

C15-2015-0011
Row 11269461
Roll/TAX 010303021
(TEAD V)

**CITY OF AUSTIN APPLICATION TO BOARD
OF ADJUSTMENT INTERPRETATIONS
PART I: APPLICANT'S STATEMENT
(Please type)**

STREET ADDRESS: 904 Jessie Street, Austin TX 78704

LEGAL DESCRIPTION: Subdivision -

Okie Heights

Lot (s) 44 Block Outlot Division

ZONING DISTRICT: SF-3

I/WE David King on behalf of myself/ourselves as
authorized

Agent for Zilker Neighborhood Association affirm that on 19th

Day of December, 2014, hereby apply for an interpretation hearing before the Board of
Adjustment.

Planning and Development Review Department interpretation is:

- 1) The gross floor area only needs to be measured to the outside edge of the framing.
- 2) The full length of the entire carport does not need to be used in calculating the percentage of the wall opening on the north side.
- 3) The carport is allowed an exemption even though the north side is obstructed by a covered entryway.

I feel the correct interpretation is:

- 1) The gross floor area needs to be measured to the outside surface of the exterior walls.
- 2) The full length of the entire carport should be used in calculating the percentage of the wall opening on the north side.
- 3) The north wall opening of the carport is obstructed by a covered entry way and thus the carport does qualify for an exemption.

NOTE: The board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable findings statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

1. There is a reasonable doubt of difference of interpretation as to the specific intent of the regulations or map in that:

- 1) The Land Development Code (LDC) is explicit in that it requires that the gross floor area be measured to the outside surface of the exterior walls contrary to the interpretation by the Planning and Development Review Department:

SUBCHAPTER F: RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS

§ 3.3. GROSS FLOOR AREA.

In this Subchapter, GROSS FLOOR AREA has the meaning assigned by Section 25-1-21 (Definitions), with the following modifications:

3.3.1. In this Subchapter, GROSS FLOOR AREA means all enclosed space, regardless of its dimensions, that is not exempted under subsections 3.3.2, 3.3.3, or 3.3.4.

§ 25-1-21 DEFINITIONS.

(44) GROSS FLOOR AREA means the total enclosed area of all floors in a building with a clear height of more than six feet, measured to the outside surface of the exterior walls. The term includes loading docks and excludes atria airspace, parking facilities, driveways, and enclosed loading berths and off-street maneuvering areas.

The architectural plans of the first and second floor are drawn to the outer edge of the wood framing and not to the "outside surface of the exterior walls" which is demonstrated by the fact that the first floor plan dimensions match the foundation plan dimensions. Normally, the edge of the framing is aligned with the foundation edge. When sheathing and siding are added, this dimension is typically increased by more than an inch on all sides. Since the criteria for calculating the McMansion FAR is measurement to the "outside surface of the exterior walls", the McMansion FAR is not calculated correctly. If one assumes a ½" sheathing and ¾" siding, the first floor area is increased 22.9 sq ft and the basement floor area is increased by 10.3 sq ft. This is an additional 33.2 sq ft that must be added to the McMansion FAR calculation. Using AutoCAD and the applicant's dimensions, ZNA calculated an area of 1,893.0 sq ft for the first floor and 968.9 sq ft for the basement floor as measured to the edge of framing, for a total of 2,861.9 sq ft. Adding the additional 33.2 sq ft for the area from the edge of framing to the outside surface of the exterior wall makes the total FAR 2,895.1 sq ft. This is 40.17% or 12.7 sq ft over the maximum limit of 40%. The gross floor area contained in the floor plans must be reduced to comply with the LDC.

For the record, please note that the applicant's math and the total gross floor area shown on the McMansion calculation sheet on page 3 of the application are in error (1893 sq ft + 970 sq ft = 2,863 sq ft, not 2,880 sq ft).

- 2) For the record, please note that this project is claiming a "parking area" exemption even though the checkbox is not correctly checked on page 3 of the application. The Land Development Code (LDC) requires that the carport (parking area) be open 80% on at least two sides to be exempted from gross area floor calculations:

SUBCHAPTER F: RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS

§ 3.3. GROSS FLOOR AREA.

In this Subchapter, GROSS FLOOR AREA has the meaning assigned by Section 25-1-21 (Definitions), with the following modifications:

...

3.3.2. Subject to the limitations in paragraph C below, the following parking areas and structures are excluded from gross floor area for purposes of this Subchapter:

A. Up to 450 square feet of:

...

3. A parking area that is open on two or more sides, if:

- i. it does not have habitable space above it; and*
- ii. the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport.*

Contrary to the interpretation of the Planning and Development Review Department, the Zilker Neighborhood Association (ZNA) believes the applicant does not meet this requirement because the applicant's calculation of the carport opening on the north side is a) not greater than 80% and b) not clear and unobstructed.

- a) The applicant is utilizing an L-shaped carport, which creates issues in calculating the percentage of the opening on the north side of the carport. ZNA believes utilizing an L-shaped carport allows one to misinterpret the intent of the ordinance and circumvent it. There is no real question as to the length of the opening. However, there is a difference of interpretation with respect to the overall length of the wall needed to calculate the percentage of the opening. There are three ways one might calculate the overall length of the north wall as shown in Exhibit A. The applicant is utilizing Method 2 although some applicants are even arguing for the use of Method 3. ZNA believes Method 1 is the correct way to calculate the opening. Using this method, the opening is only 59.3%. Using Method 2, the opening is almost exactly 80%. Please note that the applicant calculates the opening percentage using Method 2 to be 81.3% as shown on Drawing A3.1. This is because the applicant incorrectly uses an overall length of 18'-8½" instead of the actual 19' as shown on the first floor plan in Drawing A1.1.

ZNA believes it is a misinterpretation of the ordinance to not require the overall measurement along the full length of the entire carport. The problem associated with using Method 2 is illustrated more fully in Examples 1 through 6 of Exhibit B. As part of the internal carport wall shifts from Example 1 to Example 6, it becomes more and more obvious that the overall length of the wall opening should be measured using Method 1. If one were to accept the use of Method 2, then it must be decided at which point (from Example 1 to Example 6) that the measurement of the overall length should be switched to Method 1 rather than Method 2.

- b) The applicant is claiming that the north side of the carport is clear and unobstructed. ZNA believes that an assertion that a carport opening is clear and unobstructed when it is immediately adjacent to an enclosed and covered entry way is not only inconsistent with the plain wording of the ordinance, it is completely inconsistent with the intent of the ordinance. Since the ordinance grants only a 200 sq ft exemption for an enclosed parking area, we believe that the clear and unobstructed wall openings required by the ordinance were specifically intended to prevent the additional mass that would be created by constructing an enclosed parking area (i.e., a garage) to the front of a house. The idea was that an open carport could qualify for the larger 450 sq ft exemption because this type of parking area would not seem so massive. The applicant for 904 Jessie, as well as other applicants, are attempting to use the carport exemption to essentially allow construction of something that very closely resembles an enclosed garage. ZNA does not believe the carport exemption was ever intended to allow garage doors on carports. However, the ordinance does seem to permit this as the current project demonstrates. What the ordinance does not permit, and should not be interpreted to permit, is for the "carport" to become even more similar to a garage by allowing one side of it to be completely enclosed with an entry way that is itself also enclosed and covered.

Exhibit B illustrates possible examples of parking areas that are adjacent to covered and enclosed entry ways. ZNA believes that Examples 1 through 6 are instances where the carport opening is not clear and unobstructed. We believe Examples 7 and 8 are acceptable under the current wording of the ordinance.

Under what ZNA believes is the correct interpretation of the LDC, the applicant should only be entitled to a 200 sq ft exemption for the attached parking area. With only a 200 sq ft exemption, another 238 sq ft must be added to the McMansion FAR. This pushes the FAR percentage well over the 40% requirement.

2. **An appeal of use provisions could clearly permit a use which is in character with the uses enumerated for the various zones and with the objectives of the zone in question because:**

Applicant is not appealing use provisions of the Code, but rather Subchapter F sections of the code.

3. **The interpretation will not grant a special privilege to one property inconsistent with other properties or uses similarly situated in that:**

Other properties similarly situated meet the code sections required at the time building permits were submitted for them, and therefore, the interpretation by the Zilker Neighborhood Association does not grant a special privilege. In fact, denying the appeal and sustaining the interpretation of the Planning and Review Department would grant a special privilege to this property and would change the meaning and intent of the ordinance.

APPLICANT/AGGRIEVED PARTY CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed David King Printed David King

Mailing Address 1808 Kerr Street

City, State & Zip Austin TX 78704 Phone 512-415-6016

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner's certificate not applicable for this appeal.

Signed _____ Printed _____

Mailing Address _____

City, State & Zip _____ Phone _____

REQUESTS FOR INTERPRETATION
(Appeal of an Administrative Decision)

REQUIRED ITEMS FOR A COMPLETE APPLICATION:

The following items are required in order to file an application for interpretation to the Board of Adjustment.

- A completed application with all information provided. Additional information may be provided as an addendum to the application.
- Standing to Appeal Status: A letter stating that the appellant meets the requirements as an Interested Party as listed in Section 25-1-131(A) and (B) of the Land Development Code. The letter must also include all information required under 25-1-132(C).
- Site Plan/Plot Plan drawn to scale, showing present and proposed construction and location of existing structures on adjacent lots.
- Payment of application fee for residential zoning or for commercial zoning. See Current Fee Schedule (<http://www.austintexas.gov/department/fees>) for Applicable Fees. Checks should be made payable to the City of Austin.

An appeal of an administrative decision must be filed by the 20th day after the decision is made (Section 25-1-182). Applications which do not include all the required items listed above will not be accepted for filing.

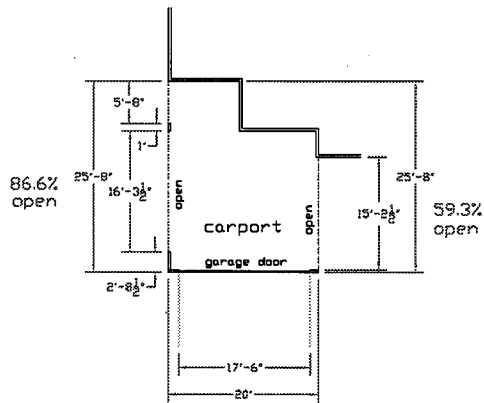
If you have questions on this process contact Leane Heldenfels at

512-974-2202 or leane.heldenfels@austintexas.gov.

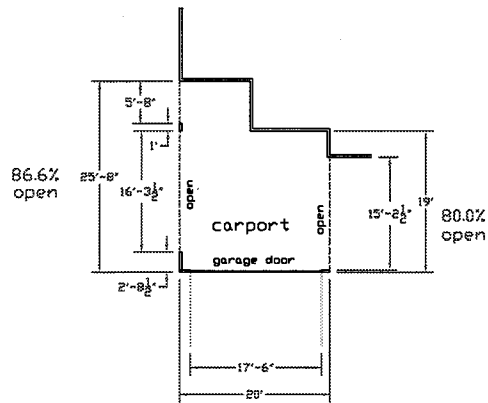
**To access the Land Development Code, go to
<http://www.austintexas.gov/department/online-tools-resources>**

EXHIBIT A

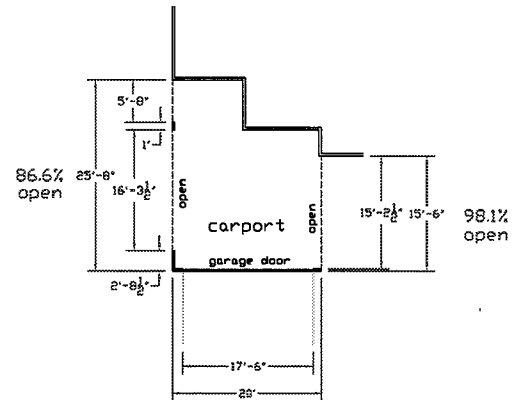
Method 1



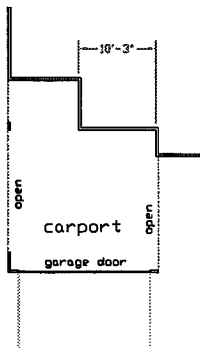
Method 2



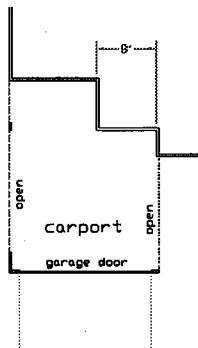
Method 3



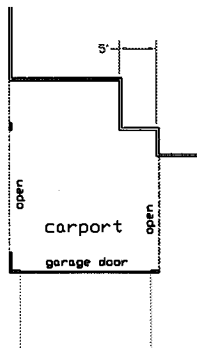
Example 1



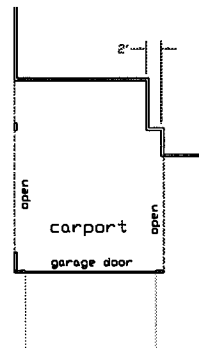
Example 2



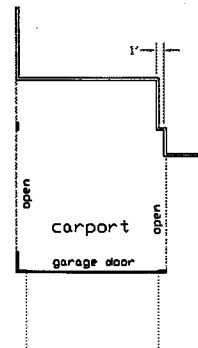
Example 3



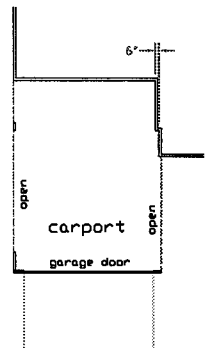
Example 4



Example 5



Example 6



David King
Zilker Neighborhood Association
1808 Kerr St
Austin, TX, 78704

To: Board of Adjustment, Austin TX

December 19, 2014

Re: 2014-102999 PR (904 Jessie St)

Dear BoA:

I, as a President of the Zilker Neighborhood Association, meet the requirements as an Interested Party as listed in Section 25-1-131(A) and (B) of the Land Development Code.

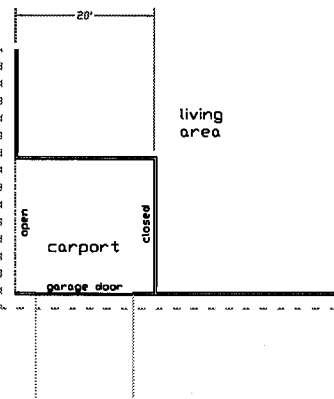
Sincerely,

A handwritten signature in cursive script that reads "David King". The signature is written in dark ink and is positioned above the printed name.

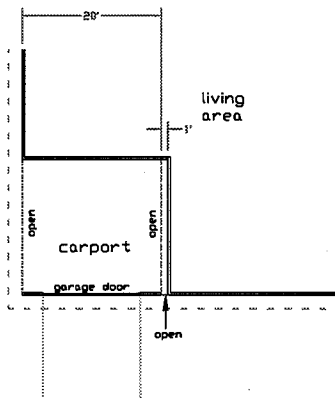
David King

EXHIBIT B

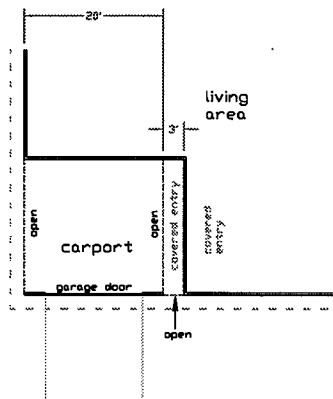
Example 1



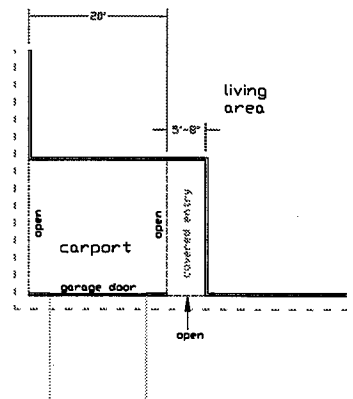
Example 2



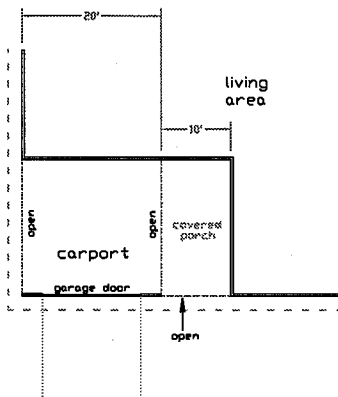
Example 3



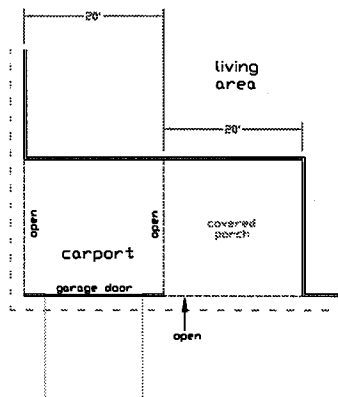
Example 4



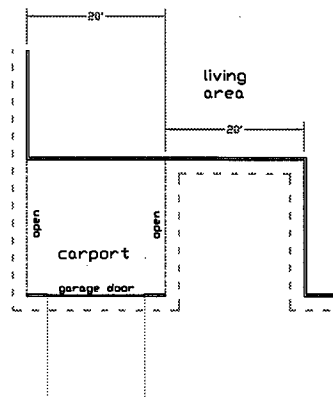
Example 5



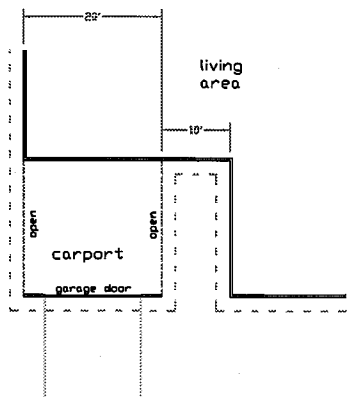
Example 6



Example 7



Example 8



— solid wall

- - - - - roofline

- - - - - opening underneath roof

..... driveway

City of Austin Residential Permit Application

Residential Review, 2nd floor, One Texas Center
505 Barton Springs, Austin, TX 78704
(512) 978-4000

Project Information

Project Address: 904 Jessie Street	Tax Parcel ID: 01-0303-0217-0000
Legal Description: Lot 44	
Zoning District or PUD: SF-3	Lot Size (square feet): 7206
Neighborhood Plan Area (if applicable):	Historic District (if applicable):
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Note: Boundaries are defined under Title 25-2 Subchapter F of the Land Development Code.	
Does this site currently have water availability? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N wastewater availability? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.	
Does this site have or will it have an auxiliary water source? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, submit approved auxiliary and potable plumbing plans (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site have a septic system? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, submit a copy of approved septic permit to construct	
Does this site require a cut or fill in excess of four (4) feet? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, contact the Development Assistance Center for a Site Plan Exemption.	
Does this site front a paved street? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	Is this site adjacent to a paved alley? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Does this site have a Board of Adjustment (BOA) variance? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.	
Does the project impact a tree protected by ordinance? This includes canopy and/or critical root zone impacts to nearby trees. <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Note: If yes, application for a tree permit with the City Arborist may be required.	
Is this site within one hundred-fifty (150) feet of the one hundred (100) year floodplain? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Note: Proximity to a floodplain may require additional review time.	

Description of Work

Existing Use: <input checked="" type="checkbox"/> vacant <input type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential other _____			
Proposed Use: <input type="checkbox"/> vacant <input checked="" type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential other _____			
Project Type: <input checked="" type="checkbox"/> new construction <input type="checkbox"/> addition <input type="checkbox"/> addition/remodel <input type="checkbox"/> remodel/repair other _____			
# of existing bedrooms:	# of bedrooms upon completion: 4	# of existing baths:	# of baths upon completion: 3
Will all or part of an existing exterior wall be removed as part of the project? <input type="checkbox"/> Y <input type="checkbox"/> N Note: Removal of all or part of a structure requires a demolition permit.			
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary) Construction of a new 4 bedroom, 3 bath house with a 2 car carport. _____ _____ _____ _____ _____			
Trades Permits Required: <input checked="" type="checkbox"/> electric <input checked="" type="checkbox"/> plumbing <input checked="" type="checkbox"/> mechanical (HVAC) <input checked="" type="checkbox"/> concrete (right-of-way) (circle all that apply)			

Job Valuation

Total Job Valuation: \$ <u>350,000.00</u>	Portion of Total Job Valuation Dedicated to Addition/New Construction: \$ <u>350,000.00</u> Bldg: \$ <u>312,000.00</u> Elec: \$ <u>12,000.00</u> Plmbg: \$ <u>13,500.00</u> Mech: \$ <u>12,500.00</u> Primary Structure: \$ _____ Accessory Structure: \$ _____	Portion of Total Job Valuation Dedicated to Remodel/Repair: \$ _____ Bldg: \$ _____ Elec: \$ _____ Plmbg: \$ _____ Mech: \$ _____
---	---	---

Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.

