

LEGAL DESCRIPTION

1106 TOYATH STREET, AUSTIN TEXAS
 LOT# 6 BLOCK 13, MASS ADDITION SUBDIVISION,
 CITY OF AUSTIN, TRAVIS COUNTY, TEXAS,
 OF RECORD IN VOLUME X, PAGE 103 OF THE DEED
 RECORDS OF TRAVIS COUNTY TEXAS.

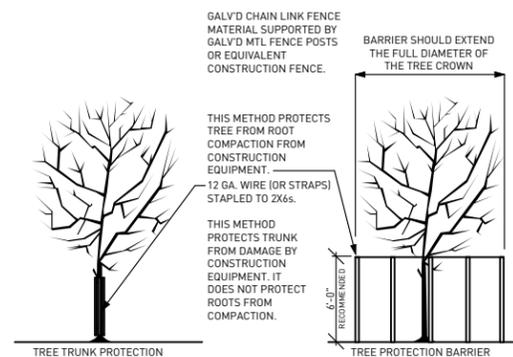
ZONING DISTRICT: OLD ENFIELD (SFR)

HISTORIC DISTRICT: OLD WEST AUSTIN
 NEIGHBORHOOD

GENERAL NOTES

- THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, DRAWINGS, NOTES, SCHEDULES. THE CONTRACTOR SHALL MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID OR INITIATION OF WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- THESE DRAWINGS ARE, IN GENERAL, DIAGRAMMATIC. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD MEASUREMENTS TAKEN BY CONTRACTOR'S PERSONNEL. ACTUAL ARRANGEMENT OF THE WORK SHALL FOLLOW LOCATIONS SHOWN ON THE DRAWINGS WITHIN THE CONSTRAINTS OF EXISTING EQUIPMENT AND CONSTRUCTION. DRAWING AND NOTES TO DRAWINGS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND/OR QUANTITY OF THE WORK INDICATED. IN THE EVENT OF DISCREPANCIES, OBTAIN CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WORK.
- DO NOT SCALE THESE DRAWINGS. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ANY OTHER REQUEST FOR CLARIFICATION.
- VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK.
- MINIMUM CLEARANCE DIMENSIONS INDICATED SHALL BE MAINTAINED PARTICULARLY AT STAIRS, CORRIDORS AND RESTROOMS.
- CONTRACTOR TO ACQUIRE ALL NECESSARY PERMITS PRIOR TO WORK.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY, ACTIONS AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTORS' EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND IN THE BUILDING AND ITS VICINITY. UPON COMPLETION OF WORK, CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE.
- CONTRACTOR SHALL SUBMIT REPRODUCIBLE SHOP DRAWINGS TO ARCHITECT FOR OWNER'S, ARCHITECT'S, AND ENGINEER'S APPROVAL.
- ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MORE STRINGENT. NOTIFY THE ARCHITECT OF ANY VARIATION REQUIRED IN THE DIMENSION NOTED FOR VERIFICATION FOR INSTALLATION OF EQUIPMENT BEFORE CONTINUING THE WORK.
- EVERY EFFORT HAS BEEN MADE ON THE PART OF THE ARCHITECT TO ENSURE LOCAL CODE COMPLIANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE WORK CONFORMS WITH ALL APPLICABLE CODES, AND IF DISCREPANCIES ARE NOTED, TO NOTIFY THE ARCHITECT PRIOR TO WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
- PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT.
- INSTALL PEX PIPE SYSTEM PLUMBING; INSULATE AS REQUIRED.
- FOR ALL "MATCH EXISTING" NOTES, ARCHITECT'S INTENT IS FOR CONTRACTOR TO MATCH EXISTING PROFILE AND FINISH AS CLOSE AS POSSIBLE USING AVAILABLE STOCK MATERIALS; IF UNABLE TO MATCH EXISTING, PROVIDE SAMPLES FOR ALTERNATE MATERIALS OR METHODS FOR ARCHITECT'S APPROVAL.
- DISSIMILAR METALS TO REMAIN SEPARATED TO AVOID GALVANIC CORROSION.
- ALL EXTERIOR WALLS AND ROOFS TO HAVE CLOSED CELL SPRAY FOAM INSULATION.
- ALL EXTERIOR WALLS TO BE STUD GRADE 2 X 6 NO. 2 SYP WITH STUDS AT 24" OC UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS TO BE STUD GRADE 2 X 4 OR NO. 2 SYP WITH STUDS AT 16" OC WITH 5/8" GYPSUM BOARD SHEATHING ON BOTH SIDES UNLESS OTHERWISE NOTED. ALL CAVITIES IN WALL ASSEMBLY TO BE FILLED WITH R-11 SOUND BATT INSULATION.
- ALL CEILINGS TO BE SHEATHED WITH 5/8" GYPSUM BOARD UNLESS OTHERWISE NOTED.
- ALL INTERIOR PAINTS, STAINS AND SEALANTS TO BE NON-TOXIC.

TREE PROTECTION



IT IS THE ARCHITECT'S AND OWNER'S INTENT TO PROTECT ALL TREES IN PROXIMITY TO CONSTRUCTION AREA FROM DAMAGE OR INJURY DUE TO CONSTRUCTION. THE SUGGESTIONS FOR TREE PROTECTION PROVIDED ABOVE ARE EXPLICITLY NOT GUARANTEED TO FULLY PROTECT THE TREES. IT IS HIGHLY RECOMMENDED THAT A TREE SPECIALIST BE HIRED AND THAT SUCH COST BE REVIEWED WITH OWNER FOR APPROVAL PRIOR TO PROCUREMENT OF TREE SPECIALIST SERVICES. IF CONTRACTOR DOES NOT REVIEW WITH OWNER HIS OR HER WILLINGNESS OR NON-WILLINGNESS TO HIRE SUCH SPECIALIST, THEN IT WILL BE CONSTRUED AS CONTRACTOR'S WILLINGNESS TO ACCEPT LIABILITY FOR PROTECTING THE TREES FROM ANY DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS.

PROJECT TEAM MEMBERS

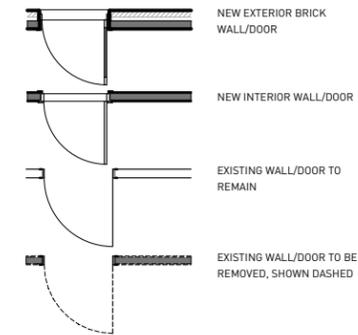
ARCHITECT OF RECORD

David Webber, Webber + Studio
 1220 Lavaca Street
 Austin, TX 78701
 512.236.1032

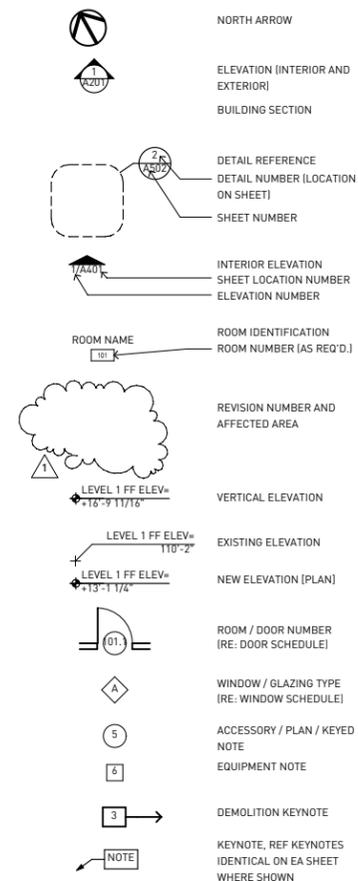
CONTRACTOR

Redbud Construction Co.
 5450 Bee Caves Road, Suite 2C
 Austin TX 78746
 512.788.3646

