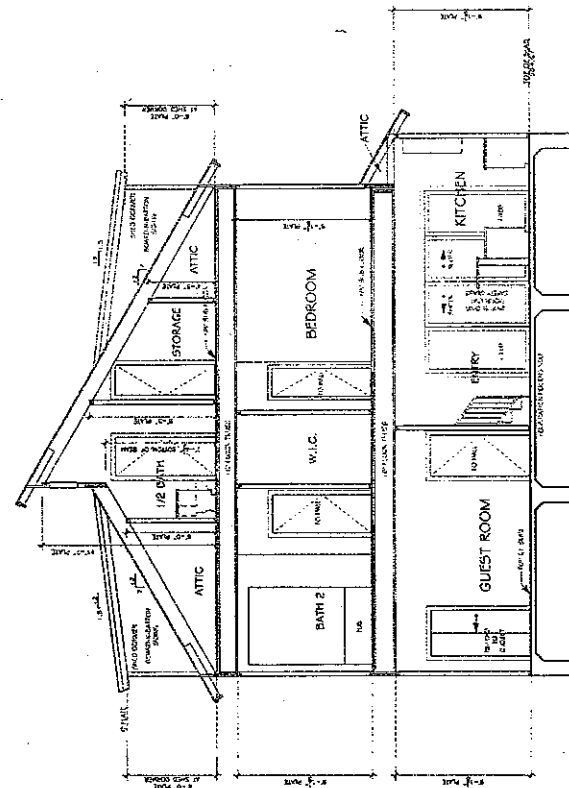


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DESIGNER.
DATE: Aug 28, 2014
PROJECT: 1406-1123-2980
DRAWN BY: JmanCustomDesign.Com
CHECKED BY: JmanCustomDesign.Com
SCALE: A2.4
PROJECT: 1406-1123-2980



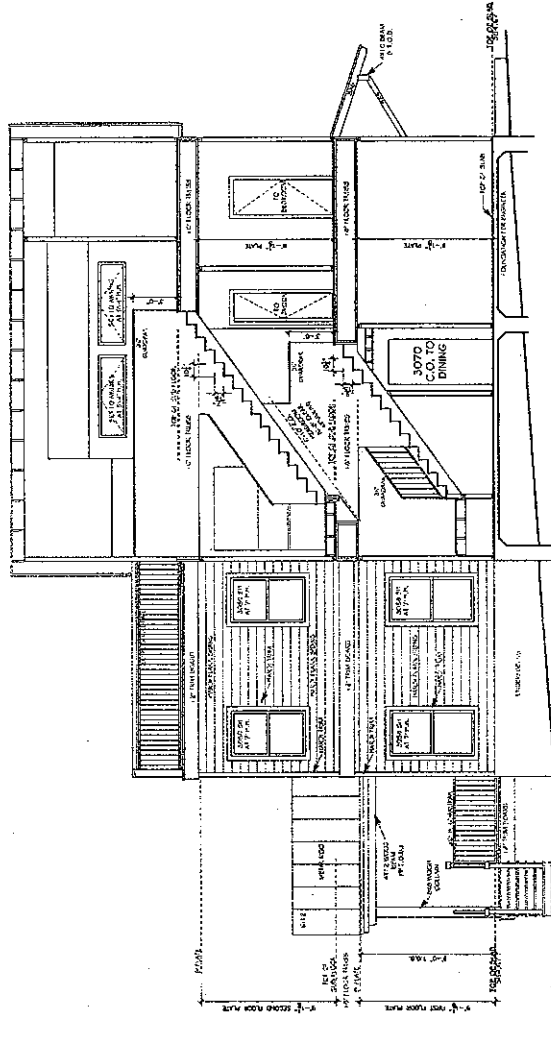
B-B SECTION

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SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



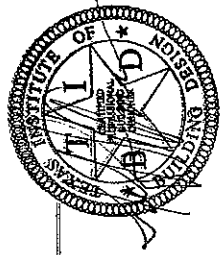
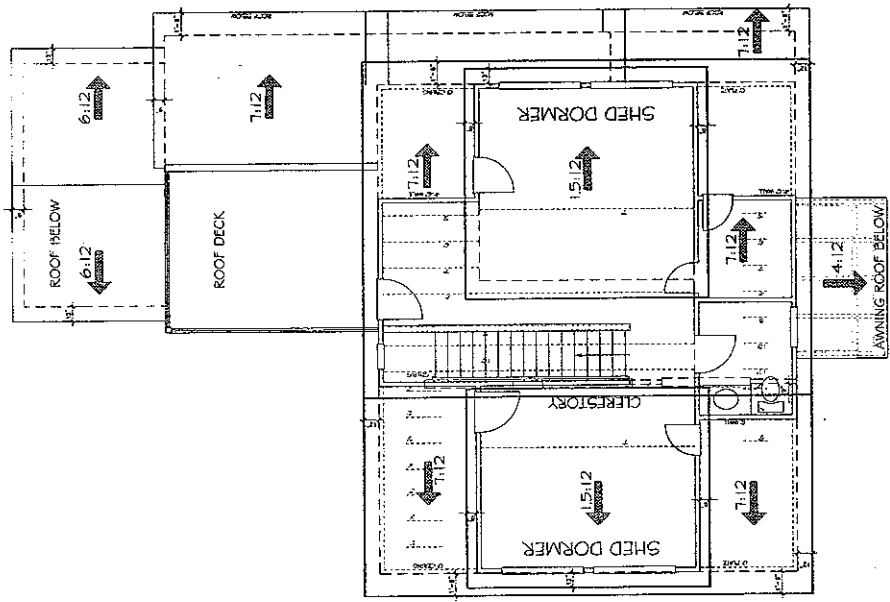
A-A SECTION

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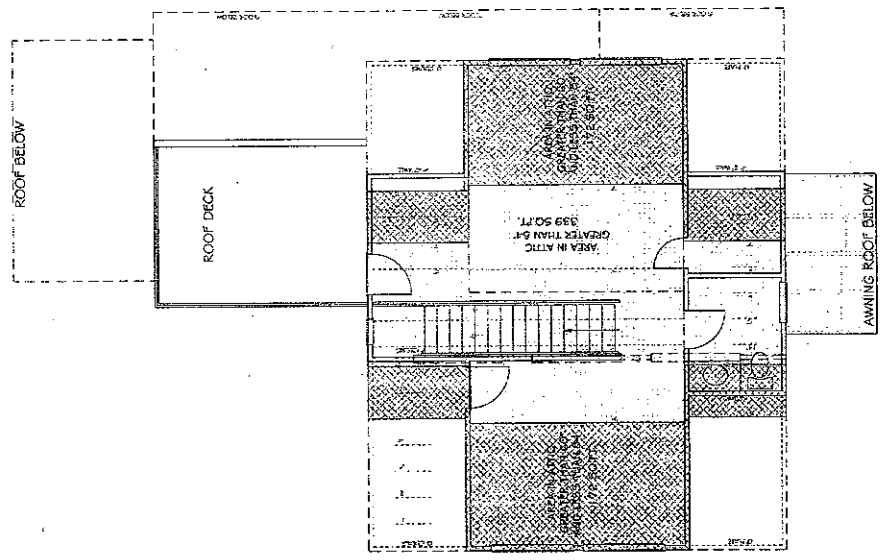


C-C SECTION

SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



ROOF PLAN
 SCALE: 1/8" = 1'-0" When Printed on 24x36 Paper
 SCALE: 1/8" = 1'-0" When Printed on 11x17 Paper

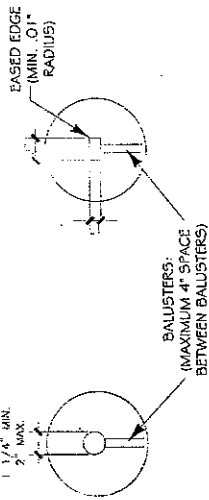


ATTIC AREA
 348 SQ. FT. = 60" TO 84"
 344 SQ. FT. = GREATER THAN 84"
ATTIC EXEMPTION PLAN
 SCALE: 1/8" = 1'-0" When Printed on 24x36 Paper
 SCALE: 1/8" = 1'-0" When Printed on 11x17 Paper

TYPE I GRIP DETAIL	ALT. TYPE I GRIP DETAIL

SCALE: 1" = 0' When Printed on 24x36 Paper.
SCALE: 3/4" = 0' When Printed on 11x17 Paper.

1/25/2011



BALUSTERS:
(MAXIMUM 4" SPACE
BETWEEN BALUSTERS)

FRAME WALL

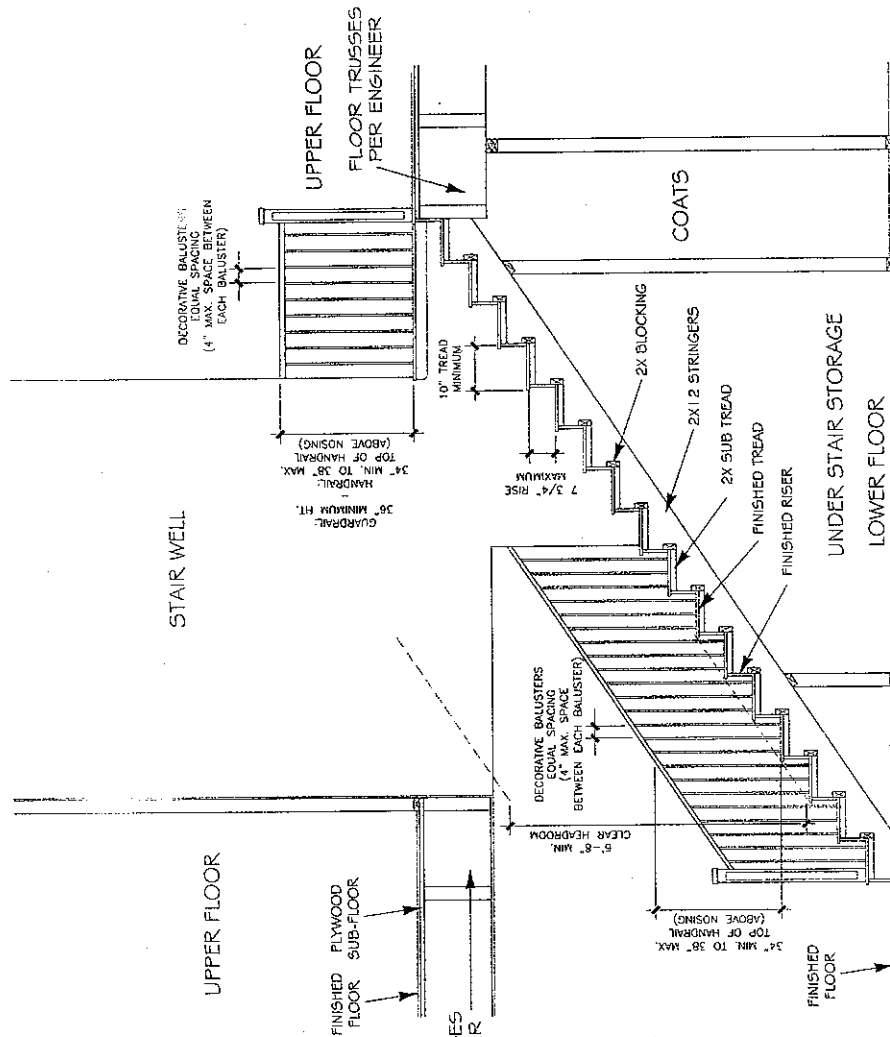
HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES (114 MM) ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING HANDRAILS AND LANDINGS, SHALL NOT BE LESS THAN 3 1/2 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698 MM) WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES

10" MIN. TREADS
7 3/4" MAX. RISERS

SEE CONSTRUCTION DOCUMENTS
FOR EXACT NUMBER OF RISERS

TYPICAL INTERIOR STAIR AND RAILING DETAILS

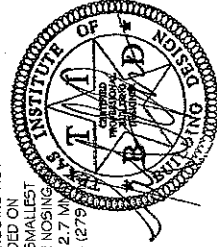
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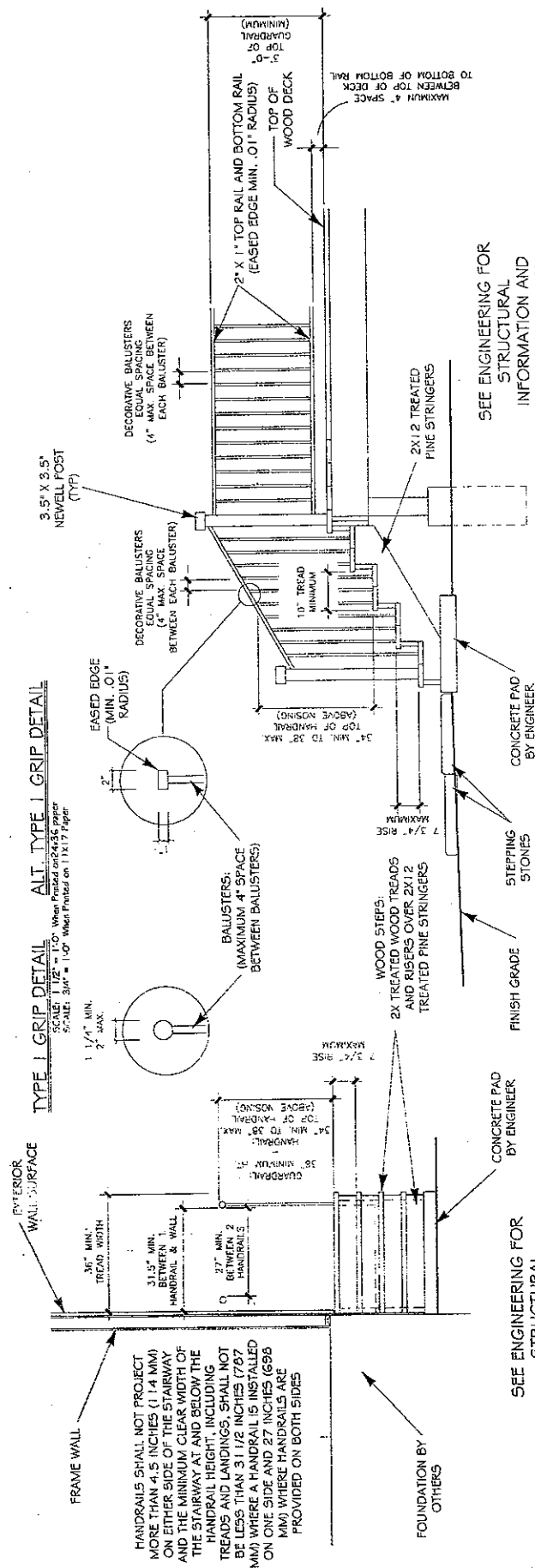
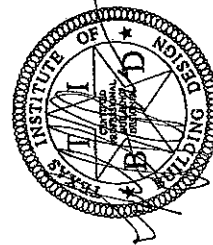


FOUNDATION
OTHERS

NOSINGS.

THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16 INCH (1 1/4 MM). A NOSING NOT LESS THAN 3/4 INCH (19 MM) BUT NOT MORE THAN 1 1/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) BETWEEN TWO STORIES, INCLUDING THE NOSING OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2 INCH (12.7 MM). EXCEPTION: A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 11 INCHES (279.4 MM).





STEPS TO GRADE:

12" TREADS TYP. (10" MIN.)
7" RISERS TYP. (7 3/4" MAX.)
EXACT NUMBER OF RISERS TO
BE DETERMINED ON SITE

THE WALKING SURFACE OF TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NO STEEPER THAN ONE UNIT VERTICAL IN 48 INCHES HORIZONTAL (2- PERCENT SLOPE). OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.

NOSINGS.

THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16 INCH (14 MM). A NOSING NOT LESS THAN 3/4 INCH (19 MM) BUT NOT MORE THAN 1 1/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. DEVELING OF NOSINGS SHALL NOT EXCEED 1/2 INCH (12.7 MM). EXCEPTION: A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 11 INCHES (279 MM).

EXTERIOR LANDINGS, DECKS, BALCONIES, STAIRS AND SIMILAR FACILITIES SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES OR SHALL BE DESIGNED TO BE SELF-SUPPORTING. ATTACHMENT SHALL NOT BE ACCOMPLISHED BY USE OF TOENAILS OR NAILS SUBJECT TO WITHDRAWAL.

TYPICAL EXTERIOR STEP AND RAILING DETAILS

SCALE: 3/4" = 1'-0" When Printed on 24x36 paper
SCALE: 3/8" = 1'-0" When Printed on 11x17 Paper

CITY OF AUSTIN NO STEP THRESHOLD

CODE: 5-1-141 TITLE 5 CHAPTER 5-1-1:
R320.6 VISITABLE DWELLING ENTRANCE.

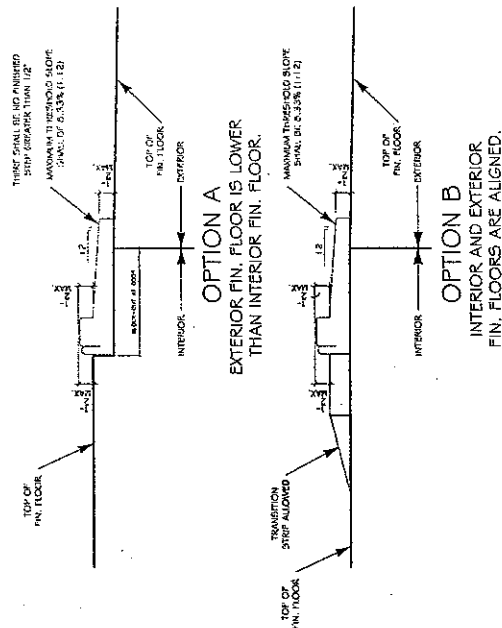
CODE REQUIREMENTS:

BUILDING ENTRANCE (C) OF THE AUSTIN CITY CODE REQUIRES A BUILDING ENTRANCE THAT INCLUDES A NO-STEP ENTRANCE TO HAVE A MAXIMUM DISTANCE BETWEEN THE INTERIOR FLOOR LEVEL OF THE BUILDING ENTRANCE AND THE ADJACENT WALKING SURFACE LEVEL TO BE NO GREATER THAN ONE-HALF" INCH.

CODE INTERPRETATION:

THRESHOLD AND TRANSITION STRIP DESCRIPTION:

- CHANGE IN LEVELS ARE REQUIRED TO BE BEVELED, WITH A MAXIMUM VERTICAL RISE OF 1/2 INCH.
- HEIGHT FROM THE EXTERIOR SIDE OF THE WALKING SURFACE TO THE TOP OF THE THRESHOLD SHALL BE 1/2 INCH MAXIMUM.
- HEIGHT FROM THE TOP OF THE THRESHOLD TO THE TOP OF THE DOOR SEAL SHALL BE 1/2 INCH MAXIMUM.
- THE MAXIMUM THRESHOLD, INCLUDING THE DOOR SEAL, SHALL BE 1 3/8 INCHES.
- HEIGHT FROM THE TOP OF THE TRANSITION STRIP TO THE TOP OF THE DOOR SEAL SHALL BE 1/2" MAXIMUM, WHEN ADJUTED TO THRESHOLD.



THRESHOLD DETAILS

SCALE 3" = 1'-0" When Printed on 11X17 Paper

CITY OF AUSTIN CODE SECTION R320 VISIBILITY

R320.3 VISITABLE BATHROOM:

CODE REQUIREMENTS:

EACH VISITABLE DWELLING MUST BE DESIGNED AND CONSTRUCTED WITH AT LEAST ONE BATHROOM GROUP OR HALF BATH ON THE FIRST FLOOR THAT MEETS THE FOLLOWING REQUIREMENTS:

1. A MINIMUM CLEAR OPENING OF 30 INCHES IS REQUIRED.
2. LATERAL 2X6 (OR LARGER) NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS, AND
3. THE CENTERLINE OF THE BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY.

R320.4 VISITABLE LIGHT SWITCHES, RECEPTICALS, AND ENVIRONMENTAL CONTROLS:

CODE REQUIREMENTS:

1. LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST MEET THE FOLLOWING REQUIREMENTS:
THE ENTIRE FIRST FLOOR OF A VISITABLE DWELLING MUST MEET THE FOLLOWING REQUIREMENTS:
1. LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48 INCHES ABOVE THE INTERIOR FLOOR LEVEL (WHEN MEASURED FROM THE ROUGH FLOOR TO THE TOP OF THE JUNCTION BOX); AND
2. OUTLETS AND RECEPTICALS MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR LEVEL, EXCEPT FOR FLOOR OUTLETS AND RECEPTICALS (WHEN MEASURED FROM THE ROUGH FLOOR TO THE BOTTOM OF THE JUNCTION BOX).

R320.5 VISITABLE BATHROOM ROUTE:

CODE REQUIREMENTS:

A BATHROOM GROUP OR HALF BATH DESIGNATED FOR VISIBILITY UNDER SECTION R320.3 MUST BE ACCESSIBLE BY A ROUTE WITH A MINIMUM CLEAR OPENING (AND ROUTE WIDTH) BEGINNING AT THE VISITABLE ENTRANCE DESIGNED UNDER SECTION 320.6 AND CONTINUING THROUGH THE LIVING ROOM, DINING ROOM, AND KITCHEN, AND BE LEVEL RAMPED OR BEVELED CHANGES AT DOOR THRESHOLDS.

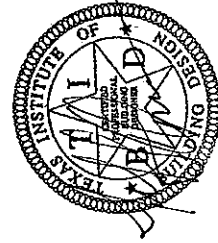
EXCEPTION:

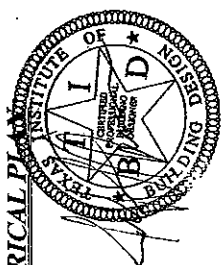
A VISITABLE ROUTE IS NOT REQUIRED THROUGH AN AREA LOCATED ON A SPLIT LEVEL OR SUNKEN FLOOR, PROVIDED AN ALTERNATIVE ROUTE (TO THE VISITABLE BATHROOM) IS AVAILABLE.

R320.6 VISITABLE DWELLING ENTRANCE:

CODE REQUIREMENTS:

ALL DWELLINGS AND ALL HABITABLE BUILDINGS (WHERE A HABITABLE SPACE IS ON A GROUND FLOOR), MUST BE ACCESSIBLE BY AT LEAST ONE NO-STEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE HALF INCH OR LESS AND A DOOR WITH A CLEAR OPENING WIDTH OF AT LEAST 32 INCHES. THE ENTRANCE MAY BE LOCATED AT THE FRONT, REAR, OR SIDE, OR IN THE GARAGE OR CARPORT, OF THE DWELLING(S) AND HABITABLE BUILDING(S).





