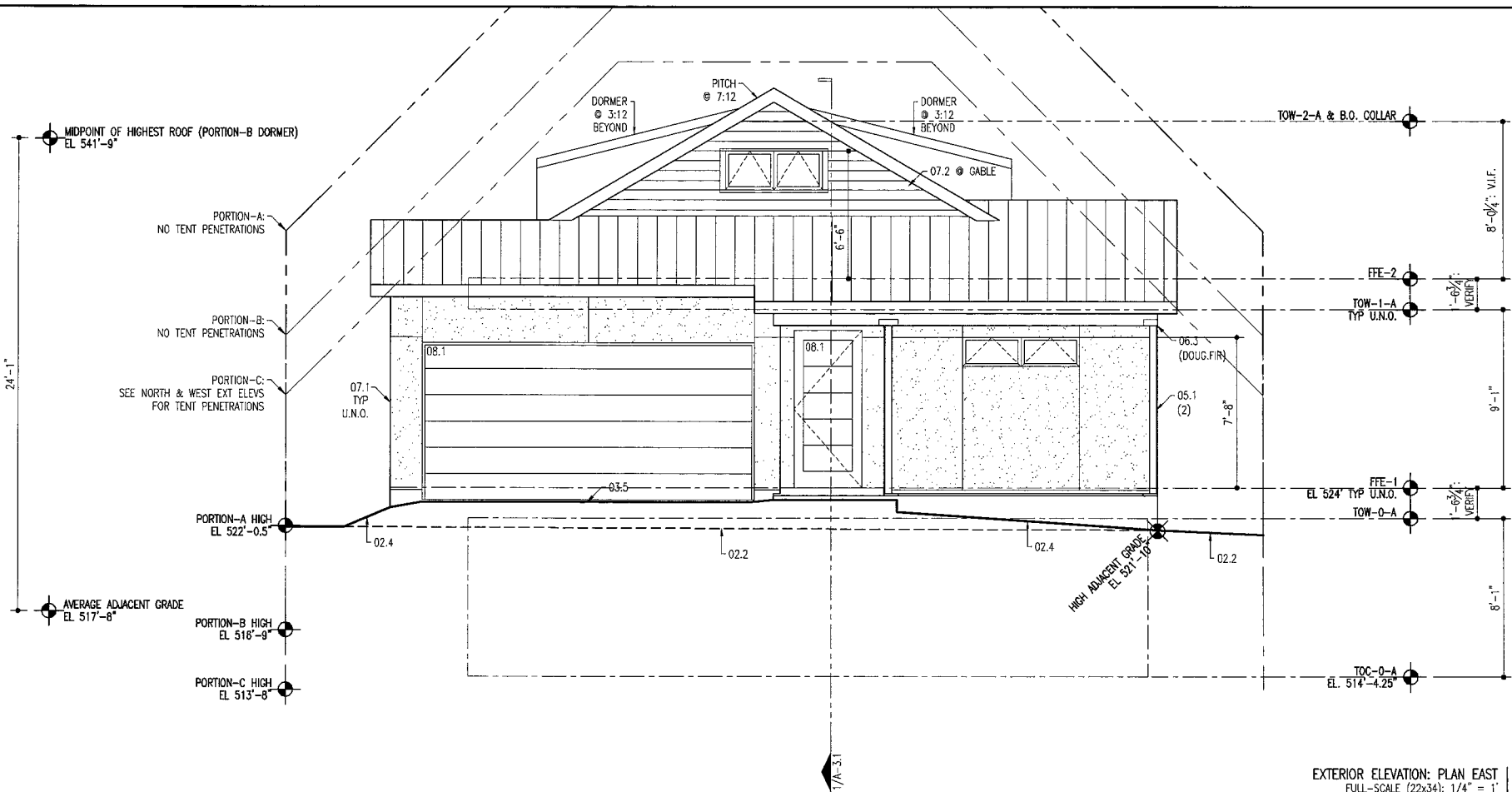


A0.1

ATTIC EXCEPTION FLOOR DATA	
TOTAL FLOOR AREA OF HABITABLE ATTIC (> 5' CEILING HEIGHT):	752.52 SF
100 %	
FLOOR AREA OF HABITABLE ATTIC WITH CEILING HEIGHT BETWEEN 5' & 7':	379.75 SF
50.46 %	
FLOOR AREA OF HABITABLE ATTIC WITH CEILING HEIGHT > 7':	372.77 SF
49.54 %	
REFER TO BUILDING SECTION-1 FOR ADDL GRAPHIC INFO REGARDING HEIGHTS	

NOTE:
DATA THIS TABLE HAS BEEN REVISED SUCH THAT THE AREA BOUNDARY IS TO THE OUTSIDE SURFACE OF THE EXTERIOR WALL FINISH



EXTERIOR ELEVATION: PLAN EAST
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

KEYNOTES LEGEND

- ACCESSIBLE ROUTE: SEE VISIBILITY NOTES, LEVEL-1 PLAN ONLY
- EXISTING GRADE AT PROPERTY LINE
- EXISTING GRADE ADJACENT TO BUILDING
- EXISTING GRADE TO BE MODIFIED FOR STORM DRAINAGE: V.I.F.
- NEW FINISH GRADING: FIELD-DETERMINE
- CONC FOUNDATION PER STRUCTL
- CONC FOUNDATION PER STRUCTL SLOPED TO DRAIN AS NOTED
- CONC PIER PER STRUCTL
- CONC STEMWALL PER STRUCTL: FIELD-VERIFY HEIGHTS
- CONC DRIVEWAY OR FLATWORK: SLOPE TO DRAIN AS RECD
- STEEL COLUMN WITH CAP CONNECTOR TO WOOD BEAM AS SHOWN
- METAL FRAMED GUARDRAIL - RECOMMENDED ASSEMBLY:
 - 13 GAUGE STEEL BARS @ 4" MAX O.C. VERTX 4" MAX O.C. HORIZ
 - ANCHOR TO CONC BELOW WITH EPOXY BOLTS & SPACER @ CONN.
 - FINAL ASSEMBLY DESIGN-BUILD BY OTHERS
 - RE: EXT ELEV FOR ADDL INFO, COMPLY WITH IRC-2012
- METAL HANDRAIL OR BRACKETS FOR WOOD HANDRAIL
- WOOD FLOOR TRUSSES WITH T. & G. DECKING
- WOOD BEAM PER STRUCTL WITHIN DEPTH OF FLOOR OR ROOF FRAMING
- WOOD BEAM PER STRUCTL BELOW FLOOR OR ROOF FRAMING
- CEILING FURR DOWN: DEPTH AS NOTED ON PLAN
- OPEN GAP WOOD DECKING ON TREATED WOOD FRAMING
- BOX-OUT FOR HVAC DUCTS: 12-IN. W. MIN. x 18-IN. H. MAX.
- WOOD LADDER (NOT AN EGRESS FROM HABITABLE SPACE)
- FURR-OUT AT CONC: INSULATED
- SIDING-1: EXTERIOR CEMENT PLASTER
- SIDING-2: HARDIE-PLANK WITH 6-IN. EXPOSURE - SMOOTH
- FASCIA: 1x8 NOM. HARDIE-TRIM
- SOFFIT OR EXTERIOR CEILING: SMOOTH HARDIE-PANEL
- METAL ROOF WITH CONCEALED FASTENERS RATED FOR PITCH
- GUTTER &-OR DOWNSPOUT
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- HVAC EQUIPMENT OR ACCESSORY
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DATE: 11.19.14