REPRESENTATION



SYMBOLS



ABBREVIATIONS

A	ANCHOR BOLT	M	MAINTENANCE
AB	ABOVE	MAS	MASONRY
ACOUS	ACOUSTICAL	MATL	MATERIAL
ADJUST.	ADJUSTABLE	MAX	MAXIMUM
ADJ	ADJACENT	MECH	MECHANICAL
AD	AREA DRAIN	MEP	MECHANICAL / ELECTRICAL / PLUMBING
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
AGG	AGGREGATE	MH	MANHOLE
ALT	ALTERNATE	MIN	MINIMUM
ALUM	ALUMINUM	MISC	MISCELLANEOUS
ANCH	ANCHOR / ANCHORAGE	MO	MASONRY OPENING
APPROX	APPROXIMATE	MTL	METAL
ARCH	ARCHITECT / ARCHITECTURAL	MULL	MULLION
AUTO	AUTOMATIC	N	NOT IN CONTRACT
AUX	AUXILIARY	ND or #	NUMBER
AVG	AVERAGE	NTS	NOT TO SCALE
A/V	AUDIO VISUAL	O	
B		OA	OVERALL
BD	BOARD	OC	ON CENTER
B/F	BOTH FACES	OD	OUTSIDE DIAMETER
BLDG	BUILDING	OFCl	OWNER FURNISHED / CONTRACTOR INSTALLED
BLKG	BLOCKING	OFI	OWNER INSTALLED
BLK	BLOCK	OH	OVERHEAD
BM	BEAM	OPNG	OPENING
BOT	BOTTOM	OPP	OPPOSITE
BOC	BOTTOM OF CURB	ORD	OVERFLOW ROOF DRAIN
BRK	BRICK	OS	OVERFLOW SCUPPER
BS	BOTH SIDES	O/A	OUTSIDE AIR
BSMT	BASEMENT	P	
BTW	BETWEEN	PERF	PERFORATED
BW	BOTH WAYS	PL	PLATE
C		PLF	POUNDS PER LINEAR FOOT
CAB	CABINET	PLUMB	PLUMBING
CIP	CAST IN PLACE	PLYWD	PLYWOOD
CJ	CONTROL JOINT	PNL	PANEL
CLG	CEILING	POL	POLISHED
CLG HT	CEILING HEIGHT	PRKG	PARKING
CLR	CLEARANCE	PR	PAIR
CL	CLOSE	PSF	POUNDS PER SQUARE FOOT
CMU	CONCRETE MASONRY UNIT	PSI	POUNDS PER SQUARE INCH
COL	COLUMN	PTD	PAINTED
CONC	CONCRETE	P.L	PROPERTY LINE
COND	CONDITION	R	
CONST	CONSTRUCTION	RCP	REFLECTED CEILING PLAN
CONTR	CONTRACTOR	RD	ROOF DRAIN
CONT	CONTINUOUS	RECOM	RECOMMENDATION
CORRU	CORRUGATED	REC	RECESSED
CG	CORNER GUARD	REF	REFRIGERATOR
CSMT	CASEMENT	REF	REINFORCED
CTR	CENTER	REM	REMAINDER
CU FT	CUBIC FOOT (FEET)	REQ'D	REQUIRED
CU YD	CUBIC YARD	RET	RETURN
D		REV	REVISION
DIAG	DIAGONAL	REF	REFER TO
DIA	DIAMETER	RFG	ROOFING
DIM	DIMENSION	R	RISER
DN	DOWN	RM	ROOM
DS	DOWNSPOUT	RO	ROUGH OPENING
DTL	DETAIL	ROW	RIGHT OF WAY
DWG	DRAWING	RAD	RADIUS
DWR	DRAWER	R/A	RETURN AIR
E		S	
EA	EACH	SCHED	SCHEDULE
EJ	EXPANSION JOINT	SC	SOLID CORE
ELEC	ELECTRICAL	SD	STORM DRAIN
ELEV	ELEVATION	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FOOT / FEET
EQ	EQUAL	SH	SINGLE-HUNG
EW	EACH WAY	SHVL	SHELVES / SHELVING
EXH	EXHAUST	SHTHG	SHEATHING
EXST	EXISTING	SHT	SHEET
EXPAN	EXPANSION	SHWR	SHOWER
EXP	EXPOSED	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATION
F		SPKR	SPEAKER
FD	FLOOR DRAIN	SQ	SQUARE
FH	FIRE HYDRANT	S. STL	STAINLESS STEEL
FIN	FINISH / FINISHED	SS	SANITARY SEWER
FLRG	FLOORING	STAB	STABILIZE(D)
FLR	FLOOR	STA	STATION
FLASH	FLASHING	STD	STANDARD
FLUOR	FLUORESCENT	STL	STEEL
FNDN	FOUNDATION	STR	STORAGE
FTG	FOOTING	STRUCT	STRUCTURE / STRUCTURAL
FT	FOOT / FEET	SUSP	SUSPENDED
FURN	FURNISH	SYM	SYMMETRICAL
G		SYS	SYSTEM
GALV	GALVANIZED	S/A	SUPPLY AIR
GAL	GALLON	T	
GA	GAUGE	TB	TOWEL BAR
GEN	GENERAL	TEL	TELEPHONE
GYP	GYPSUM	TH	THICKNESS
H		THRES	THRESHOLD
HB	HOSE BIBB	TOC	TOP OF CURB / CONCRETE
HDWR	HARDWARE	TOL	TOLERANCE
HM	HOLLOW METAL	TOS	TOP OF STEEL / SLAB
HORIZ	HORIZONTAL	TOW	TOP OF WALL
HP	HORSEPOWER	T	TREAD
HR	HOUR	T&G	TONGE & GROOVE
HT	HEIGHT	TS	TUBE STEEL
HVAC	HEATING / VENTILATING / AIR CONDITIONING	TYP	TYPICAL
HW	HOT WATER	U	
HYD	HYDRANT	UL	UNDERWRITERS LABORATORY
I		UNO	UNLESS NOTED OTHERWISE
INCL	INCLUDE(D)	V	
INFO	INFORMATION	VCT	VINYL COMPOSITION TILE
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	VIF	VERIFY IN FIELD
IN	INCH(ES)	W	
J		WC	WATER CLOSET
JST	JOIST	WDW	WINDOW
JT.	JOINT	WD	WOOD
L		WF	WIDE FLANGE
LAV	LAVATORY	WR	WATER RESISTANT
LGTH	LENGTH	WT	WEIGHT
LH	LEFT-HAND	W/	WITH
LN	LINEAR	W/I	WITHIN
LIN	LIGHT	W/O	WITHOUT
LVT	LIGHT		
LVR.	LOUVER		

ADDITION

1106 TOYATH STREET, AUSTIN TEXAS, 78703

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THE LAWSON HOUSE

1106 TOYATH STREET: AUSTIN, TEXAS 78703

11/14/14

ARCHITECTURE

Webber + Studio, Inc.

512.236.1032

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 Austin, Texas 78701
 Fax 512.236.1039

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A01
 COVER SHEET



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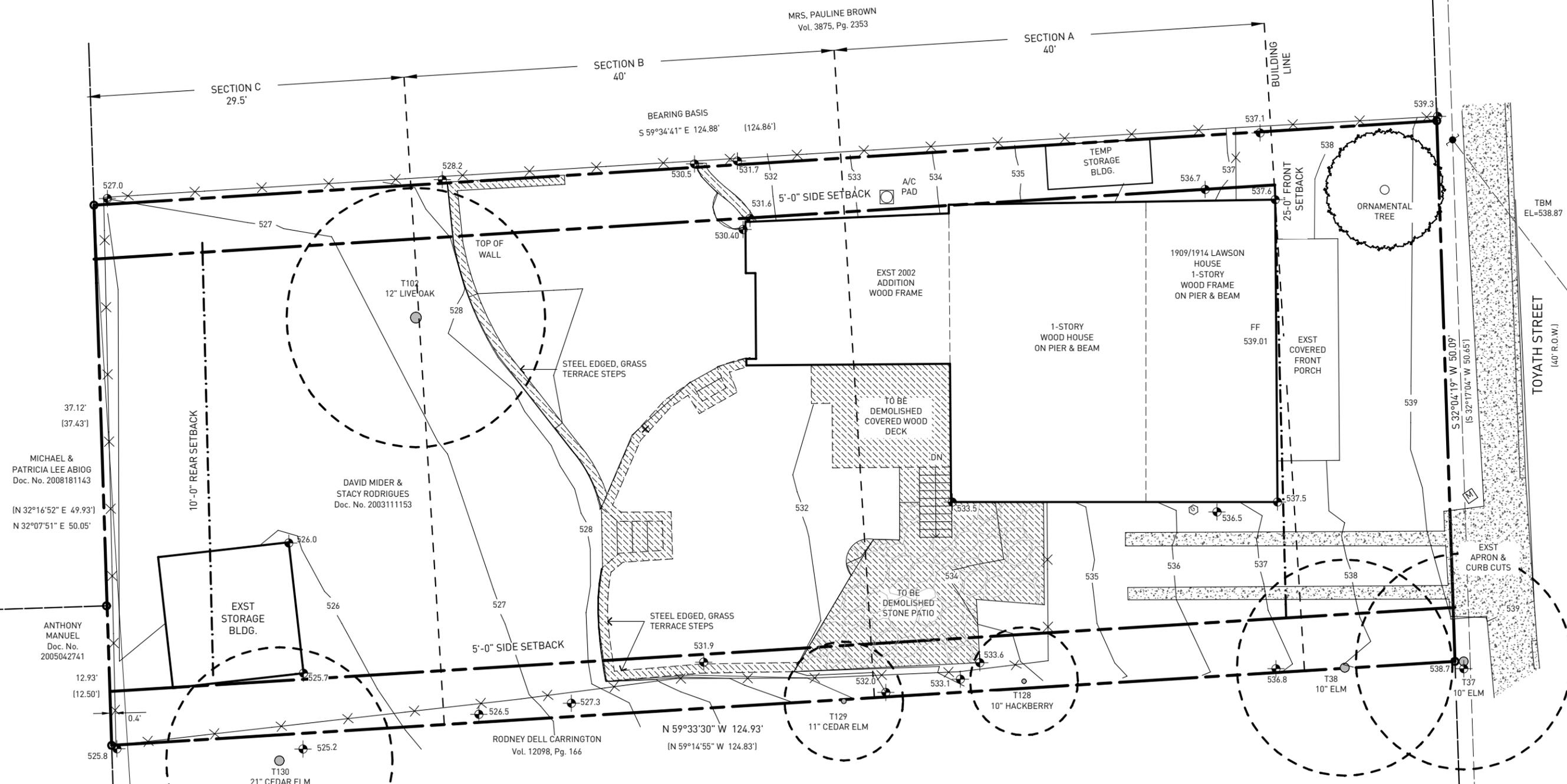
A02
EXISTING SITE PLAN

EXISTING SITE PLAN

Scale: 1" = 10'



/Volumes/Active Projects/TOYATH/ITY_ACTIVE/ITY_CD_141006_MDL_PERMIT.pln | Ver. 17.002 | Sunday, December 7, 2014 | 10:45 AM



MICHAEL &
PATRICIA LEE ABIOG
Doc. No. 2008181143

(N 32°16'52" E 49.93')
(N 32°07'51" E 50.05')

ANTHONY
MANUEL
Doc. No.
2005042741

DAVID MIDER &
STACY RODRIGUES
Doc. No. 2003111153

RODNEY DELL CARRINGTON
Vol. 12098, Pg. 166

MRS. PAULINE BROWN
Vol. 3875, Pg. 2353

TBM
EL=538.87

TOYATH STREET
(40' R.O.W.)

S 32°04'19" W 50.09'
(S 32°17'04" W 50.65')

BEARING BASIS
S 59°34'41" E 124.88'
(124.86')

N 59°33'30" W 124.93'
(N 59°14'55" W 124.83')

10'-0" REAR SETBACK

SECTION C
29.5'

SECTION B
40'

SECTION A
40'

BUILDING
LINE

A/C PAD

EXST 2002
ADDITION
WOOD FRAME

1909/1914 LAWSON
HOUSE
1-STORY
WOOD FRAME
ON PIER & BEAM

1-STORY
WOOD HOUSE
ON PIER & BEAM

EXST COVERED
FRONT
PORCH

ORNAMENTAL
TREE

TO BE
DEMOLISHED
COVERED WOOD
DECK

TO BE
DEMOLISHED
STONE PATIO

EXST
STORAGE
BLDG.