2015 GOODRICH AVENUE
ALBUQUERQUE, NM 87102

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1406-1123-2959
ALBUQUERQUE, NM 87102
(505) 424-4973



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DATE: Aug. 28, 2014

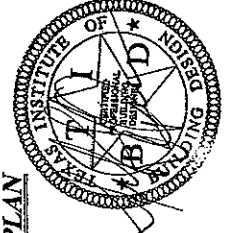
BY: [Signature]

FOR: [Signature]

PROJECT: 1406-1123-2959

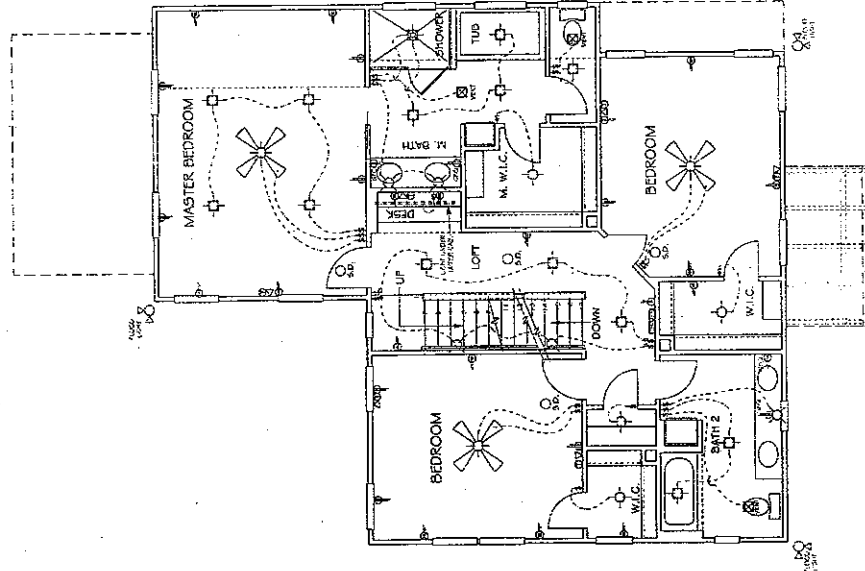
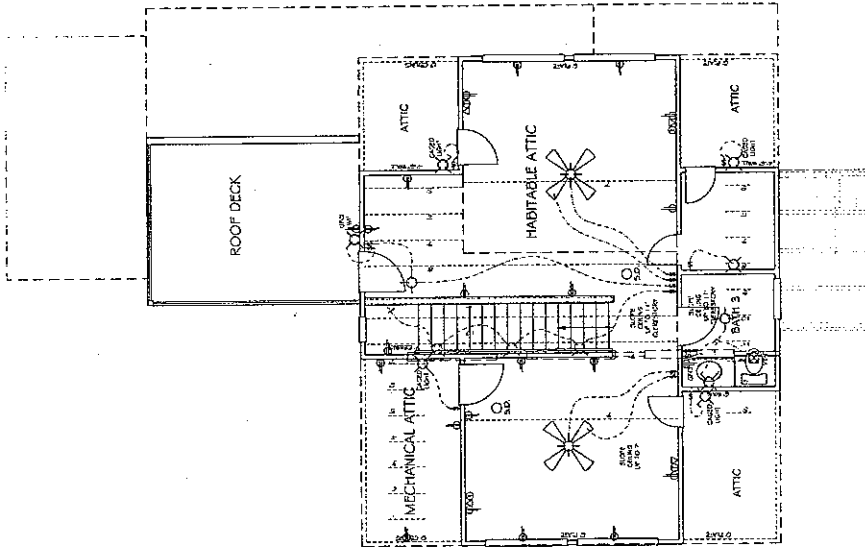
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Sheet No. E1.2



EXEMPT ATTIC ELECTRICAL PLAN

SCALE: 1/8" = 1'-0" When Printed on 11x17 Paper



2nd FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0" When Printed on 11x17 Paper

2015 GOODRICH AVENUE
AUSTIN, TX 78704

ermanCustomDesign.Com
J.D. Overman (282)
1512 TRAIL BLVD
AUSTIN, TEXAS 78703
(512) 473-0075

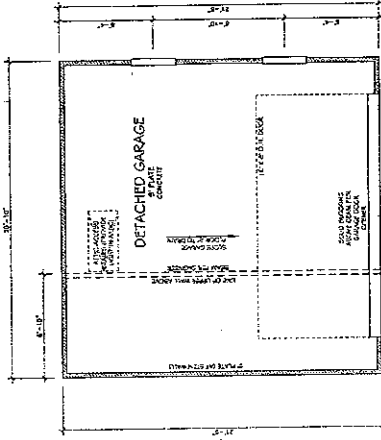


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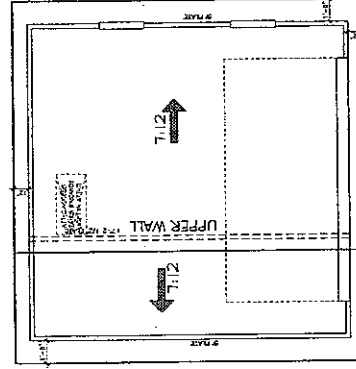
DATE: Aug. 28, 2014

PROJECT NO.: 1406-1123-2950
CLIENT: J.D. Overman
ARCHITECT: J.D. Overman
DESIGNER: J.D. Overman

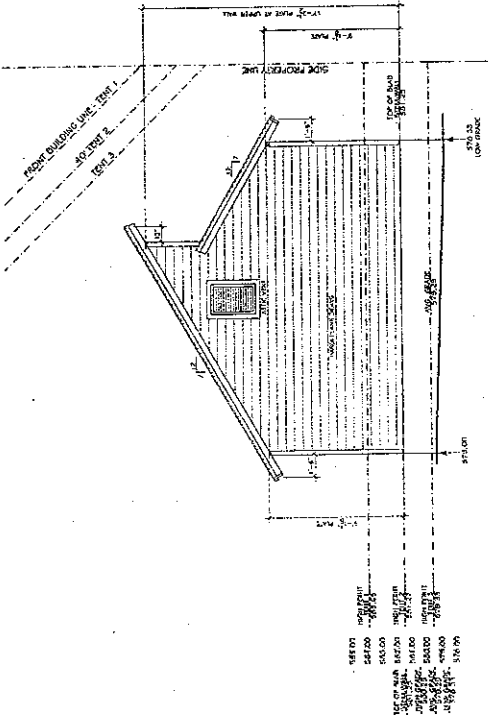
AGI.J
ARCHITECTURAL GROUP, INC.



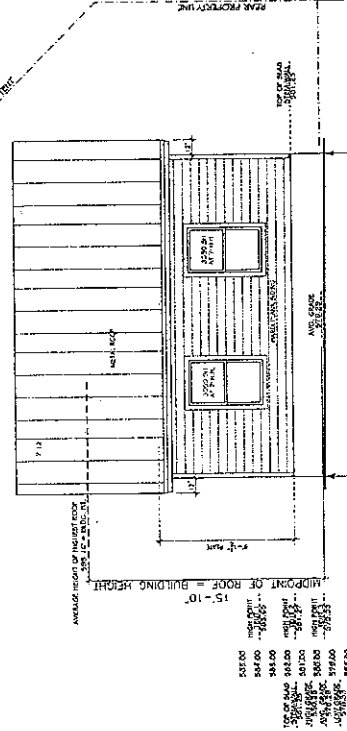
GARAGE FLOOR PLAN
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SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



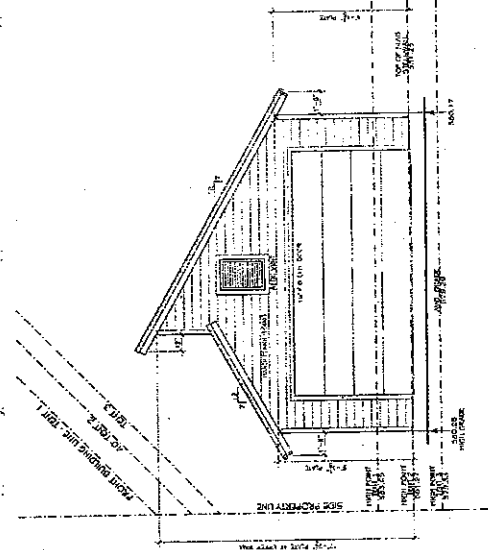
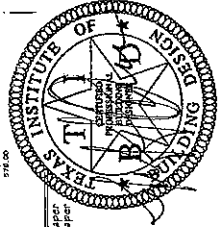
GARAGE ROOF PLAN
SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



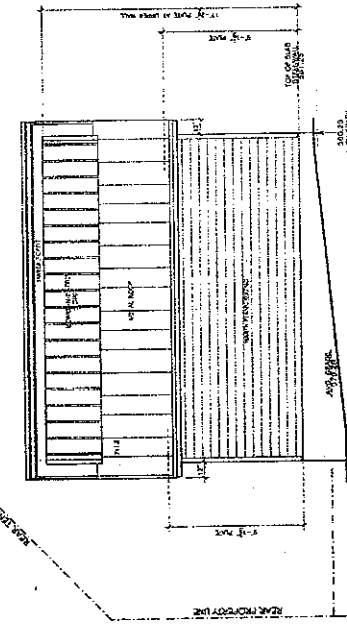
GARAGE REAR
SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



GARAGE RIGHT
SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



GARAGE FRONT
SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



GARAGE LEFT
SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



MEMORANDUM

TO: Board of Adjustment

FROM: Daniel Word, Planner Principal, Residential Review

DATE: December 1, 2014

SUBJECT: Appeal of Building Permit Approval at 2015 Goodrich Avenue

Timeline

An application was submitted to Residential Review on September 3, 2014 proposing to construct a new two-story single-family residence with a one-story detached garage. The construction plans (Attachment A) related to the permit application were approved on October 14, 2014 and the subsequent building permit was activated on October 16, 2014.

An appeal (Attachment B) of the building official's administrative decision to approve the permit request was received on October 20, 2014. A "meeting to resolve issues" was conducted on November 17, 2014 with representatives of the applicant, appellant and city staff present.

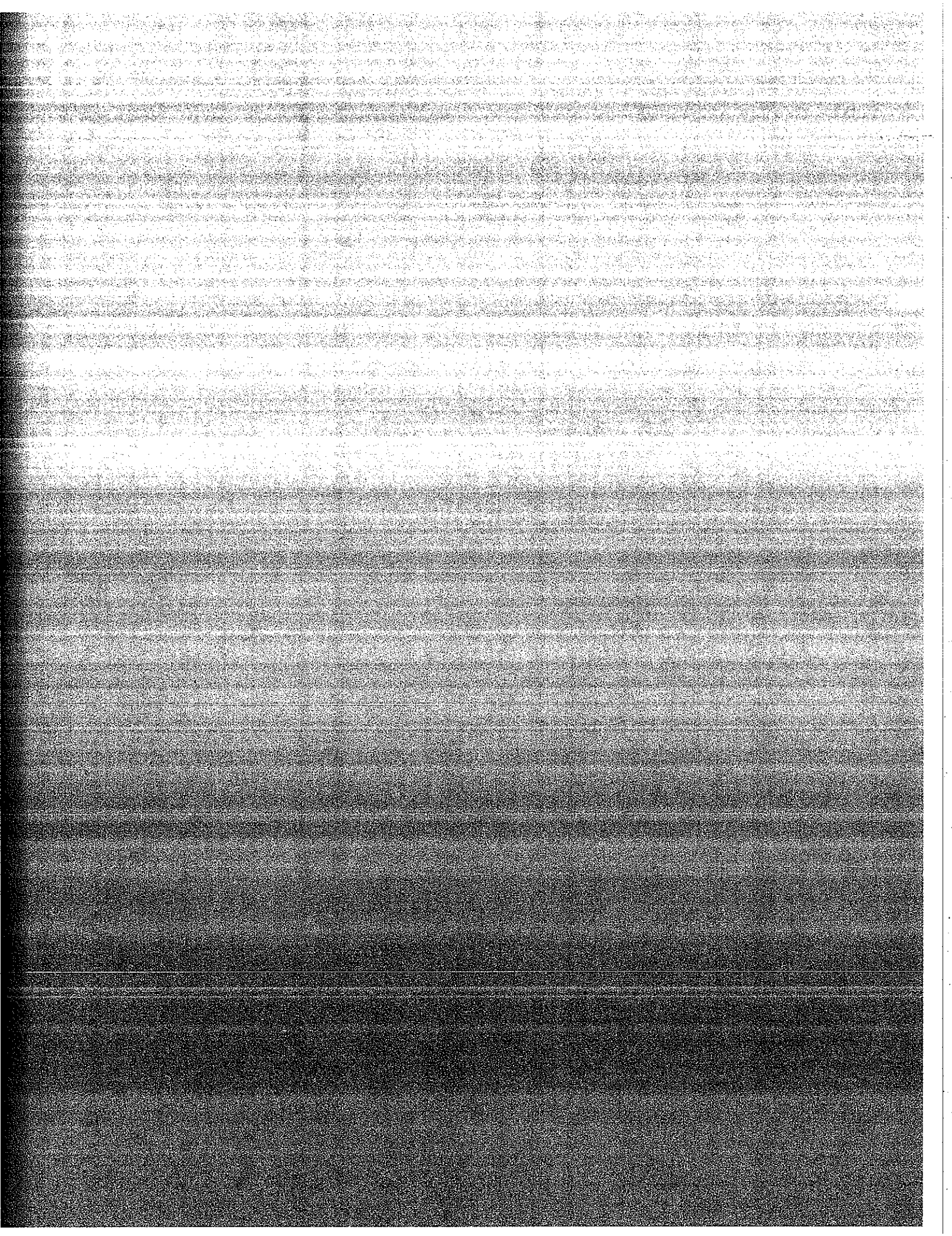
Arguments

The appeal raises four issues. However, the "meeting to resolve differences" was able to resolve three of the four issues. The remaining issue (identified as item #3 in the appeal) involves the application of the "attic exemption" outlined in Article 3.3.3.C of Title 25-2 Subchapter F (Attachment C), commonly known as the "McMansion" ordinance.