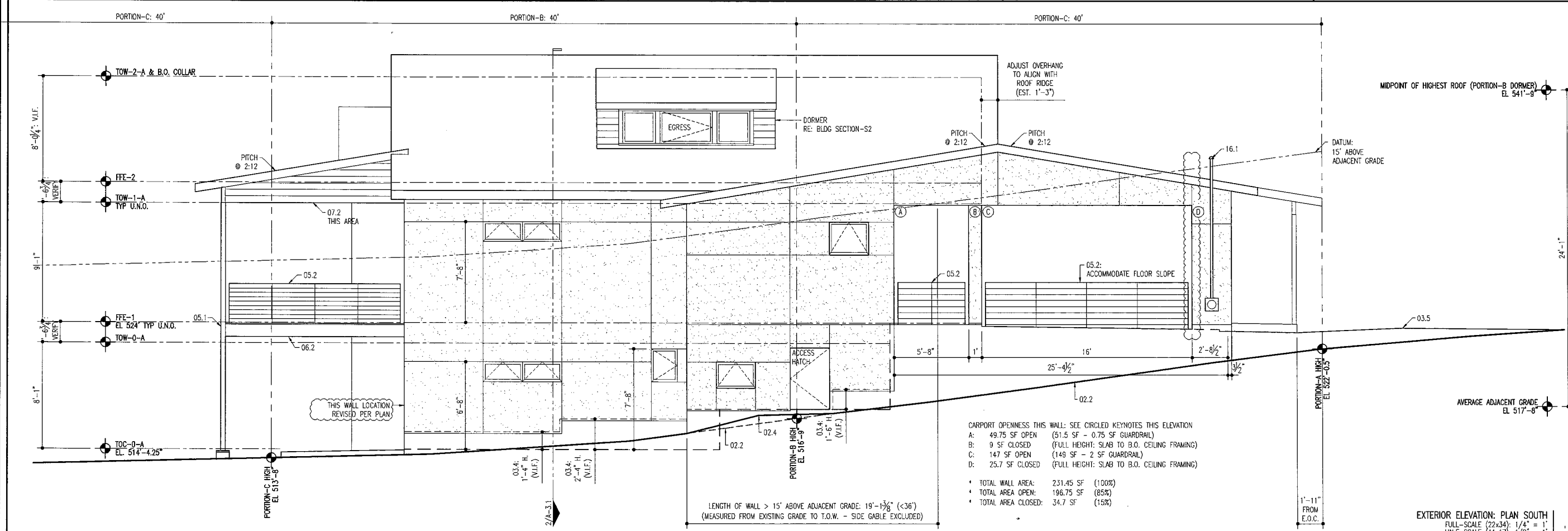
DESCRIPTION: 2C

REVISION: 3

DATE: 05 JANUARY 2015
UPDATE: 3
ISSUED FOR
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- CARPORT OPENNESS THIS WALL: SEE CIRCLED KEYNOTES THIS ELEVATION
- A: 49.75 SF OPEN (51.5 SF - 0.75 SF GUARDRAIL)
 - B: 9 SF CLOSED (FULL HEIGHT: SLAB TO B.O. CEILING FRAMING)
 - C: 147 SF OPEN (149 SF - 2 SF GUARDRAIL)
 - D: 25.7 SF CLOSED (FULL HEIGHT: SLAB TO B.O. CEILING FRAMING)
- TOTAL WALL AREA: 231.45 SF (100%)
 - TOTAL AREA OPEN: 196.75 SF (85%)
 - TOTAL AREA CLOSED: 34.7 SF (15%)

EXTERIOR ELEVATION: PLAN SOUTH
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

904 JESSIE STREET

NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE
ZILKER NEIGHBORHOOD
ZIP CODE: 78704
ZONING: SF-3