T130
21" CEDAR ELM

T102
12" LIVE OAK

T129
11" CEDAR ELM

T128
10" HACKBERRY

T38
10" ELM

T37
10" ELM

5'-0" SIDE SETBACK

25'-0" FRONT
SETBACK

STEEL EDGED, GRASS
TERRACE STEPS

STEEL EDGED, GRASS
TERRACE STEPS

TOP OF
WALL

EXST
APRON &
CURB CUTS

37.12'
(37.43')

12.93'
(12.50')

525.8

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THE LAWSON HOUSE

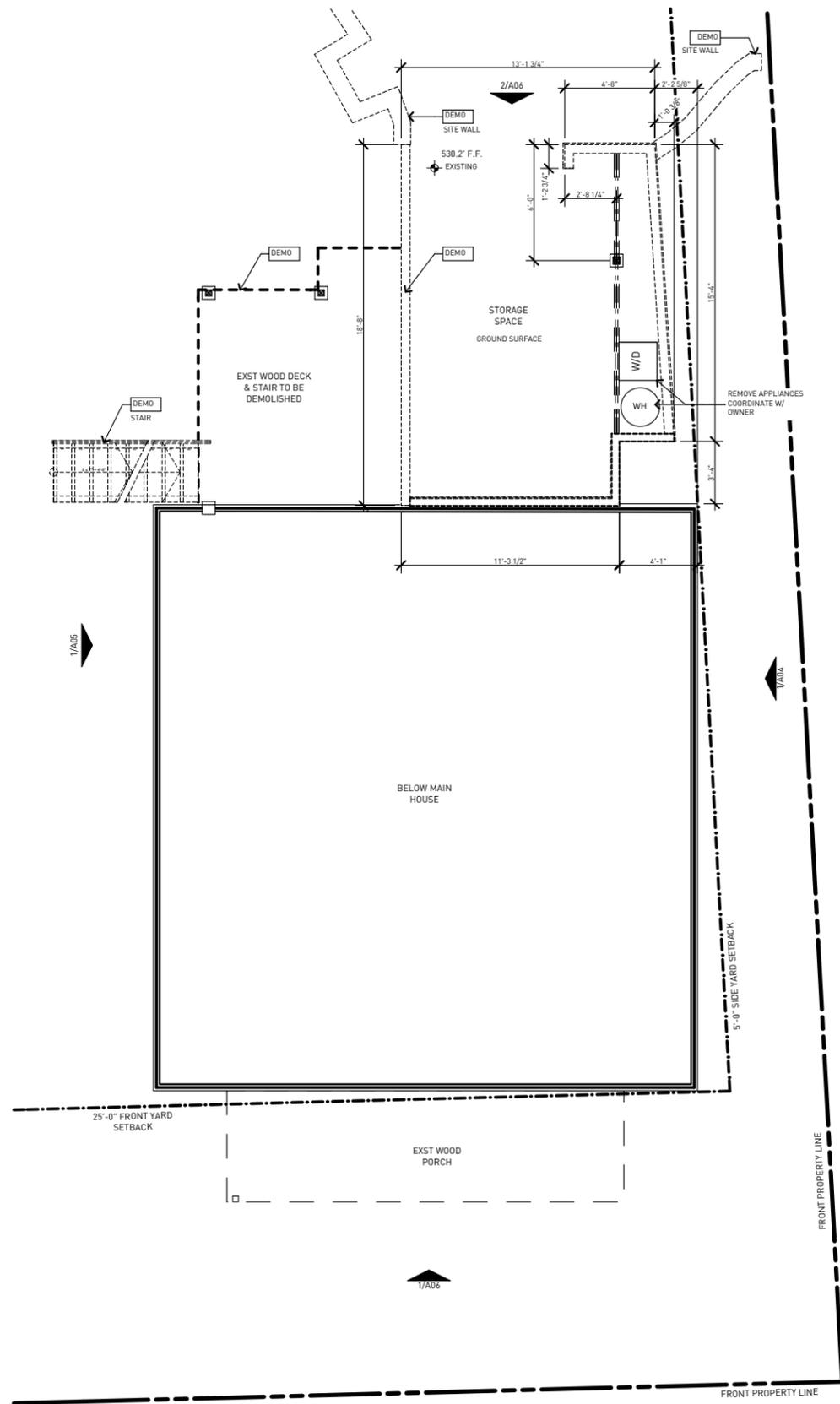
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ARCHITECTURE
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 1220 Lavaca Street
 Austin, Texas 78701
 Fax 512.236.1039

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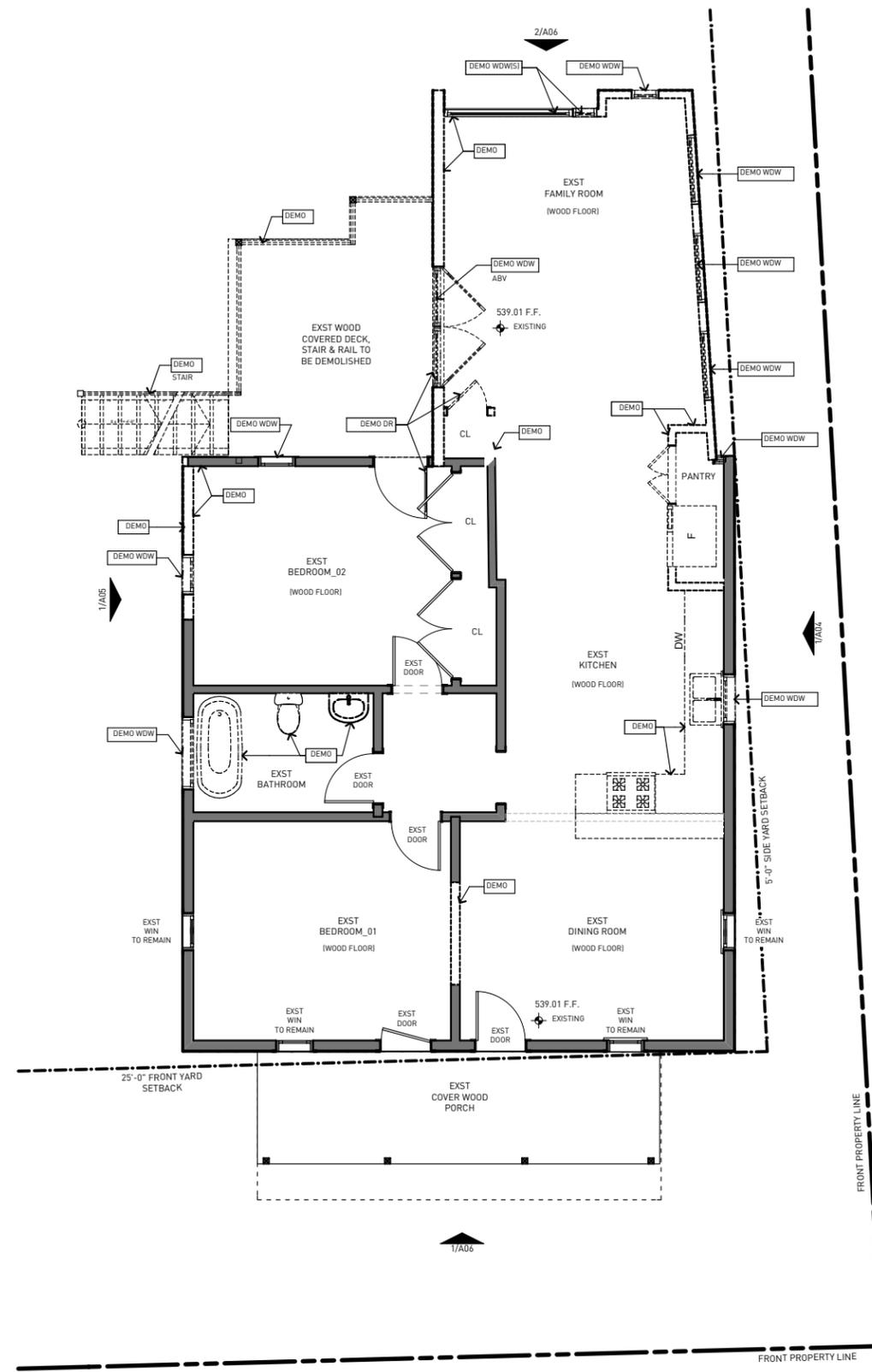
A03
 DEMO/EXISTING
 CONDITIONS PLAN



EXISTING GROUND FLOOR PLAN

Scale: 1/8" = 1'-0"

2



EXISTING FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"

1

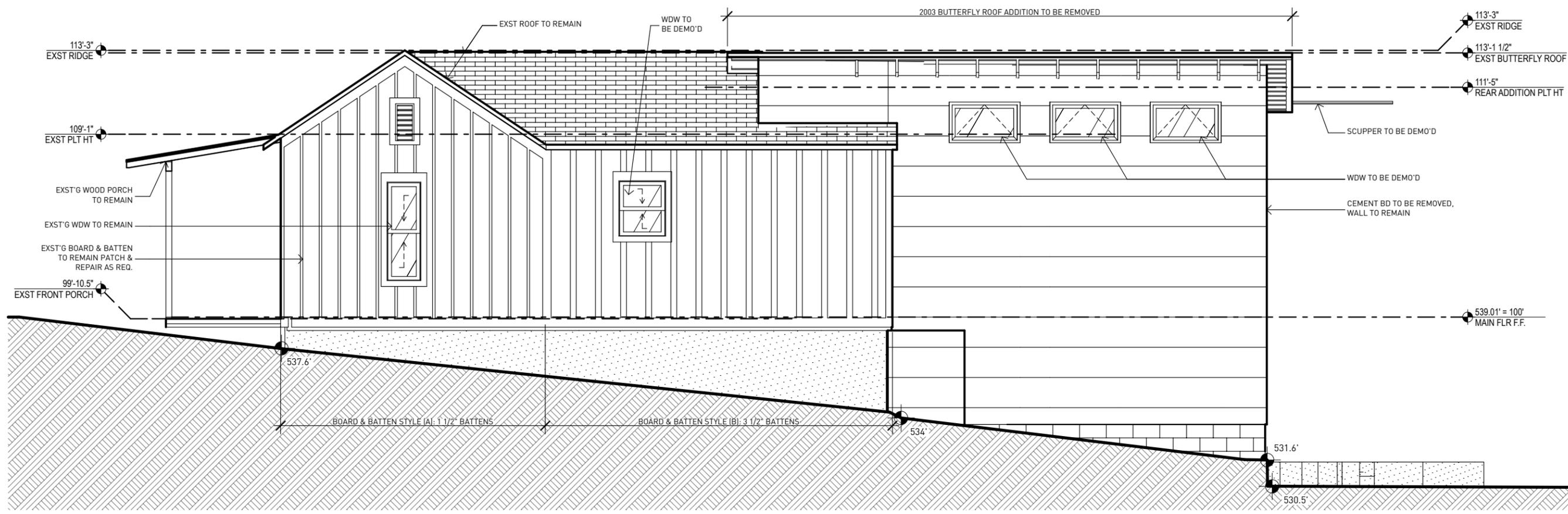




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EXISTING NORTHEAST EXTERIOR ELEVATION 1

Scale: 3/16" = 1'-0"