SIDENWALK
ATTIC X
BASEMENT X

7206

Building and Site Area			
Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 st floor conditioned area		1893	1893
b) 2 nd floor conditioned area <i>HABITABLE ATTIC</i>		748	748
c) 3 rd floor conditioned area			
d) Basement		970	970
e) Covered Parking (garage or carport)		438	438
f) Covered Patio, Deck or Porch <i>GROUND FLOOR 197, ENTRY PORCH 186</i>		383	383
g) Balcony		333	333
h) Other			
i) Uncovered Wood Deck			
Total Gross Building Area (total A through I)		4765	4765
j) Pool <i>DRIVEWAY</i>		355	355
k) Spr <i>A/C PADS</i>		19	19

Site Development Information	
Building Coverage Information Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)	
Total Building Coverage (sq ft): <u>2850</u>	% of lot size: <u>39.6</u>
Impervious Cover Information Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)	
Total Impervious Cover (sq ft): <u>3224</u>	% of lot size: <u>44.7</u>
Setbacks Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-513) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Building Height: <u>24-1</u> ft Number of Floors: <u>3</u>	Parking (LDC 25-6 Appendix A & 25-6-478) # of spaces required: <u> </u> # of spaces provided: <u>2</u>
Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC-6-353) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more. Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Width of approach (measured at property line): <u>12</u> ft Distance from intersection (for corner lots only): <u> </u> ft Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	

Subchapter F – 'McMansion'

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls. Areas with ceiling height over 15 feet are counted twice.

	Existing	New	Exemption	Total
1 st Floor	_____	1893	_____	1893
2 nd Floor	_____	_____	_____	_____
3 rd Floor	_____	_____	_____	_____
Basement	_____	970	_____	970
Attic	_____	748	748	0
Garage (attached)	_____	_____	_____	_____
(detached)	_____	_____	_____	_____
Carport (attached)	_____	438	438	0
(detached)	_____	_____	_____	_____
Accessory building(s) (detached)	_____	_____	_____	_____
Ceilings over 15 ft	_____	_____	_____	_____
TOTAL GROSS FLOOR AREA				2880

(Total Gross Floor Area /lot size) = 39.97 **Floor-To-Area Ratio (FAR)**

Is this project claiming a "parking area" exemption as described under Article 3?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
Is this project claiming a "ground floor porch" exemption as described under Article 3?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N
Is this project claiming a "basement" exemption as described under Article 3?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N
Is this project claiming a "habitable attic" exemption as described under Article 3?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N
Is a sidewall articulation required for this project?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N
Does any portion of the structure extend beyond a setback plane?	<input checked="" type="checkbox"/> Y	<input type="checkbox"/> N
Are any ceilings over 15 feet in height?	<input type="checkbox"/> Y	<input checked="" type="checkbox"/> N

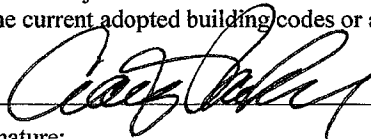
Parking Area exemption: Up to 450 square feet of a parking area may be deducted if it is a detached rear parking area that is separated from the principal structure by not less than 10 feet; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width; or a parking area that is open on two or more sides, if it does not have habitable space above it; and the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport. Up to 200 square feet may be deducted if it is an attached parking area used to meet the minimum parking requirement; or a garage that is less than 10 feet from the rear of the principal structure, provided that the garage is either detached from the principal structure; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width. An applicant may receive only one 450-square foot exemption per site under Article 3. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under Article 3, but only for an attached parking area used to meet minimum parking requirements.

Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fifty percent or more of the area has a ceiling height of seven feet or less.

Contact Information			
Owner	Homes by Parker, Inc	Applicant or Agent	Craig Parker
Mailing Address	P. O. Box 162942	Mailing Address	P. O. Box 162942
Phone	512.327-2877	Phone	512.327-2877
Email	info@craigparkerhomes.com	Email	info@craigparkerhomes.com
x		Fax	
General Contractor	Same as Owner	Design Professional	David Boren Architect
Mailing Address		Mailing Address	Jewell Street
Phone		Phone	512.554-5474
Email		Email	davidboren@borenarchitects.com
Fax		Fax	

Acknowledgments	
Is this site registered as the owner's homestead for the current tax year with the appraisal district? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	
<p>I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.</p> <p>I understand that I am responsible for complying with any subdivision notes, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property.</p> <p>If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.</p> <p>I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.</p> <p>I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.</p> <p>I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required and compliance with current code may be required.</p> <p>I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.</p> <p>I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.</p> <p>I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or cityarborist@austintexas.gov. This initiates the tree permitting requirement needed to proceed with the development review process.</p> <p>Erosion and Sedimentation Controls are required per Section 25-8-181.</p> <p>I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</p> <p>I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.</p>	
Applicant's signature: 	Date: <u>9/24/14</u>
Design Professional's signature: _____	Date: _____



Austin Water Utility
Water & Wastewater Service Plan Verification (WWWSPV)

Service Address: 904 JESSIE STREET AUSTIN, TX 78704
Lot: 44 Block: _____ Subdivision: OKIE HEIGHTS
Existing Use: Vacant Single-Family Res. Duplex Garage Apt. Other _____
Proposed Use: 2nd Structure Single-Family Res. Duplex Garage Apt. Other _____
Existing # Baths _____ Additional # Baths _____ Total number of bathrooms the meter will feed 3

Craig Jones owner 9/24/14 512.327.2877
Applicant's Name & Title Date Phone

City of Austin Office Use

Water main size _____ Service stub size _____ Service stub upgrade required: Yes No
Existing meter # 15584 Existing meter size 5/8" Upgrade required: Y N New meter size _____
Existing water service line/meter location 11.4' N/S
WW main size _____ WW Service line/clean-out location 14' N/S
AWU Pipeline Engineering approval required: Yes No
Comments: Both water and sewer to be relocated out of
drive or change driveway design

REVIEWED

AWU Engineer Representative SEP 24 2014 Date _____ Phone _____
[Signature] AUSTIN WATER UTILITY
AWU Taps Representative CONSUMER SERVICE DIVISION - TAPS 9/24/14 Date _____ Phone _____

Water meters & wastewater clean-outs are not permitted in sidewalks or driveways.

Relocation of services necessary to remove them from proposed sidewalks or driveways shall be performed at the applicant's expense.

If the existing water meter was pulled for demolition, apply for a new building permit or contact Customer Care at 512-494-9400 to have the same size meter reinstalled within 120 days of meter removal to avoid city connect charges being applied.

Verification expires 180 days after date of submittal

One Stop Shop
505 Barton Springs Rd
(512) 974-2632 – phone
(512) 974-9112 – phone
(512) 974-9109 – fax
(512) 974-9779 – fax

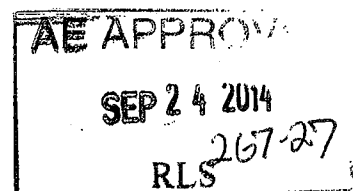


Austin Energy
Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only

Responsible Person for Service Request		Craig Parker	
Email	info@craigparkerhomes.com	Fax	Phone 512.327-2877
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Remodeling
Project Address		904 Jessie Street, Austin, TX 78704	
Legal Description		Okie Heights	Lot 44 Block
Who is your electrical provider?		<input checked="" type="checkbox"/> AE	<input type="checkbox"/> Other
<input checked="" type="checkbox"/> Overhead Service	<input type="checkbox"/> Underground Service	<input checked="" type="checkbox"/> Single-phase (1Ø)	<input type="checkbox"/> Three-phase (3Ø)
Location of meter		Front Left Side of proposed new house	
Number of existing meters on gutter (show all existing meters on riser diagram)			
Expired permit #			
Comments		New home	
		All structures etc. must maintain 7'8" clearance from AE energized power lines. Enforced by AE & NESC codes.	
ESPA Completed by (Signature & Print Name)		Date	Phone
[Signature]		9/24/14	512.327-2877
AE Representative		Approved <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Date Phone

Application expires 180 days after the date of approval
(Any change to the above information requires a new ESPA)



NOT REVIEWED FOR TECHNICAL BUILDING CODE

DATA CLARIFICATION NOTE

ROOM NAMES ON PLANS AND IN DATA TABLES THIS SHEET HAVE THE LEVEL AS PART OF THE DESIGNATION:
 • THE "D" PREFIX REFERS TO LEVEL-0" (THE LOWER BUILDING LEVEL)
 • THE "A" PREFIX REFERS TO LEVEL-1" (THE UPPER BUILDING LEVEL - OR "STREET LEVEL")
 • THE "B" PREFIX REFERS TO LEVEL-2" (THE UPPERMOST LEVEL - OR "TYPICAL ATTIC" LEVEL)

SITE AREA DATA

A. TOTAL BUILDING COVERAGE ON LOT: 1880 SF
 B. COVERED AREA ON PROPERTY: 300
 C. DRIVEWAYS / WALKWAYS ON PRIVATE PROPERTY: N/A
 D. UNCOVERED PAVES: N/A
 E. UNCOVERED PAVED: N/A
 F. ADJ. COVERAGE: 1880 SF (1.0000) (1.0000)
 G. COVER: N/A
 H. TOTAL IMPERVIOUS COVERAGE AREA: 2224 SF FOR 44.7% OF SITE AREA
 TOTAL SITE AREA: 7200 SF
 * MAX L.C. = 432 SF OF SITE AREA OR 2447.7 SF

BUILDING AREA DATA

A. FIRST FLOOR COVERAGE AREAS: 1880 SF
 B. SECOND FLOOR COVERAGE AREAS: 748 SF
 C. THIRD FLOOR COVERAGE AREAS: 1880 SF
 D. BASEMENT COVERAGE AREAS: 1880 SF
 E. COVERED PARKING: 1880 SF
 F. COVERED PORCHES, DECKS & PATIOS: 1880 SF
 G. GROUND FLOOR PORCH: 1880 SF
 H. ENTRY PORCH: 1880 SF
 I. BALCONY: 1880 SF
 J. OTHER: 1880 SF
 TOTAL: 1880 SF
 TOTAL BUILDING COVERAGE: 1880 SF
 26.1% OF SITE AREA
 (SITE AREA = 7200 SF)

GROSS FLOOR AREA DATA

	AREA	EXEMPT	TOTAL
I. FIRST FLOOR:	2412 SF	11 519 SF	1880 SF
II. SECOND FLOOR:	SEE ATTC	SEE ATTC	SEE ATTC
III. THIRD FLOOR:	1880 SF	11 519 SF	1880 SF
IV. BASEMENT:	1880 SF	11 519 SF	1880 SF
V. ATTIC:	1880 SF	11 519 SF	1880 SF
VI. PARKING STRUCTURE:	438 SF	438 SF	0 SF
VII. ACCESSORY BUILDING:	1880 SF	1880 SF	1880 SF
TOTAL:	4844 SF	1964 SF	2880 SF

SITE AREA = 7200 SF; MAX F.A.C. = 432 SF OR 2447.7 SF
 THIS PROJECT COMPLIES @ 25.97% (24.47% BELOW MAX)
 NOTES:
 * INCLUDES 1. BALCONY & 1. ENTRY PORCH
 * 1. BALCONY = 1. ENTRY PORCH
 * DATA REPORTED TO NOT INCLUDE 1. GROUND FLOOR PORCH
 * DATA REPORTED AS A RESULT OF OWNER ROOF PITCH PERSEEN
 * PER CITY CODES



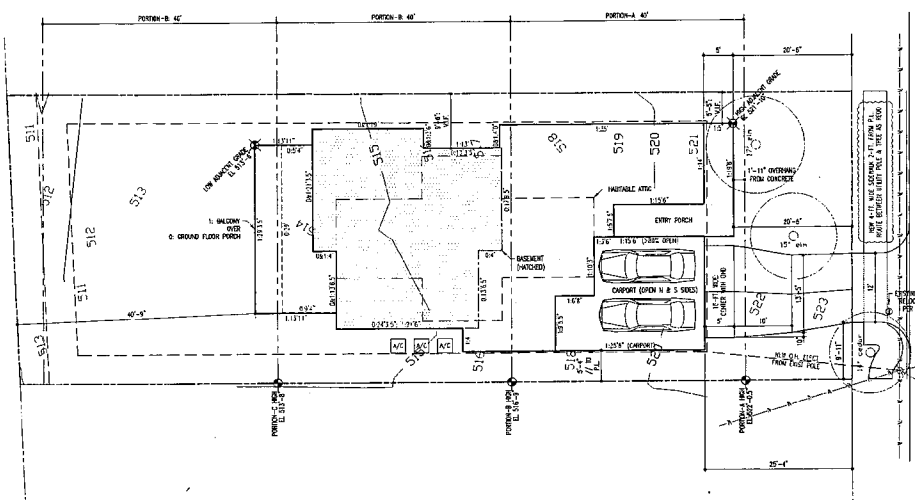
904 JESSIE STREET
 SINGLE FAMILY RESIDENCE
 2800 CODE 1000
 ZONING: SF-1
 CRAND PARKER HOMES



DATE: 01-07-2014
 ISSUE: 2 FOR
 REVISIONS: APPROVAL

PROJECT: 1474
 SCALE: AS NOTED
 DRAWN: CDB
 CHECKED: CDB

A0.1



CITY OF AUSTIN
 APPROVED FOR PERMIT
 Greg Guernsey
 Planning and Development Review Department
 By: *SKC* Date: 11-28-14
 The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.



SITE PLAN
 PLAN SCALE: 1/8" = 1'-0"
 SHEET SCALE: 1/16" = 1'-0"

REVIEWED FOR ZONING ONLY



1. 2x4 STUD WALLS MATCHED FOR CLARITY.
2. ALL DIMENSIONS 2x4.
3. ALL DIMENSIONS FROM EDGE OF CONCRETE OR FINISH OR FROM CENTERLINE OF SCHEDULED OPENINGS TYP.
4. COORDINATE ALL DOOR OPENINGS OF WINDOWS & DOORS WITH MANUFACTURER REQUIREMENTS.
5. DOOR HEIGHTS ARE SIZED ON PLANS IN WIDTH x HEIGHT FORMAT. SEE EXTERIOR ELEVATIONS FOR ADDL INFO.
6. DOOR WEIGHTS AS NOTED ON PLANS. DOOR HEIGHTS SHALL BE 8'-0", 8'-6" TYPICAL UNLESS NOTED OTHERWISE ON PLANS EXHAUST OR SECTION.

R320.3: VESTIBULE DIMENSIONS

- DOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 30"
- LATERAL 2ND BLOODING SHALL BE INSTALLED @ 34" AFF.
- FLOOR WITH STUB EDGES OF WALL.
- USE PLAN FOR CHAIRING AND THIS ELEMENT (RENOTE-01.1)

R320.4: Misc ELECTRICAL APPURTENANCES

- ALL LIGHT SWITCHES AND COMMERCIAL LIGHTS
- THIS LEVEL MUST BE NO HIGHER THAN 42" AFF.
- ALL OUTLETS AND RECEPTACLES THIS LEVEL MUST BE 15" AFF.

R102.5. VESTIBULE ROUTE
* SEE PLAN FOR GRAPHIC INFO THIS ELEMENT (NOTE-01.1)

R102.6. VESTIBULE CHIMNEY ENTRANCE
* DOOR THRESHOLD AT ENTRANCE ALONG VESTIBULE ROUTE PER R102.5 SHALL HAVE A 0.5" MAX HORN THRESHOLD
* SEE PLAN FOR GRAPHIC INFO THIS ELEMENT (NOTE-01.1)

[illegible]

01.1 ACCESSIBLE ROUTE: SEE VISITABILITY NOTES, LEVEL-1 PLAN ONLY

- [illegible]

•

DATE: 31 OCT 2014
ISSUE-2 FOR
REGULATORY APPROVAL
PROJECT: 1424
SCALE: AS NOTED
CAPA: DFB
DESIGN:

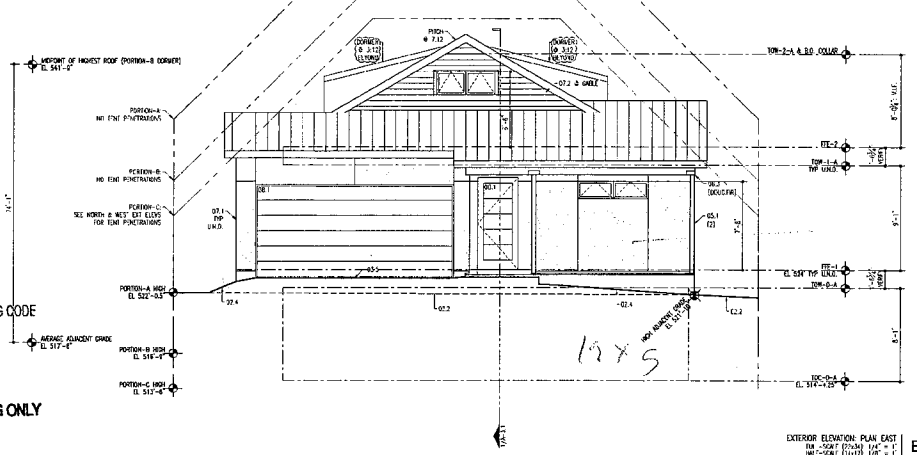
A1.1

ATTIC EASEMENT FLOOR DATA

TOTAL FLOOR AREA OF HABITABLE ATTIC (> 8' CEILING HEIGHT):
748 SF
100 %
FLOOR AREA OF HABITABLE ATTIC WITH CEILING HEIGHT BETWEEN 8' & 9':
376 SF
50.3 %
FLOOR AREA OF HABITABLE ATTIC WITH CEILING HEIGHT > 9':
372 SF
49.7 %

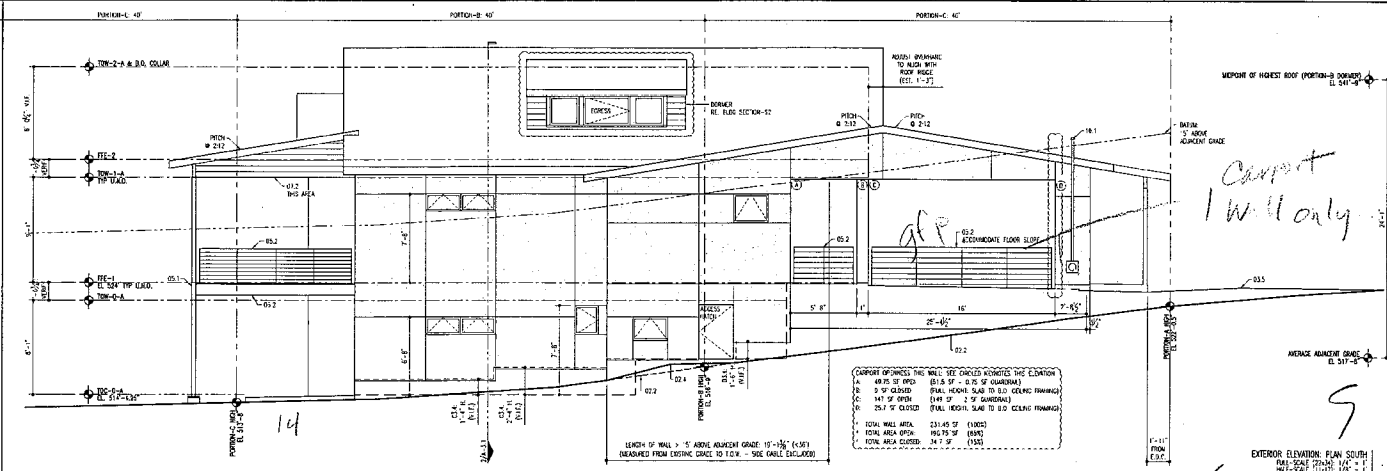
REFER TO BUILDING SECTION-1 FOR ADD. GRAPHIC INFO REGARDING HEIGHTS

REVIEWED FOR ZONING ONLY

[illegible]

21 OCTOBER 2014
ISSUED FOR
REGULATORY APPROVAL
UPDATE - 1
ORIGINAL FILED ON 23 14

The Texas Board of Architectural
Examiners, P.O. Box 17330, Austin, Texas
78761-2330 or 512 Comstock, Suite
2-250, Austin, Texas 78701-2642, (512)
205-5000, fax.us@texasarchitects.com