CRAIG PARKER HOMES

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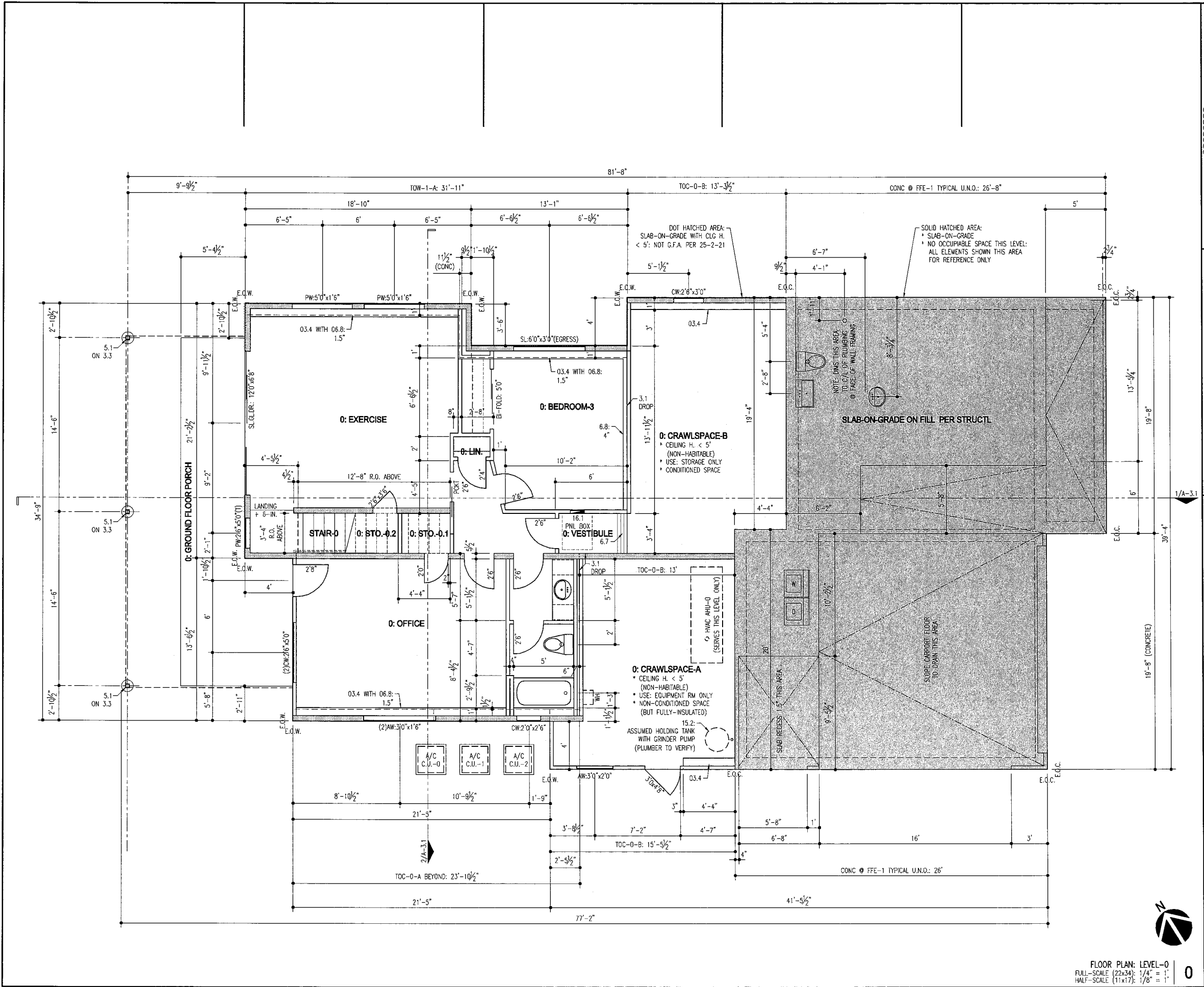
DATE: 05 JAN 2015
ISSUE-3 FOR
REGULATORY APPROVAL

PROJECT: 1424

SCALE: AS NOTED

DRAWN: DPB

SHEET: **A2.1**

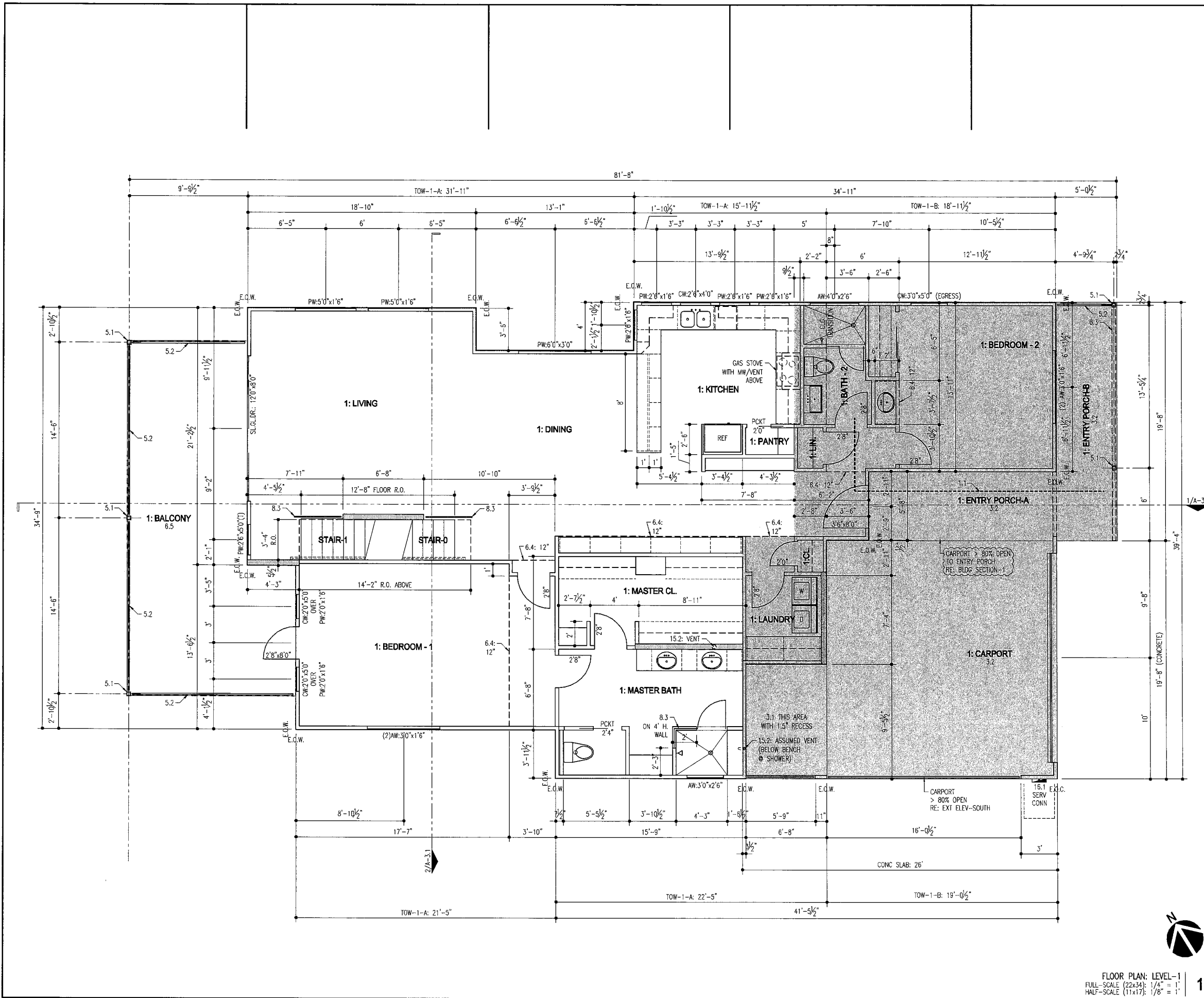


- FLOOR PLAN NOTES**
- 2x6 STUD WALLS HATCHED FOR CLARITY:
ALL OTHERS 2x4
 - ALL DIMENSIONS FROM EDGE OF CONCRETE OR FRAMING
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 - COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS
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 - WINDOWS ARE SIZED ON PLANS IN WIDTH x HEIGHT FORMAT:
SEE EXTERIOR ELEVATIONS FOR ADDL INFO
 - DOOR WIDTHS AS NOTED ON PLANS: DOOR HEIGHTS SHALL BE 6'-FT. 8-IN.
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 - OUTSIDE EDGE OF EXTERIOR WALL SHEATHING TO ALIGN WITH OUTSIDE EDGE
OF CONCRETE FOUNDATION TYPICAL: DIMENSIONS FROM EDGE OF CONCRETE
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 - E.O.C.: EDGE OF CONCRETE
 - E.O.W.: EDGE OF WALL FRAMING (2x STUD)