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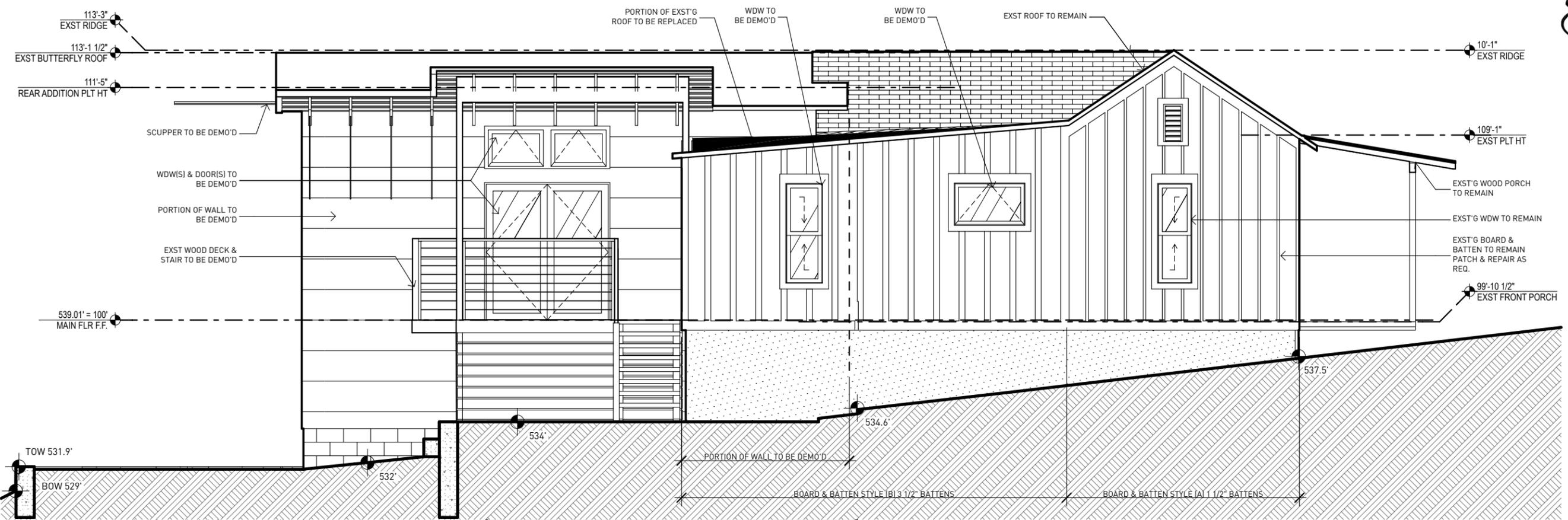
A04
EXISTING EXTERIOR
ELEVATION



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EXISTING SOUTHWEST EXTERIOR ELEVATION

Scale: 3/16" = 1'-0"

1

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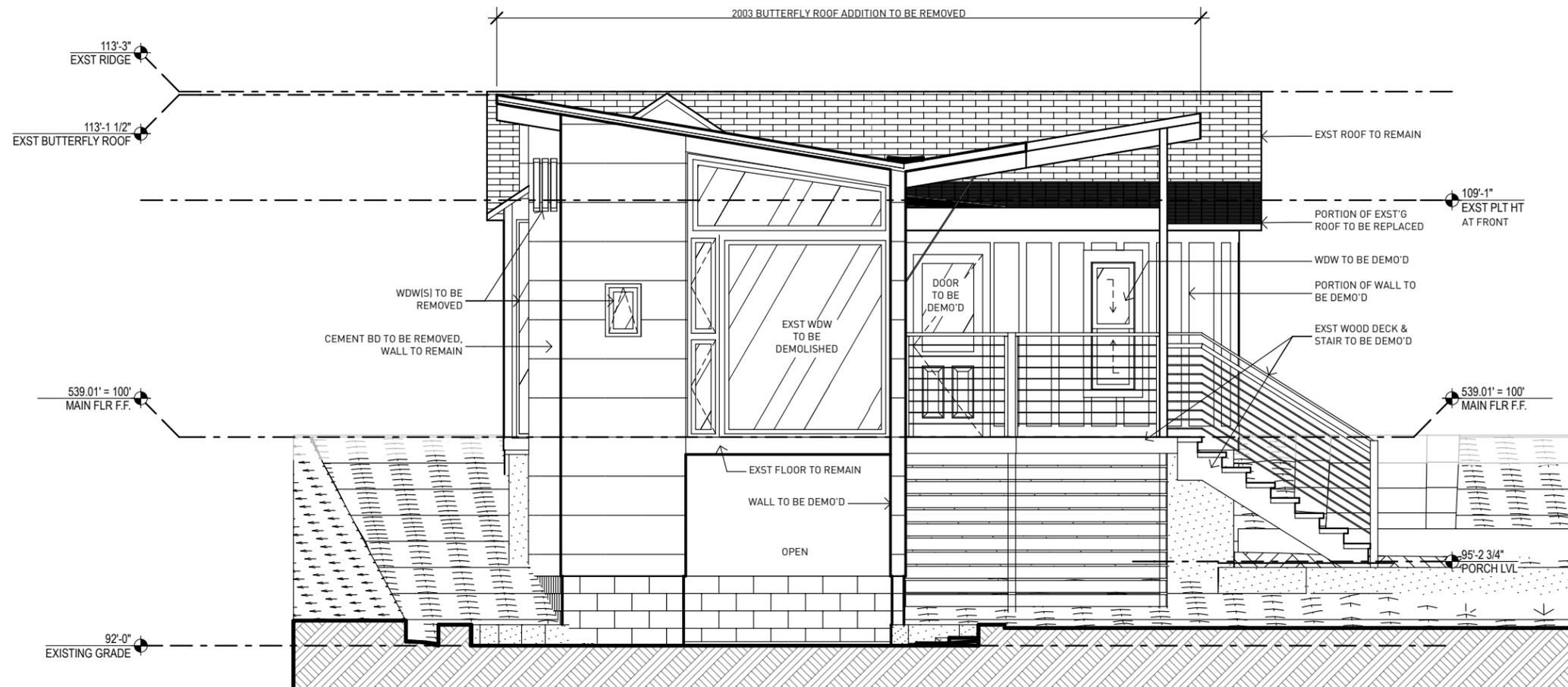
A05
 EXISTING EXTERIOR
 ELEVATION



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EXISTING NORTHWEST EXTERIOR ELEVATION

Scale: 3/16" = 1'-0"

2



EXISTING SOUTHEAST EXTERIOR ELEVATION

Scale: 3/16" = 1'-0"

1

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A06
EXISTING EXTERIOR
ELEVATION



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TOYATH STREET
(40' R.O.W.)

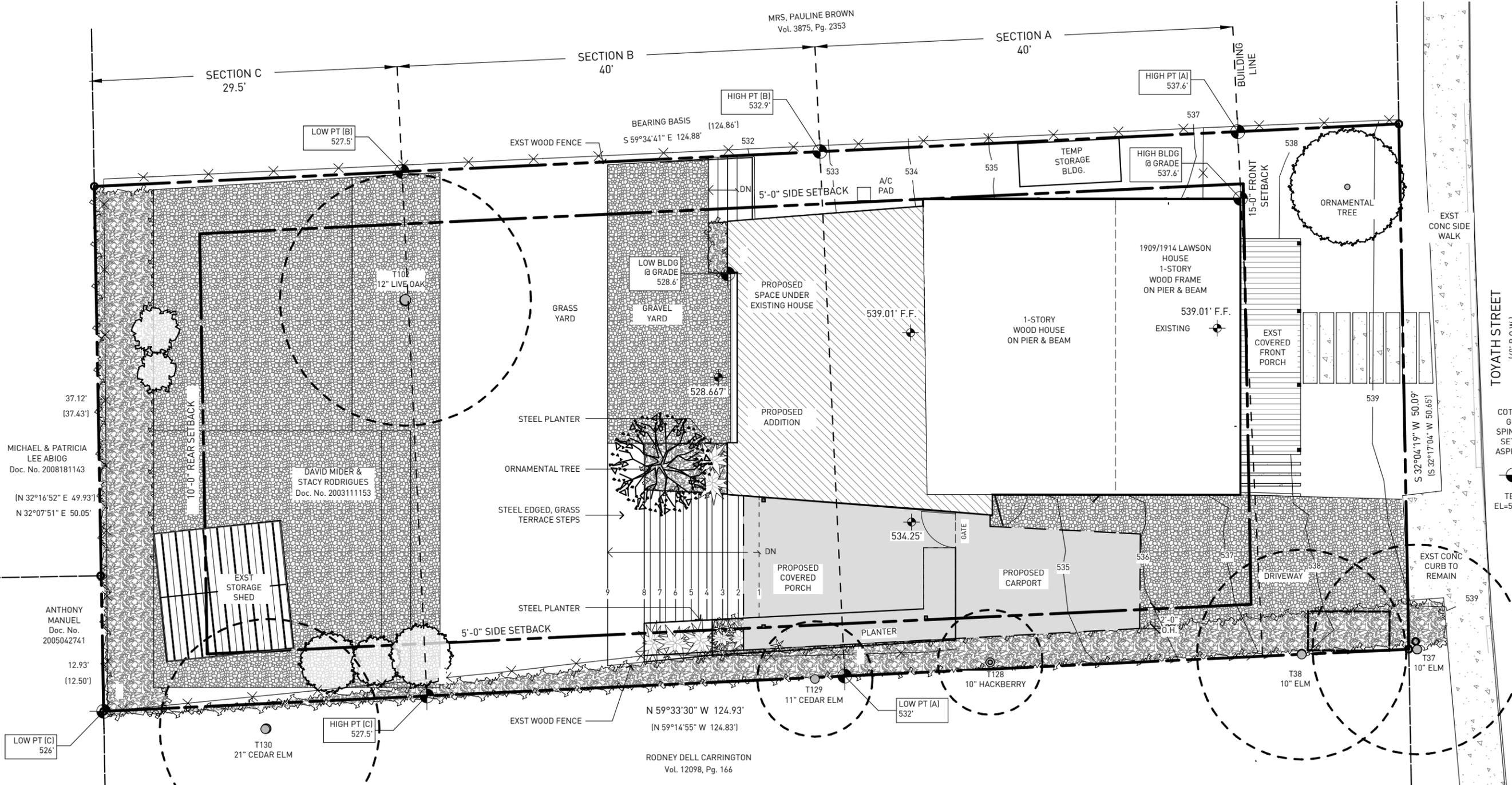
COTTON GIN SPINDLE SET IN ASPHALT
TBM EL=538.87

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A07
PROPOSED SITE PLAN



MRS. PAULINE BROWN
Vol. 3875, Pg. 2353

RODNEY DELL CARRINGTON
Vol. 12098, Pg. 166

MICHAEL & PATRICIA
LEE ABIOG
Doc. No. 2008181143

(N 32°16'52" E 49.93')
N 32°07'51" E 50.05'

ANTHONY
MANUEL
Doc. No.
2005042741

I:\Volumes\Active Projects\TOYATH\TYT_ACTIVE\TYT_CD_141006_MDL_PERMIT.pln | Ver. 17.002 | Sunday, December 7, 2014 | 10:45 AM