The "McMansion" ordinance allows for habitable attic spaces meeting the six criteria shown below to exempt the square footage from the floor-to-area ratio established by Subchapter F. The appeal focuses on the second and fifth criteria.

- C. A habitable portion of an attic, if:
1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater;
 2. It is fully contained within the roof structure;
 3. It has only one floor;
 4. It does not extend beyond the footprint of the floors below;
 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and
 6. Fifty percent or more of the area has a ceiling height of seven feet or less.

The Board of Adjustment has previously heard an interpretation case (C15-2011-0110) regarding this section of the code (Attachment D). The final result of the case overturned the building official's approval and provided language that established which areas within an attic should be included in the calculation of the attic area and supported a staff memorandum (Attachment E) detailing the staff



11/11/2014

PROJECT: **2015 GOODRICH AVENUE** **AUSTIN, TX 78704**

LOT INFORMATION

ZONING: SF3
 PROPERTY TAX ID: 100466
 LOT AREA (ACAD): 6325 SQ. FT.

OWNERS:

South Austin Development Group, LLC
 David Jones, Street
 1813 Collier Street
 Austin, TX 78704
 469-396-6403
 512-550-2144

BUILDER:

OWNERS

DESIGNER:

JEFF OVERMAN
 OVERMAN CUSTOM DESIGN
 TEXAS INSTITUTE OF BUILDING DESIGN SERIAL #452
 1512 TRINITY HILL DRIVE
 AUSTIN, TX 78753
 512-627-0746

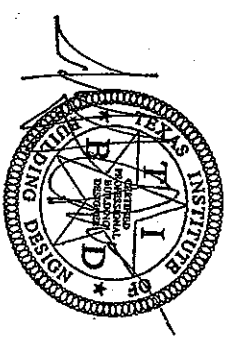
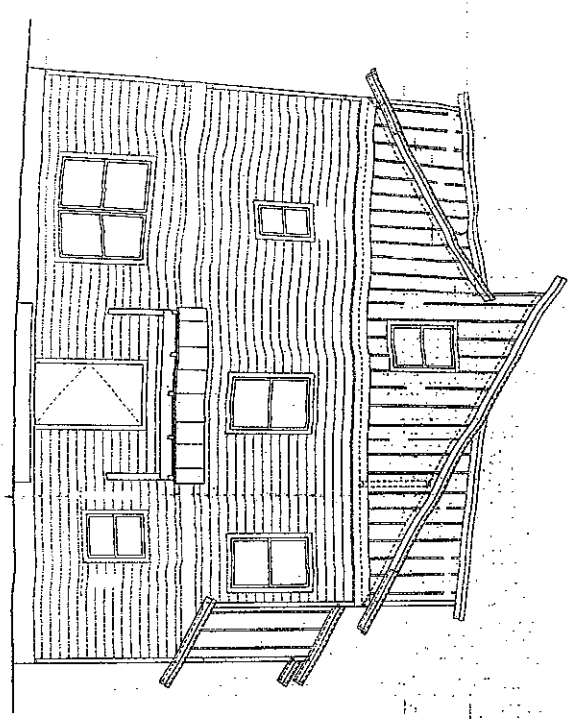
ENGINEER: TO BE DETERMINED

ELECTRICAL CONTRACTOR: TO BE DETERMINED

PLUMBING CONTRACTOR: TO BE DETERMINED

MECHANICAL CONTRACTOR: TO BE DETERMINED

SHEET NUMBER	COVER SHEET
C1.0	COVER SHEET
C1.1	SITE PLAN
C1.2	TENT AND
A1.1	HOUSE - VISITABLE (EXEMPT) ATTIC PLANS
A1.2	HOUSE - VISITABLE (EXEMPT) ATTIC PLANS
A2.1	HOUSE - ELEVATIONS
A2.2	HOUSE - ELEVATIONS
A2.3	HOUSE - ELEVATIONS
A2.4	HOUSE - ELEVATIONS
A3.1	HOUSE - ATTIC EXEMPTION PLAN
A4.1	STAIR NO. 1
A4.2	INTERIOR
A4.3	EXTERIOR
A5.1	VISITABLE
E1.1	1ST FLOOR PLANS (HOUSE AND GARAGE)
E1.2	2ND FLOOR PLANS (HOUSE AND GARAGE)
AG1.1	GARAGE PLAN, ROOF PLAN AND ELEVATIONS



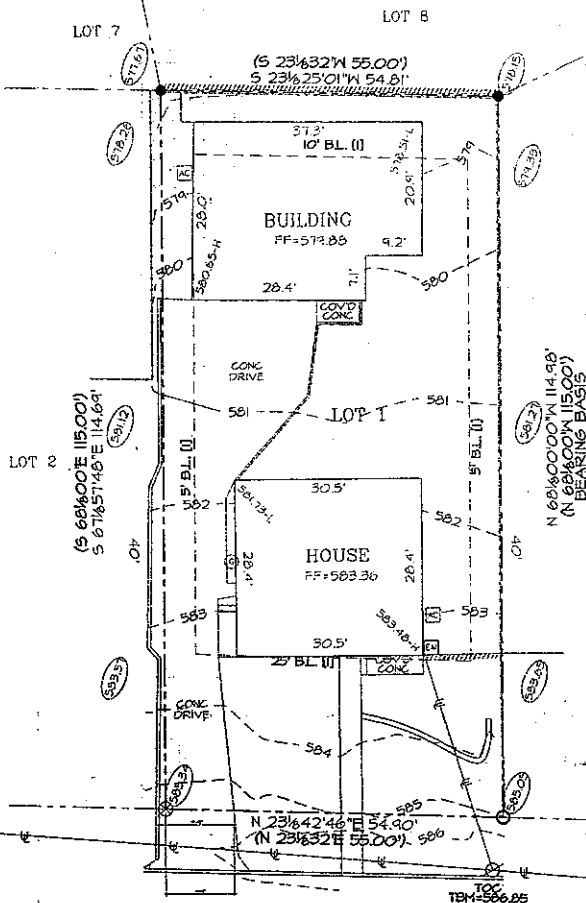
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LEGEND

- IRON ROD FND.
- PIPE FND.
- ⊗ X SET
- WOOD FENCE
- CHAIN LINK FENCE
- WIRE FENCE
- UTILITY LINE
- AC A/C UNIT
- EB ELEC. BOX
- EM ELEC. METER
- ⊙ GAS METER
- ⊙ UTILITY POLE
- BUILDING LINE
- PUBLIC UTILITY
- EASEMENT

ORIGINAL SURVEY
SCALE: 1" = 20.00' WHEN PLOTTED ON 11X17 PAPER

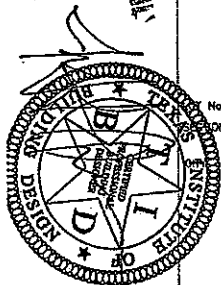


LOT 1
LITTMAN LYDIA NO. 2

2015 GOODRICH AVENUE
(50' R.O.W.)

SURVEYOR'S NOTES

- () DENOTES RECORD INFORMATION
- (1) BUILDING LINE PER CITY OF AUSTIN CURRENT ZONING ORDINANCE.
- THIS MAP DOES NOT REFLECT BUILDING REQUIREMENTS WHICH MAY BE IMPOSED BY THE LOCAL GOVERNING AUTHORITY OR HOME OWNER'S ASSOCIATION.
- THIS LOT IS SUBJECT TO ALL EASEMENT RIGHTS AND/OR CONDITIONS WHICH MAY APPEAR ON THE PLAT OF RECORD.
- ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.



No. 1	BLOCK 1	SUBDIVISION / ADDITION	FOWLER HEIGHTS
PHASE		Book	Cabinet
TRAVIS COUNTY, TEXAS		Volume	Page(s)
AUSTIN		Document No.	Official Public Records of Travis County, Texas
		Reference:	JACE S. MOORHEAD

*** IMPORTANT NOTICE ***

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEPICTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT. BOUNDARY AMENDMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT LOT 1

ALL POINTS SURVEYING

1714 FORTVIEW ROAD - SUITE 200

AUSTIN TX, 78704

TELE: (512) 440-0071 - FAX: (512) 440-0199

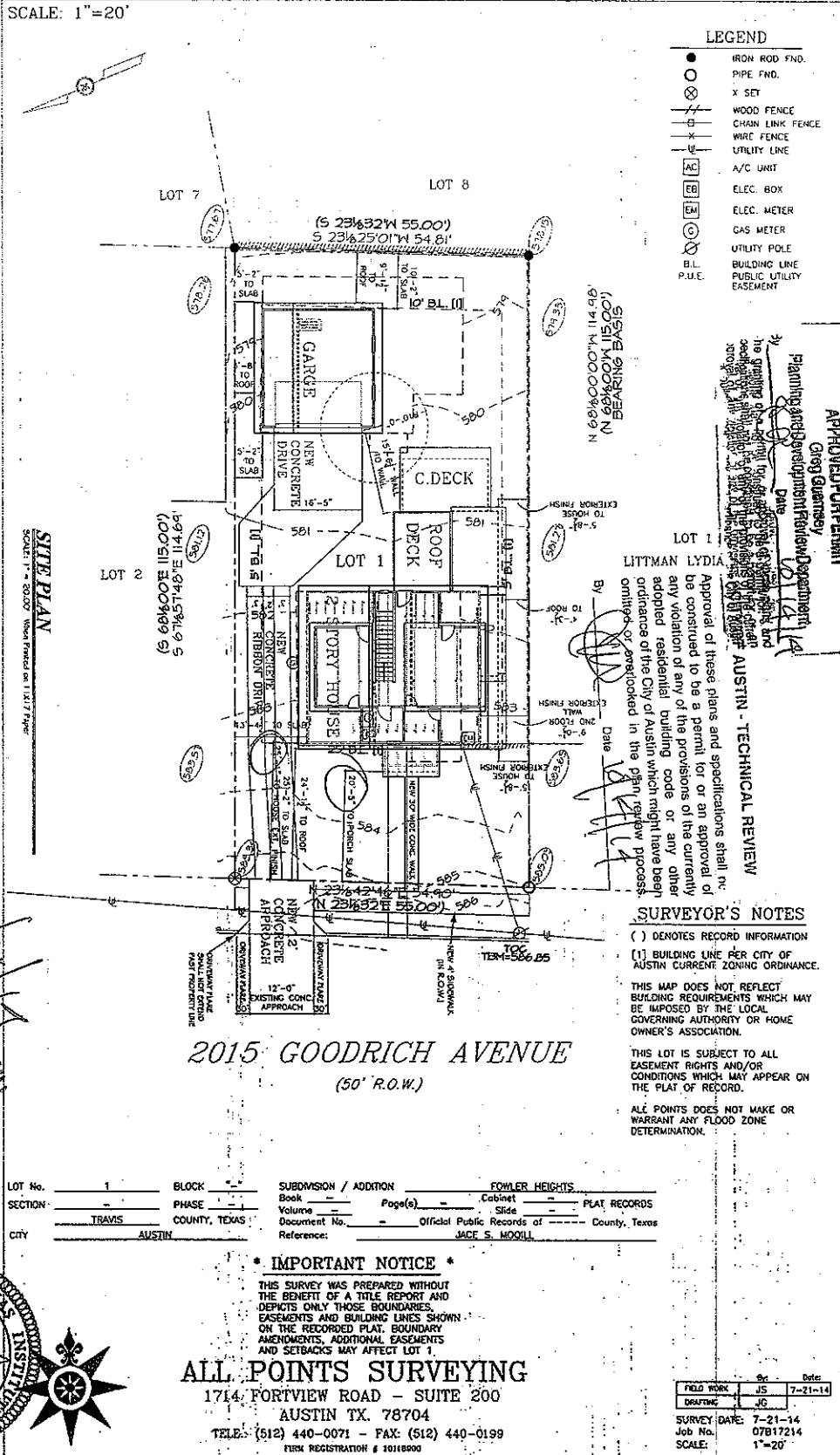
FIELD WORK	JS	Date: 7-21-14
DRAWING	JS	
SURVEY DATE: 7-21-14		
Job No. 07817214		
SCALE: 1"=20'		

SCALE: 1"=20'



LEGEND

- IRON ROD FND.
- PIPE FND.
- X SET
- WOOD FENCE
- CHAIN LINK FENCE
- WIRE FENCE
- UTILITY LINE
- A/C UNIT
- ELEC. BOX
- ELEC. METER
- GAS METER
- UTILITY POLE
- B.L. BUILDING LINE
- P.U.E. PUBLIC UTILITY EASEMENT



APPROVED FOR PERMIT
Planning and Development Review Department
Greg Quarmsey
 Date: 8/14/14
 The granting of a permit for the construction of a building and other structures on this lot is conditioned upon the applicant's compliance with all applicable ordinances of the City of Austin, Texas, and the applicant's agreement to pay all applicable fees and taxes.