- KEYNOTES LEGEND**
- 01.1 ACCESSIBLE ROUTE: SEE VISIBILITY NOTES, LEVEL-1 PLAN ONLY
 - 02.1 EXISTING GRADE AT PROPERTY LINE
 - 02.2 EXISTING GRADE ADJACENT TO BUILDING
 - 02.3 EXISTING GRADE TO BE MODIFIED FOR STORM DRAINAGE: V.I.F.
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 - 15.1 HVAC EQUIPMENT OR ACCESSORY
 - 15.2 PLUMBING ELEMENT OR ACCESSORY
 - 15.3 PLUMBING: HOSE BIBB
 - 16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

FLOOR PLAN: LEVEL-0
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

DATE:	11.18.14
DESCRIPTION:	CLARIFICATIONS FOR CITY REVIEWER PERTAINING TO ANTE EXCEPTION REVISION AREA CALLS TO EXTERIOR FINISHED SURFACE AS NOTED ON PLANS
REVISION:	2C 3
The Texas Board of Architectural Examiners, P.O. Box 12337, Austin, Texas 78711-2337 or 335 Guadalupe, Suite 2-350, Austin, Texas 78701-3942, (512) 305-9000, has jurisdiction over individuals licensed under the Architects' Registration Law, Texas Civil Statutes, Article 2480. This file is an instrument of service and is to be used solely for the purposes stipulated under separate executed contracts with the Architect. This document is copyrighted and is not to be used, duplicated or otherwise modified except with express permission of the Architect.	
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512.554.5474 DAVIDBOREN ©BORENARCHITECTS.COM	
DATE:	05 JAN 2015
ISSUE:	ISSUE-3 FOR REGULATORY APPROVAL
PROJECT:	1424
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	
A1.0	



FLOOR PLAN NOTES

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VISITABILITY NOTES

- R320.3: VISITABLE BATHROOMS
- * DOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 30"
 - * LATERAL 2x6 BLOCKING SHALL BE INSTALLED @ 34" A.F.F.
FLUSH WITH STUD EDGES OF WALL
 - * SEE PLAN FOR GRAPHIC INFO THIS ELEMENT (KEYNOTE-01.1)
- R320.4: MISC ELECTRICAL APPURTENANCES
- * ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS
THIS LEVEL MUST BE NO HIGHER THAN 48" A.F.F.
 - * ALL OUTLETS AND RECEPTACLES THIS LEVEL MUST BE
15" A.F.F.
- R320.5: VISITABILITY ROUTE
- * SEE PLAN FOR GRAPHIC INFO THIS ELEMENT (KEYNOTE-01.1)
- R320.6: VISITABLE DWELLING ENTRANCE
- * DOOR THRESHOLD AT ENTRANCE ALONG VISITABILITY
ROUTE PER R320.5 SHALL HAVE A 0.5" MAX HIGH
THRESHOLD
 - * SEE PLAN FOR GRAPHIC INFO THIS ELEMENT (KEYNOTE-01.1)

KEYNOTES LEGEND

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- 15.3 PLUMBING: HOSE BIBB
- 16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

DATE:	11.19.14
DESCRIPTION:	CLARIFICATIONS FOR CITY REVIEWER PERTAINING TO ATTIC EXCEPTION PREVIOUS USE CAUSES TO EXTERIOR FINISHED SURFACE AS NOTED ON PLANS
REVISION:	2C 3

05 JANUARY 2015
UPDATE-3
ISSUED FOR
REGULATORY APPROVAL

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ZONING: SF-3
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DATE:	05 JAN 2015
ISSUE-3 FOR REGULATORY APPROVAL	
PROJECT:	1424
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	

A1.1

ATTIC EXCEPTION SUMMARY

"2: HABITABLE ATTIC"

- HABITABLE SPACE TO BE CONDITIONED
- FLOOR AREA > 7' IN HEIGHT = 272.5 SF
- FLOOR AREA BTWN 5' & 7' = 280 SF
- TOTAL FLOOR AREA = 552.5 SF

"STAIR-1"

- CONDITIONED SPACE - NOT CONSIDERED HABITABLE BY IRC
- FLOOR AREA > 7' IN HEIGHT = 057 SF
- FLOOR AREA BTWN 5' & 7' = 0 SF
- TOTAL FLOOR AREA = 057 SF

ATTIC-A:

- NON-HABITABLE SPACE FOR NON-CONDITIONED MECHANICAL SPACE
- FLOOR AREA > 7' IN HEIGHT = 021.5 SF
- FLOOR AREA BTWN 5' & 7' = 050 SF
- TOTAL FLOOR AREA = 071.5 SF

ATTIC-B:

- NON-HABITABLE SPACE FOR NON-CONDITIONED MECHANICAL SPACE
- FLOOR AREA > 7' IN HEIGHT = 021.5 SF
- FLOOR AREA BTWN 5' & 7' = 050 SF
- TOTAL FLOOR AREA = 071.5 SF

ATTIC-C:

- NO CEILING HEIGHT > 5' - NOT INCLUDED IN FLOOR AREA DATA

ATTIC-D:

- NO CEILING HEIGHT > 5' - NOT INCLUDED IN FLOOR AREA DATA

ATTIC-E:

- NO CEILING HEIGHT > 5' - NOT INCLUDED IN FLOOR AREA DATA

TOTALS:

- FLOOR AREA > 7' IN HEIGHT = 372.5 SF
- FLOOR AREA BTWN 5' & 7' = 380 SF
- TOTAL FLOOR AREA = 752.5 SF

ATTIC EXCEPTION NOTES

- ONLY "2: HABITABLE ATTIC" IS CONSIDERED "HABITABLE SPACE" BY THE IRC-2012
- AREAS THIS PLAN WITH A SOLID SHADE = AREAS WITH A CEILING HEIGHT OF 7' OR GREATER
- AREAS THIS PLAN WITH A DOT HATCH = AREAS WITH A CEILING HEIGHT OF BETWEEN 5' & 7'
- AREAS THIS PLAN WITHOUT A HATCH = AREAS WITH A CEILING HEIGHT OF < 5' WHICH ARE NOT REQUIRED TO BE INCLUDED IN CALCULATIONS
- HABITABLE SPACE IS OUTLINED WITH A THIN DASHED LINE

ATTIC EXCEPTION FLOOR DATA

TOTAL FLOOR AREA OF HABITABLE ATTIC (> 5' CEILING HEIGHT):
752.52 SF
100 %

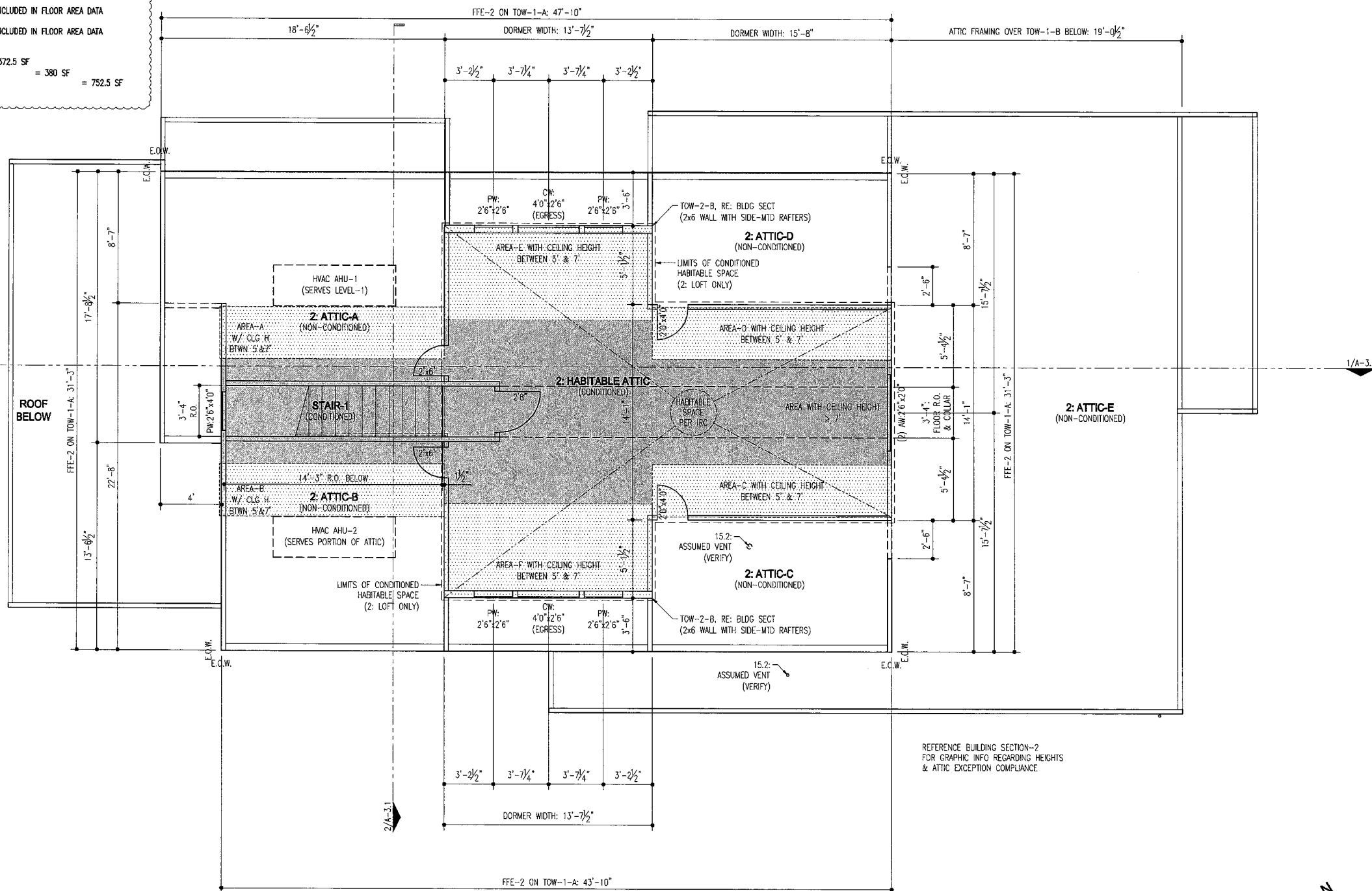
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FLOOR AREA OF HABITABLE ATTIC WITH CEILING HEIGHT > 7':
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REFER TO BUILDING SECTION-1 FOR ADD. GRAPHIC INFO REGARDING HEIGHTS

FLOOR PLAN NOTES

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FLOOR PLAN: LEVEL-2 (HABITABLE ATTIC)
FULL-SCALE (22x34): 1/4" = 1'-0"
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2

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DATE: 05 JAN 2015
ISSUE-3 FOR
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PROJECT: 1424