PROPOSED SITE PLAN

Scale: 1" = 10'





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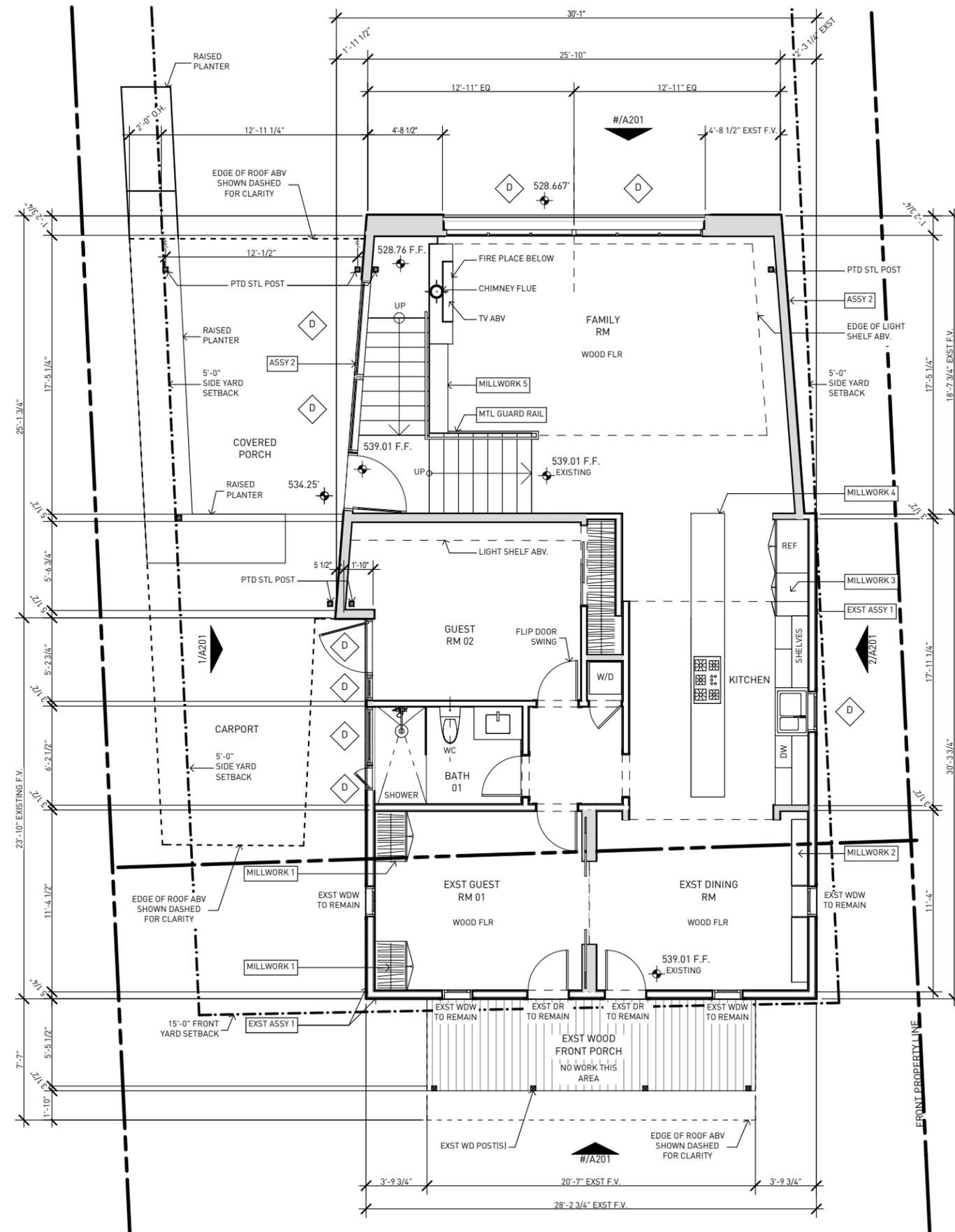
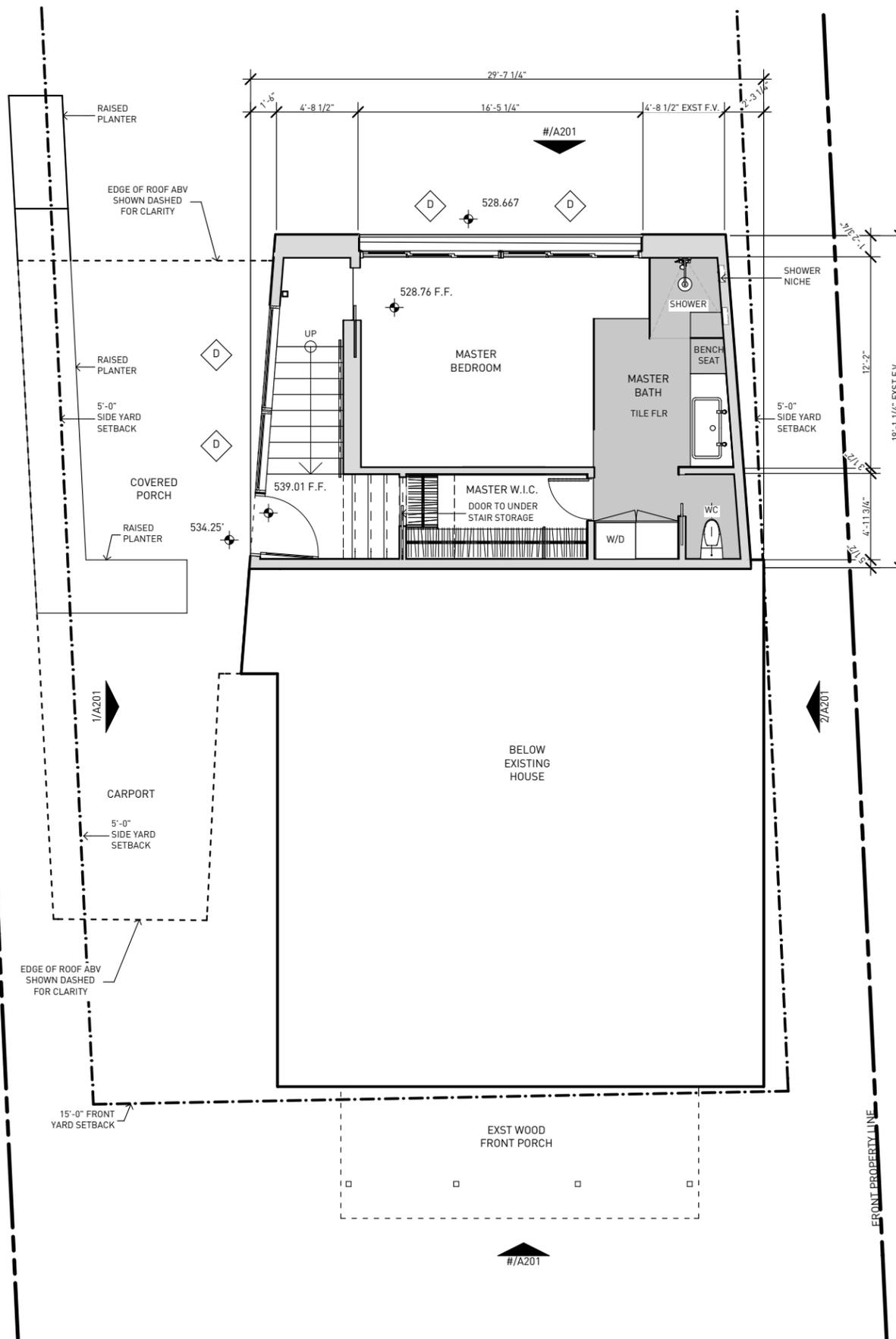
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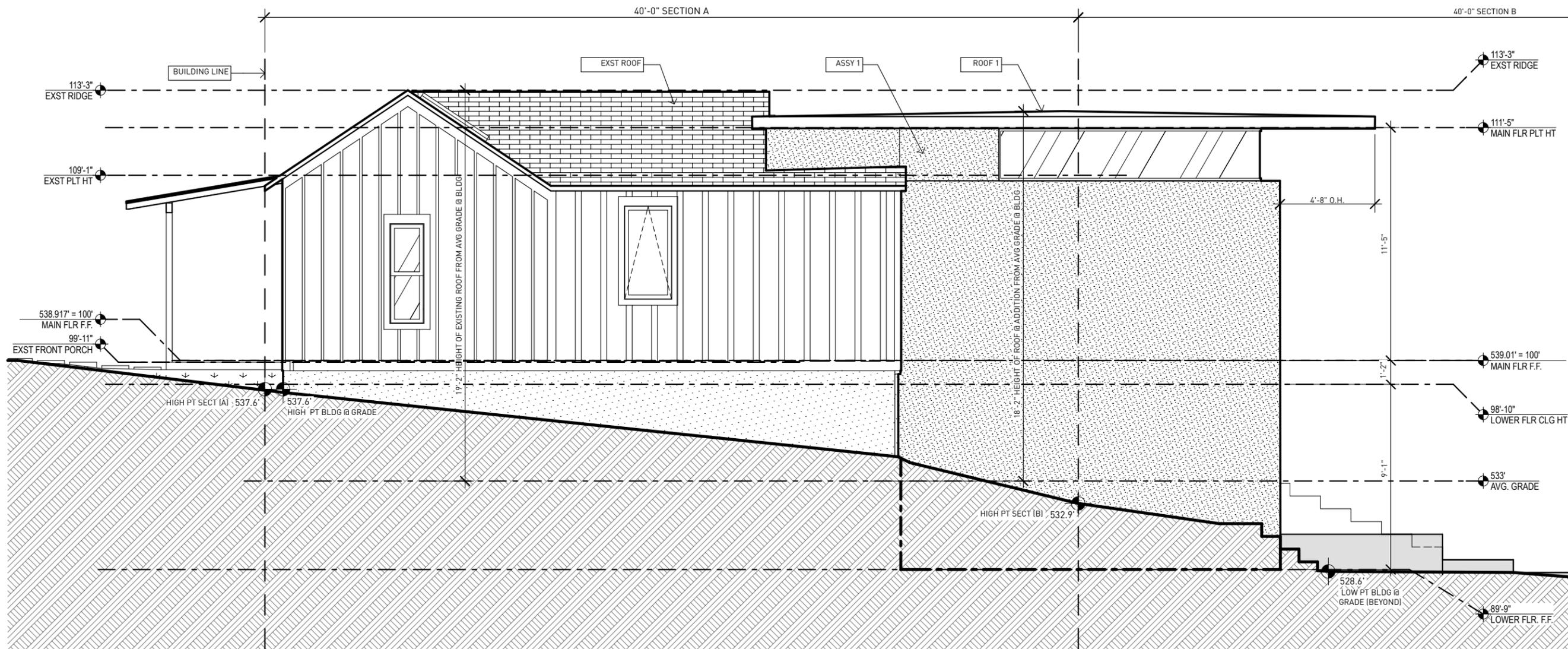
A08
PROPOSED FLOOR PLANS