4 JESSIE STREET
NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE
2 BRK 2 BATH 1000 SQ
ZIP CODE: 78704
2014C 57-3
CRAIG PARKER HOMES

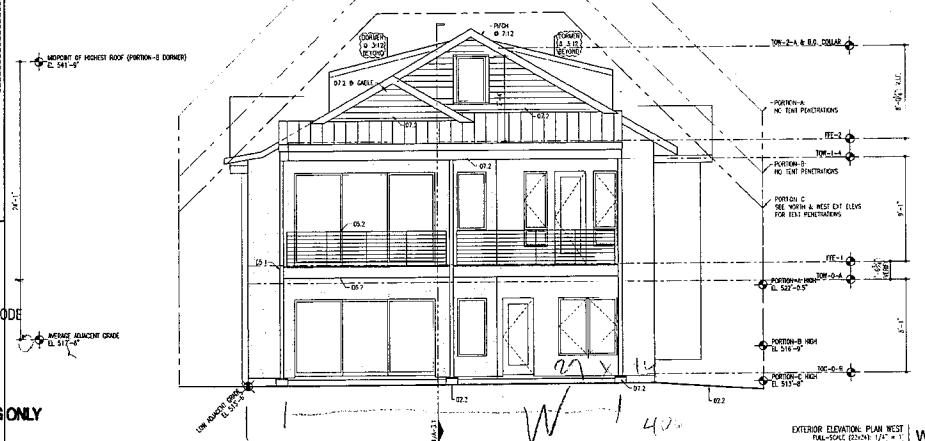
BOREN
ARCHITECTS
312.354.5474
CHICAGO, IL
@BORENARCHITECTS.COM

DATE:	31 OCT 2014
ISSUE:	FOR REGULATORY APPROVAL
PROJECT:	1424
SCALE:	AS NOTED
OFFICE:	EPR

A2.1

TOTAL FLOOR AREA OF HABITABLE ATTIC (> 5' CEILING HEIGHT):
748 SF
100 %
FLOOR AREA OF HABITABLE ATTIC WITH CEILING HEIGHT BETWEEN 5' & 7':
374 SF
50.0 %
FLOOR AREA OF HABITABLE ATTIC WITH CEILING HEIGHT > 7':
374 SF
50.0 %
REFER TO BUILDING SECTION-1 FOR ADD. GRAPHIC INFO REGARDING HEAD

REVIEWED FOR ZONING ONLY

[illegible]

21 OCTOBER 2014
ISSUED FOR
REGULATORY APPROVAL
UPDATE-1
ORIGINAL ISSUE 09-23-14

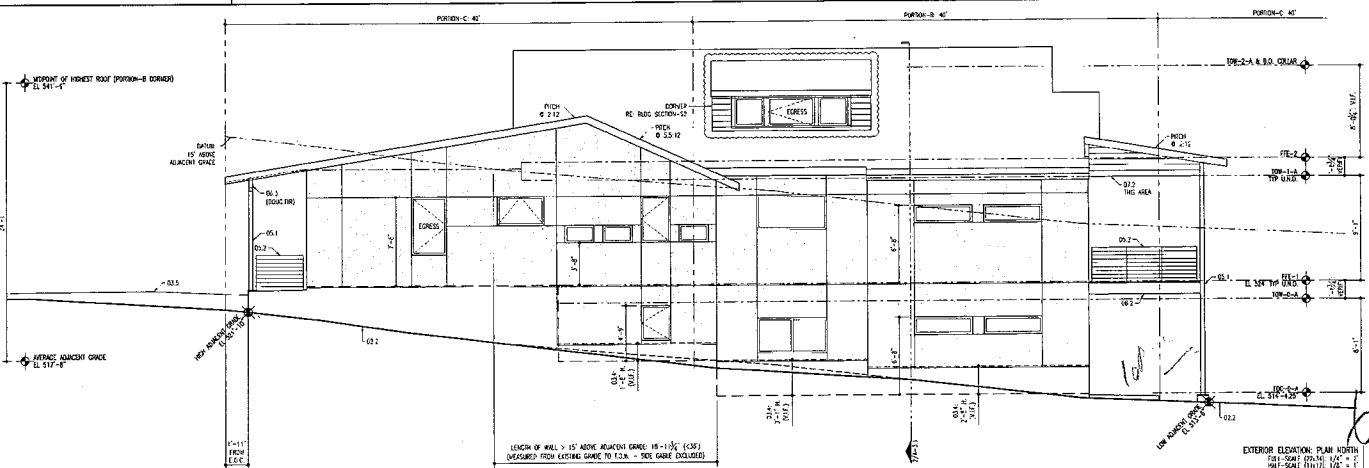
The Issues Staff of Architectural
Examiners, P.E. Box 12337, Austin, TX
78712-1237 or 512 Compadre, S-
2-25C, Austin, Texas 78791-7942, 5-
210-3034, has questions over-
sight/ed forward under the Austin
Regulation Act. Texas Civil Statute
Act 2014.

JESSIE STREET
NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE
ZILKER NEIGHBORHOOD
ZIP CODE: 78704
COURAGE: 55-3

BOREN
ARCHITECT
512-551-5151
DAN BOREN
BOREN+HALL+HITE CTS

DATE: 31 OCT 2014
ISSUE-2 FOR
REGULATORY APPROVAL
PROJECT: 1424
SCALE: AS NOTED
(RANGE)

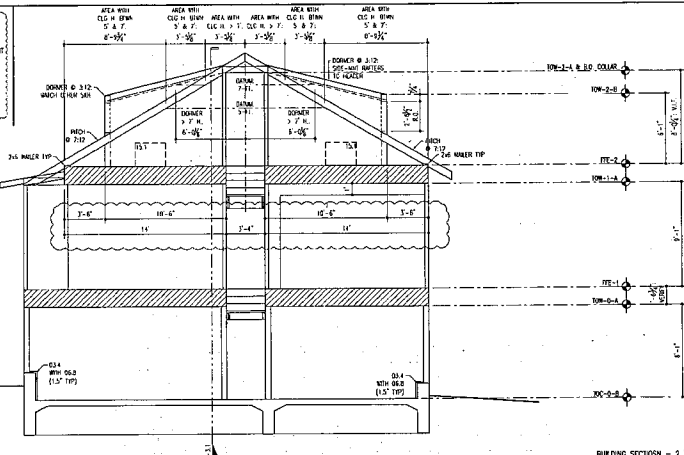
A2.2



ATC EXCEPTION SUMMARY	
2. PERMITTED ATC	
• VARIANCE SPACE TO BE COMPOUNDED	
• FLOOR AREA > 7' H HEIGHT = 274 SF	
• FLOOR AREA FROM 5' H	
• TOTAL FLOOR AREA	563.5 SF
3. EXEMPTED ATC	
• UNOCCUPIED SPACE - NOT CONSIDERED HARBORABLE BY IBC	
• FLOOR AREA > 7' H HEIGHT = 0 SF	
• FLOOR AREA FROM 5' H	
• TOTAL FLOOR AREA	0 SF
4. EXEMPTED ATC	
• UNOCCUPIED SPACE FOR NON-CONDITIONED MECHANICAL SPACE	
• FLOOR AREA > 7' H HEIGHT = 0 SF	
• FLOOR AREA FROM 5' H	
• TOTAL FLOOR AREA	0 SF
5. EXEMPTED ATC	
• UNOCCUPIED SPACE FOR NON-CONDITIONED MECHANICAL SPACE	
• FLOOR AREA > 7' H HEIGHT = 0 SF	
• FLOOR AREA FROM 5' H	
• TOTAL FLOOR AREA	0 SF
6. EXEMPTED ATC	
• NO CEILING HEIGHT > 5' - NOT INCLUDED IN FLOOR AREA DATA	
• NO CEILING HEIGHT > 5' - NOT INCLUDED IN FLOOR AREA DATA	
• NO CEILING HEIGHT > 5' - NOT INCLUDED IN FLOOR AREA DATA	
• FLOOR AREA > 7' H HEIGHT = 274 SF	
• FLOOR AREA FROM 5' H	
• TOTAL FLOOR AREA	563.5 SF

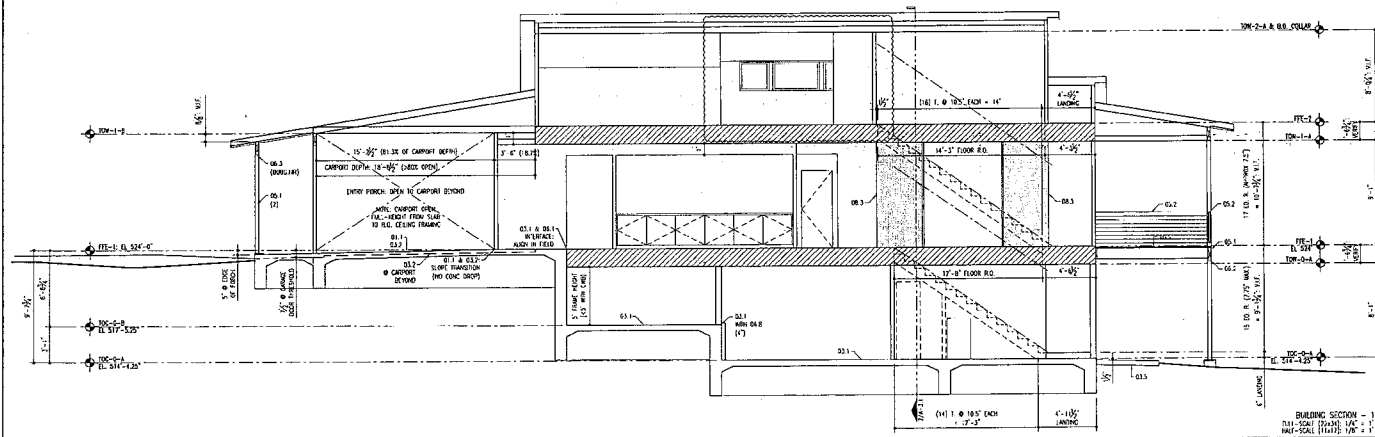
ATC EXCEPTION FLOOR DATA	
TOTAL FLOOR AREA OF HARBORABLE ATC (5' CEILING HEIGHT) REVIEWED FOR TECHNICAL BUILDING CODE	
274 SF	
FLOOR AREA OF HARBORABLE ATC WITH CEILING HEIGHT BETWEEN 5' & 7'	
274 SF	
FLOOR AREA OF HARBORABLE ATC WITH CEILING HEIGHT > 7'	
274 SF	
NOTED TO BUILDING SECTION-1 FOR AREA DRAWING INFO REGARDING HEIGHTS	

- ATC EXCEPTION NOTES**
1. ONLY TO HARBORABLE ATC IS CONSIDERED "HARBORABLE SPACE" BY THE IBC-2015
 2. AREA THIS PLAN WITH A SOLID SPACE - AREA WITH A CEILING HEIGHT OF 7' OR GREATER
 3. AREA THIS PLAN WITH A NOT HATCH - AREA WITH A CEILING HEIGHT OF 7' OR GREATER
 4. AREA THIS PLAN WITHOUT A HATCH - AREA WITH A CEILING HEIGHT OF 7' OR GREATER
 5. HARBORABLE SPACE IS COVERED WITH A HATCH SHOWN LINE



- KEYNOTES LEGEND**
- 01.1 ACCESSIBLE ROUTE, SEE VISIBILITY NOTES, LEVEL-1 PLAN ONLY
 - 02.1 EXISTING CHASE AT PROPERTY LINE
 - 02.2 EXISTING CHASE ADJACENT TO BUILDING
 - 02.3 EXISTING CHASE TO BE ADDED FOR STORM DRAINAGE, V.I.F.
 - 02.4 NEW FINISH CHASE, FILL-SECTION
 - 03.1 CONC FOUNDATION FOR STRUCT.
 - 03.2 CONC FOUNDATION FOR STRUCT. SLOPED TO DRAIN AS NOTED
 - 03.3 CONC FOR PER STRUCT.
 - 03.4 CONC SLOPED TO DRAIN AS NOTED
 - 03.5 CONC SLOPED TO DRAIN AS NOTED
 - 04.1 STEEL COLUMN WITH CAP CONNECTOR TO WOOD BEAM AS SHOWN
 - 05.1 METAL FRAMES CHANGING - RECOMMENDED ASSEMBLY
 - 05.2 1/2\"/>

REVIEWED FOR ZONING ONLY



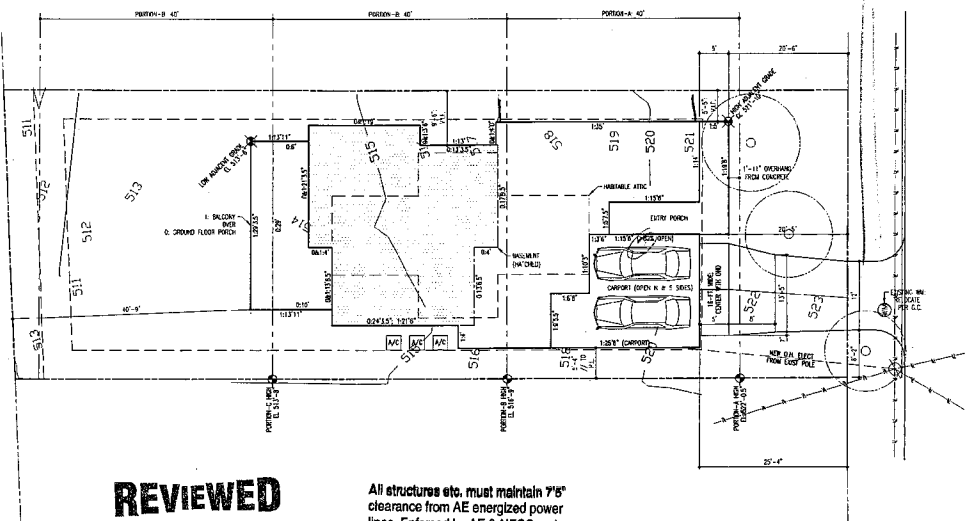
904 JESSIE STREET
SINGLE FAMILY RESIDENCE
ZONING: SF-1
CRAG PARKER HONES

BOREN ARCHITECTS
3122 EAST 10TH AVENUE
DENVER, CO 80218

DATE: 11 OCT 2014
ISSUE: 2 FOR REGULATORY APPROVAL
PROJECT: 1424
SCALE: AS NOTED
SHEET: EPB
A3.1

NOT REVIEWED FOR TECHNICAL BUILDING CODE

REVIEWED FOR ZONING ONLY



REVIEWED

SEP 24 2014
AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.

AE APPROVED

SEP 24 2014

RLS

SITE PLAN
SCALE: 1/8" = 1'-0"

SITE AREA DATA	
A. TOTAL BUILDING COVERAGE ON LOT:	2800 SF
B. DRIVEWAY AREA ON PROPERTY:	305
C. DRIVEWAYS / WALKWAYS ON PRIVATE PROPERTY:	N/A
D. UNCOVERED PARKING:	N/A
E. UNCOVERED WOOD DECKS:	N/A
F. AIR CONDITIONING PADS:	15 SF (3 @ 625 SF EACH (2.5% x 5))
G. OTHER:	N/A
TOTAL IMPERVIOUS COVERAGE AREA:	3270 SF (4.1% OF SITE AREA)
TOTAL SITE AREA:	7920 SF
* MAX I.C. = 4.5% OF SITE AREA OR 3242.7 SF	

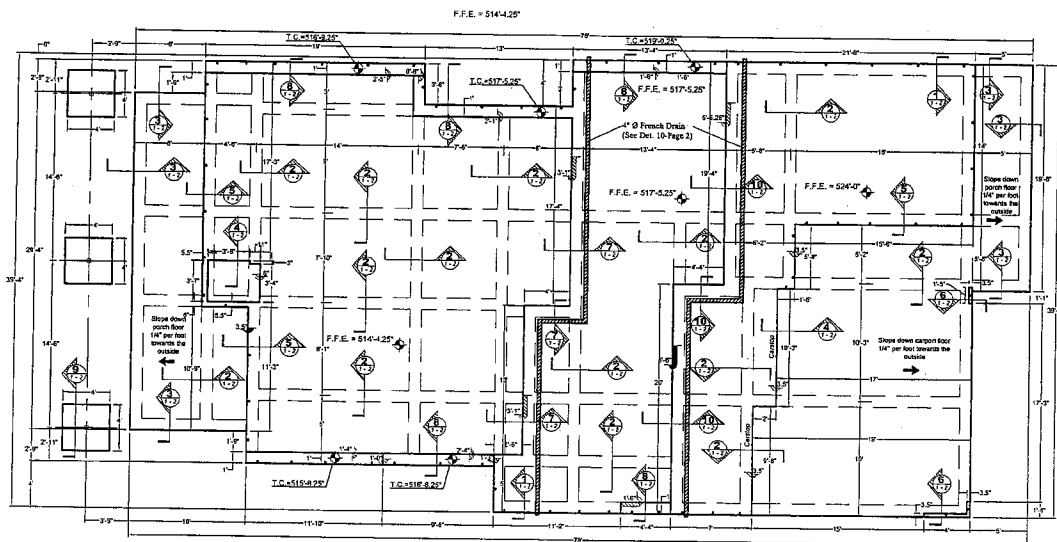
BUILDING AREA DATA	
A. FIRST FLOOR COVERAGE AREA:	1853 SF
B. SECOND FLOOR COVERAGE AREA:	807 SF
C. THIRD FLOOR COVERAGE AREA:	807 SF
D. DRIVEWAY COVERAGE AREA:	305 SF
E. COVERED PARKING:	435 SF
F. COVERED PORCH, DECK & PORCHES:	247 SF
G. BALCONY:	223 SF
H. OTHER:	N/A
TOTAL:	4844 SF
TOTAL BUILDING COVERAGE:	2800 SF
* MAX I.C. = 4.5% OF SITE AREA (TYPE AREA = 7280 SF)	

GROSS FLOOR AREA DATA	
I. FIRST FLOOR:	2412 SF
II. SECOND FLOOR:	807 SF
III. THIRD FLOOR:	807 SF
IV. BALCONY:	223 SF
V. DRIVEWAY:	305 SF
VI. PARKING STRUCTURE:	435 SF
VII. ACCESSORY BUILDING:	N/A
TOTAL:	4844 SF
* MAX I.C. = 4.5% OF SITE AREA (TYPE AREA = 7280 SF)	

NOTES	
1. ALL STRUCTURES MUST MAINTAIN 7'5" CLEARANCE FROM AE ENERGIZED POWER LINES.	
2. ALL STRUCTURES MUST MAINTAIN 10' CLEARANCE FROM 115KV POWER LINES.	
3. ALL STRUCTURES MUST MAINTAIN 15' CLEARANCE FROM 230KV POWER LINES.	
4. ALL STRUCTURES MUST MAINTAIN 20' CLEARANCE FROM 345KV POWER LINES.	
5. ALL STRUCTURES MUST MAINTAIN 25' CLEARANCE FROM 500KV POWER LINES.	
6. ALL STRUCTURES MUST MAINTAIN 30' CLEARANCE FROM 765KV POWER LINES.	
7. ALL STRUCTURES MUST MAINTAIN 35' CLEARANCE FROM 1150KV POWER LINES.	
8. ALL STRUCTURES MUST MAINTAIN 40' CLEARANCE FROM 1380KV POWER LINES.	
9. ALL STRUCTURES MUST MAINTAIN 45' CLEARANCE FROM 1725KV POWER LINES.	
10. ALL STRUCTURES MUST MAINTAIN 50' CLEARANCE FROM 220KV POWER LINES.	
11. ALL STRUCTURES MUST MAINTAIN 55' CLEARANCE FROM 287.5KV POWER LINES.	
12. ALL STRUCTURES MUST MAINTAIN 60' CLEARANCE FROM 363KV POWER LINES.	
13. ALL STRUCTURES MUST MAINTAIN 65' CLEARANCE FROM 460KV POWER LINES.	
14. ALL STRUCTURES MUST MAINTAIN 70' CLEARANCE FROM 550KV POWER LINES.	
15. ALL STRUCTURES MUST MAINTAIN 75' CLEARANCE FROM 660KV POWER LINES.	
16. ALL STRUCTURES MUST MAINTAIN 80' CLEARANCE FROM 762KV POWER LINES.	
17. ALL STRUCTURES MUST MAINTAIN 85' CLEARANCE FROM 880KV POWER LINES.	
18. ALL STRUCTURES MUST MAINTAIN 90' CLEARANCE FROM 1000KV POWER LINES.	
19. ALL STRUCTURES MUST MAINTAIN 95' CLEARANCE FROM 1100KV POWER LINES.	
20. ALL STRUCTURES MUST MAINTAIN 100' CLEARANCE FROM 1200KV POWER LINES.	

