

McGUIRE RESIDENCE

CONSTRUCTION DOCUMENTS

Architects
Clayton&Little

1001 East 8th Street
Austin, Texas 78701
512 477 1727

www.clayironandtile.com

PRELIMINARY

NOT FOR CONSTRUCTION

This drawing was prepared under the supervision of Paul Clayton. It is not to be used for regulatory approval, permitting, or construction purposes.

FIELD INSPECTION REQUIRED

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VICINITY MAP

SYMBOL LEGEND

The diagram illustrates the mapping of room symbols to their names and elevations. The symbols are arranged in a grid, with the room name and elevation symbols on the left and the room symbols on the right. The room symbols are: a house with 'X' and '000', a square with 'X', a circle with 'X' and '000', a square with 'X' and '000', a square with 'X' and '000', and a square with 'X' and '000'. The room name and elevation symbols are: ROOM NAME, DOOR NUMBER SYMBOL, DETAIL SYMBOL, WINDOW SYMBOL, PARTITION TYPE SYMBOL, and ELEVATION SYMBOL. The TIA/TOT symbol is also present.

AREA CALCULATIONS:

LOT SIZE - 6,808 SF (Per Survey)	EXISTING	NEW/ADDED	TOTAL
1ST FLOOR COVERED PORCH	856 SF	265 SF	1,121 SF
2ND FLOOR COVERED PORCH	265 SF	0 SF	265 SF
3RD FLOOR CONDITIONED (LOFT)	0 SF	1,160 SF	1,160 SF
COVERED PARKING	0 SF	598 SF	598 SF
COVERED PATIO, DECK OR PORCH	0 SF	289 SF	289 SF
OTHER	0 SF	0 SF	0 SF
UNCOVERED WOOD DECK (20x)	272 SF	30 SF	305 SF
TOTAL EXISTING BUILDING COVERAGE	1,131 SF	877 SF	2,008 SF
% BUILDING COVERAGE (2,008 / 6,808) = 29.5%			
40% ALLOWED = 2,723 SF			
DRAWINGS	334 SF	0 SF	334 SF
SEWER/VALS	205 SF	102 SF	307 SF
UNCOVERED PATIO	0 SF	0 SF	0 SF
UNCOVERED WOOD DECK (10x)	272 SF	30 SF	305 SF
AC PATIO	131 SF	0 SF	131 SF
OTHER	0 SF	0 SF	0 SF
TOTAL NON-BUILDING COVERAGE	639 SF	327 SF	966 SF
TOTAL SITE COVERAGE (IMPERVIOUS)	1,770 SF	1,204 SF	2,974 SF
% IMPERVIOUS COVER (2,974 / 6,808) = 43.7%			
45% ALLOWED = 3,065 SF			
FAIL CALCULATIONS	856 SF	1,309 SF	2,812 SF
Partial New Foundation			-200 SF
Partial New Deck			-200 SF
Horizontal Deck Extension			-2,000 SF
% F.A.R. (2,812 / 6,808) = 33.8%			
40% ALLOWED = 2,723 SF			2,400 SF

ZONING INFORMATION

Zone:	3F-3H-NCCD-4P
Future Land Use:	3F-3H-NCCD-4P
Property ID:	283333
Geographic ID:	0302020213
Legal Description:	LOT 18 BK 4 BLUE BONNET HILLS
Land Build:	1937
Historic:	Yes
Neighborhood:	Travis Heights
Overlay District:	South River City
Floodplain:	-
Designated:	Blum Creek
Environmental:	None Found
Expired Permits:	None Found
Tree:	Yes, See Survey
Minimum setbacks:	Front 25', Interior Sides 5', Rear: 10'
Max. Bldg. Height:	32'
Lot Size:	6808 SF / 0.1566 acres
Max Bldg. Coverage:	2.723 SF (40%)
Max Impervious Coverd:	2.723 SF (40%)
Max F.R.:	2.723 SF (40%)
Parking:	2 spaces