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PROPOSED NORTHEAST EXTERIOR ELEVATION

Scale: 3/16" = 1'-0"

1

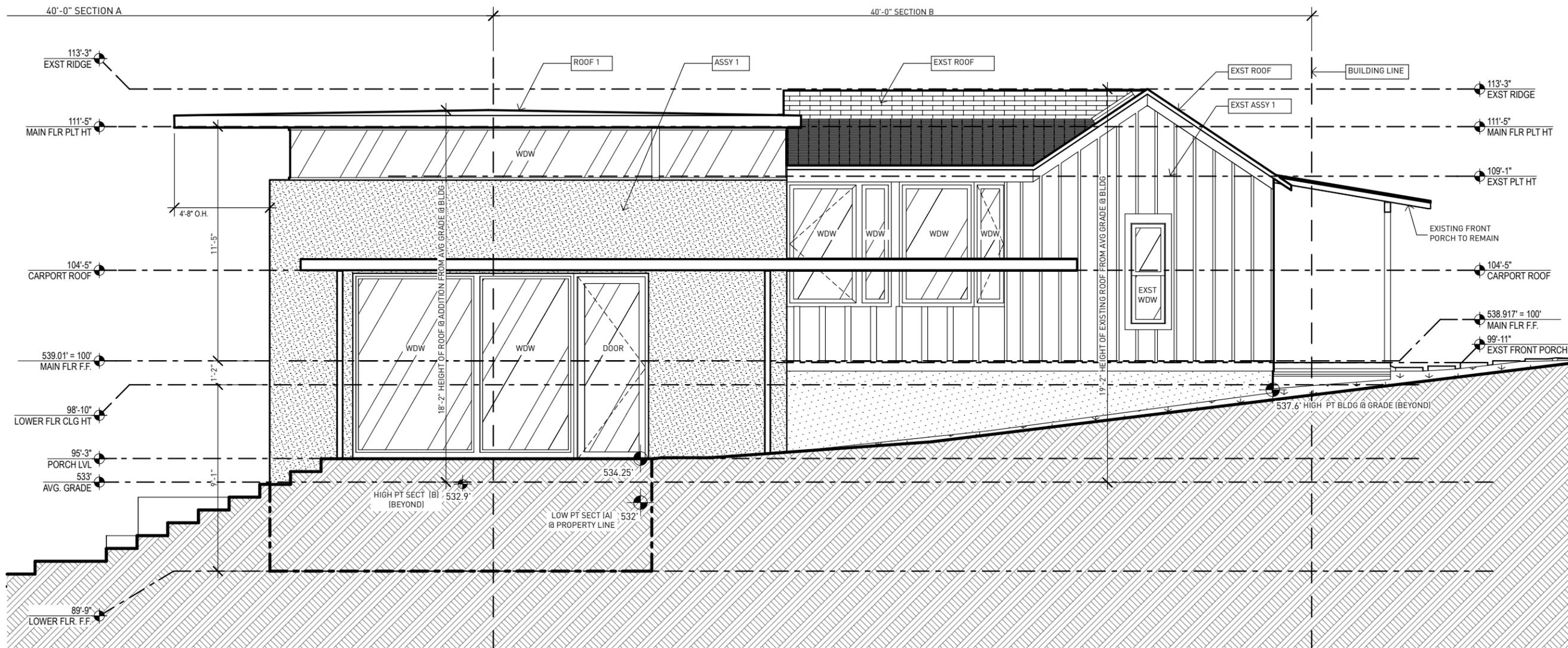
A09
 PROPOSED EXTERIOR
 ELEVATION



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PROPOSED SOUTHWEST EXTERIOR ELEVATION

Scale: 3/16" = 1'-0"

1

A10
PROPOSED EXTERIOR
ELEVATIONS

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11/14/14

THE LAWSON HOUSE

1106 TOYATH STREET: AUSTIN, TEXAS 78703

ARCHITECTURE

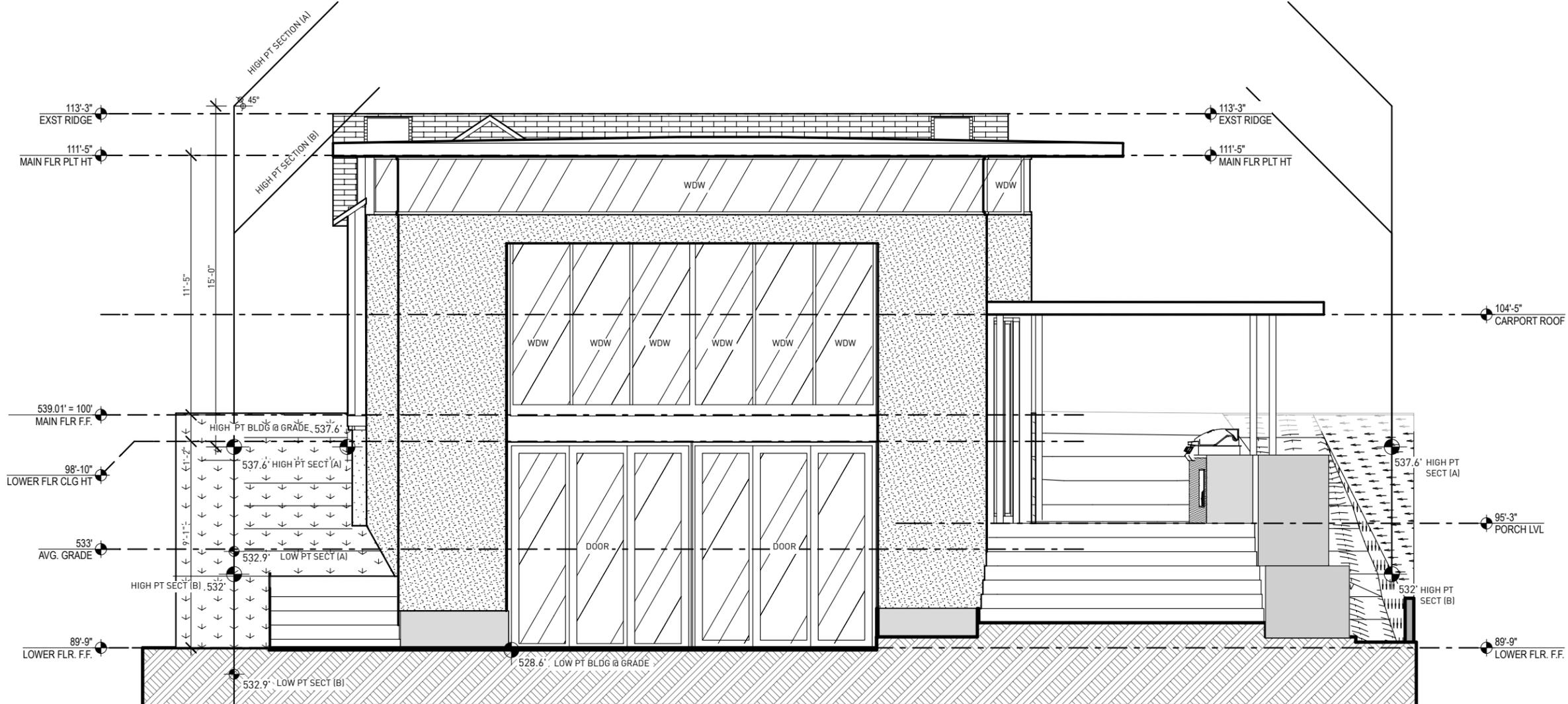
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Austin, Texas 78701
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A11
PROPOSED EXTERIOR
ELEVATION



PROPOSED NORTHWEST EXTERIOR ELEVATION **2**

Scale: 3/16" = 1'-0"



PROPOSED SOUTHEAST EXTERIOR ELEVATION **1**

Scale: 3/16" = 1'-0"