SCALE: AS NOTED

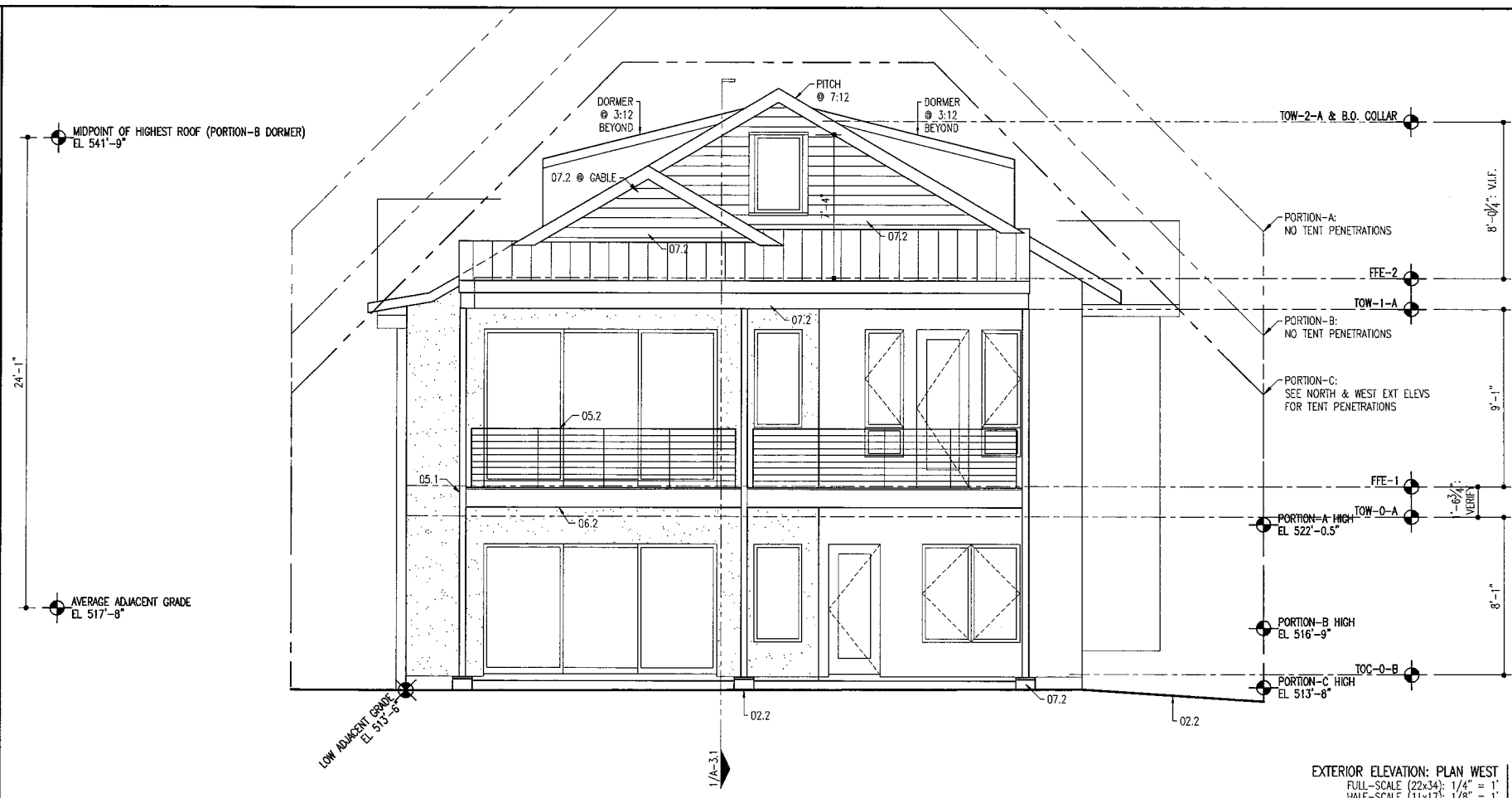
DRAWN: DPB

SHEET:

A1.2

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DATA THIS TABLE HAS BEEN REVISED SUCH THAT THE AREA BOUNDARY IS TO THE OUTSIDE SURFACE OF THE EXTERIOR WALL FINISH



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02.3 EXISTING GRADE TO BE MODIFIED FOR STORM DRAINAGE: V.I.F.

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* RE: EXT ELEVS FOR ADDL INFO; COMPLY WITH IRC-2012

05.3 METAL HANDRAIL OR BRACKETS FOR WOOD HANDRAIL

06.1 WOOD FLOOR TRUSSES WITH T. & G. DECKING

06.2 WOOD BEAM PER STRUCTL WITHIN DEPTH OF FLOOR OR ROOF FRAMING

06.3 WOOD BEAM PER STRUCTL BELOW FLOOR OR ROOF FRAMING

06.4 CEILING FURR DOWN: DEPTH AS NOTED ON PLAN

06.5 OPEN GAP WOOD DECKING ON TREATED WOOD FRAMING

06.6 BOX-OUT FOR HVAC DUCTS: 12-IN. W. MIN. x 18-IN. H. MAX.

06.7 WOOD LADDER (NOT AN EGRESS FROM HABITABLE SPACE)

06.8 FURR-OUT AT CONC: INSULATED

07.1 SIDING-1: EXTERIOR CEMENT PLASTER

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08.1 SCHEDULED DOOR

08.2 SCHEDULED WINDOW

08.3 TEMPERED GLAZING FOR FALL PROTECTION OR SHOWER AS SHOWN:
COORDINATE REQUIREMENTS WITH APPLICABLE BUILDING CODE(S)


15.1 HVAC EQUIPMENT OR ACCESSORY

15.2 PLUMBING ELEMENT OR ACCESSORY

15.3 PLUMBING: HOSE BIBB

16.1 ELECTRICAL APPURTENANCE OR ACCESSORY

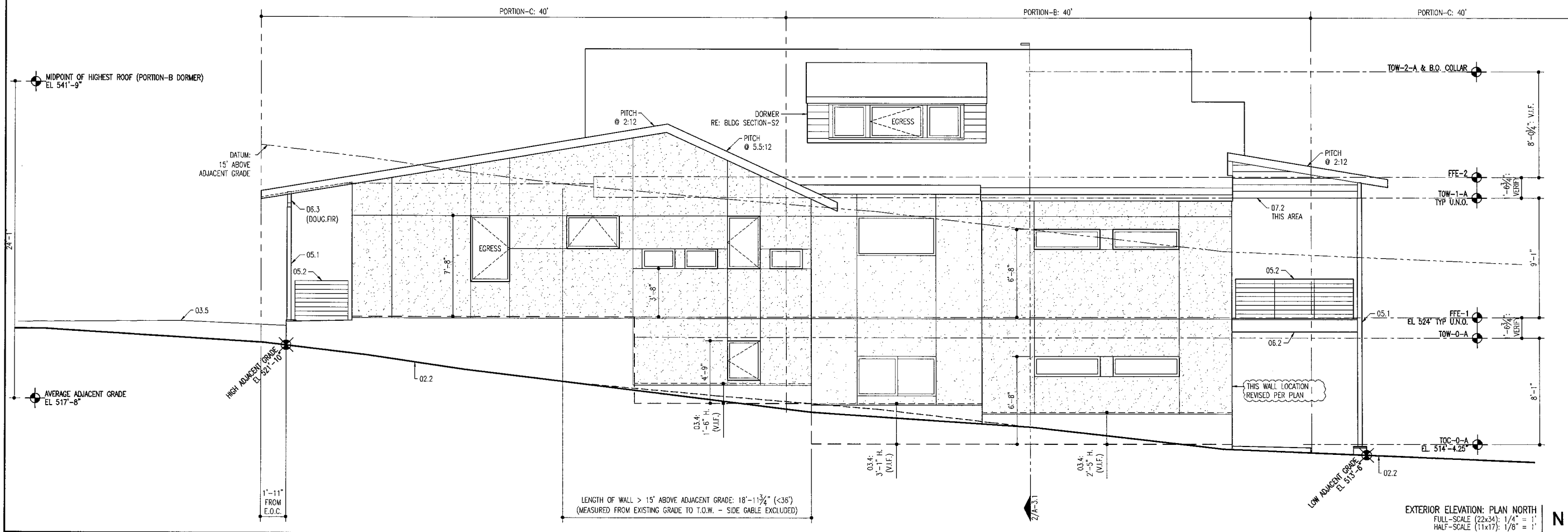
REVISION	DESCRIPTION	DATE
2C	CLARIFICATIONS FOR CITY REVIEWER PENDING TO AISC SPECIFICATION	11.19.14
3	REVISION AREA CAUGHS TO EXTERIOR FINISHED SURFACE AS NOTED ON PLANS	