LITTMAN LYDIA

Approval of these plans and specifications shall not be construed to be a permit for or an approval of any violation of any of the provisions of the currently adopted residential building code or any other ordinance of the City of Austin which might have been omitted or overlooked in the plan review process.

SURVEYOR'S NOTES

- () DENOTES RECORD INFORMATION
- (1) BUILDING LINE PER CITY OF AUSTIN CURRENT ZONING ORDINANCE.
- THIS MAP DOES NOT REFLECT BUILDING REQUIREMENTS WHICH MAY BE IMPOSED BY THE LOCAL GOVERNING AUTHORITY OR HOME OWNER'S ASSOCIATION.
- THIS LOT IS SUBJECT TO ALL EASEMENT RIGHTS AND/OR CONDITIONS WHICH MAY APPEAR ON THE PLAT OF RECORD.
- ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

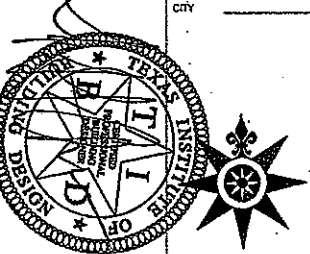
LOT No. 1 BLOCK 1 SUBDIVISION / ADDITION FOHLE HEIGHTS
 SECTION 1 PHASE 1 Book 1 Page(s) 1 Cabinet 1 PLAT RECORDS
 COUNTY, TEXAS TRAVIS Document No. 1 Official Public Records of 1 County, Texas
 CITY AUSTIN Reference: JACE S. MOORE

*** IMPORTANT NOTICE ***

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEPICTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT. BOUNDARY ADJUSTMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT LOT 1.

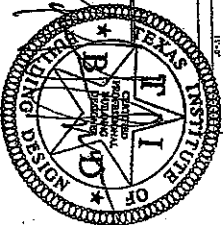
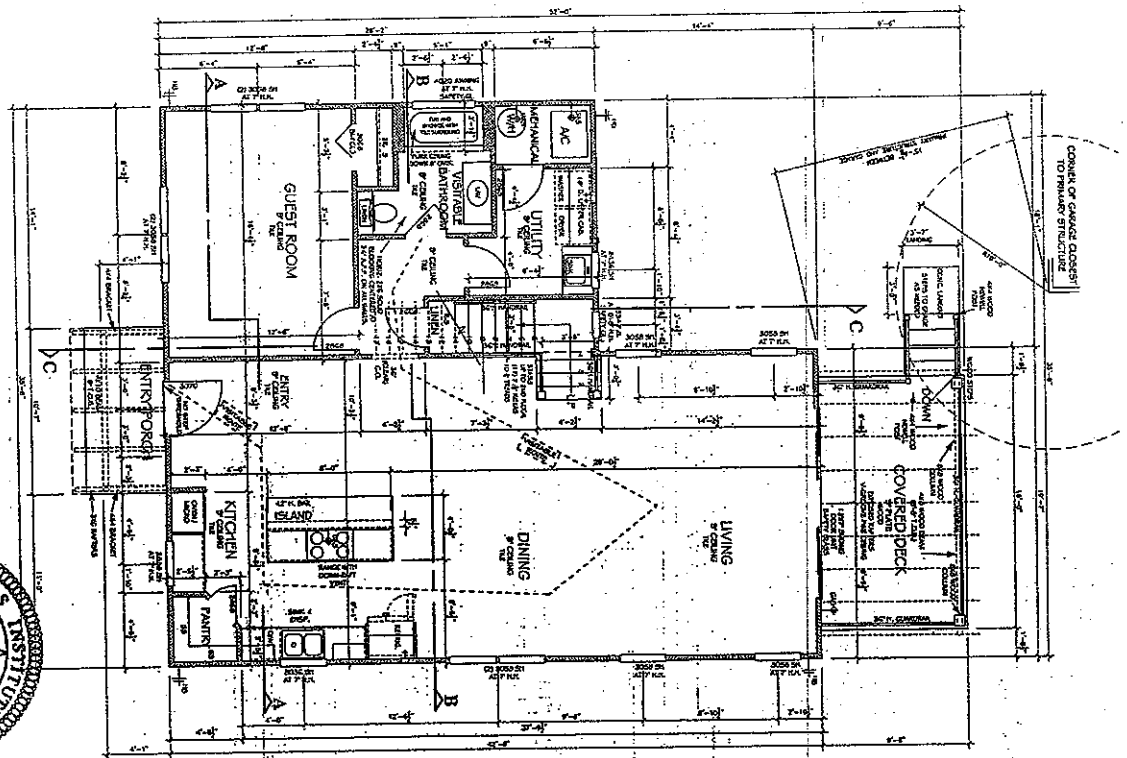
ALL POINTS SURVEYING
 1714 FORTVIEW ROAD - SUITE 200
 AUSTIN TX. 78704
 TEL: (512) 440-0071 - FAX: (512) 440-0199
 FIRM REGISTRATION # 10118000

FIELD WORK	Dr.	Date
J.S.	7-21-14	
DRAFTING	J.C.	
SURVEY DATE: 7-21-14		
Job No. 07817214		
SCALE: 1"=20'		

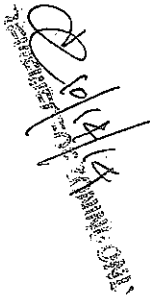


1. FURNISHING SUCH A BACKGROUND FOR THE CLAIMS MADE AND AS CANNOT BE COUNTER PROVEN.
2. FURNISHING INFORMATION IN LETTER AS PER REQUESTED/CONTENT.
3. REQUESTING ALL DOCUMENTS IN NON-COMPLETED STATE TO BE SUBMITTED.
4. REQUESTING ALL WATER, GASES IN TANKS AND NON-COMPLETED SHEDS.
5. REQUESTING ALL INTERNAL EDUCATIONAL, RESEARCH, AND OTHER INFORMATION AND WATER RESOURCES TO BE SUBMITTED WITH PROTECTION.
6. REQUESTING ALL INFORMATION TO BE SUBMITTED AND NOTED.
7. REQUESTING ALL INFORMATION AS REQUESTED BY BUREAU.
8. REQUESTING THAT INDIVIDUALS WITH INFORMATION BE SUBMITTED TO THE BUREAU.
9. REQUESTING THAT INDIVIDUALS TO BE SUBMITTED TO THE BUREAU.

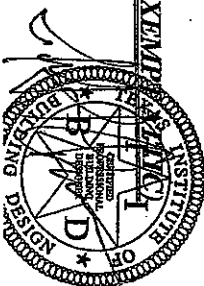
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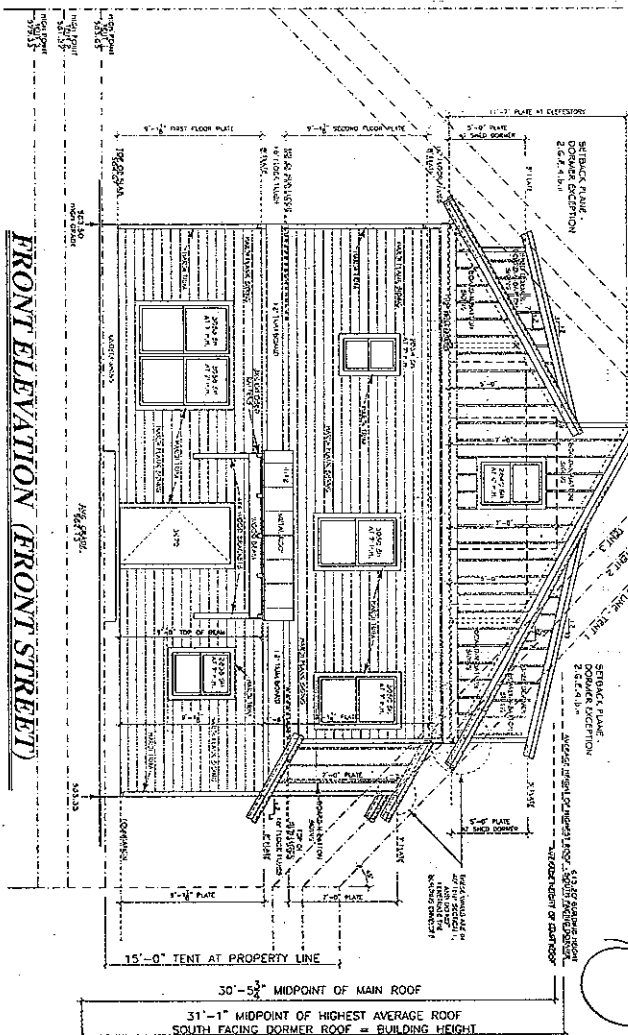


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SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



DATE: Sept. 24, 2004
 TO: JAMES A. HARRIS
 FROM: JAMES A. HARRIS
 SUBJECT: 1406-1123-2
 ALL RIGHTS RESERVED
 DRINK HOT
 A1.2
 POSTED IN OROUOK, CT

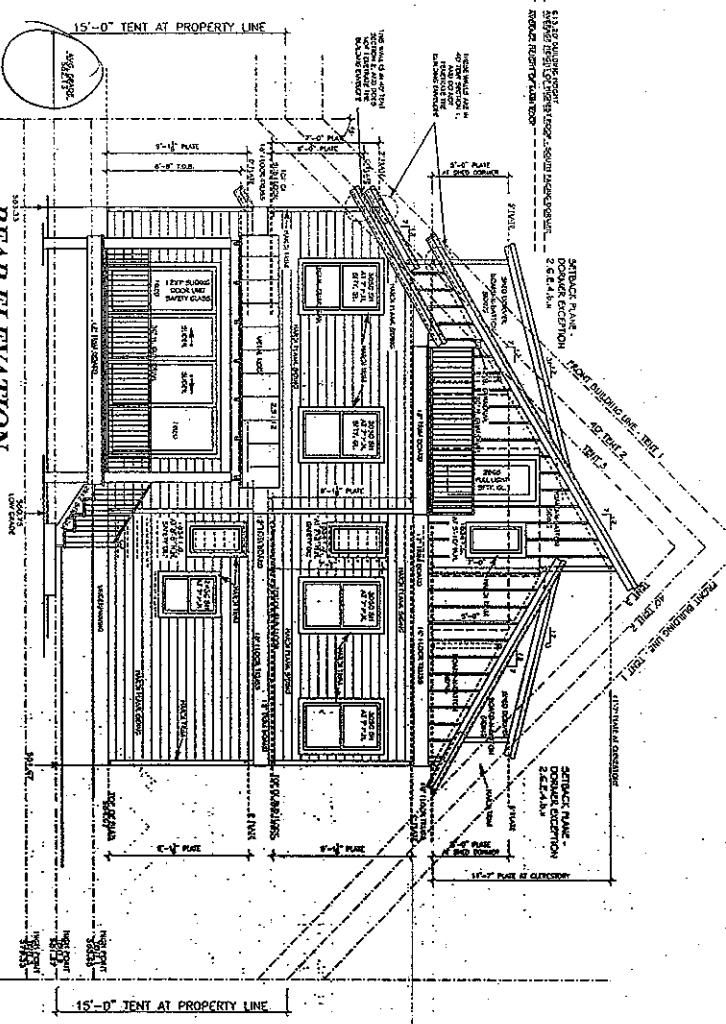
FRONT ELEVATION (FRONT STREET)