11/14/14

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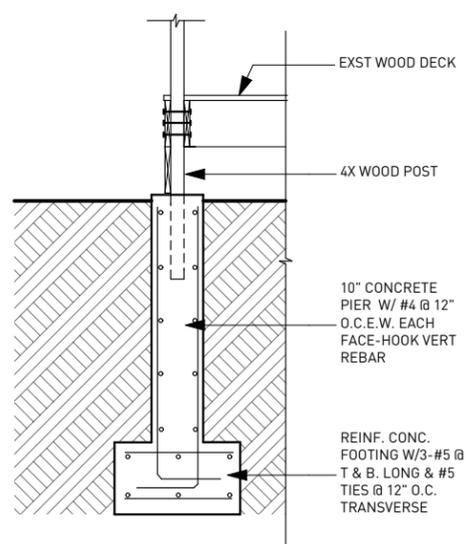
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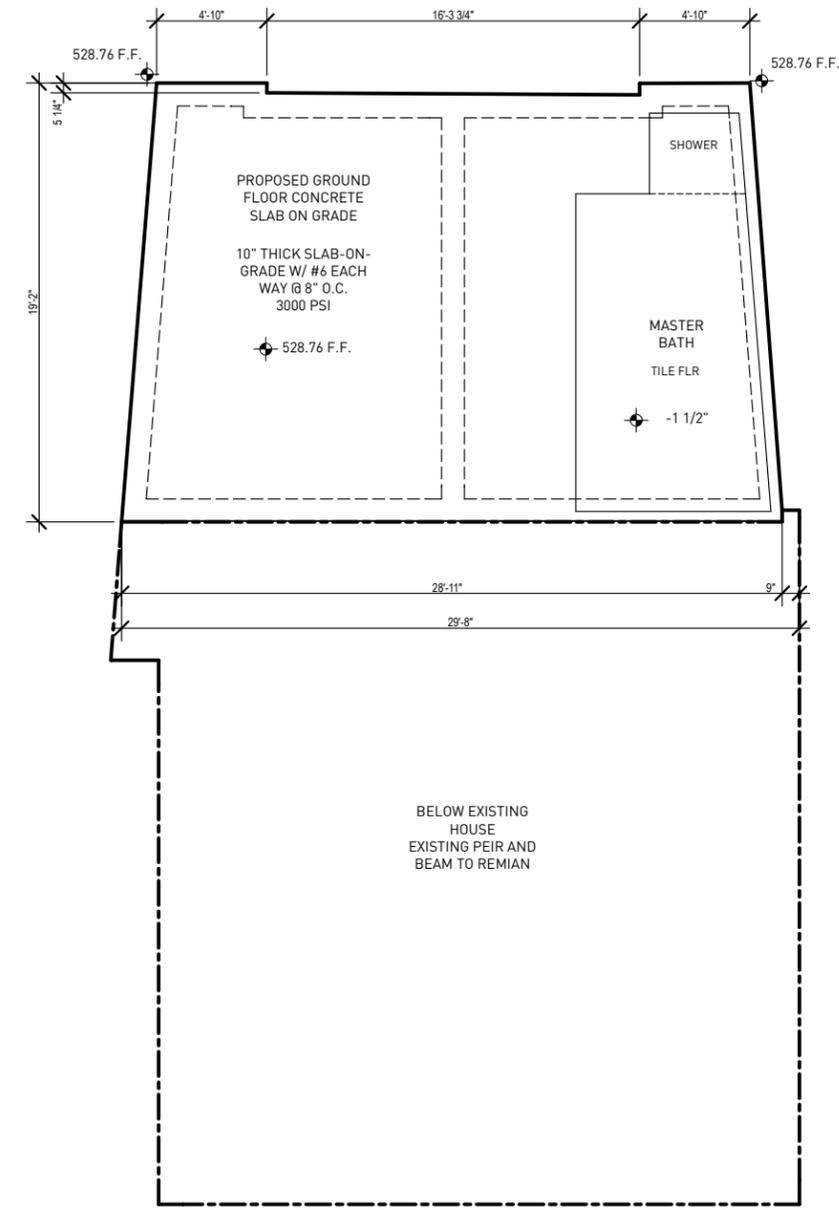
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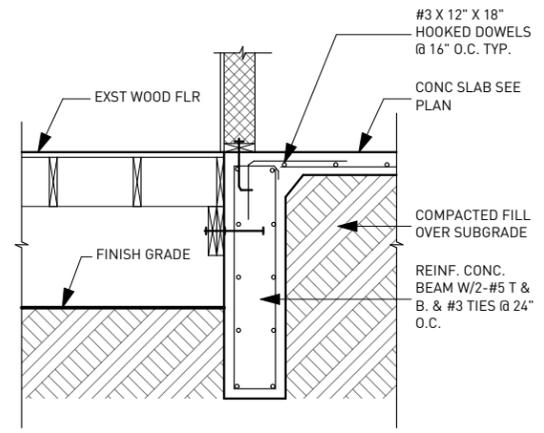
A12
 FOUNDATION PLAN



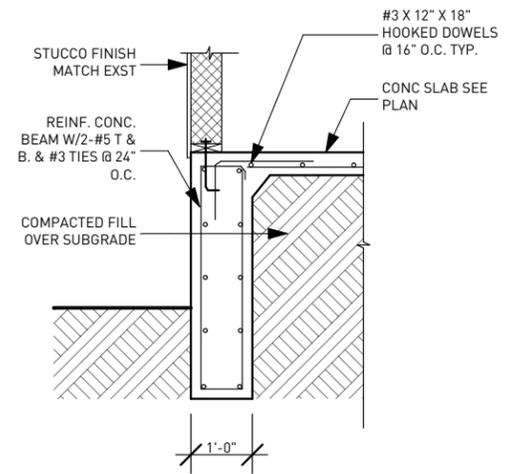
FOUNDATION DTL 4
 Scale: 1/4" = 1'-0"



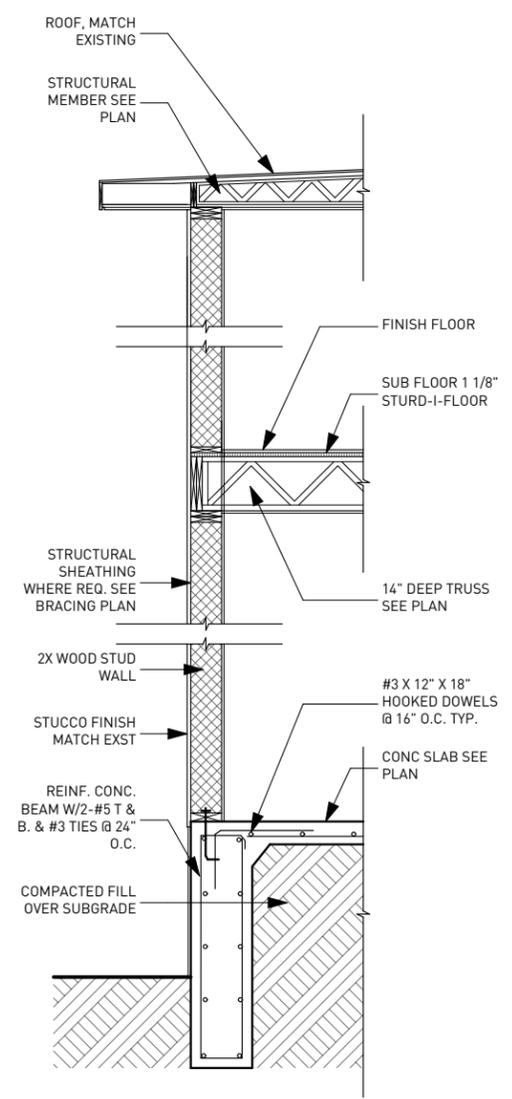
PROPOSED GROUND FLOOR PLAN 1
 Scale: 1/8" = 1'-0"



FOUNDATION DTL 3
 Scale: 1/4" = 1'-0"



FOUNDATION DTL 2
 Scale: 1/4" = 1'-0"



WALL SECTION TYP 5
 Scale: 1/4" = 1'-0"

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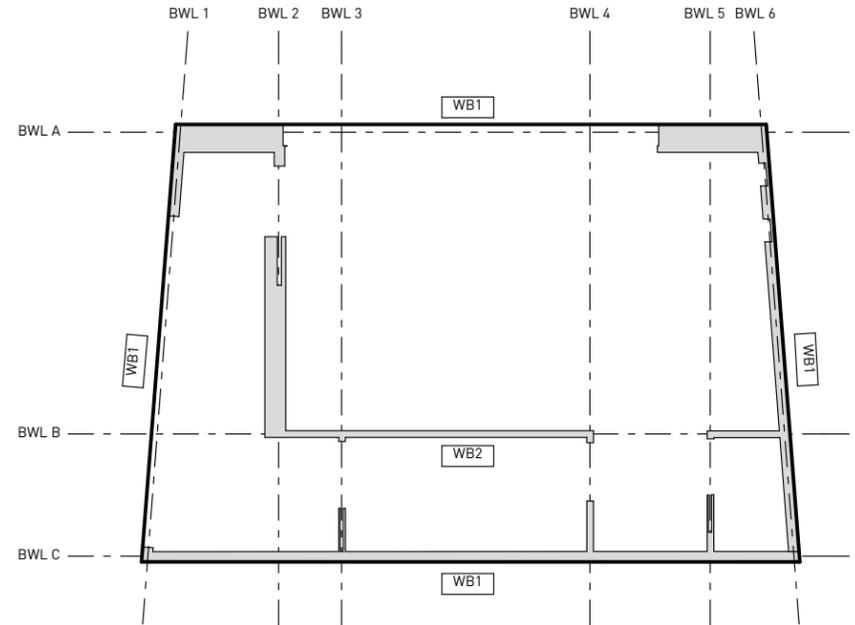
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A13
 FRAMING PLAN



WALL BRACING SCHEDULE

GROUND FLOOR WALL BRACING

Scale: 1/8" = 1'-0"

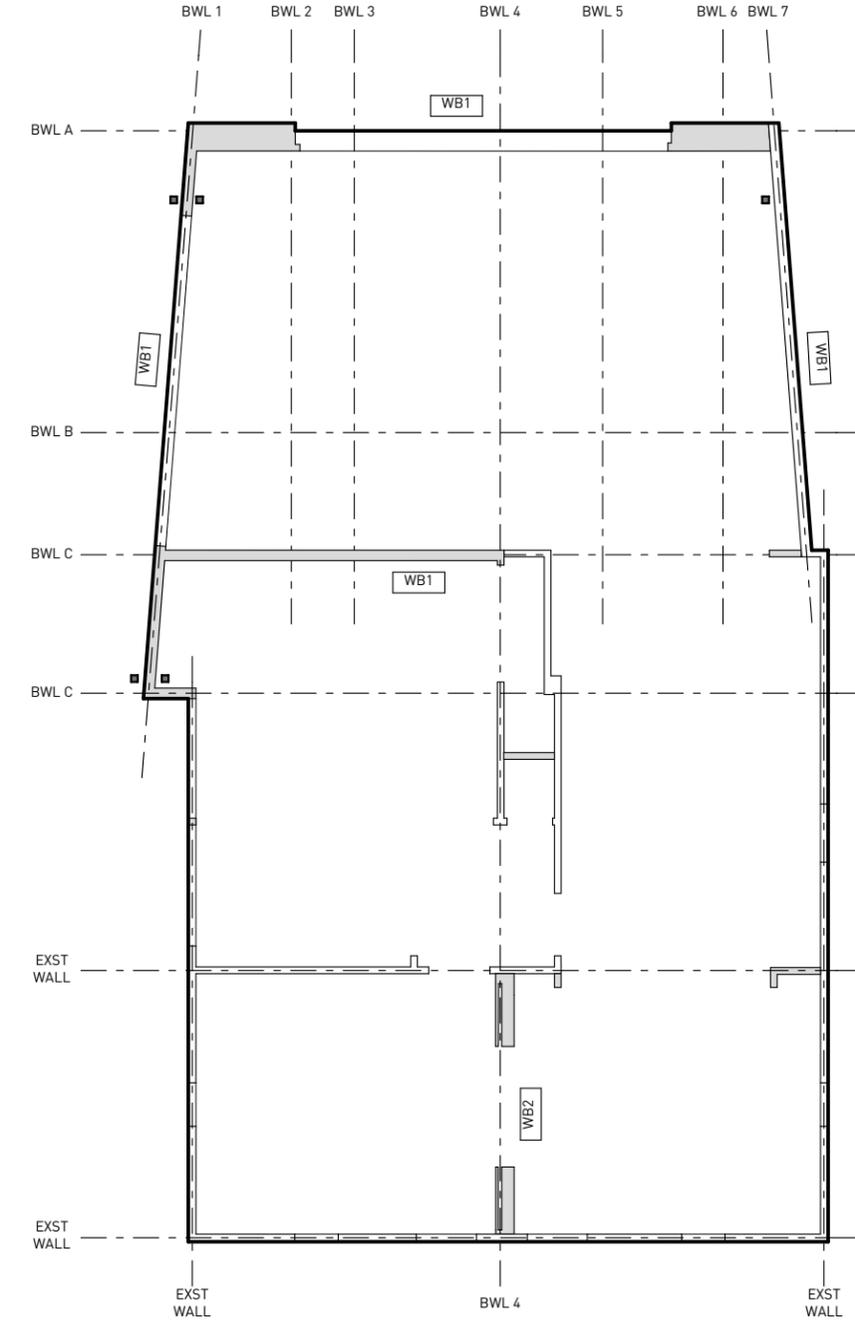
2

WALL BRACING SCHEDULE

PANEL MATERIAL AND NAILING REQUIREMENTS	CHORD SIZE:	HOLD DOWN ANCHORS
1/2" OSB SHEATHING WITH 8d NAILS SP @ 3" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUDS.	NA	SEE FOUNDATION DETAILS
5/8" GYPSUM WALL BOARD PANEL W/ 6d COOLER NAILS SPA. @ 4" O.C. EACH SIDE OF STUD.	NA	SEE FOUNDATION DETAILS