904 JESSIE STREET
BORN
ARCHITECTS
11200 RYAN
DALLAS, TX 75244
(214) 635-1111
BORNARCHITECTS.COM

SEP 23 2014
ISSUED FOR
STATIONARY APPROVAL
PROJECT: 1424
SCALE: AS NOTED
DATE: 09/23/14
SHEET: A0.1



NOTE:
Dimensions for interior beams are taken from edge of foundation to center of interior beam.

FINISHED FLOOR ELEVATION:
To be set into 10" to 12" above highest point of natural ground inside the perimeter of the proposed concrete foundation.

DIMENSION NOTES:
1. Do NOT scale off dimensions on plans.
2. For discrepancies contact design engineer.

DIMENSIONAL NOTE:
Concrete contractor shall verify all foundation dimensions with the worksheet drawings. If the contractor finds discrepancies, contractor shall notify the Design Engineer immediately or the contractor shall bear all liability.



NOT REVIEWED FOR TECHNICAL BUILDING CODE

SLAB-ON-GRADE CONCRETE FOUNDATION
SCALE: 1/8" = 1'-0"

General Notes

GENERAL NOTES:

- The design of this project is the property of General Engineering Co. Any change without prior written permission is not permitted.
- Any field changes or omissions shall be reported to the design engineer immediately at (512) 899-2246.
- All requests for information by City of Austin, TX, shall be received prior to start of construction.
- All construction and measurements shall be taken from the centerline of the main structure.
- All work shall be checked daily by all means during and after.
- The site and building shall be designed in accordance with the 2012 Edition of the International Residential Code (IRC) and other documents adopted by City of Austin, TX.

76325

4/5/14

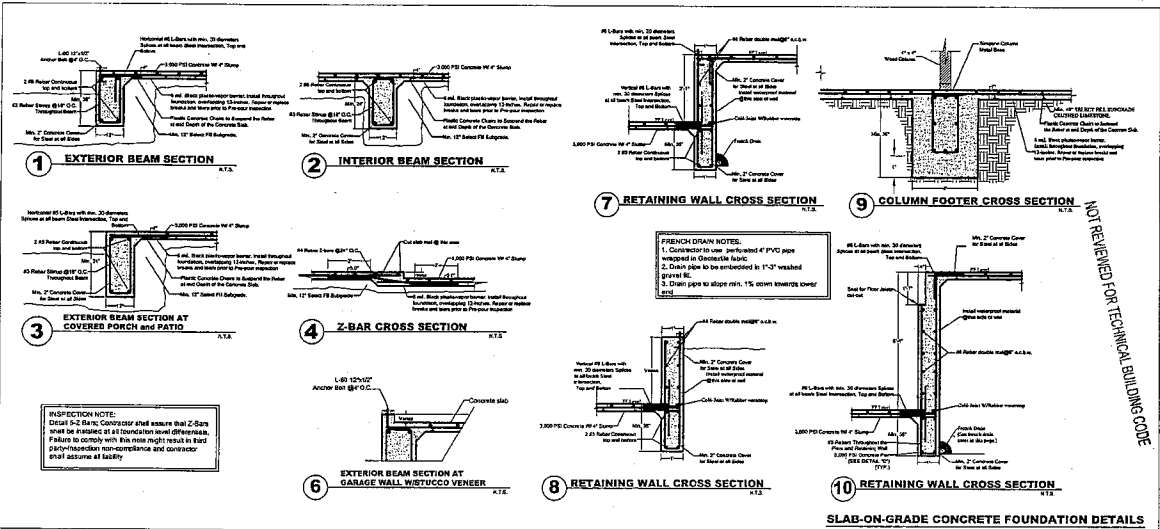
No.	Revisions/Notes	Date

G/E
General Engineering Company
T.E. P.E. Registered Professional Engineer
500 E. Palm Street, Suite 100, Austin, TX, 78701
(512) 899-2246 Office
(512) 899-2247 Fax
egeneral@generalengineering.com

PROPOSED RESIDENTIAL FOUNDATION AND STRUCTURAL FRAMING PLANS

VR-RES38 BT
AUSTIN, TEXAS, 78704

Sheet	CE
ALU-14-339	1
2.00	OF 7
As Shown	



SITE WORK PREPARATION (OPTIONAL FOR RESIDENTIAL PROJECTS):

- The excavation shall consist of removing ALL top soil (whether if rock strata encountered) within the exterior perimeter of the foundation foot print, relocating the removed soils to the designated access roads staging area. The site work contractor shall install the required (where applicable) temporary erosion controls and maintain them during the extent of the storage of excess spoils.
- SUBGRADE:** After the subgrade has been excavated, the contractor shall clearly the subgrade, moisture condition the surface of the subgrade, and compact with a 10-ton roller to achieve a compaction of 90% of the optimum compaction density in accordance with TxDOT Method TEX-114-E. Once the subgrade has been compacted, the site work contractor shall have the subgrade tested for compaction. If the results of the subgrade testing are inadequate, the site work contractor shall rework the subgrade, retested until the subgrade has achieved the acceptable compaction.
- SELECT FILL:** After the desired compaction of the subgrade is achieved, the site work contractor shall commence to install at the lower grade elevation at the exterior perimeter of the foundation (front of house) in 8-inch loose lifts the select fill (TxDOT Item No. 200-Placeable Road Base Material, Grade No. 2 (single aggregate less than 1.5" largest diameter)). The fill shall be installed in uniform layers, graded, wetted, and compacted in accordance with TxDOT Method TEX-112 (1) with an optimum variation of $\pm 2\%$ of the moisture contents. After the first lift is successfully compacted, the site work contractor shall continue installing successive layers in 8" loose lifts, each lift being tested for compaction. The contractor shall extend the limits of the select fill pad up to four feet beyond the exterior lines of the concrete foundation.
- The final lift shall be constructed up to 5-inches below the top elevation of the proposed concrete foundation or flat work, graded to within a tolerance of 0.1% test throughout the foundation slab pad. The blue-topping of the select fill pad shall be field verified for this tolerance. The site work contractor shall have the surveyor of record verify the finished pad elevation prior to continuing the construction of the construction of the select fill pad.
- (Optional) The testing shall follow the results of the all the testing to the owner and the foundation design engineer (Genesis 1 Engineering, 8104 S First Street, Suite #150, Austin, Texas 78745, 512-858-2246).
- SELECT FILL AT NON-FOUNDATION CONCRETE FLAT WORK:** The contractor shall install in similar fashion to Item No. 8 with the following depths for the select fill (Item 2 Road Base Material):
 - Concrete driveways: eight (8) inches
 - Concrete Parking Area: six (6) inches
 - Sidewalks: six (6) inches
 - Other areas: field verified with Engineer

NOTE: The Owner, at their discretion, shall call for a pre-construction conference with the Owner, the Civil Engineer, the contractor and all related site-contractor prior to start of work.

FOUNDATION NOTES:

- Typical section, manila and details shown are "typical" and shall apply to similar situations.
- All beams are to be a minimum of 12" wide by 36" deep (exterior) and 12" wide by 24" deep (interior), slab to be 4.0" thick, unless noted otherwise (U.N.C.) on foundation layout.
- All exterior beams must extend a minimum of 12" into undisturbed soil or to rock. If solid rock is encountered beneath the beam, the beam depth may be reduced. The maximum reduction in beam depth may not exceed 50% of the original depth. Specific permission must be obtained from the engineer prior to beam construction.
- No accelerators are to be used in the event of cold weather.
- All concrete shall be consolidated by use of a mechanical vibrator.
- Reinforcing bars shall be designed, fabricated, and placed in accordance with the latest edition of the ACI Code.
- Reinforcing bars shall be ASTM A615 Grade 60.
- Continuous reinforcing bars shall have a minimum lap of 30 diameters or 24", whichever is greater. Provide corner bars for all continuous reinforcing bars at all corners with a minimum lap of 20 diameters or 24", whichever is greater.
- Welded wire mesh (W.W.M.) shall conform to ASTM A185.
- Place concrete at such rate that concrete which is being integrated with fresh concrete is still plastic.
- Deposit concrete as nearly as possible to its final location to avoid segregation due to handling and flowing. Do not subject concrete to any procedure which might cause segregation. Do not use mechanical vibrators to relocate concrete.
- All p.v.c., copper and pipe insulation run horizontally shall be a minimum of 6.0" from the top of the slab.

MATERIALS:

- All concrete shall be normal weight and shall have a minimum compressive strength of 3,000 p.s.i. at 28-days. Concrete design mix shall be as per ACI 318.
- All reinforcing bars shall conform to ASTM A615.
- (Optional) Concrete cylinders shall be poured for the purpose of verifying the strength of the poured concrete by a geotechnical testing lab. A set of four cylinders shall be prepared for every 100 yards of placed in the ground concrete. The testing lab shall forward the results of the testing (slump and strength) to the owner and the design engineer.

GENERAL NOTES:

- The design of this project is the property of Genesis 1 Engineering Co. Any changes without prior written permission is not permitted.
- Any field changes or omissions shall be reported to the design engineer immediately at (512) 858-2246.
- All required permits by City of Austin, TX shall be secured prior to start of construction.
- All necessary and appropriate shall or least five years experience in the construction industry.
- Job site shall be cleaned daily of all excess debris and spoil.
- The site and building shall be designed in accordance with the 2015 Edition of the International Residential Code (IRC) and other standards adopted by City of Austin, TX.

NOT REFINED FOR TECHNICAL BUILDING CODE

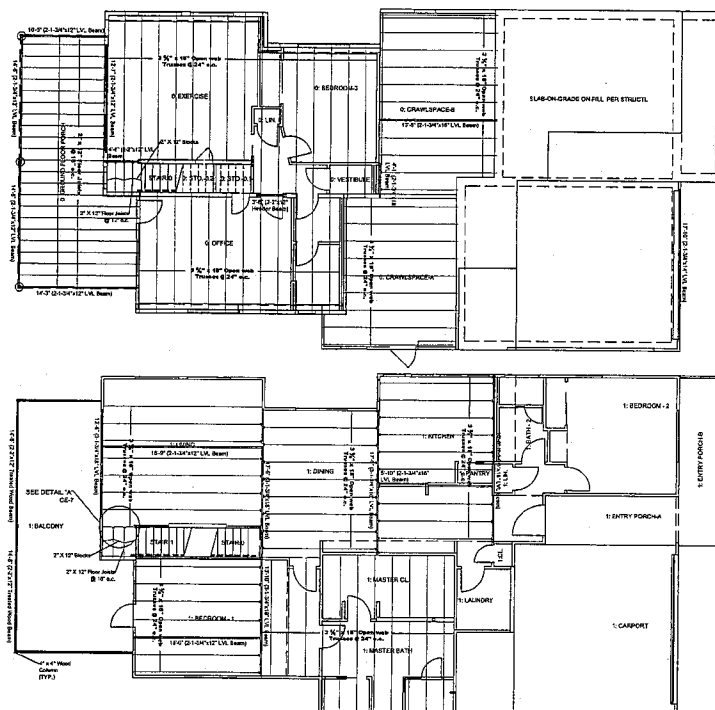
Genesis 1 Engineering Company
 8104 S. First Street, Suite 150, Austin, TX 78745
 (512) 858-2246
 g1engr@austin.tx.us
 www.genesis1engr.com

PROPOSED RESIDENTIAL FOUNDATION AND STRUCTURAL FRAMING PLANS

9013384.DWG
 AUGUST 14, 2024

As Shown

CE 2 OF 7



FIRST FLOOR

SECOND FLOOR

STRUCTURAL FRAMING PLAN
Scale: 3/32" = 1'-0"

NOT REVENUED FOR TECHNICAL BUILDING CODE

GENERAL NOTES:

1. The design of this project is the property of Genesis Engineering Co. Any changes without prior written permission is not permitted.
2. Any field changes or omissions shall be reported to the design engineer immediately by (111) 899-2245.
3. All required permits by City of Austin, TX shall be secured prior to start of construction.
4. All construction and reconstruction shall be done per state experience in the construction industry.
5. Job site shall be cleaned daily of all excess debris and spoil.
6. The site and building shall be designed in accordance with the 2012 Edition of the International Residential Code (IRC) and other standards adopted by City of Austin, TX.



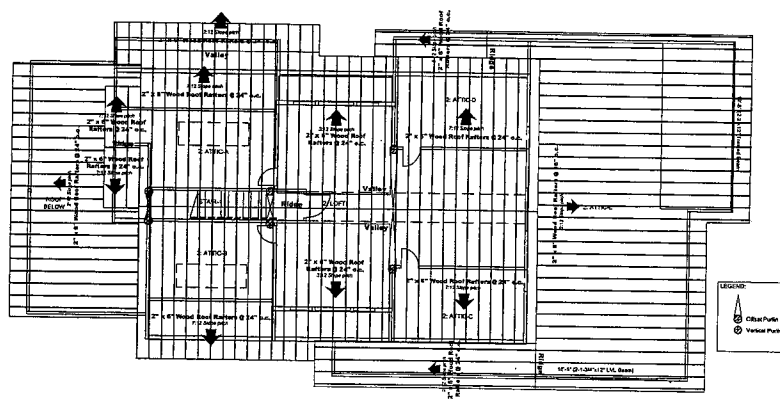
No.	Revisions/Notes	Date

G/E
Genesis Engineering Company
7,872 - Registered Firm of 1,041
4034 S. New Street, Suite 102, Austin, TX 78745
(512) 899-2245 Office
(512) 899-2203 Fax
engineer@genesisengineering.com

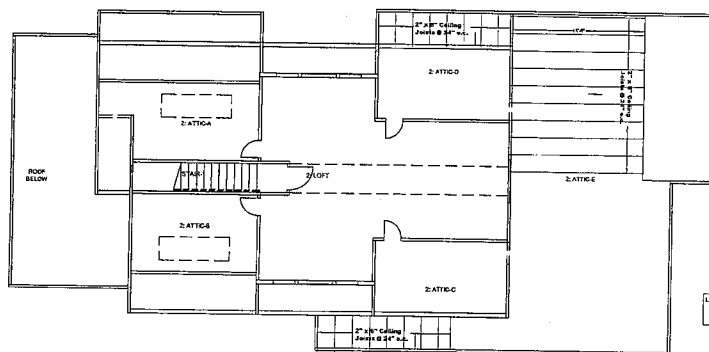
PROPOSED RESIDENTIAL
FOUNDATION AND STRUCTURAL
FRAMING PLANS

944 RES3137
AUSTIN TEXAS, JUNE

Project	AU-14-339	Sheet	CE 3
Scale	2.00	Of	7
Notes	As Shown		



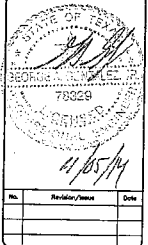
ROOF FRAMING PLAN
Scale: 3/32" = 1'-0"



CEILING FRAMING PLAN
Scale: 3/32" = 1'-0"

NOT RELEVANT TO TECHNICAL BUILDING CODE

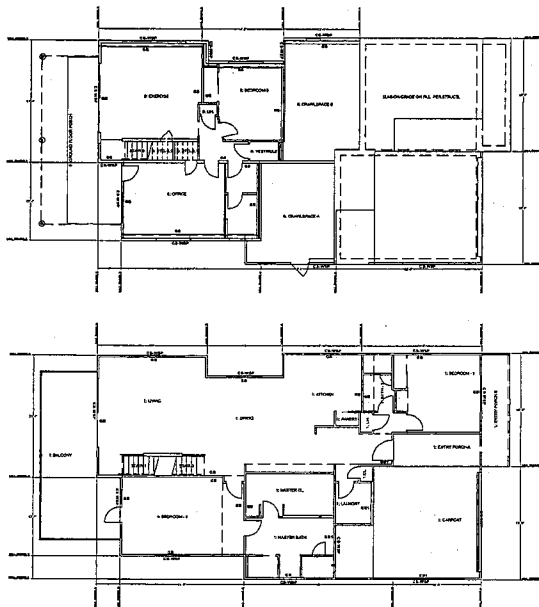
- GENERAL NOTES:**
1. The design of this project is the property of G/E Engineering Co. Any changes without prior written permission is not permitted.
 2. Any field changes or conditions shall be reported to the design engineer immediately at (512) 899-2345.
 3. All required permits by City of Austin, TX, shall be secured prior to start of construction.
 4. All contractors and subcontractors shall at least five years experience in the construction industry.
 5. Job site shall be cleaned daily of all excess debris and waste.
 6. The site and building shall be designed in accordance with the 2012 Edition of the International Residential Code (IRC) and other standards adopted by City of Austin, TX.



G/E
G/E Engineering Company
T.E.P.E. Registered Firm #0100
1004 S. Pen Street, Suite 101, Austin, TX 78705
(512) 899-2345 (Fax)
eng@ge-engineering.com

Project Name: **PROPOSED RESIDENTIAL FOUNDATION AND STRUCTURAL FRAMING PLANS**
194 BOWEN ST
AUSTIN, TEXAS 78704

Drawn: ALI-14-339	Scale:
Check: 2.00	Sheet: CE 4
As Shown:	Of: 7



FIRST FLOOR

SECOND FLOOR

WALL BRACING NOTES

1.0	General Notes
2.0	Foundation Notes
3.0	Structural Notes
4.0	Roofing Notes
5.0	Exterior Notes
6.0	Interior Notes
7.0	MEP Notes
8.0	Other Notes

WALL BRACING PLAN
Scale: 1/16" = 1'-0"

NOT REFINED OR TECHNICAL BUILDING CODE

General Notes

1. The design of this project is the property of Genesis 1 Engineering Co. Any design without prior written permission is not permitted.
2. Any field changes or revisions shall be reported to the design engineer immediately at (512) 899-2346.
3. All required permits for City of Austin, TX shall be secured prior to start of construction.
4. All materials and laborers shall be in full compliance with the International Building Code (IBC) and other standards adopted by City of Austin, TX.
5. Job site shall be cleared daily of all construction debris and waste.
6. The site and building shall be designed to conform with the 2012 Edition of the International Building Code (IBC) and other standards adopted by City of Austin, TX.

7. The design of the wall bracing for this project is based on the 2012 Edition of the International Building Code (IBC) and other standards adopted by City of Austin, TX.
8. The design of the wall bracing shall be in accordance with Chapter 6, Section 602.10.2 and 602.10.3 of the International Building Code (IBC) and other standards adopted by City of Austin, TX.
9. If construction is not done in accordance with the design, the City of Austin may require the contractor to stop work until the design is revised.

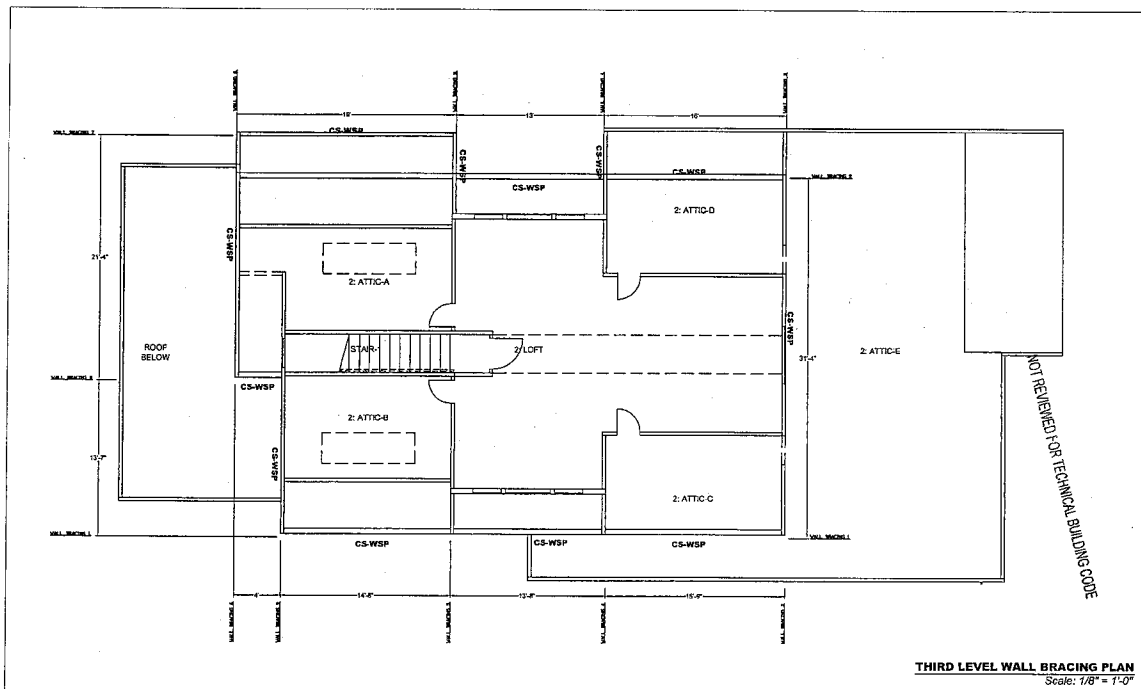
10. The design of the wall bracing is based on the 2012 Edition of the International Building Code (IBC) and other standards adopted by City of Austin, TX.
11. The design of the wall bracing shall be in accordance with Chapter 6, Section 602.10.2 and 602.10.3 of the International Building Code (IBC) and other standards adopted by City of Austin, TX.
12. If construction is not done in accordance with the design, the City of Austin may require the contractor to stop work until the design is revised.