05 JANUARY 2015
UPDATE-3
ISSUED FOR
REGULATORY APPROVAL

The Texas Board of Architectural Examiners, P.O. Box 12337, Austin, Texas 78711-2337 or 333 Guadalupe, Suite 2-350, Austin, Texas 78701-3642, (512) 385-9000, has jurisdiction over individuals licensed under the Architects' Registration Law, Texas Civil Statutes, Article 249a.

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904 JESSIE STREET
NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE
ZILKER NEIGHBORHOOD
ZIP CODE: 78704
ZONING: SF-3
CRAIG PARKER HOMES

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DATE:	05 JAN 2015 ISSUE-3 FOR REGULATORY APPROVAL
PROJECT:	1424
SCALE:	AS NOTED
DRAWN:	DPB
SHEET:	

A2.2

ATTIC EXCEPTION SUMMARY

2. HABITABLE ATTIC:

- HABITABLE SPACE TO BE CONDITIONED
- FLOOR AREA > 7' IN HEIGHT = 272.5 SF
- FLOOR AREA BTWN 5' & 7' = 280 SF
- TOTAL FLOOR AREA = 552.5 SF

STAR-1:

- CONDITIONED SPACE - NOT CONSIDERED HABITABLE BY IRC
- FLOOR AREA > 7' IN HEIGHT = 0 SF
- FLOOR AREA BTWN 5' & 7' = 0 SF
- TOTAL FLOOR AREA = 0 SF

ATTIC-A:

- NON-HABITABLE SPACE FOR NON-CONDITIONED MECHANICAL SPACE
- FLOOR AREA > 7' IN HEIGHT = 021.5 SF
- FLOOR AREA BTWN 5' & 7' = 050 SF
- TOTAL FLOOR AREA = 071.5 SF

ATTIC-B:

- NON-HABITABLE SPACE FOR NON-CONDITIONED MECHANICAL SPACE
- FLOOR AREA > 7' IN HEIGHT = 021.5 SF
- FLOOR AREA BTWN 5' & 7' = 050 SF
- TOTAL FLOOR AREA = 071.5 SF

ATTIC-C:

- NO CEILING HEIGHT > 5' - NOT INCLUDED IN FLOOR AREA DATA

ATTIC-D:

- NO CEILING HEIGHT > 5' - NOT INCLUDED IN FLOOR AREA DATA

ATTIC-E:

- NO CEILING HEIGHT > 5' - NOT INCLUDED IN FLOOR AREA DATA

TOTALS:

- FLOOR AREA > 7' IN HEIGHT = 372.5 SF
- FLOOR AREA BTWN 5' & 7' = 380 SF
- TOTAL FLOOR AREA = 752.5 SF

ATTIC EXCEPTION FLOOR DATA

TOTAL FLOOR AREA OF HABITABLE ATTIC (> 5' CEILING HEIGHT):
752.52 SF
100 %

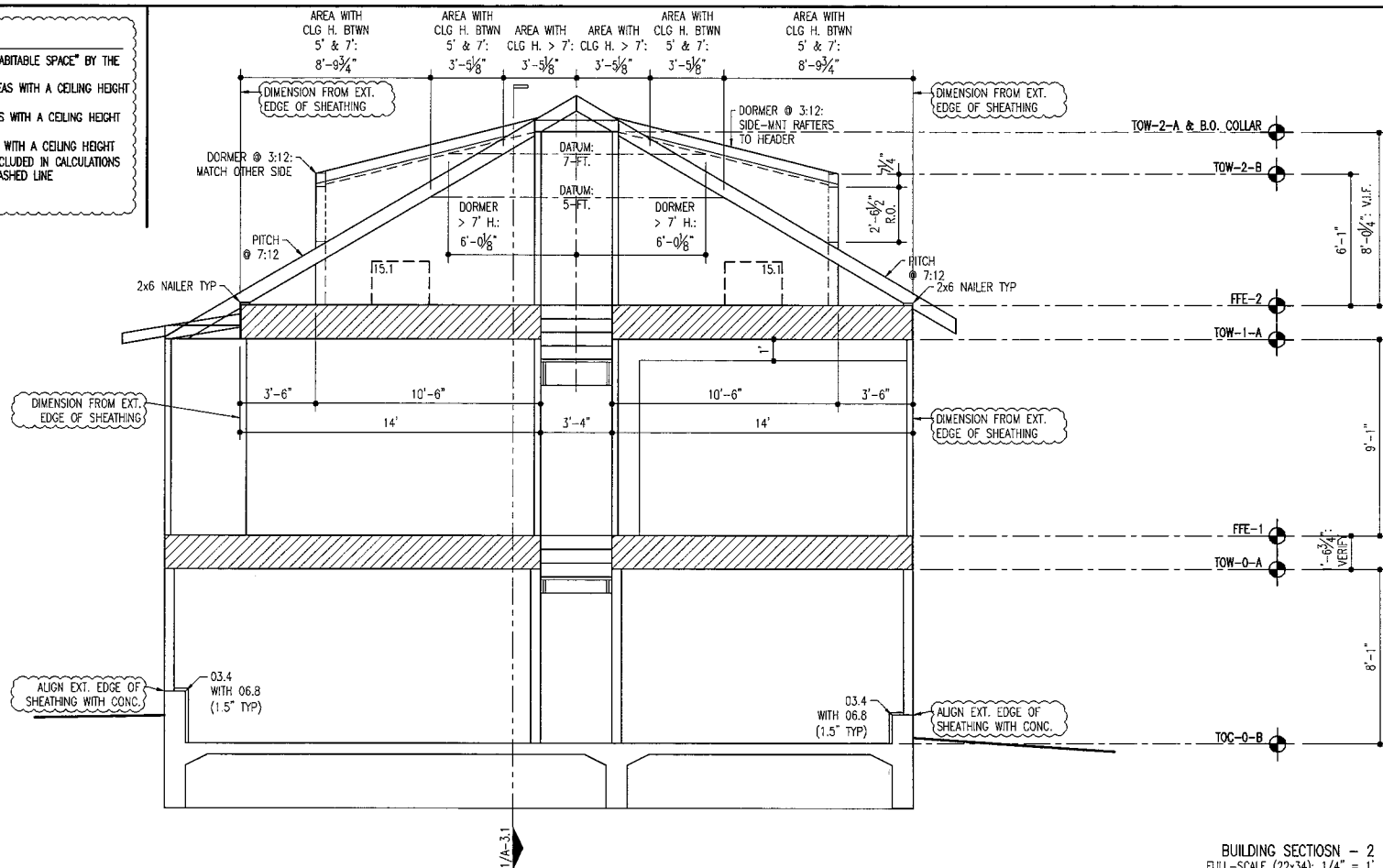
FLOOR AREA OF HABITABLE ATTIC WITH CEILING HEIGHT BETWEEN 5' & 7':
379.75 SF
50.46 %