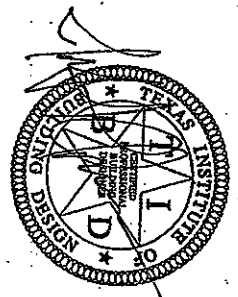
15'-0" TENT AT PROPERTY LINE
30'-5 1/2" MIDPOINT OF MAIN ROOF
31'-1" MIDPOINT OF HIGHEST AVERAGE ROOF
SOUTH FACING DORMER ROOF = BUILDING HEIGHT

REAR ELEVATION

SCALE: 1/4" = 1'-0"
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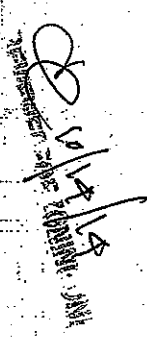
19/12/19
REVISION FOR PERMITS ONLY



2015 GOODRICH AVENUE
AUSTIN, TX 78704

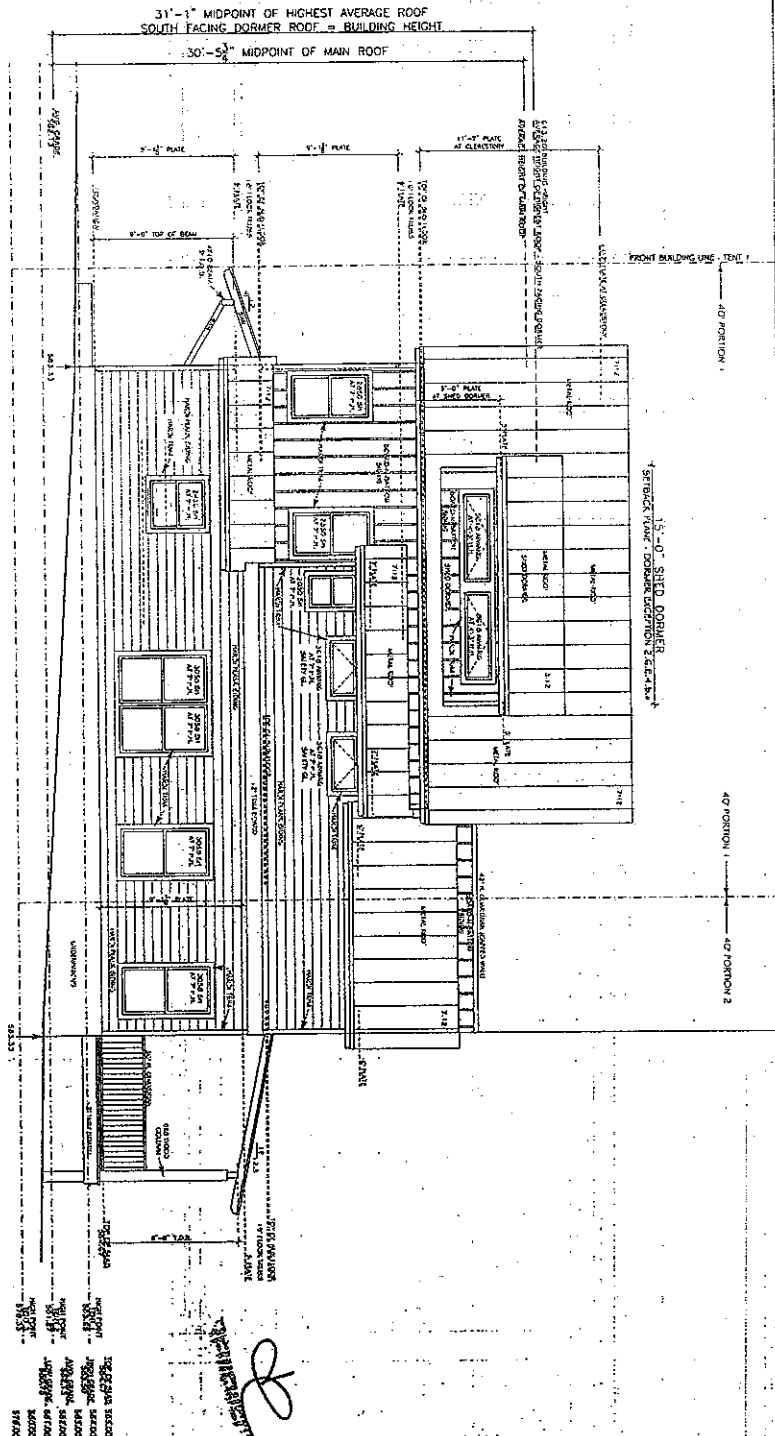
THIS PLAN IS NOT
A REVISION OF ANY
PREVIOUS PLAN
AND IS NOT TO BE
USED IN CONJUNCTION
WITH ANY OTHER
PLAN.
Sept 24, 20
1406-1123-295
© 2014 Jeff Overman
All Rights Reserved
A2.1

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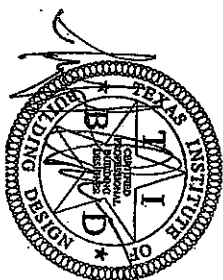


RIGHT ELEVATION

SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper



REVISIONS
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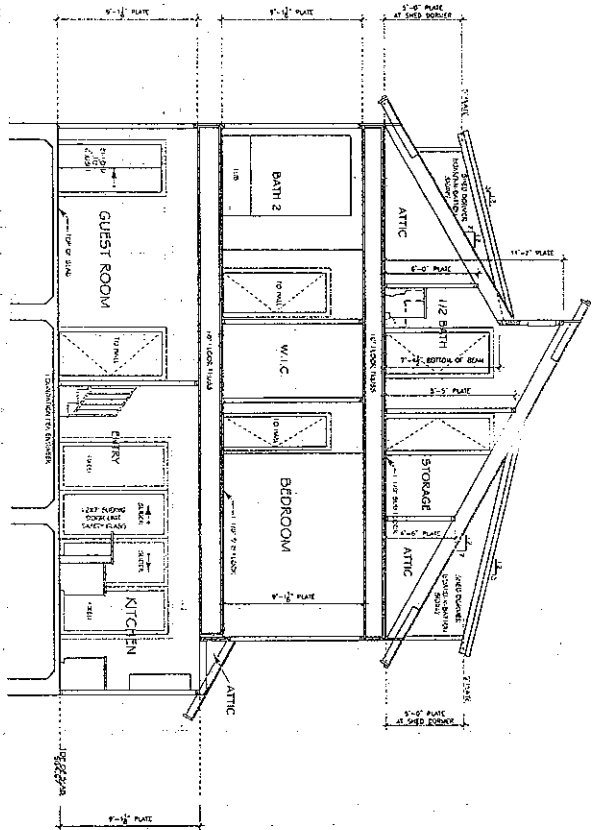


Jett Overman CBDO
11512 Trinity Hill Drive
Austin, Texas 78751
(512) 473-8725

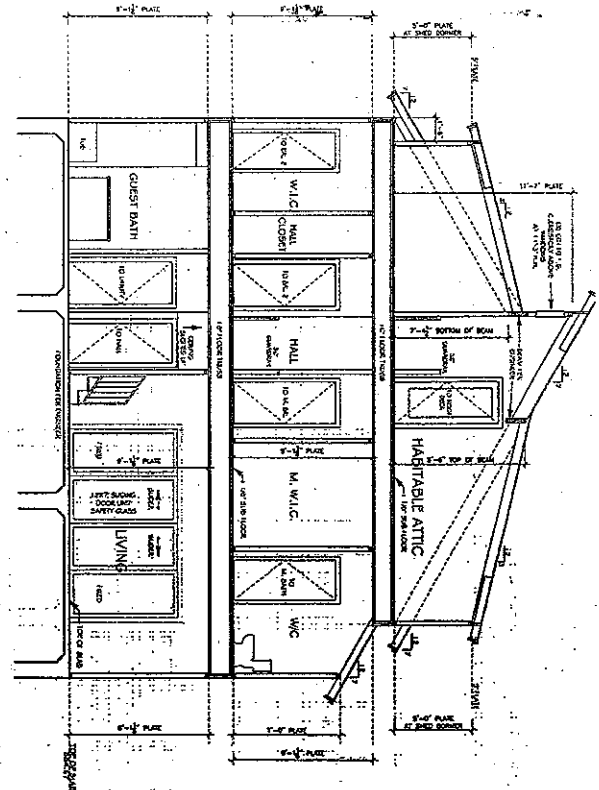
2015 GOODRICH AVENUE
AUSTIN, TX 78704

A2.3

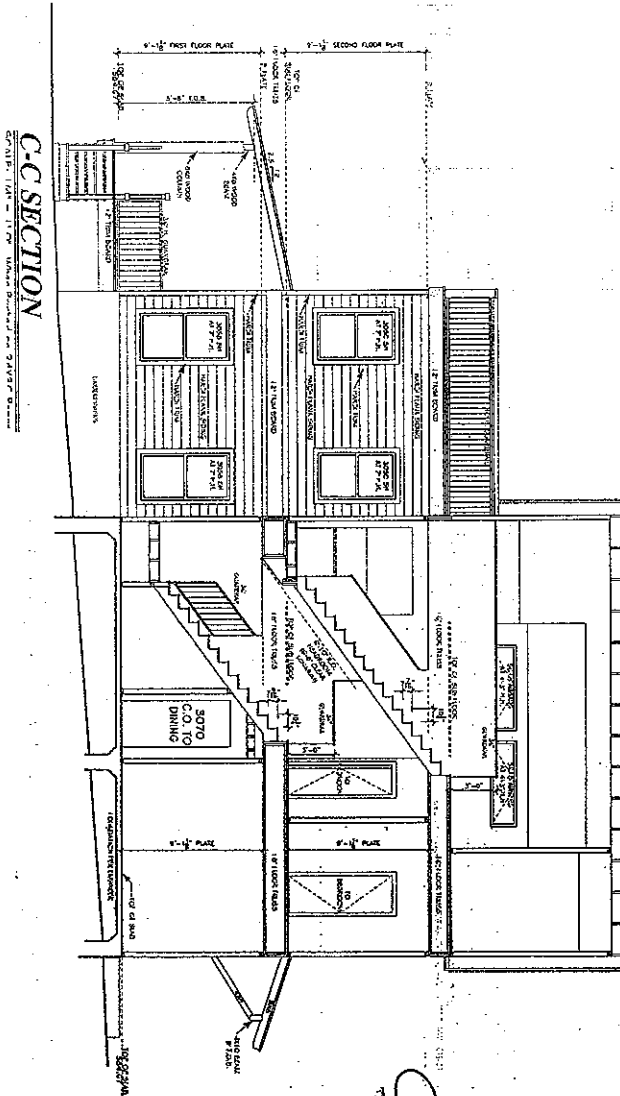
DATE: Sept. 24, 2014
DRAWN BY: Jett Overman
CHECKED BY: Jett Overman
APPROVED BY: Jett Overman
PROJECT: 11512 Trinity Hill Drive
SHEET NO. 1 OF 1



A-A SECTION
 SCALE: 1/4" = 1'-0" When Printed on 24x36 Paper
 SCALE: 1/8" = 1'-0" When Printed on 11x17 Paper



B-B SECTION
 SCALE: 1/4" = 1'-0" When Printed on 24x36 Paper
 SCALE: 1/8" = 1'-0" When Printed on 11x17 Paper



C-C SECTION
 SCALE: 1/4" = 1'-0" When Printed on 24x36 Paper
 SCALE: 1/8" = 1'-0" When Printed on 11x17 Paper

Handwritten signature and date: 9/14/19



Joe Overman CPED
 11512 Trinity Hill Drive
 Austin, TX 78755
 (512) 472-0975

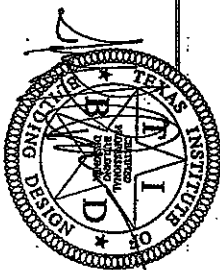
2015 GOODRICH AVENUE
 AUSTIN, TX 78704

THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S SIGNATURE AND SEAL.
 DATE: Sept. 24, 2019
 PROJECT: 1406-1123-205
 © 2019 Joe Overman CPED
 ALL RIGHTS RESERVED
 A2.4

ATTIC AREA
342 SQ. FT. = 60" TO 84"
326 SQ. FT. = GREATER THAN 84"
ATTIC EXEMPTION PLAN

10/11/19

ROOF PLAN



Jeff Overman CPBD
11512 Trinity Hill Drive
Austin, Texas 78753
(512) 472-0975

2015 GOODRICH AVENUE
AUSTIN, TX 78704

DATE: **Sept. 24, 20**
 1406-1123-299
 J20, NO. 1
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 All Rights Reserved
 DOWNS, NO.
A3.1
 PRINTED IN THE UNITED STATES OF AMERICA

NOTICE OF APPEAL INFORMATION

Austin City Code ARTICLE 7. APPEALS, VARIANCES, SPECIAL EXCEPTIONS, AND ADJUSTMENTS.