No.	Revision/Date	Date

G/E
Genesis 1 Engineering Company
2345 E. Highway 100, Suite 100, Austin, TX 78745
(512) 899-2346
genesis1@genesis1engineering.com

PROPOSED RESIDENTIAL
FOUNDATION AND STRUCTURAL
FRAMING PLANS

NO. 14-139		<div>CE 5</div> <div>OF 7</div>
Scale: 1/16" = 1'-0"		
As Shown		



GENERAL NOTES:

1. The design of this project is the property of Genesis 1 Engineering Co. Any changes without prior written permission is not permitted.
2. Any field changes or conflicts shall be reported to the design engineer immediately at (512) 892-2900.
3. All requests for change by City of Austin, TX, shall be received prior to start of construction.
4. All construction and submittals shall be made five years prior to the construction.
5. All work shall be checked daily of all items.
6. The use and building shall be designed in accordance with the 2012 Edition of the International Residential Code (IRC) and other standards adopted by City of Austin, TX.

WALL BRACING NOTES:

1. The design of the wall bracing for this project is based on the 2012 Edition of the International Residential Code (IRC).
2. Member of wall bracing shall be of the Continuous Structural Steeling in accordance Chapter 6, Section 602.1.1.1.1 and 602.1.1.1.2 of the IRC.
3. If construction method differs from the one specified in the code, the engineer and designer shall be approved for approval of alternate method.

REVISION NOTE:

1. Wall bracing dimensions presented only for City of Austin plan review purposes.
2. For framing dimensions refer to Architectural floor plan.

No.	Revision/Date	Date

G/E
 Genesis 1 Engineering Company
 P.O. Box 100000, Austin, TX 78710
 (512) 892-2900 Fax
 gen1engr@genesis1engineering.com

Project Name and Address
**THURGOOD RESIDENTIAL
 FOUNDATION AND STRUCTURAL
 FRAMING PLANS**
 900 JONES ST
 AUSTIN, TEXAS 78701

Sheet	ALU-14-139	Rev	
Scale	2.00	CE	6
	As Shown	OF	7

NOTICE OF APPEAL INFORMATION

Austin City Code ARTICLE 7. APPEALS, VARIANCES, SPECIAL EXCEPTIONS, AND ADJUSTMENTS.

Division 1. Appeals

(see page 2 of 2 for appeal process)



Planning and Development Review Department

Address of Property in Question

904 Jessie St

Permit Number

2014-102999 PR

Appellant Filing Appeal

Zilker Neighborhood Association

Relationship to Property

subject property is within the neighborhood boundaries

Appellant's status as Interested Party

neighborhood association in which subject property is located

Appellant Contact Information

Name

David King, President, ZNA

Street

1808 Kerr Street

City

Austin

State

TX

Zip

78704

Telephone

(512) 415-6016

E-Mail

dking@austin.rr.com

Permit Holder Contact Information

Name

Homes By Parker (Darrell C. Parker)

Street

P. O. Box 162942

City

Austin

State

TX

Zip

78716

Telephone

(512) 327-2877

E-Mail

info@craigparkerhomes.com

Date of Decision Being Appealed:

24 Nov 2014

Date Appeal is Filed:

12 Dec 2014

Decision being appealed: (use additional paper as required)

issuance of building permit 2014-102999 PR for 904 Jessie St

Reason the appellant believes the decision does not comply with the requirements of the Land Development Code (Title 25)

The applicant has 1) failed to measure McMansion FAR to the outside surface of the exterior walls and 2) has not complied with the requirements of the carport exemption. As a result, the house does not comply with the McMansion ordinance which requires that the FAR not exceed 40%.

See attached details.

BELOW FOR CITY USE ONLY

Hearing Date:

Board or Commission:

Action on Appeal:

Date of Action

Form Bldg 101 Page 1 of 2

The applicant must complete page 2 of 2 and sign before this application of appeal is complete. The application will not be processed unless the applicant reads and signs page 2 of 2.

Appeal Process

You may appeal by following the Land Development Code requirements below. You must complete the form with all required information.

ARTICLE 7. APPEALS, VARIANCES, SPECIAL EXCEPTIONS, AND ADJUSTMENTS.

Division 1. Appeals.

§ 25-1-181 STANDING TO APPEAL.

- (A) A person has standing to appeal a decision if:
- (1) the person is an interested party; and
 - (2) a provision of this title identifies the decision as one that may be appealed by that person.
- (B) A body holding a public hearing on an appeal shall determine whether a person has standing to appeal the decision.

Source: Section 13-1-250; Ord. 990225-70; Ord. 030828-65; Ord. 031211-11.

§ 25-1-182 INITIATING AN APPEAL.

An interested party may initiate an appeal by filing a notice of appeal with the responsible director or building official, as applicable, not later than:

- (1) the 14th day after the date of the decision of a board or commission; or
- (2) the 20th day after an administrative decision.

Source: Section 13-1-251(a); Ord. 990225-70; Ord. 031211-11.

§ 25-1-183 INFORMATION REQUIRED IN NOTICE OF APPEAL.

The notice of appeal must be on a form prescribed by the responsible director or building official and must include:

- (1) the name, address, and telephone number of the appellant;
- (2) the name of the applicant, if the appellant is not the applicant;
- (3) the decision being appealed;
- (4) the date of the decision;
- (5) a description of the appellant's status as an interested party; and
- (6) the reasons the appellant believes the decision does not comply with the requirements of this title.

Source: Section 13-1-251(a); Ord. 990225-70; Ord. 010329-18; Ord. 031211-11.

By signing this document, I attest to having read and understand my rights as granted by the Land Development Code for the process of appealing an administrative decision by the building official or the responsible director.

12 Dec 2014

David King

Date:

Printed Name:

Signature:



904 JESSIE STREET (PERMIT NUMBER 2014-102999 PR)

Reasons the Decision Does Not Comply with the Requirements of the Land Development Code:

- 1) The Land Development Code (LDC) requires that the gross floor area be measured to the outside surface of the exterior walls:

SUBCHAPTER F: RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS

§ 3.3. GROSS FLOOR AREA.

In this Subchapter, GROSS FLOOR AREA has the meaning assigned by Section 25-1-21 (Definitions), with the following modifications:

3.3.1. In this Subchapter, GROSS FLOOR AREA means all enclosed space, regardless of its dimensions, that is not exempted under subsections 3.3.2, 3.3.3, or 3.3.4.

§ 25-1-21 DEFINITIONS.

(44) GROSS FLOOR AREA means the total enclosed area of all floors in a building with a clear height of more than six feet, measured to the outside surface of the exterior walls. The term includes loading docks and excludes atria airspace, parking facilities, driveways, and enclosed loading berths and off-street maneuvering areas.

The architectural plans of the first and second floor appear to be drawn to the outer edge of the wood framing and not to the “outside surface of the exterior walls” which is demonstrated by the fact that the first floor plan dimensions match the foundation plan dimensions. Normally, the edge of the framing is aligned with the foundation edge. When sheathing and siding are added, this dimension is typically increased by more than an inch on all sides. Since the criteria for calculating the McMansion FAR is measurement to the “outside surface of the exterior walls”, the McMansion FAR is not calculated correctly. If one assumes a ½” sheathing and ¾” siding, the first floor area is increased 22.9 sq ft and the basement floor area is increased by 10.3 sq ft. This is an additional 33.2 sq ft that must be added to the McMansion FAR calculation. Using AutoCAD and the applicant’s dimensions, ZNA calculated an area of 1,893.0 sq ft for the first floor and 968.9 sq ft for the basement floor as measured to the edge of framing, for a total of 2,861.9 sq ft. Adding the additional 33.2 sq ft for the area from the edge of framing to the outside surface of the exterior wall makes the total FAR 2,895.1 sq ft. This is 40.17% or 12.7 sq ft over the maximum limit of 40%. The gross floor area contained in the floor plans must be reduced to comply with the LDC.

For the record, please note that the applicant’s math and the total gross floor area shown on the McMansion calculation sheet on page 3 of the application are in error (1893 sq ft + 970 sq ft = 2,863 sq ft, not 2,880 sq ft).

- 2) For the record, please note that this project is claiming a “parking area” exemption even though the checkbox is not correctly checked on page 3 of the application. The Land Development Code (LDC) requires that the carport (parking area) be open 80% on at least two sides to be exempted from gross area floor calculations:

SUBCHAPTER F: RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS

§ 3.3. GROSS FLOOR AREA.

In this Subchapter, GROSS FLOOR AREA has the meaning assigned by Section 25-1-21 (Definitions), with the following modifications:

...

3.3.2. Subject to the limitations in paragraph C below, the following parking areas and structures are excluded from gross floor area for purposes of this Subchapter:

A. Up to 450 square feet of:

...

3. A parking area that is open on two or more sides, if:

- i. it does not have habitable space above it; and*
- ii. the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport.*

ZNA believes the applicant does not meet this requirement because the applicant’s calculation of the carport opening on the north side is a) not greater than 80% and b) not clear and unobstructed.

- a) The applicant is utilizing an L-shaped carport, which creates issues in calculating the percentage of the opening on the north side of the carport. ZNA believes utilizing an L-shaped carport allows one to misinterpret the intent of the ordinance and circumvent it. There is no real question as to the length of the opening. However, there is a difference of interpretation with respect to the overall length of the wall to be used in calculating the percentage of the opening. There are three ways one might calculate the overall length of the north wall as shown in Exhibit A. The applicant is utilizing Method 2 although some applicants are even arguing for the use of Method 3. ZNA believes Method 1 is the correct way to calculate the opening. Using this method, the opening is only 59.3%. Using Method 2, the opening is almost exactly 80%. Please note that in using Method 2, the applicant calculates the opening percentage to be 81.3% as shown in Drawing A3.1. This is because the applicant incorrectly uses an overall length of 18'-8½" instead of the actual 19' as shown on the first floor plan in Drawing A1.1.

ZNA believes it is a misinterpretation of the ordinance to not require the overall measurement along the full length of the entire carport. The problem associated with using Method 2 is illustrated more fully in Examples 1 through 6 of Exhibit B. As part of

the internal carport wall shifts from Example 1 to Example 6, it becomes more and more apparent that the overall length of the wall opening should be measured using Method 1. If one were to accept the use of Method 2, then it must be decided at which point (from Example 1 to Example 6) the measurement of the overall length should be switched to Method 1 from Method 2.

- b) The applicant is claiming that the north side of the carport is clear and unobstructed. ZNA believes that an assertion that a carport opening is clear and unobstructed when it is immediately adjacent to an enclosed and covered entry way is not only inconsistent with the plain wording of the ordinance, it is completely inconsistent with the intent of the ordinance. Since the ordinance grants only a 200 sq ft exemption for an enclosed parking area, we believe that the clear and unobstructed wall openings required for a carport were specifically intended to prevent the additional mass that would be created by constructing an enclosed parking area (i.e., a garage) to the front of a house. The idea was that an open carport could qualify for the larger 450 sq ft exemption because this type of parking area would not seem so massive. The applicant for 904 Jessie, as well as other applicants, are attempting to use the carport exemption to essentially allow construction of something that very closely resembles an enclosed garage. ZNA does not believe the carport exemption was ever intended to allow garage doors on carports. However, the ordinance does seem to permit this as the current project demonstrates. What the ordinance does not permit, and should not be interpreted to permit, is for the "carport" to become even more similar to a garage by allowing one side of it to be completely enclosed with an entry way that is itself also enclosed and covered.

Exhibit B illustrates possible examples of parking areas that are adjacent to covered and enclosed entry ways. ZNA believes that Examples 1 through 6 are instances where the carport opening is not clear and unobstructed. We believe Examples 7 and 8 are acceptable under the current wording of the ordinance.

Under what ZNA believes is the correct interpretation of the LDC, the applicant should only be entitled to a 200 sq ft exemption for the attached parking area. With only a 200 sq ft exemption, another 238 sq ft must be added to the McMansion FAR. This pushes the FAR percentage well over the 40% requirement.

()

Method 1



Method 2



Method 3



Example 1



Example 2



Example 3



Example 4



Example 5

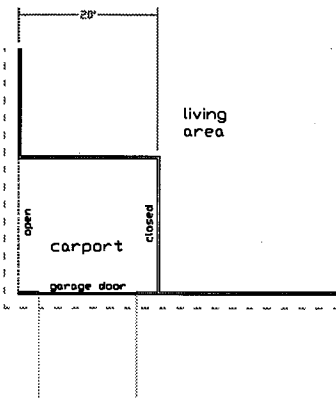


Example 6

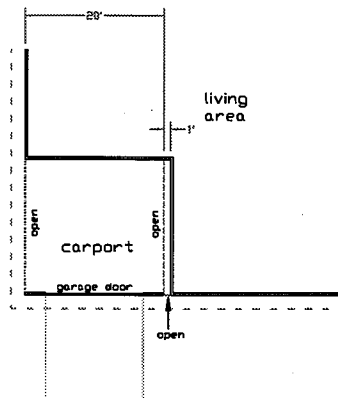


EXHIBIT B

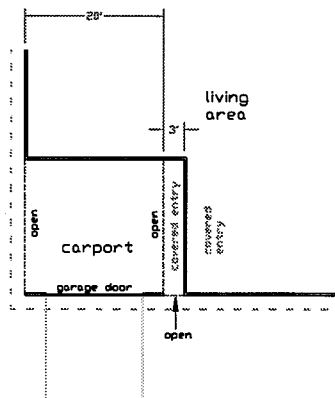
Example 1



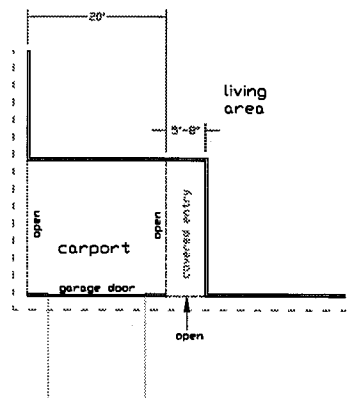
Example 2



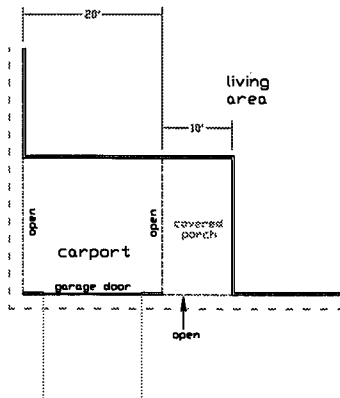
Example 3



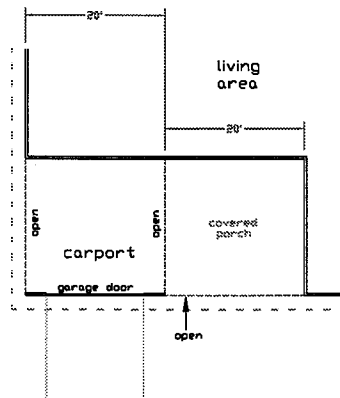
Example 4



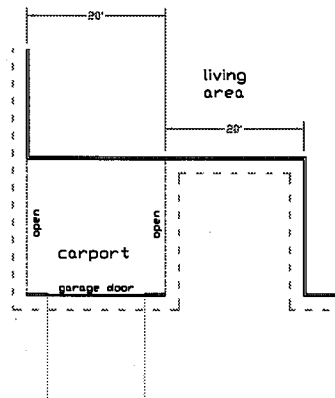
Example 5



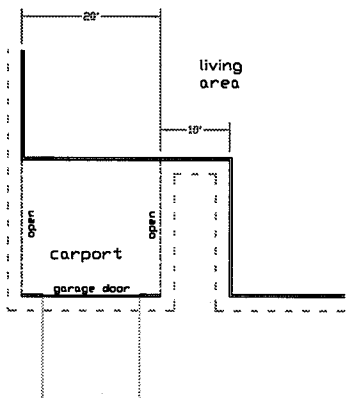
Example 6



Example 7



Example 8



— solid wall

- - - - roofline

— opening underneath roof

— driveway



City of Austin

P.O. Box 1088, Austin, Texas 78767

RECEIPT

Receipt 6068576

No.:

Payment 12/29/2014

Date:

Invoice 6090647

No.:

Payer Information

Company/Facility Name: Zilker Neighborhood Association

Payment Made By: David King

1808 KERR AVE

AUSTIN TX 78704

Phone No.: (512) 415-6016

Payment Method: Check

Payment Received: \$388.00

Amount Applied: \$388.00

Cash Returned: \$0.00

Comments: CHECK 1355

Additional Information

Department Name: Planning and Development Review

Receipt Issued By: Crystal Lopez

Receipt Details

FAO Codes	Fee Description	Internal Ref. No.	Address	Permit/Case No.	Amount
1000 6800 9770 4120	BOA/SRB Fee	11269461	904 JESSIE ST	2014-000001-BA	\$388.00
Total					\$388.00



MEMORANDUM

TO: Board of Adjustment
FROM: Daniel Word, Planner Principal, Residential Review
DATE: December 31, 2014
SUBJECT: Appeal of Building Permit Approval at 904 Jessie Street

Timeline

An application was submitted to Residential Review on September 24, 2014 proposing to construct a new two-story single-family residence. The construction plans (Attachment A) related to the permit application were approved on November 24, 2014 and the subsequent building permit was activated on the same day.

An appeal (Attachment B) of the building official's administrative decision to approve the permit request was received on December 12, 2014.

Arguments

The appeal raises two issues. Firstly, the appellant (Zilker Neighborhood Association) challenges the applicant's method for measuring gross floor area as defined in Title 25-2 Subchapter F Article 3.3. The appellant asserts that the approved plans show measurements taken to the outside edge of framing only and does not include the exterior finish.

Secondly, the appeal questions the application of the "carport exception" provided in Title 25-2 Subchapter F Article 3.3.2.A.3. as it relates to the requirement that the open sides of the carport be clear and unobstructed for at least 80% of the area measured below the top plate to the finished floor. This particular case proposes a carport that is bounded by six "sides" rather than four, referred to by the appellant as an "L-shaped" carport.

The appellant also takes issue with the location of a covered porch immediately adjacent to the carport structure. In this particular case, the appellant argues that placing the porch in the proposed location should disallow the adjacent "side" of the carport area to be used towards the required "open sides" necessary to obtain the exception from gross floor area.

Commentary

Related to the first issue, gross floor area is defined in the code under Title 25-1-21 (44) as the total enclosed area of all floors of a building, measured to the outside surface of the exterior walls. Subchapter F essentially adopts this same language, only making further provisions for parking areas, porches, attics, and basements. It appears that the applicant has taken measurements to the outside edge of the framing, which would align with the foundation edge. Such a method would ignore the thickness of the exterior finish material.

The second issue raised is a challenging subject. The code requires that the parking area be "open on two or more sides" and that the open sides are "clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport". This section of code is very specific regarding the vertical dimensions to be calculated, but is vague when describing the horizontal dimensions to be considered. The appellant outlines various possible interpretations and circumstances that can arise given the vagueness and lack of clarity or specificity in the code.

The Land Development Code offers no direction or definition as to what should constitute a "side" of a carport. The LDC defines a carport in Title 25-1-22 as "a roofed space used as shelter for a parked vehicle". The International Residential Code (2012 IRC) simply defines a carport as being "open on at least two sides". The Transportation Criteria Manual does provide minimum depths and widths for parking stalls. For residential 90° head-in, back-out parking, staff requires stalls to be a minimum of 8.5 feet in width and 17 feet in depth.

The location of the entry porch also creates a difficult assessment. The code exempts ground floor porches less than 200 square feet from the gross floor area calculation provided that they are not accessible by automobile and not connected to a driveway. In this case, the porch is not capable of being driven into by an automobile and does not connect to the driveway.