FLOOR AREA OF HABITABLE ATTIC WITH CEILING HEIGHT > 7':
372.77 SF
49.54 %

REFER TO BUILDING SECTION-1 FOR ADDL GRAPHIC INFO REGARDING HEIGHTS

ATTIC EXCEPTION NOTES

- ONLY "2: HABITABLE ATTIC" IS CONSIDERED "HABITABLE SPACE" BY THE IRC-2012
- AREAS THIS PLAN WITH A SOLID SHADE = AREAS WITH A CEILING HEIGHT OF 7' OR GREATER
- AREAS THIS PLAN WITH A DOT HATCH = AREAS WITH A CEILING HEIGHT OF BETWEEN 5' & 7'
- AREAS THIS PLAN WITHOUT A HATCH = AREAS WITH A CEILING HEIGHT OF < 5' WHICH ARE NOT REQUIRED TO BE INCLUDED IN CALCULATIONS
- HABITABLE SPACE IS OUTLINED WITH A THIN DASHED LINE



BUILDING SECTION - 2
FULL-SCALE (22x34): 1/4" = 1'
HALF-SCALE (11x17): 1/8" = 1'

KEYNOTES LEGEND

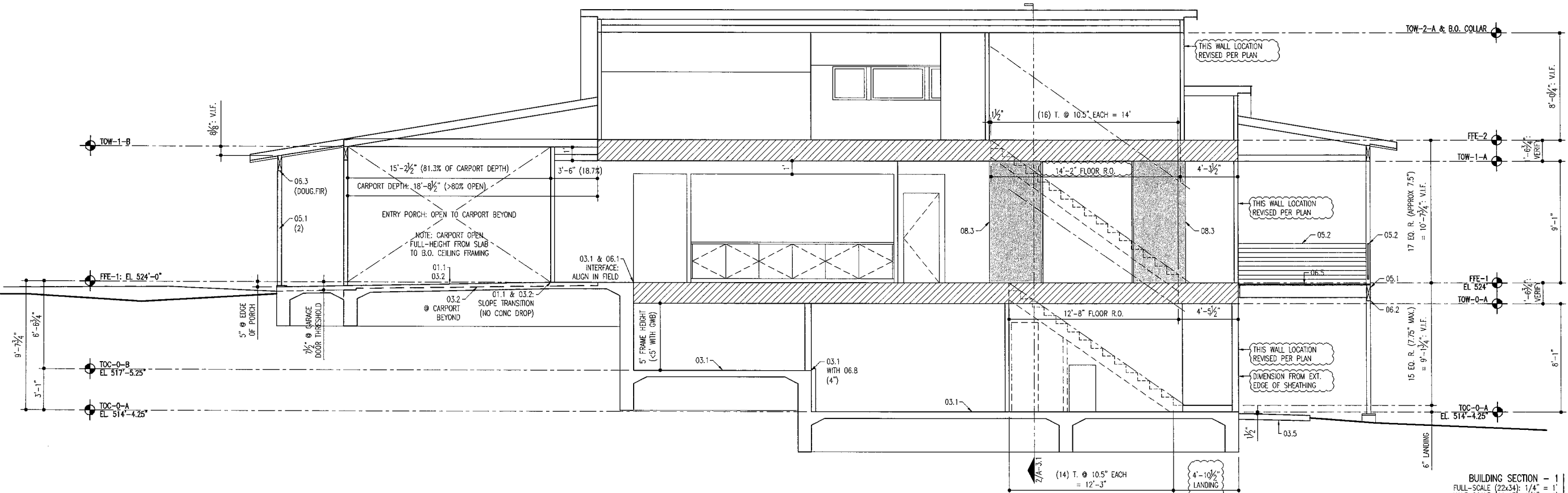
- 01.1 ACCESSIBLE ROUTE: SEE VISIBILITY NOTES, LEVEL-1 PLAN ONLY
- 02.1 EXISTING GRADE AT PROPERTY LINE
- 02.2 EXISTING GRADE ADJACENT TO BUILDING
- 02.3 EXISTING GRADE TO BE MODIFIED FOR STORM DRAINAGE: V.I.F.
- 02.4 NEW FINISH GRADING: FIELD-DETERMINE
- 03.1 CONC FOUNDATION PER STRUCTL
- 03.2 CONC FOUNDATION PER STRUCTL SLOPED TO DRAIN AS NOTED
- 03.3 CONC PIER PER STRUCTL
- 03.4 CONC STEMWALL PER STRUCTL: FIELD-VERIFY HEIGHTS
- 03.5 CONC DRIVEWAY OR FLATWORK: SLOPE TO DRAIN AS REQD
- 05.1 STEEL COLUMN WITH CAP CONNECTOR TO WOOD BEAM AS SHOWN
- 05.2 METAL FRAMED GUARDRAIL - RECOMMENDED ASSEMBLY:
- 13 GAUGE STEEL BARS @ 4" MAX O.C. VERTx 4" MAX O.C. HORIZ
 - ANCHOR TO CONC BELOW WITH EPOXY BOLTS & SPACER @ CONN.
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A3.1