GENERAL NOTES

1. STUD SPACING 16" O.C. MAX
2. BLOCK ALL HORIZONTAL PANEL EDGES WITH 2X BLOCKING.
3. PANELS SHALL BE APPLIED WITH THE LONG DIMENSION PERPENDICULAR TO STUDS.
4. ANCHOR BOLTS 1/2" X 8" A.B. @ 32" O.C. MAX AND EACH END OF WALL BRACE PANEL.
5. USE WALL BRACE SCHEDULE AS APPLICABLE
6. SEE DETAILS FOR RIGID FRAME INFORMATION



1ST FLOOR WALL BRACING PLAN

Scale: 1/8" = 1'-0"

1

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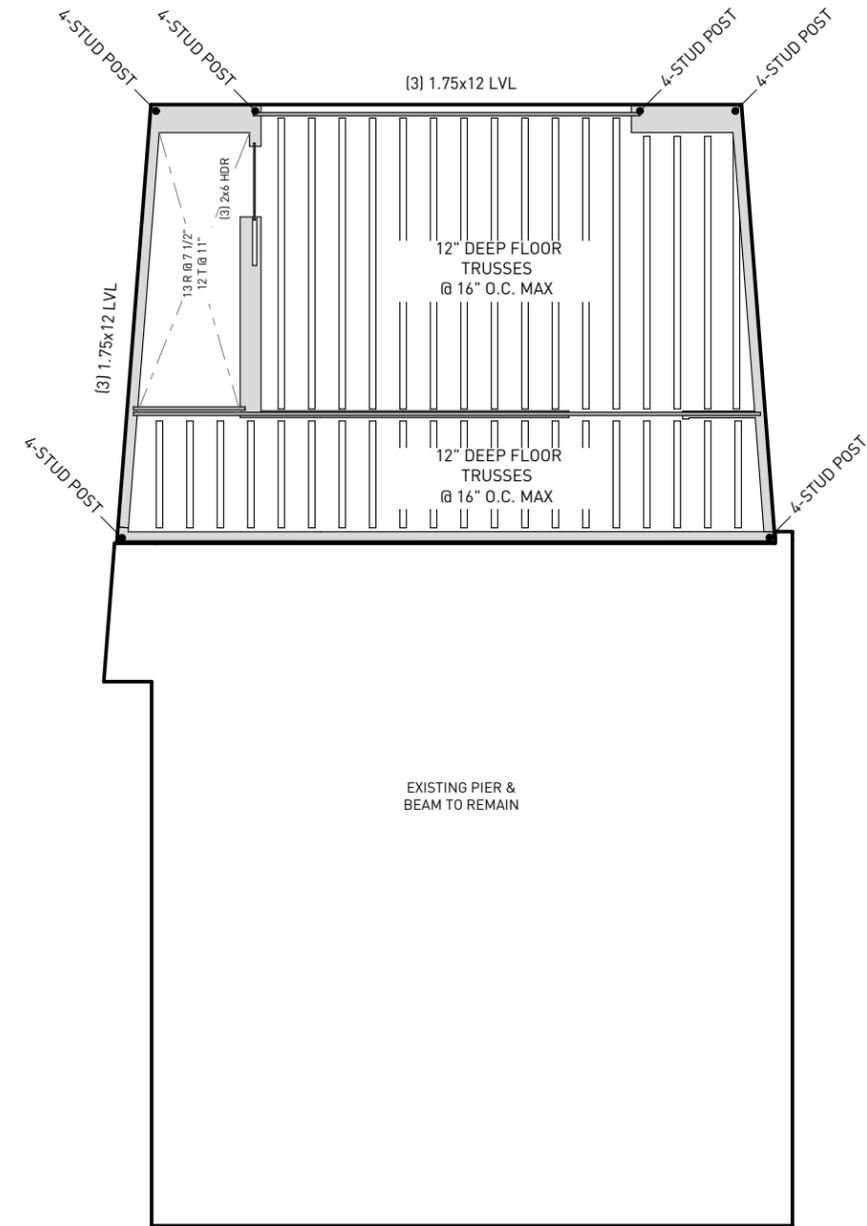
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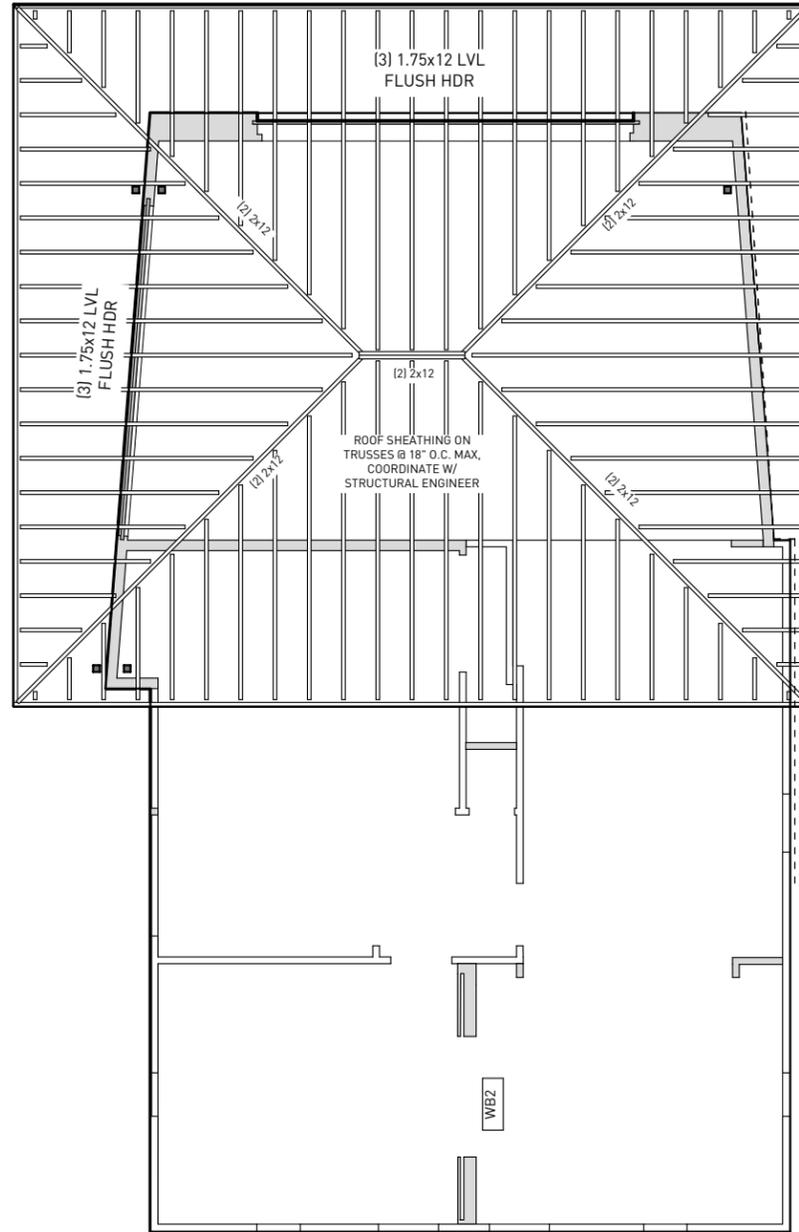
A14
FRAMING PLAN



FLOOR FRAMING PLAN

Scale: 1/8" = 1'-0"

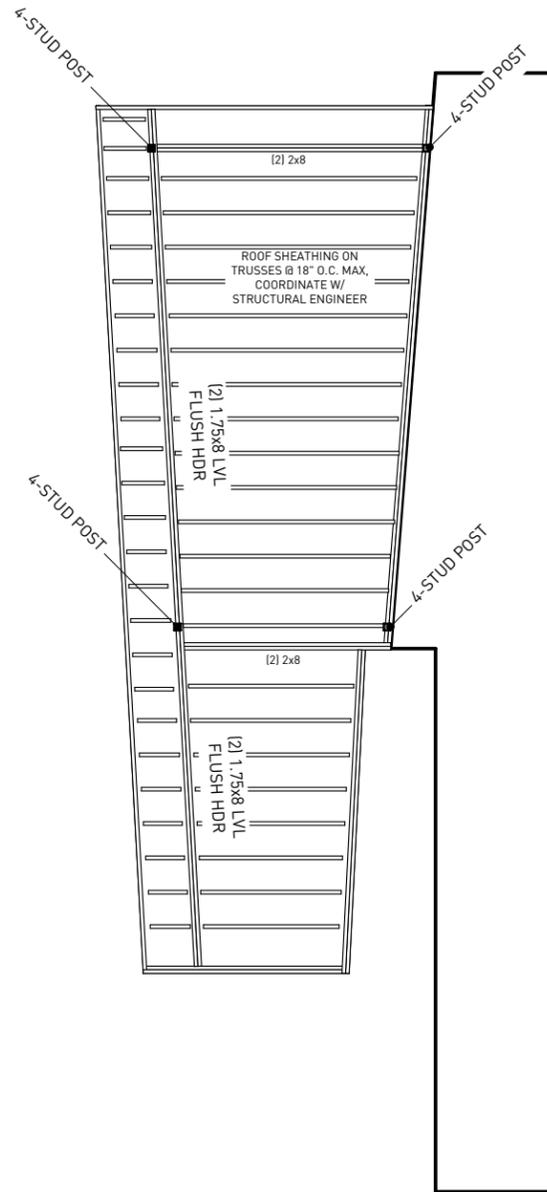
1



ROOF FRAMING PLAN

Scale: 1/8" = 1'-0"

2



CARPOT FRAMING PLAN

Scale: 1/8" = 1'-0"

3