So while the question as to whether the porch itself is exempted from gross floor area is not being appealed, the location of the porch places the "carport" exemption in question. The 2012 IRC does provide for minimum widths for egress doors (R311.2) and hallways (R311.6). The porch area provides an egress door of 42 inches (32 inches minimum requirement) and a porch width of 67.5 inches. Were the porch area treated as a hallway under the IRC, the minimum width would be 36 inches.

Recommendation

Regarding the first issue, staff concurs with the position of the appellant that gross floor area measurements should be taken to the "outside surface of the exterior walls" as written in the code, which in the opinion of staff, should include exterior finishes, inclusive of masonry, siding, stucco or other materials. Staff respectfully requests the Board uphold the appeal and require the construction plans be corrected to comply with the interpretation of both staff and the appellant as it relates to the calculation of gross floor area.

Regarding the second issue, as a control to the potential absurdities created by the limited language in the code, staff suggests using the minimum stall width and depth requirements as a guide in determining a "side" of a carport. For instance, if an applicant is proposing a two-car carport, with parking stalls adjacent (side-by-side) to one another, such as is the case presented tonight, that no "side" used toward the minimum opening requirement be less than 17 feet in length.

The code does not openly prohibit porches from being located adjacent to carport areas provided that the porch cannot reasonably be used as additional parking space. This fact, coupled with the finding that the covered porch adjacent to the carport area meets the minimum dimensions for egress, landings, and hallways, staff suggests the porch area be analyzed independently of the carport area. Thus staff recommends that the Board deny the appeal and support the staff interpretation as it relates to the "carport exemption".

Attachment A

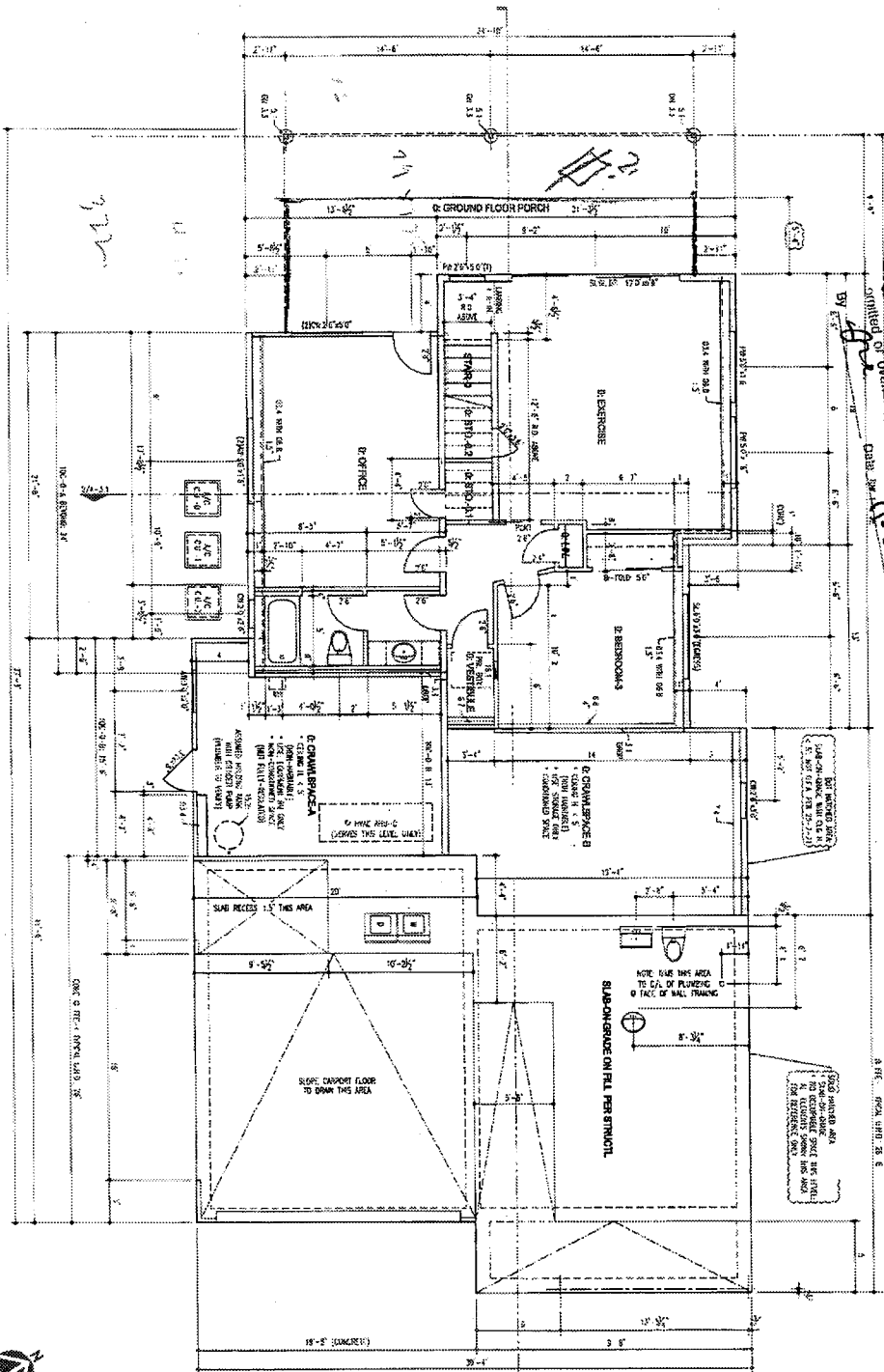
[illegible]

CITY OF AUSTIN - TECHNICAL REVIEW

Approval of these plans and specifications shall not be construed to be a permit for or an approval of any violation of any of the provisions of the building code or any other ordinance, statute or rule of the State of Texas, or any violation of the City of Austin which might have been advanced in the plan review process.

City of Austin
City Engineer
Date: 11-29-11

REVIEWED FOR ZONING ONLY



FLOOR PLAN LEVEL=0
 NAT. SCALE (FEET) 1/4" = 1'-0"
 HWS-SCALE (FEET) 1/8" = 1'-0"

[illegible][illegible]

- 971 SALT-1: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 972 SALT-2: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 973 SALT-3: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 974 SALT-4: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 975 SALT-5: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 976 SALT-6: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 977 SALT-7: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 978 SALT-8: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 979 SALT-9: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 980 SALT-10: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 981 SALT-11: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 982 SALT-12: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 983 SALT-13: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 984 SALT-14: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 985 SALT-15: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 986 SALT-16: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 987 SALT-17: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 988 SALT-18: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 989 SALT-19: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 990 SALT-20: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 991 SALT-21: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 992 SALT-22: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 993 SALT-23: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 994 SALT-24: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 995 SALT-25: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 996 SALT-26: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 997 SALT-27: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 998 SALT-28: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 999 SALT-29: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN
- 1000 SALT-30: THERMAL CHANGES IN SOLIDITY - SALTCHIN - SALTCHIN

904 JESSIE STREET NEW CONSTRUCTION SINGLE FAMILY RES DENCE 14X31 42'-0" BOWDOEN ZIPCODE 78704 ZONING SF-3 CRAIG PARKER HOMES		BOREN PLANNING AND CONSTRUCTION DIVISION 10000 N. GILBERT SUITE 100 DALLAS, TX 75243 214.644.2000 WWW.CITYOFDALLAS.ORG
PERM 21 OCT 2014 EXPIR 21 OCT 2014 RECD 1/24 DATE 11/10/10 OFF 098 1410		

[illegible]

Attachment A (4)

[illegible]

Attachment A (5)

NOT REVIEWED FOR TECHNICAL BUILDING CODE

REVIEWED FOR ZONING ONLY

ALIVE EXCEPT FLOOR DATA

THIS DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SIDE ELEVATION - EAST

FRONT ELEVATION - EAST

REVISIONS

NO.	DATE	DESCRIPTION
1	10/1/2014	ISSUED FOR PERMIT
2	10/1/2014	REVISIONS TO PERMIT
3	10/1/2014	REVISIONS TO PERMIT
4	10/1/2014	REVISIONS TO PERMIT
5	10/1/2014	REVISIONS TO PERMIT
6	10/1/2014	REVISIONS TO PERMIT
7	10/1/2014	REVISIONS TO PERMIT
8	10/1/2014	REVISIONS TO PERMIT
9	10/1/2014	REVISIONS TO PERMIT
10	10/1/2014	REVISIONS TO PERMIT
11	10/1/2014	REVISIONS TO PERMIT
12	10/1/2014	REVISIONS TO PERMIT
13	10/1/2014	REVISIONS TO PERMIT
14	10/1/2014	REVISIONS TO PERMIT
15	10/1/2014	REVISIONS TO PERMIT
16	10/1/2014	REVISIONS TO PERMIT
17	10/1/2014	REVISIONS TO PERMIT
18	10/1/2014	REVISIONS TO PERMIT
19	10/1/2014	REVISIONS TO PERMIT
20	10/1/2014	REVISIONS TO PERMIT
21	10/1/2014	REVISIONS TO PERMIT
22	10/1/2014	REVISIONS TO PERMIT
23	10/1/2014	REVISIONS TO PERMIT
24	10/1/2014	REVISIONS TO PERMIT
25	10/1/2014	REVISIONS TO PERMIT
26	10/1/2014	REVISIONS TO PERMIT
27	10/1/2014	REVISIONS TO PERMIT
28	10/1/2014	REVISIONS TO PERMIT
29	10/1/2014	REVISIONS TO PERMIT
30	10/1/2014	REVISIONS TO PERMIT
31	10/1/2014	REVISIONS TO PERMIT
32	10/1/2014	REVISIONS TO PERMIT
33	10/1/2014	REVISIONS TO PERMIT
34	10/1/2014	REVISIONS TO PERMIT
35	10/1/2014	REVISIONS TO PERMIT
36	10/1/2014	REVISIONS TO PERMIT
37	10/1/2014	REVISIONS TO PERMIT
38	10/1/2014	REVISIONS TO PERMIT
39	10/1/2014	REVISIONS TO PERMIT
40	10/1/2014	REVISIONS TO PERMIT
41	10/1/2014	REVISIONS TO PERMIT
42	10/1/2014	REVISIONS TO PERMIT
43	10/1/2014	REVISIONS TO PERMIT
44	10/1/2014	REVISIONS TO PERMIT
45	10/1/2014	REVISIONS TO PERMIT
46	10/1/2014	REVISIONS TO PERMIT
47	10/1/2014	REVISIONS TO PERMIT
48	10/1/2014	REVISIONS TO PERMIT
49	10/1/2014	REVISIONS TO PERMIT
50	10/1/2014	REVISIONS TO PERMIT
51	10/1/2014	REVISIONS TO PERMIT
52	10/1/2014	REVISIONS TO PERMIT
53	10/1/2014	REVISIONS TO PERMIT
54	10/1/2014	REVISIONS TO PERMIT
55	10/1/2014	REVISIONS TO PERMIT
56	10/1/2014	REVISIONS TO PERMIT
57	10/1/2014	REVISIONS TO PERMIT
58	10/1/2014	REVISIONS TO PERMIT
59	10/1/2014	REVISIONS TO PERMIT
60	10/1/2014	REVISIONS TO PERMIT
61	10/1/2014	REVISIONS TO PERMIT
62	10/1/2014	REVISIONS TO PERMIT
63	10/1/2014	REVISIONS TO PERMIT
64	10/1/2014	REVISIONS TO PERMIT
65	10/1/2014	REVISIONS TO PERMIT
66	10/1/2014	REVISIONS TO PERMIT
67	10/1/2014	REVISIONS TO PERMIT
68	10/1/2014	REVISIONS TO PERMIT
69	10/1/2014	REVISIONS TO PERMIT
70	10/1/2014	REVISIONS TO PERMIT
71	10/1/2014	REVISIONS TO PERMIT
72	10/1/2014	REVISIONS TO PERMIT
73	10/1/2014	REVISIONS TO PERMIT
74	10/1/2014	REVISIONS TO PERMIT
75	10/1/2014	REVISIONS TO PERMIT
76	10/1/2014	REVISIONS TO PERMIT
77	10/1/2014	REVISIONS TO PERMIT
78	10/1/2014	REVISIONS TO PERMIT
79	10/1/2014	REVISIONS TO PERMIT
80	10/1/2014	REVISIONS TO PERMIT
81	10/1/2014	REVISIONS TO PERMIT
82	10/1/2014	REVISIONS TO PERMIT
83	10/1/2014	REVISIONS TO PERMIT
84	10/1/2014	REVISIONS TO PERMIT
85	10/1/2014	REVISIONS TO PERMIT
86	10/1/2014	REVISIONS TO PERMIT
87	10/1/2014	REVISIONS TO PERMIT
88	10/1/2014	REVISIONS

Attachment A (b)

[illegible]

Attachment A (7)

The figure contains three main architectural drawings of a building:

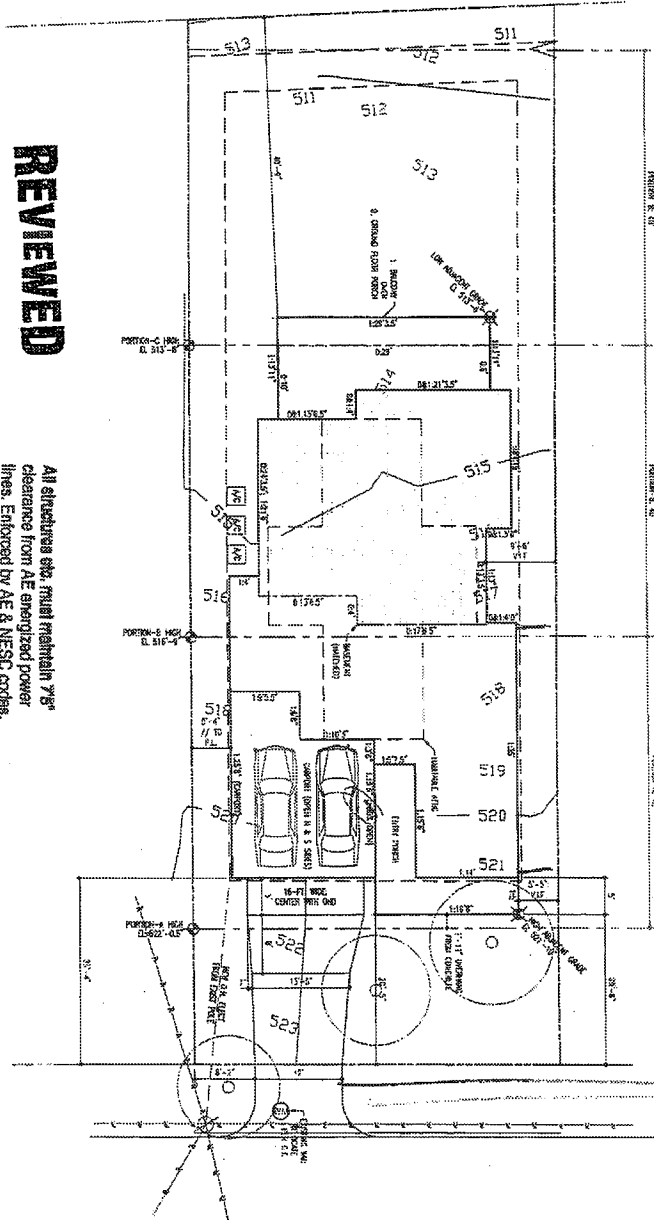
- Front Elevation:** Located at the top, showing the main facade of the building. It features a central entrance with a small porch, several windows of varying sizes, and a gabled roof. Dimensions for window heights and widths are indicated.
- Side Elevation:** Located on the left, showing the side profile of the building. It highlights the roofline, side windows, and the overall height of the structure.
- Floor Plan:** Located at the bottom, showing the layout of the building's interior. It includes room divisions, door swings, and structural elements like walls and columns. Dimensions for room sizes and overall building footprint are provided.

Throughout the drawings, there are numerous annotations, including material specifications, construction notes, and reference markers (e.g., 101, 102, 103, etc.). A title block is present in the bottom right corner, identifying the project as '904 JESSIE STREET' and listing the architect as 'CRAIG PARKER HOMES'.

Attachment A (8)

NOT REVIEWED FOR TECHNICAL BUILDING CODE

REVIEWED FOR ZONING ONLY



REVEALED

All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.

SEP 24 2014

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

NOT APPROVED

SEP 24 2004

RLS 267-27

S
SITE PLAT
MAX. SCALE (FEET) = 1/8" = 1'
MAX. SCALE (FEET) = 1/16" = 1'

SITE AREAS DATA

- [illegible]

4014 215, 201K
7205 57
• 1005 41C - 455 05 504 MFA 01 2012 2

BLINKING AREA DATA

1. **RESEARCH DESIGN**
 2. **RESEARCH QUESTIONS**
 3. **RESEARCH DESIGN**
 4. **RESEARCH QUESTIONS**
 5. **RESEARCH DESIGN**
 6. **RESEARCH QUESTIONS**
 7. **RESEARCH DESIGN**
 8. **RESEARCH QUESTIONS**
 9. **RESEARCH DESIGN**
 10. **RESEARCH QUESTIONS**
 11. **RESEARCH DESIGN**
 12. **RESEARCH QUESTIONS**
 13. **RESEARCH DESIGN**
 14. **RESEARCH QUESTIONS**
 15. **RESEARCH DESIGN**
 16. **RESEARCH QUESTIONS**
 17. **RESEARCH DESIGN**
 18. **RESEARCH QUESTIONS**
 19. **RESEARCH DESIGN**
 20. **RESEARCH QUESTIONS**
 21. **RESEARCH DESIGN**
 22. **RESEARCH QUESTIONS**
 23. **RESEARCH DESIGN**
 24. **RESEARCH QUESTIONS**
 25. **RESEARCH DESIGN**
 26. **RESEARCH QUESTIONS**
 27. **RESEARCH DESIGN**
 28. **RESEARCH QUESTIONS**
 29. **RESEARCH DESIGN**
 30. **RESEARCH QUESTIONS**
 31. **RESEARCH DESIGN**
 32. **RESEARCH QUESTIONS**
 33. **RESEARCH DESIGN**
 34. **RESEARCH QUESTIONS**
 35. **RESEARCH DESIGN**
 36. **RESEARCH QUESTIONS**
 37. **RESEARCH DESIGN**
 38. **RESEARCH QUESTIONS**
 39. **RESEARCH DESIGN**
 40. **RESEARCH QUESTIONS**
 41. **RESEARCH DESIGN**
 42. **RESEARCH QUESTIONS**
 43. **RESEARCH DESIGN**
 44. **RESEARCH QUESTIONS**
 45. **RESEARCH DESIGN**
 46. **RESEARCH QUESTIONS**
 47. **RESEARCH DESIGN**
 48. **RESEARCH QUESTIONS**
 49. **RESEARCH DESIGN**
 50. **RESEARCH QUESTIONS**
 51. **RESEARCH DESIGN**
 52. **RESEARCH QUESTIONS**
 53. **RESEARCH DESIGN**
 54. **RESEARCH QUESTIONS**
 55. **RESEARCH DESIGN**
 56. **RESEARCH QUESTIONS**
 57. **RESEARCH DESIGN**
 58. **RESEARCH QUESTIONS**
 59. **RESEARCH DESIGN**
 60. **RESEARCH QUESTIONS**
 61. **RESEARCH DESIGN**
 62. **RESEARCH QUESTIONS**
 63. **RESEARCH DESIGN**
 64. **RESEARCH QUESTIONS**
 65. **RESEARCH DESIGN**
 66. **RESEARCH QUESTIONS**
 67. **RESEARCH DESIGN**
 68. **RESEARCH QUESTIONS**
 69. **RESEARCH DESIGN**
 70. **RESEARCH QUESTIONS**
 71. **RESEARCH DESIGN**
 72. **RESEARCH QUESTIONS**
 73. **RESEARCH DESIGN**
 74. **RESEARCH QUESTIONS**
 75. **RESEARCH DESIGN**
 76. **RESEARCH QUESTIONS**
 77. **RESEARCH DESIGN**
 78. **RESEARCH QUESTIONS**
 79. **RESEARCH DESIGN**
 80. **RESEARCH QUESTIONS**
 81. **RESEARCH DESIGN**
 82. **RESEARCH QUESTIONS**
 83. **RESEARCH DESIGN**
 84. **RESEARCH QUESTIONS**
 85. **RESEARCH DESIGN**
 86. **RESEARCH QUESTIONS**
 87. **RESEARCH DESIGN**
 88. **RESEARCH QUESTIONS**
 89. **RESEARCH DESIGN**
 90. **RESEARCH QUESTIONS**
 91. **RESEARCH DESIGN**
 92. **RESEARCH QUESTIONS**
 93. **RESEARCH DESIGN**
 94. **RESEARCH QUESTIONS**
 95. **RESEARCH DESIGN**
 96. **RESEARCH QUESTIONS**
 97. **RESEARCH DESIGN**
 98. **RESEARCH QUESTIONS**
 99. **RESEARCH DESIGN**
 100. **RESEARCH QUESTIONS**