Division 1. Appeals

(see page 2 of 2 for appeal process)



Planning and Development Review Department

Address of Property in Question 2015 Goodrich Ave		Permit Number 2014-093888 PR	
Appellant Filing Appeal Zilker Neighborhood Association		Relationship to Property subject property is within the neighborhood boundaries	
Appellant's status as Interested Party neighborhood association in which subject property is located			
Appellant Contact Information		Permit Holder Contact Information	
Name Gardner Sumner, President, ZNA		Name S. Austin Dev. Group LLC (Vance Cobb)	
Street 1610 Treadwell Street		Street 802 Josephine St	
City Austin	State TX	Zip 78704	
Telephone 512-468-6200		Telephone (512) 550-2144	
E-Mail zoltan2@outlook.com		E-Mail vancecobb@gmail.com	
Date of Decision Being Appealed: 14 Oct 2014		Date Appeal is Filed: 20 Oct 2014	
Decision being appealed: (use additional paper as required) issuance of building permit 2014-093888 PR for 2015 Goodrich Ave			
Reason the appellant believes the decision does not comply with the requirements of the Land Development Code (Title 25) The applicant has 1) failed to use the correct lot size, 2) failed to measure McMansion FAR to the outside surface of the exterior walls, 3) requested an attic exemption that does not comply with the requirements, and 4) incorrectly calculated impervious cover. As a result, the house does not comply with the McMansion ordinance which requires that the FAR not exceed 40% nor with the impervious cover ordinance which requires that the impervious cover not exceed 45%. See attached details.			
BELOW FOR CITY USE ONLY			
Hearing Date:		Board or Commission:	
Action on Appeal:		Date of Action	
Form Bldg 101 Page 1 of 2			
The applicant must complete page 2 of 2 and sign before this application of appeal is complete. The application <u>will not be processed unless the applicant reads and signs page 2 of 2.</u>			

Appeal Process

You may appeal by following the Land Development Code requirements below. You must complete the form with all required information.

ARTICLE 7. APPEALS, VARIANCES, SPECIAL EXCEPTIONS, AND ADJUSTMENTS.

Division 1. Appeals.

§ 25-1-181 STANDING TO APPEAL.

- (A) A person has standing to appeal a decision if:
- (1) the person is an interested party; and
 - (2) a provision of this title identifies the decision as one that may be appealed by that person.
- (B) A body holding a public hearing on an appeal shall determine whether a person has standing to appeal the decision.

Source: Section 13-1-250; Ord. 990225-70; Ord. 030828-65; Ord. 031211-11.

§ 25-1-182 INITIATING AN APPEAL.

An interested party may initiate an appeal by filing a notice of appeal with the responsible director or building official, as applicable, not later than:

- (1) the 14th day after the date of the decision of a board or commission; or
- (2) the 20th day after an administrative decision.

Source: Section 13-1-251(a); Ord. 990225-70; Ord. 031211-11.

§ 25-1-183 INFORMATION REQUIRED IN NOTICE OF APPEAL.

The notice of appeal must be on a form prescribed by the responsible director or building official and must include:

- (1) the name, address, and telephone number of the appellant;
- (2) the name of the applicant, if the appellant is not the applicant;
- (3) the decision being appealed;
- (4) the date of the decision;
- (5) a description of the appellant's status as an interested party; and
- (6) the reasons the appellant believes the decision does not comply with the requirements of this title.

Source: Section 13-1-251(a); Ord. 990225-70; Ord. 010329-18; Ord. 031211-11.

By signing this document, I attest to having read and understand my rights as granted by the Land Development Code for the process of appealing an administrative decision by the building official or the responsible director.

20 OCT. '14 G. SUMNER

Date:

Printed Name:

Signature:

2015 Goodrich Ave (Permit Number 2014-093888 PR)

Reasons the Decision Does Not Comply with the Requirements of the Land Development Code:

- 1) The applicant is using a lot size of 6,325 sq ft to make impervious cover and McMansion FAR calculations. This is the lot size shown at the Travis County Appraisal District (TCAD). However, the applicant presented an actual survey conducted by All Points Surveying on 21 Jul 2014. The property lines shown on this survey calculate to 6,296.6 sf. The surveyed area should be used since the TCAD areas are notoriously inaccurate. This will result in a higher impervious cover and McMansion FAR percentage.
- 2) The architectural plans of the first and second floor (Drawings A1.1 and A1.2) appear to be drawn to the outer edge of the wood framing and not to the "outside surface of the exterior walls" demonstrated by the fact that the first floor plan dimensions (Drawing A1.1) match the foundation plan dimensions (Drawing S-1). Normally, the edge of the framing is aligned with the foundation edge. When sheathing and siding is added, this dimension can increase by an inch or more on all sides. Since the criteria for calculating the McMansion FAR is measurement to the "outside surface of the exterior walls", the McMansion FAR is not calculated correctly. If one assumes a ½" sheathing and ¾" siding, the first floor area is increased to 1,301.6 sf and the second floor area is increased to 1285.3 sf. This is an additional 33.8 sf that must be added to the McMansion FAR calculation.
- 3) The attic exemption from McMansion FAR requested by the applicant is not allowable under the McMansion ordinance. The attic exemption is allowable only if it meets certain conditions:

"3.3.3. Porches, basements, and attics that meet the following requirements shall be excluded from the calculation of gross floor area:

C. A habitable portion of an attic, if:

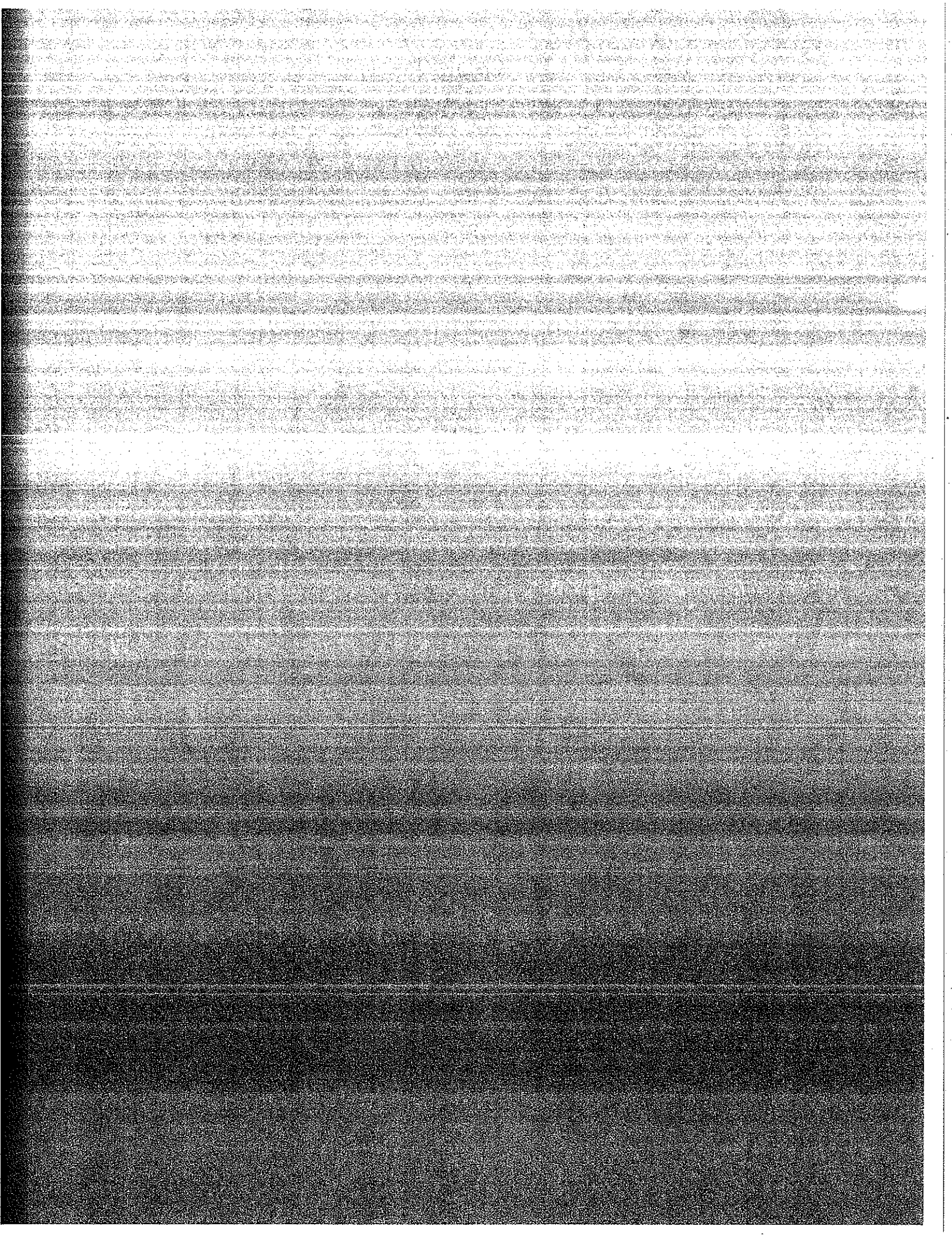
- 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater;*
- 2. It is fully contained within the roof structure;*
- 3. It has only one floor;*
- 4. It does not extend beyond the footprint of the floors below;*
- 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and*
- 6. Fifty percent or more of the area has a ceiling height of seven feet or less."*

We believe that not all of these requirements have been met and that the attic exemption requirements were intended to prevent exactly what the applicant is trying to do. The proposed plan is inconsistent with the attic exemption requirements for three reasons:

1. The dormers are not fully contained within the roof structure contrary to requirement #2. We believe the dormers are exactly what requirement #2 was specifically intended to prevent. It is hard to envision any other purpose of this provision. While there is a "dormer exception" from the setback plane as described in Section 2.6.E.4.b.ii of Subchapter F (Residential Design and Compatibility Standards), this exception is specifically related to the "Setback Planes" defined in Section 2.6, not to the "Gross Floor Area" defined in Section 3.3.
2. The dormers add additional mass to the structure contrary to requirement #5. In addition, the vertical wall with windows facing the side street which separates the two primary roof slopes also adds mass. If it weren't for that wall, the two slopes would meet at a peak much lower than the proposed peak, and the mass of the roof structure would be less.
3. The third floor deck (called a "roof deck" in the habitable attic plans) is accessible from the "habitable attic". While the deck itself would not be subject to McMansion FAR, the fact that it exists supports our contention that the habitable attic is actually a third floor rather than a fully contained attic.

The attic exemption should be disallowed and the applicant should recalculate the McMansion FAR as if this area is a third floor.

- 4) On page 2 of the application, the applicant has indicated that the impervious cover is 2,481 sf or 44.9%. However, 2,481 sf is 39.2% of their stated lot size of 6,325 sf, not 44.9%. We believe that they probably transposed numbers and that the impervious cover is probably 2,841 sf because 2,841 sf is 44.9%. However, it is not possible to tell because the applicant has not itemized or categorized the impervious cover. It is not clear whether the back deck stairs and landing are included in the impervious cover calculations because they are not shown on the site plan. Also, the A/C pads do not appear to have been included in the impervious cover calculations since they do not appear on the site plan. The applicant should be required to provide an itemized list of the impervious cover as do most applicants so the calculations and arithmetic can be checked. If the correct impervious cover is actually 2,841 sf rather than 2,481 sf, then the impervious cover percentage would be over the limit of 40% based on the correct lot square footage of 6,296.6 sf.