GROSS FLOOR AREA DATA

[illegible][illegible]

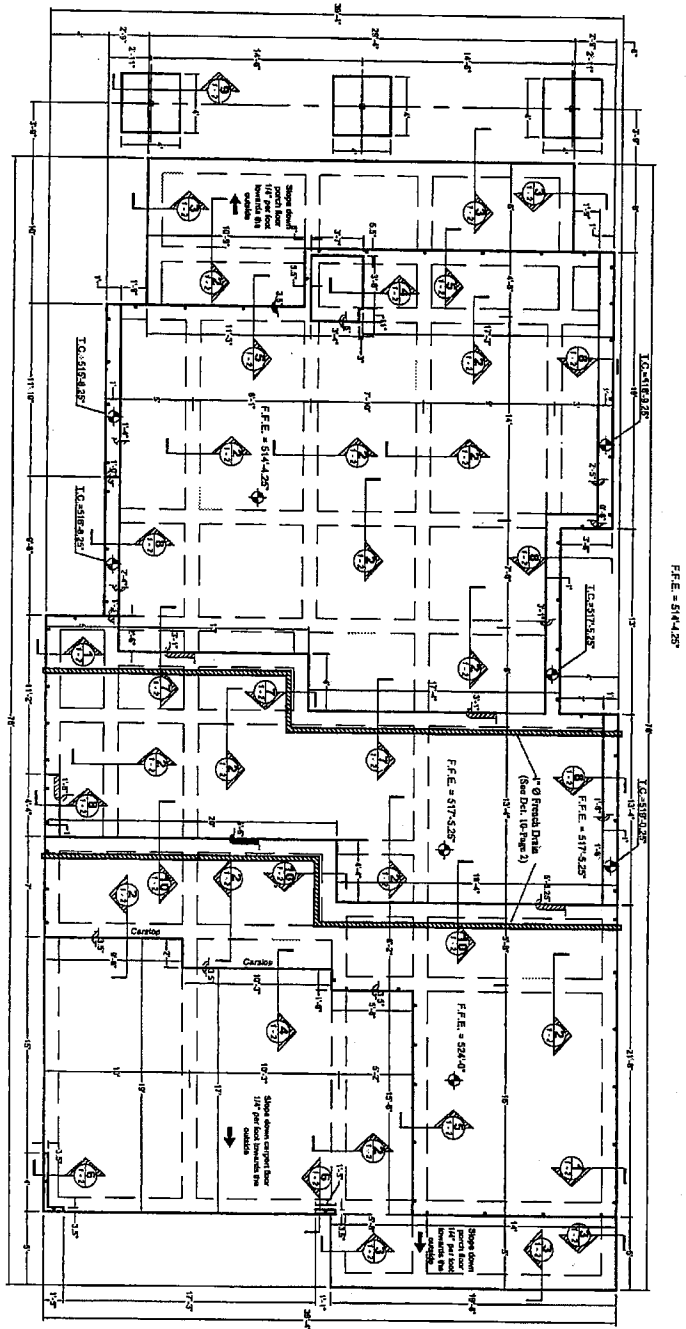
904 JESSIE STREET

NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE
ZILKER NEIGHBORHOOD
ZIPCODE 78704
ZONING SF-3

CRAIG PARKER HOMES

401

Attachment A (a)



FRONT OF
STRUCTURE

NOTE:
Dimensions for interior beams are taken from edge of foundation to center of interior beam.

FINISHED FLOOR ELEVATION:
To be set min. 10" to 12" above highest point of natural ground inside the perimeter of the proposed concrete foundation.

DIMENSION NOTES:

1. Do NOT scale off dimensions on plans.
2. For discrepancies contact design engineer.

DIMENSIONAL NOTE:
Concrete contractor shall verify all foundation dimensions with the architectural drawings. If the contractor finds discrepancies, contractor shall notify the Design Engineer immediately or the contractor shall bear all liability.

NOT REVIEWED FOR TECHNICAL BUILDING CODE

SLAB-ON-GRADE CONCRETE FOUNDATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. The design of this project is the property of Council. Any design or construction without prior written permission is not permitted.
2. Any design changes or conflicts that be reported to the design engineer immediately at (313) 899-3246.
3. All required permits by City of Austin, TX shall be obtained.
4. All required permits for access to construction site shall be obtained.
5. All required materials and laborers shall be obtained.
6. All required equipment shall be obtained.
7. Any other questions in the construction industry.
8. Job shall be cleaned daily of all materials and people.
9. The new and building shall be designed in accordance with the 2012 Edition of the International Residential Code (IRC) and International Mechanical Code (IMC) and other standards adopted by City of Austin, TX.

2/05/14

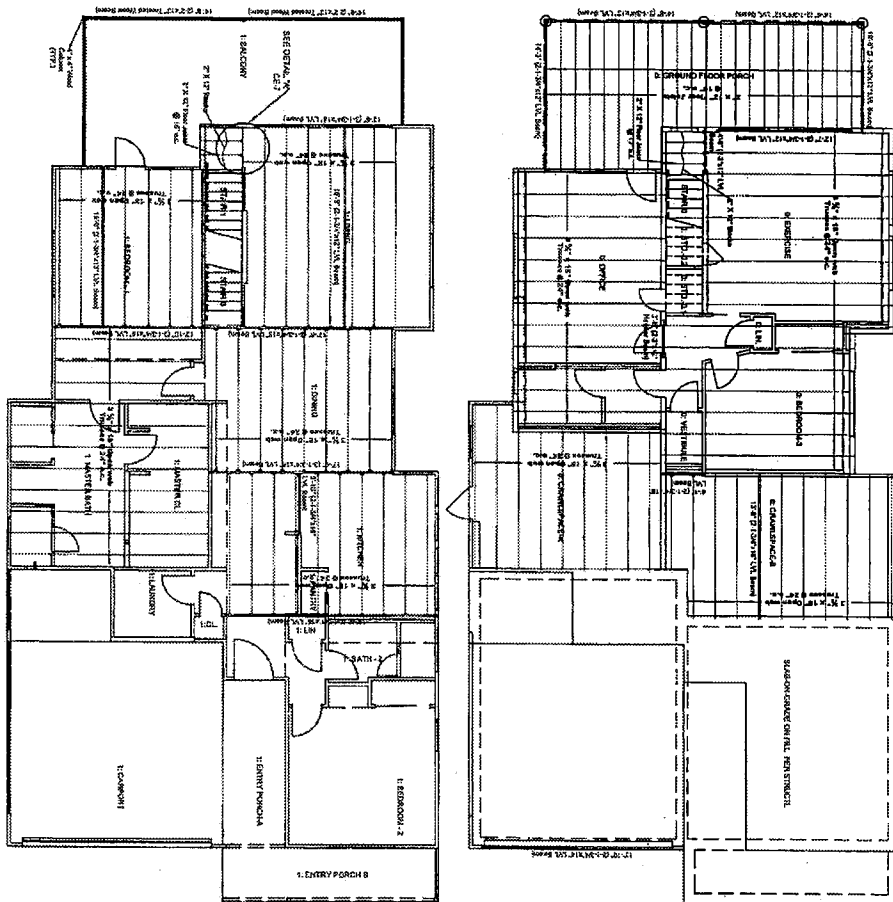
G/E
Genesis 1 Engineering Company
 T.P.E.-Registered Firm #22345
 6104 S. Penn Street, Suite 100, Austin, TX 78744
 (512) 899-2234 Office
 (512) 899-2233 Fax
 e-mail: G1@genesis1eng.com

**PROPOSED RESIDENTIAL
FOUNDATION AND STRUCTURAL
FRAMING PLANS**

904 PESSIE ST
AUSTIN, TEXAS, 78704

Page#	AU-14-339	Case#	CE 1
Version	2.00		OF 7
Doc#			
Doc	As Shown		

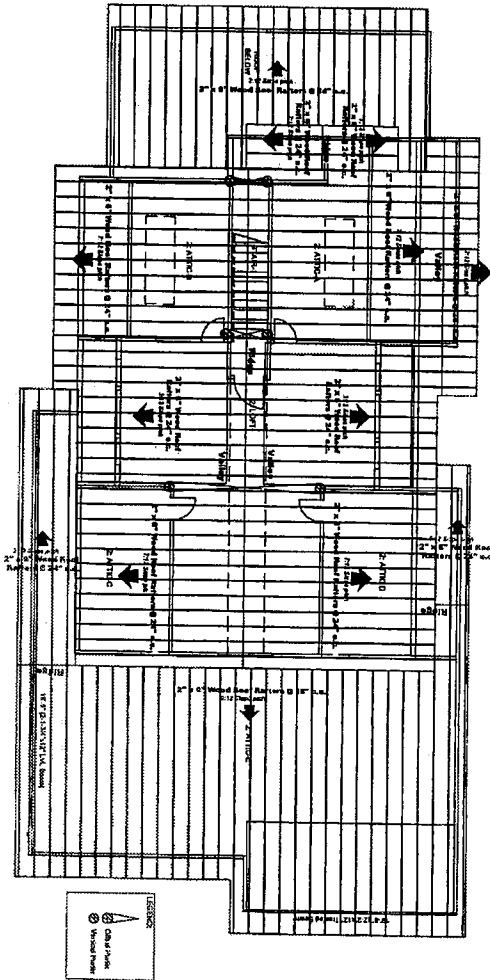
Attachment A (11)



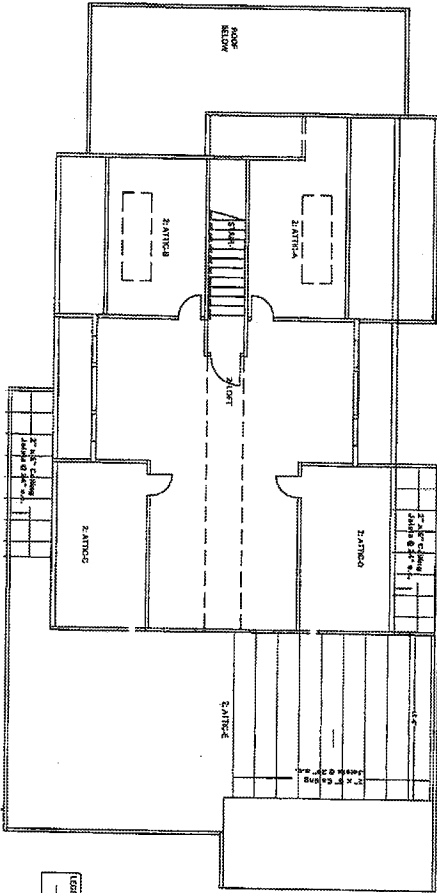
NOT REVIEWED FOR TECHNICAL BUILDING CODE

<p>1. The State of Texas, by and through the State Engineer, has approved the plans and specifications for the construction of the above described building, and has issued a license to the contractor to construct the same.</p> <p>2. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>3. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>4. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>5. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>6. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>7. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>8. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>9. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>10. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p>	
<p>11. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>12. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>13. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>14. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>15. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>16. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>17. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>18. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>19. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p> <p>20. The contractor shall be bound by the provisions of the State Building Code, and shall be responsible for the construction of the building in accordance with the same.</p>	

Attachment A (12)



ROOF FRAMING PLAN
Scale: 3/32" = 1'-0"

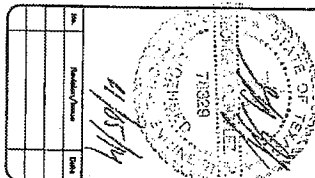


CEILING FRAMING PLAN
Scale: 3/32" = 1'-0"

NOT REVIEWED FOR TECHNICAL BUILDING CODE

GENERAL NOTES:

1. The Owner of this project is the City of Austin, Texas. The City of Austin is the owner of the project and is responsible for the project.
2. Any field changes or modifications shall be approved by the City of Austin, Texas.
3. All structural steel shall be fabricated and erected in accordance with the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 13th Edition, 2005.
4. All structural steel shall be painted with two coats of primer and two coats of paint in accordance with the specifications.
5. All steel shall be galvanized in accordance with the specifications.
6. All steel shall be protected from corrosion in accordance with the specifications.
7. All steel shall be protected from fire in accordance with the specifications.
8. All steel shall be protected from theft in accordance with the specifications.
9. All steel shall be protected from vandalism in accordance with the specifications.
10. All steel shall be protected from graffiti in accordance with the specifications.
11. All steel shall be protected from graffiti in accordance with the specifications.
12. All steel shall be protected from graffiti in accordance with the specifications.

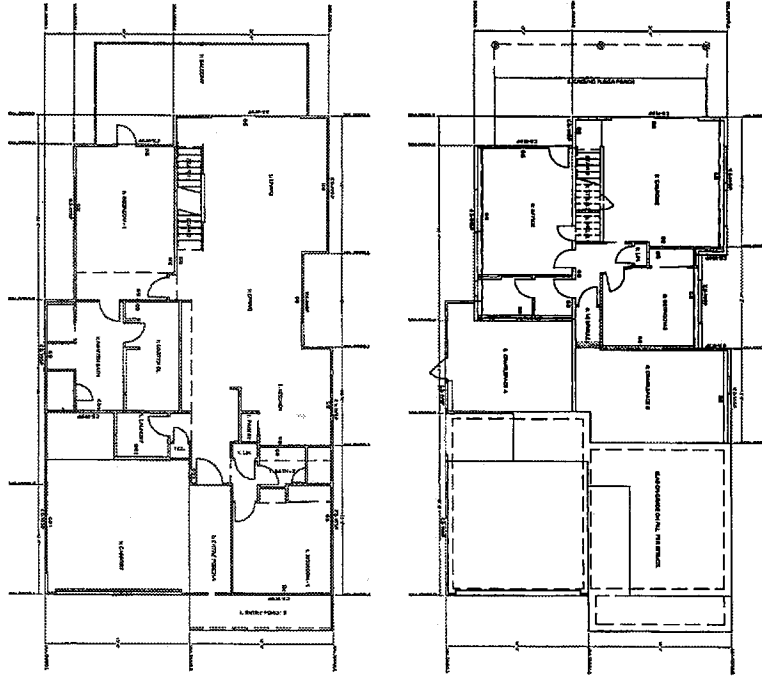


G/E
Gordon E. Gordon, P.E.
10101 E. 17th Street, Suite 100, Austin, TX 78751
(512) 893-2000 Fax
gordon@geengineering.com

**PROPOSED RESIDENTIAL
EDUCATION AND STRUCTURAL
FRAMING PLANS**
NO. 1234567
AUSTIN, TEXAS 78701

Project: AUC-1319
Sheet: 210
OF 7
CE 4
OF 7
ALB-100

Attachment A (13)



FIRST FLOOR

SECOND FLOOR

WALL BRACING NOTES	
1. All walls shall be braced in accordance with the provisions of the International Building Code (IBC) and the American Institute of Steel Construction (AISC) Manual.	
2. Bracing shall be provided for all exterior walls and for interior walls where required by the code.	
3. Bracing shall be provided for all walls where required by the code.	
4. Bracing shall be provided for all walls where required by the code.	
5. Bracing shall be provided for all walls where required by the code.	
6. Bracing shall be provided for all walls where required by the code.	
7. Bracing shall be provided for all walls where required by the code.	
8. Bracing shall be provided for all walls where required by the code.	
9. Bracing shall be provided for all walls where required by the code.	
10. Bracing shall be provided for all walls where required by the code.	

WALL BRACING PLAN
Scale: 1/8" = 1'-0"

NOT REVIEWED FOR TECHNICAL BUILDING CODE

GENERAL NOTES:

- The walls of this building shall be designed in accordance with the provisions of the International Building Code (IBC) and the American Institute of Steel Construction (AISC) Manual.
- Bracing shall be provided for all exterior walls and for interior walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.

WALL BRACING NOTES:

- The walls of this building shall be designed in accordance with the provisions of the International Building Code (IBC) and the American Institute of Steel Construction (AISC) Manual.
- Bracing shall be provided for all exterior walls and for interior walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.
- Bracing shall be provided for all walls where required by the code.

PROPOSED RESIDENTIAL FOUNDATION AND STRUCTURAL FLOORING PLAN

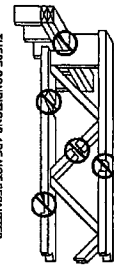
NO. 1000-01
AUSTIN, TEXAS 78701

Project: AUSTIN-0139
Scale: 2.00
Date: 11/05/14

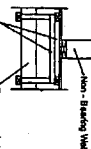
G/E

Copyright © 2014 by G/E Engineering, Inc.
All rights reserved.
This drawing is the property of G/E Engineering, Inc.
It is to be used only for the project and location specified hereon.
No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without permission in writing from G/E Engineering, Inc.

Attachment A (15)

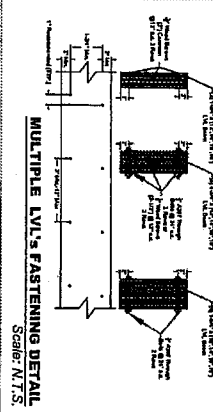
[illegible][illegible][illegible]

Source: ASC Alloyway Structural Components, Inc. Site: N.T.S.

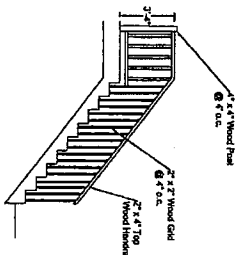


Start Decking	_____	Not recommended
Top Deck - Nailed to Sub floor	_____	Continuous
Bottom Deck - Nailed to	_____	Stempleck
Bottom of the Top Chord	_____	Bracing
(Nails Together)	_____	

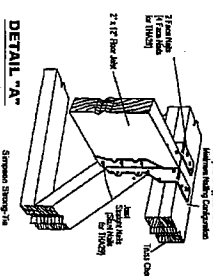
NON-BEARING WALL
PARALLEL WITH JOISTS
SAUCERS, AISC ALLEGEDLY STRUCTURAL
COMPONENTS, INC., STATE N.Y.S.



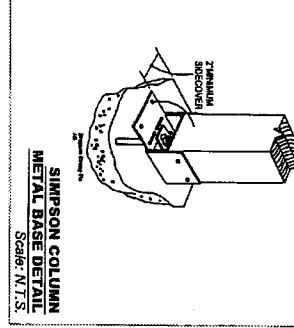
MULTIPLE LVL'S FASTENING DETAIL
Scale: N.T.S.



HANDRAIL DETAIL
Scale: N.T.S.

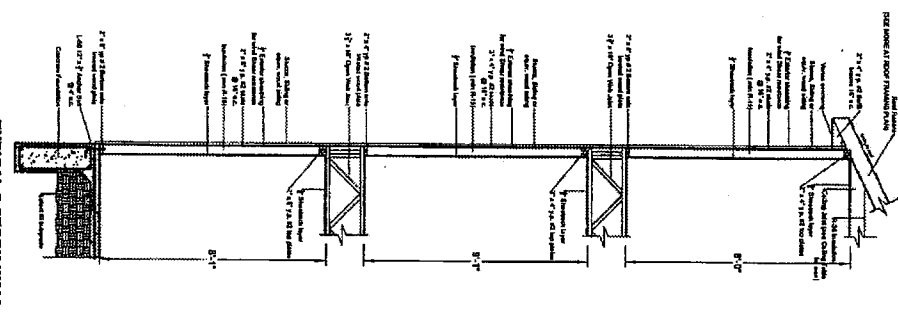


SIMPSON FLOOR JOIST-TRUSSES
ATTACHED DETAIL
Scale: N.T.S.



**SIMPSON COLUMN
METAL BASE DETAIL**
Scale: N.T.S.

NOT REVIEWED FOR TECHNICAL BUILDING CODE



**TYPICAL 3-STORY WALL
FRAMING PLAN**

SPECIFICATIONS AND NOTES

GENERAL NOTES:

1. The design of this project is the property of (Owner) 1 Department of City. Any design without prior written permission is not to be used.
2. Any field changes or modifications shall be reported to the design engineer immediately at (513) 899-0266.
3. All required permits by City of Austin, TX shall be obtained prior to start of construction. It shall be assumed prior to start of construction that all necessary permits and subcontractors shall be obtained and in compliance with the construction industry.
4. The site shall be cleaned daily of all excess materials.
5. The site and facilities shall be designed to accommodate the 2012 Edition of the International Building Code (IBC) and other applicable codes adopted by City of Austin, TX.