3.3.3.

Porches, basements, and attics that meet the following requirements shall be excluded from the calculation of gross floor area:

A.

A ground floor porch, including a screened porch, provided that:

1.

the porch is not accessible by automobile and is not connected to a driveway; and

2.

the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

B.

A habitable portion of a building that is below grade if:

1.

The habitable portion does not extend beyond the first-story footprint and is:

a.

Below natural or finished grade, whichever is lower; and

b.

Surrounded by natural grade for at least 50% of its perimeter wall area, if the habitable portion is required to be below natural grade under paragraph 1.a.

2.

The finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

C.

A habitable portion of an attic, if:

1.

The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater;

2.

It is fully contained within the roof structure;

3.

It has only one floor;

4.

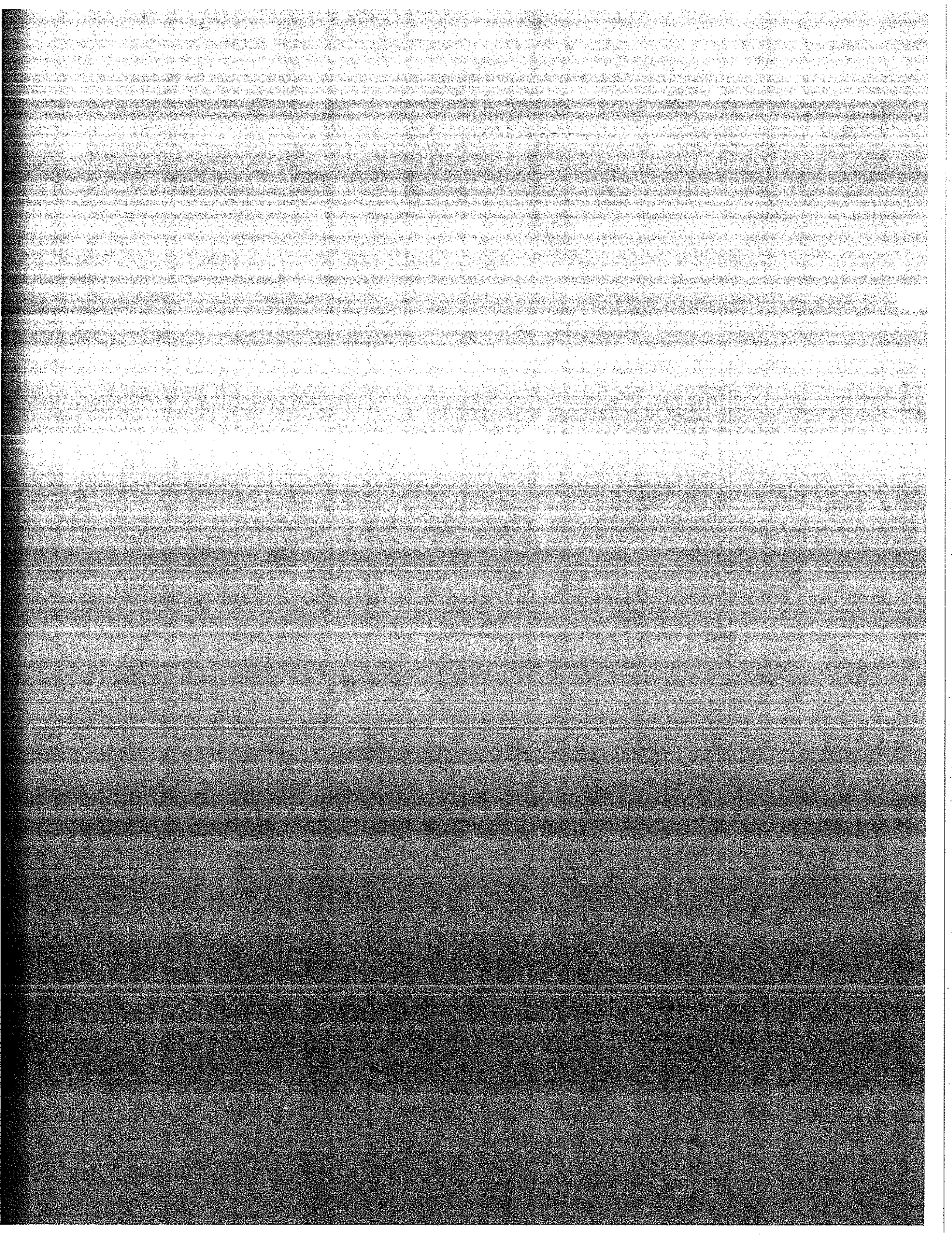
It does not extend beyond the footprint of the floors below;

5.

It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and

6.

Fifty percent or more of the area has a ceiling height of seven feet or less.



Board of Adjustment Motion Sheet

January 9, 2012 BOA Meeting

Case No. C15-2011-0110 Sarah Lynn Hill and John Deigh, 3704 Bonnell Drive***Boardmember's Motion:***

"I move to reverse the Director's interpretation of the 'habitable attic' exemption under the McMansion ordinance, as reflected by staff's approval of the permit at 3704 Mount Bonnell Drive, and to replace it with the following interpretation. Staff should prepare a memo including this interpretation and make it available to reviewers and the public."

Text of Interpretation:

- (1) To qualify for the "attic exemption" from Gross Floor Area under Section 3.3.3.C of Subchapter F, a habitable portion of an attic must meet each of the following requirements:
 - (A) As measured in accordance with Subsection 3.3.4, fifty-percent (50%) or more of the exempted portion of the attic must have a height of less than 7 feet, but more than 5 feet.
 - (B) The exempted portion of an attic must be limited to rooms used for human occupation, including but not limited to spaces used for living, (sleeping, eating, or cooking and all bathrooms, toilet rooms, circulation spaces and laundry rooms), working (home office, studio), and recreation (entertainment, exercise).
 - (C) Consistent with the staff memo by Daniel Word, dated July 29, 2008, the exempted portion of the attic must be fully contained within the roof structure and cannot extend beyond the footprint of the floor below.
- (2) This interpretation supersedes any conflicting interpretation previously issued by staff, including but not limited to the memo of Erica Eichert dated April 4, 2007.

Findings:

After the Board concludes its deliberations and any amendments have been clearly noted, a boardmember should make the following findings before calling for a vote:

- (1) There is reasonable doubt or difference of interpretation as to the specific intent of the habitable attic exemption under the McMansion ordinance; and
- (2) The resulting interpretation approved by the Board will not grant a special privilege to one property inconsistent with other properties or uses similarly situated.

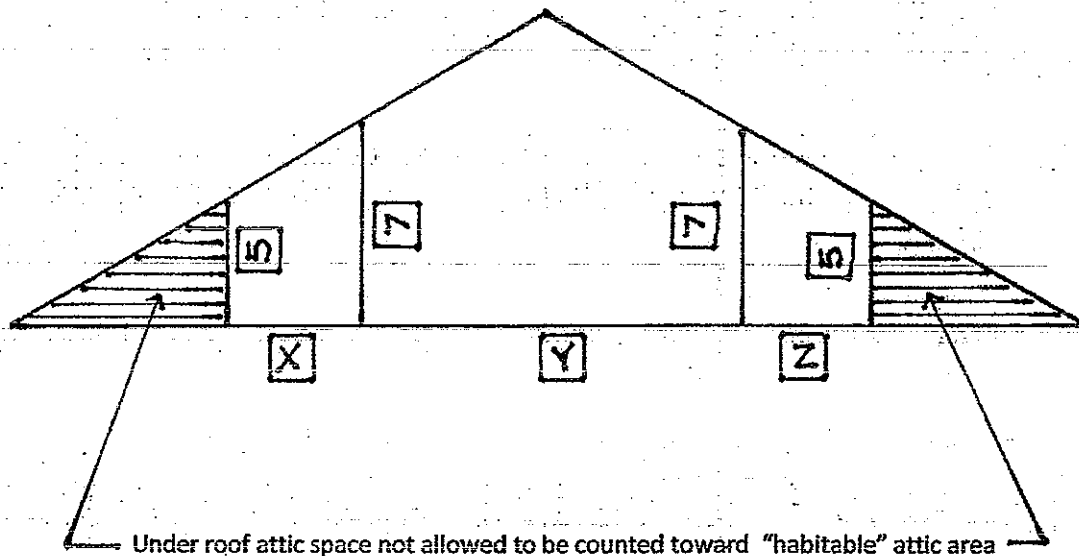
Board of Adjustment

January 9, 2012 Board Meeting

Case D-1 #C15-2011-0110 Sarah Lynn Hill and John Deigh, 3704 Bonnell Drive

Exhibit "A"

Modification of the diagram included in the memo of Erica Eichert, dated April 4, 2007





MEMORANDUM

TO: American Institute of Architects- Austin

THRU: Residential Review Planners and Residential Inspectors

FROM: Daniel Word, Planner II, Residential Review Division
Watershed Protection and Development Review Department

DATE: July 29, 2008

SUBJECT: Habitable Attics and Gross Floor Area

Section 3.3.3 (C) of Subchapter F, commonly referred to as the "McMansion" ordinance, allows for the exclusion of a habitable portion of an attic from the gross floor area measurement prescribed in the Land Development Code if:

1. The roof above is not a flat or mansard roof and has a slope of 3 to 12 or greater;
2. It is fully contained within the roof structure;
3. It has only one floor;
4. It does not extend beyond the footprint of the floors below;
5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and
6. Fifty percent or more of the area has a ceiling height of seven feet or less.

Under the second provision, the space must be "fully contained within the roof structure." For the purposes of implementing Subchapter F of the Land Development Code, this is interpreted to mean that the attic space is contained between the underside of the roof rafters and the top of the ceiling joists, floor joists, or floor truss, provided that the finished floor of the attic space does not drop below the height of the ceiling joists, floor joists, or floor truss at the intersection with the exterior walls. This is to prevent the floor surface within the attic space to be artificially lowered in order to gain additional ceiling height that would not otherwise be present.

Please refer to the following sketches for further clarification:

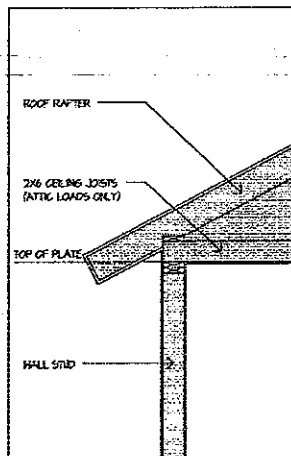


Fig 1

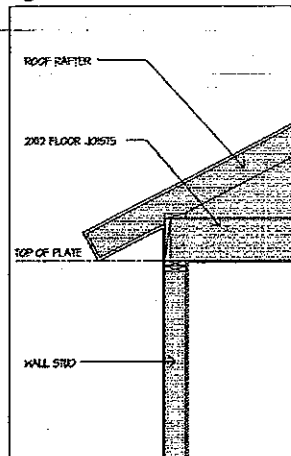


Fig 2

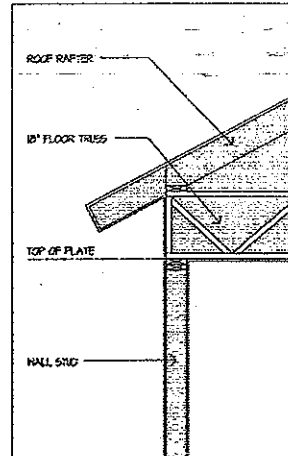


Fig 3

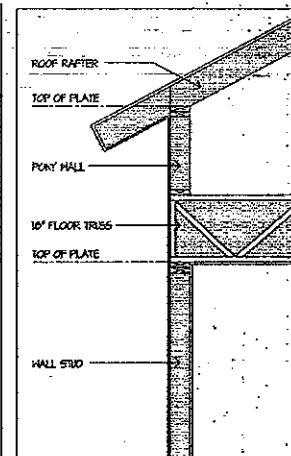


Fig 4

Figures 1, 2, and 3 are examples of acceptable construction methods that would qualify as being "fully contained within the roof structure." Figure 4 is a sketch of an unacceptable construction method for the purpose of qualifying as being "fully contained within the roof structure." This attic area would not qualify for exclusion from the calculation of gross floor area.