No.	Residue/Name	Date

11/05/14

78329

RECEIVED
FEDERAL BUREAU OF INVESTIGATION
U.S. DEPARTMENT OF JUSTICE

G/E
Guest's J Engineering Company
 T.H.R.E., Incorporated from 67-2645
 104 S. Fifth Street, Suite 100, Austin, TX 78705
 (512) 890-2246 Office
 (512) 899-2203 Fax
 employees 160 (seventy six representing seven)

**PROPOSED RESIDENTIAL,
FOUNDATION AND STRUCTURAL
FRAMING PLANS**

As Shown	CE 7 OF 7
----------	--------------

Attachment B

NOTICE OF APPEAL INFORMATION

Austin City Code ARTICLE 7. APPEALS, VARIANCES, SPECIAL EXCEPTIONS, AND ADJUSTMENTS.

Division 1. Appeals

(see page 2 of 2 for appeal process)



Planning and Development Review Department

Address of Property in Question 904 Jessie St		Permit Number 2014-102999 PR	
Appellant Filing Appeal Zilker Neighborhood Association		Relationship to Property subject property is within the neighborhood boundaries	
Appellant's status as Interested Party neighborhood association in which subject property is located			
Appellant Contact Information		Permit Holder Contact Information	
Name David King, President, ZNA		Name Homes By Parker (Darrell C. Parker)	
Street 1808 Kerr Street		Street P. O. Box 162942	
City Austin	State TX	Zip 78704	City Austin
			State TX
			Zip 78716
Telephone (512) 415-6016		Telephone (512) 327-2877	
E-Mail dking@austin.rr.com		E-Mail info@craigparkerhomes.com	
Date of Decision Being Appealed: 24 Nov 2014		Date Appeal is Filed: 12 Dec 2014	
Decision being appealed: (use additional paper as required) issuance of building permit 2014-102999 PR for 904 Jessie St			
Reason the appellant believes the decision does not comply with the requirements of the Land Development Code (Title 25) The applicant has 1) failed to measure McMansion FAR to the outside surface of the exterior walls and 2) has not complied with the requirements of the carport exemption. As a result, the house does not comply with the McMansion ordinance which requires that the FAR not exceed 40%. See attached details.			
BELOW FOR CITY USE ONLY			
Hearing Date:		Board or Commission:	
Action on Appeal:		Date of Action	
Form Bldg 101 Page 1 of 2			
The applicant must complete page 2 of 2 and sign before this application of appeal is complete. The application <u>will not be processed unless the applicant reads and signs page 2 of 2.</u>			

Attachment B (2)

Page 2 of 2

Appeal Process

You may appeal by following the Land Development Code requirements below. You must complete the form with all required information.

ARTICLE 7. APPEALS, VARIANCES, SPECIAL EXCEPTIONS, AND ADJUSTMENTS.

Division 1. Appeals.

§ 25-1-181 STANDING TO APPEAL.

- (A) A person has standing to appeal a decision if:
 - (1) the person is an interested party; and
 - (2) a provision of this title identifies the decision as one that may be appealed by that person.
- (B) A body holding a public hearing on an appeal shall determine whether a person has standing to appeal the decision.

Source: Section 13-1-250; Ord. 990225-70; Ord. 030828-65; Ord. 031211-11.

§ 25-1-182 INITIATING AN APPEAL.

An interested party may initiate an appeal by filing a notice of appeal with the responsible director or building official, as applicable, not later than:

- (1) the 14th day after the date of the decision of a board or commission; or
- (2) the 20th day after an administrative decision.

Source: Section 13-1-251(a); Ord. 990225-70; Ord. 031211-11.

Attachment B (3)

904 JESSIE STREET (PERMIT NUMBER 2014-102999 PR)

Reasons the Decision Does Not Comply with the Requirements of the Land Development Code:

- 1) The Land Development Code (LDC) requires that the gross floor area be measured to the outside surface of the exterior walls:

SUBCHAPTER F: RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS

§ 3.3. GROSS FLOOR AREA.

In this Subchapter, GROSS FLOOR AREA has the meaning assigned by Section 25-1-21 (Definitions), with the following modifications:

3.3.1. In this Subchapter, GROSS FLOOR AREA means all enclosed space, regardless of its dimensions, that is not exempted under subsections 3.3.2, 3.3.3, or 3.3.4.

§ 25-1-21 DEFINITIONS.

(44) GROSS FLOOR AREA means the total enclosed area of all floors in a building with a clear height of more than six feet, measured to the outside surface of the exterior walls. The term includes loading docks and excludes atria airspace, parking facilities, driveways, and enclosed loading berths and off-street maneuvering areas.

The architectural plans of the first and second floor appear to be drawn to the outer edge of the wood framing and not to the "outside surface of the exterior walls" which is demonstrated by the fact that the first floor plan dimensions match the foundation plan dimensions.

Normally, the edge of the framing is aligned with the foundation edge. When sheathing and siding are added, this dimension is typically increased by more than an inch on all sides. Since the criteria for calculating the McMansion FAR is measurement to the "outside surface of the exterior walls", the McMansion FAR is not calculated correctly. If one assumes a ½" sheathing and ¾" siding, the first floor area is increased 22.9 sq ft and the basement floor area is increased by 10.3 sq ft. This is an additional 33.2 sq ft that must be added to the McMansion FAR calculation. Using AutoCAD and the applicant's dimensions, ZNA calculated an area of 1,893.0 sq ft for the first floor and 968.9 sq ft for the basement floor as measured to the edge of framing, for a total of 2,861.9 sq ft. Adding the additional 33.2 sq ft for the area from the edge of framing to the outside surface of the exterior wall makes the total FAR 2,895.1 sq ft. This is 40.17% or 12.7 sq ft over the maximum limit of 40%. The gross floor area contained in the floor plans must be reduced to comply with the LDC.

For the record, please note that the applicant's math and the total gross floor area shown on the McMansion calculation sheet on page 3 of the application are in error (1893 sq ft + 970 sq ft = 2,863 sq ft, not 2,880 sq ft).

Attachment B (4)

- 2) For the record, please note that this project is claiming a "parking area" exemption even though the checkbox is not correctly checked on page 3 of the application. The Land Development Code (LDC) requires that the carport (parking area) be open 80% on at least two sides to be exempted from gross area floor calculations:

SUBCHAPTER F: RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS

§ 3.3. GROSS FLOOR AREA.

In this Subchapter, GROSS FLOOR AREA has the meaning assigned by Section 25-1-21 (Definitions), with the following modifications:

...

3.3.2. Subject to the limitations in paragraph C below, the following parking areas and structures are excluded from gross floor area for purposes of this Subchapter:

A. Up to 450 square feet of:

...

3. A parking area that is open on two or more sides, if:

- i. it does not have habitable space above it; and*
- ii. the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport.*

ZNA believes the applicant does not meet this requirement because the applicant's calculation of the carport opening on the north side is a) not greater than 80% and b) not clear and unobstructed.

- a) The applicant is utilizing an L-shaped carport, which creates issues in calculating the percentage of the opening on the north side of the carport. ZNA believes utilizing an L-shaped carport allows one to misinterpret the intent of the ordinance and circumvent it. There is no real question as to the length of the opening. However, there is a difference of interpretation with respect to the overall length of the wall to be used in calculating the percentage of the opening. There are three ways one might calculate the overall length of the north wall as shown in Exhibit A. The applicant is utilizing Method 2 although some applicants are even arguing for the use of Method 3. ZNA believes Method 1 is the correct way to calculate the opening. Using this method, the opening is only 59.3%. Using Method 2, the opening is almost exactly 80%. Please note that in using Method 2, the applicant calculates the opening percentage to be 81.3% as shown in Drawing A3.1. This is because the applicant incorrectly uses an overall length of 18'-8½" instead of the actual 19' as shown on the first floor plan in Drawing A1.1.

ZNA believes it is a misinterpretation of the ordinance to not require the overall measurement along the full length of the entire carport. The problem associated with using Method 2 is illustrated more fully in Examples 1 through 6 of Exhibit B. As part of

Attachment B (5)

the internal carport wall shifts from Example 1 to Example 6, it becomes more and more apparent that the overall length of the wall opening should be measured using Method 1. If one were to accept the use of Method 2, then it must be decided at which point (from Example 1 to Example 6) the measurement of the overall length should be switched to Method 1 from Method 2.

- b) The applicant is claiming that the north side of the carport is clear and unobstructed. ZNA believes that an assertion that a carport opening is clear and unobstructed when it is immediately adjacent to an enclosed and covered entry way is not only inconsistent with the plain wording of the ordinance, it is completely inconsistent with the intent of the ordinance. Since the ordinance grants only a 200 sq ft exemption for an enclosed parking area, we believe that the clear and unobstructed wall openings required for a carport were specifically intended to prevent the additional mass that would be created by constructing an enclosed parking area (i.e., a garage) to the front of a house. The idea was that an open carport could qualify for the larger 450 sq ft exemption because this type of parking area would not seem so massive. The applicant for 904 Jessie, as well as other applicants, are attempting to use the carport exemption to essentially allow construction of something that very closely resembles an enclosed garage. ZNA does not believe the carport exemption was ever intended to allow garage doors on carports. However, the ordinance does seem to permit this as the current project demonstrates. What the ordinance does not permit, and should not be interpreted to permit, is for the "carport" to become even more similar to a garage by allowing one side of it to be completely enclosed with an entry way that is itself also enclosed and covered.

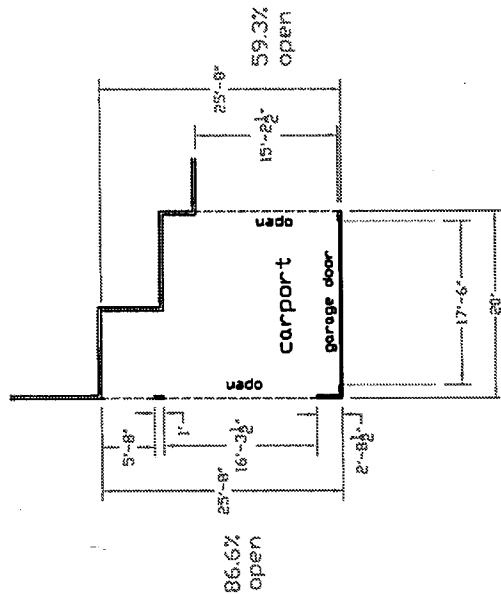
Exhibit B illustrates possible examples of parking areas that are adjacent to covered and enclosed entry ways. ZNA believes that Examples 1 through 6 are instances where the carport opening is not clear and unobstructed. We believe Examples 7 and 8 are acceptable under the current wording of the ordinance.

Under what ZNA believes is the correct interpretation of the LDC, the applicant should only be entitled to a 200 sq ft exemption for the attached parking area. With only a 200 sq ft exemption, another 238 sq ft must be added to the McMansion FAR. This pushes the FAR percentage well over the 40% requirement.

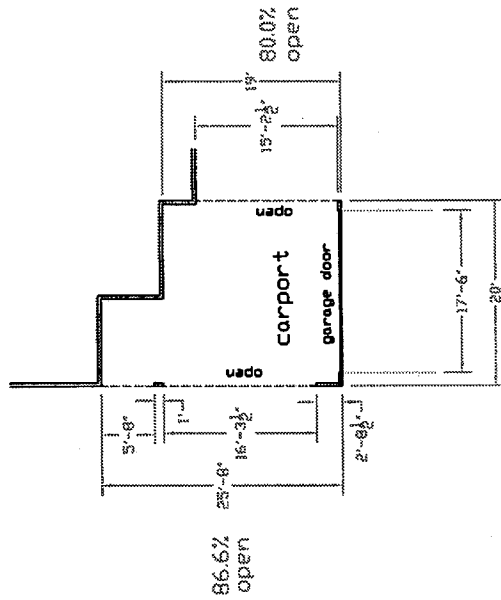
EXHIBIT A

Attachment B (6)

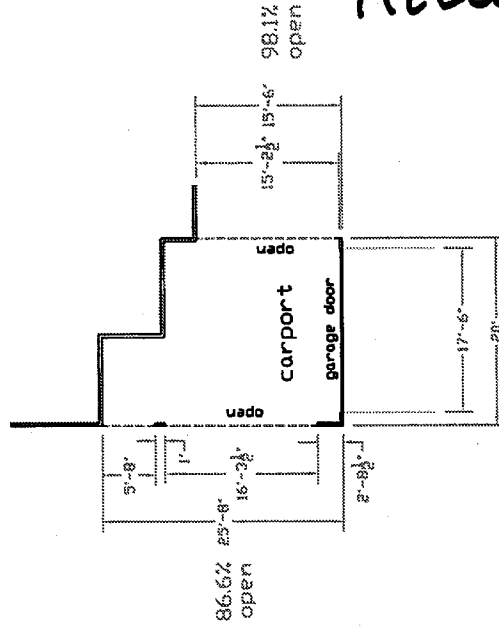
Method 1



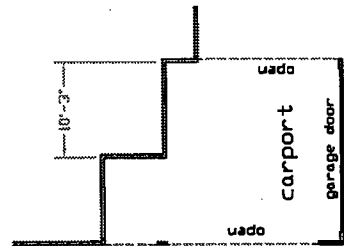
Method 2



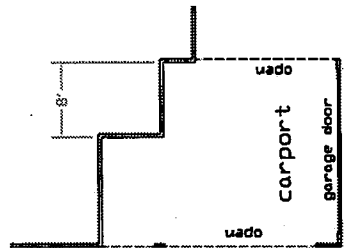
Method 3



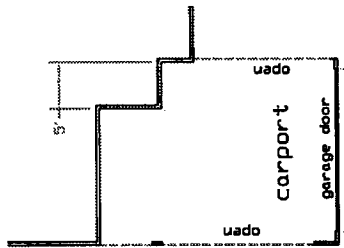
Example 1



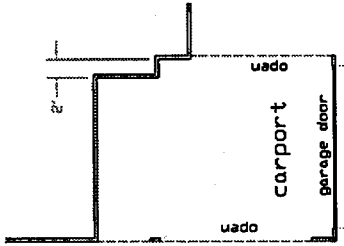
Example 2



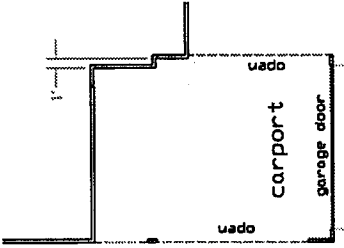
Example 3



Example 4



Example 5



Example 6

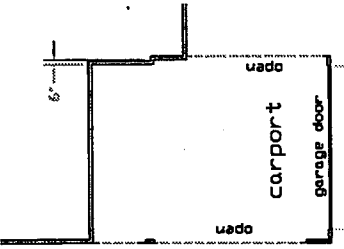
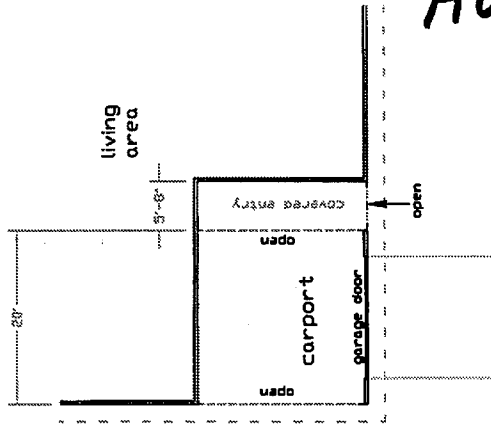


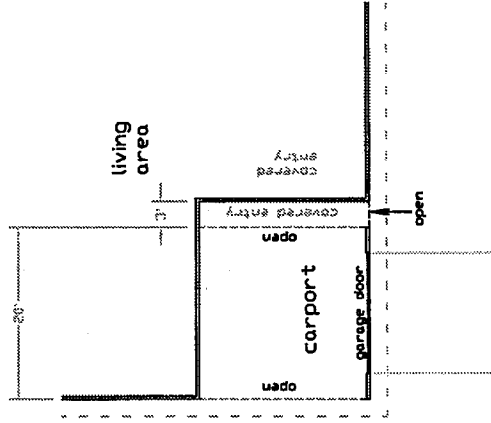
EXHIBIT B

Attachment B (7)

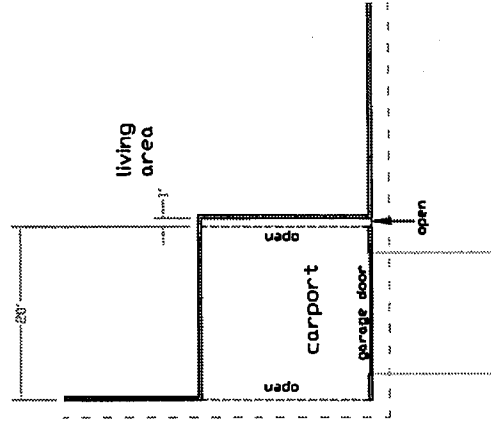
Example 4



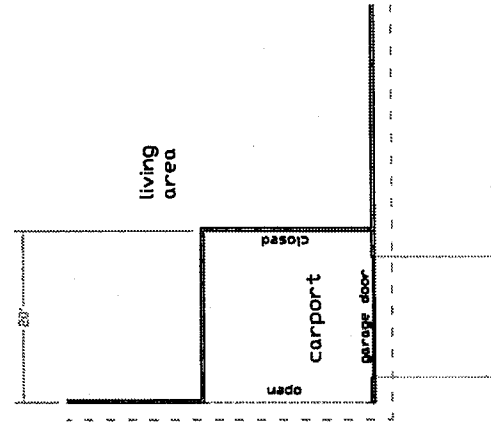
Example 3



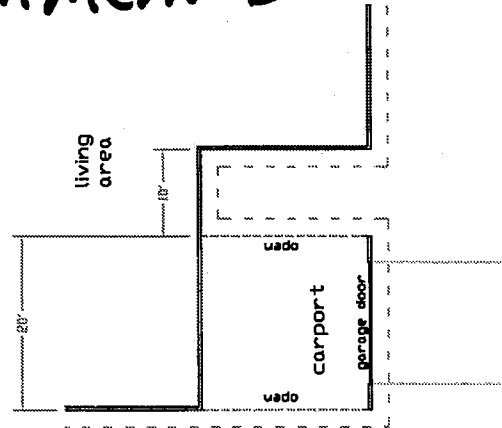
Example 2



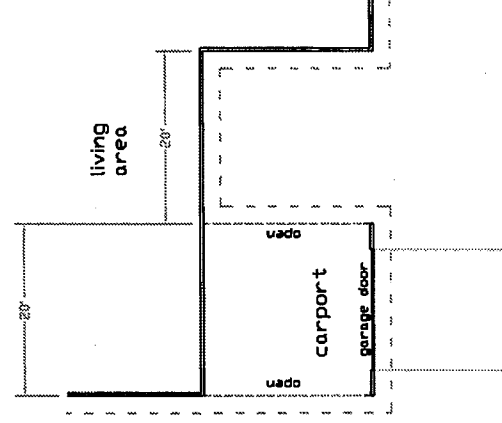
Example 1



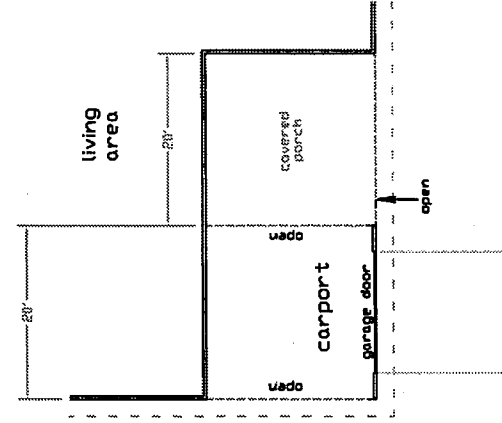
Example 8



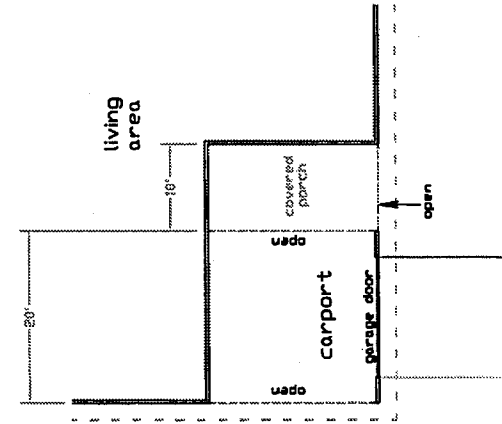
Example 7



Example 6



Example 5



driveway

opening underneath roof

roofline

solid wall