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McGuire Residence

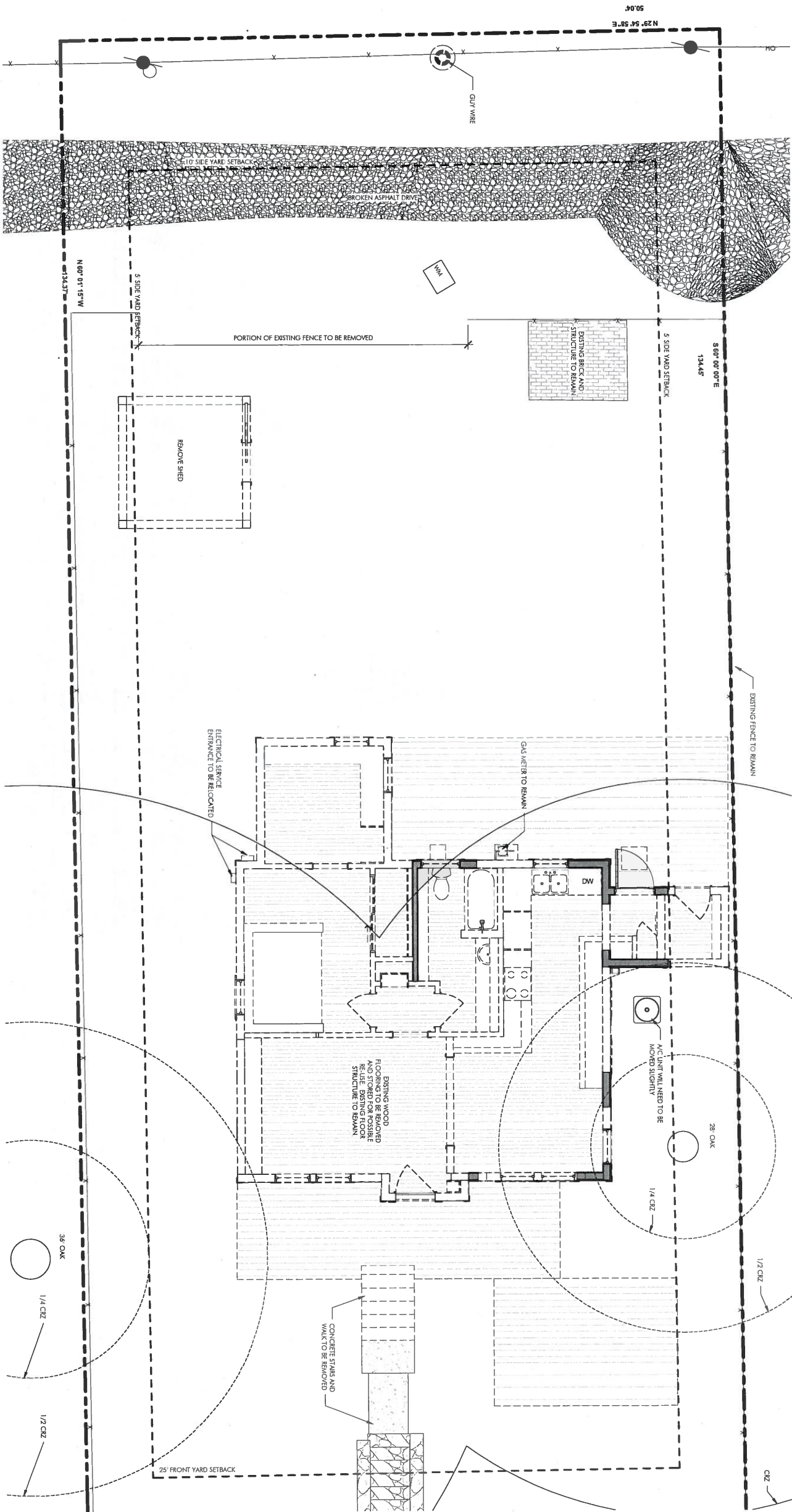
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DATE	ISSUED FOR
05/27/14	HISTORIC SUBMISSION
10/15/14	TREE REVIEW
12/01/14	PERMIT SET
01/08/15	HISTORICAL SET

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COVER SHEET

Ge.O.O.



PROJECT TRUE NORTH
1 GROUND FLOOR DEMO PLAN
1/4" = 1'-0"

DRAWING LEGEND
--- TO BE REMOVED
--- EXISTING WALL TO REMAIN

- DEVIATION NOTES:
1. PROVIDE TEMPORARY SUPPORT TO ALL CONSTRUCTION ABOVE WALLS DESIGNATED FOR DEMOLITION. TEMPORARY BRACING AND SUPPORTS TO MEET ALL O.S.H.A. AND CODE REQUIREMENTS. CONTRACTOR TO CONTACT STRUCT. ENGINEER TO DESIGN BRACING, IF REQUIRED.
 2. WHERE DOORS OR WINDOWS ARE REMOVED FROM A WALL TO REMAIN, PREPARE OPENING TO RECEIVE NEW DOOR, WINDOW, OR INFILL WALL AS INDICATED ON FLOOR PLANS.
 3. ALL WALLS TO REMAIN SHALL BE PATCHED AND PREPARED TO RECEIVE NEW FINISHES.

FIELD INSPECTION REQUIRED
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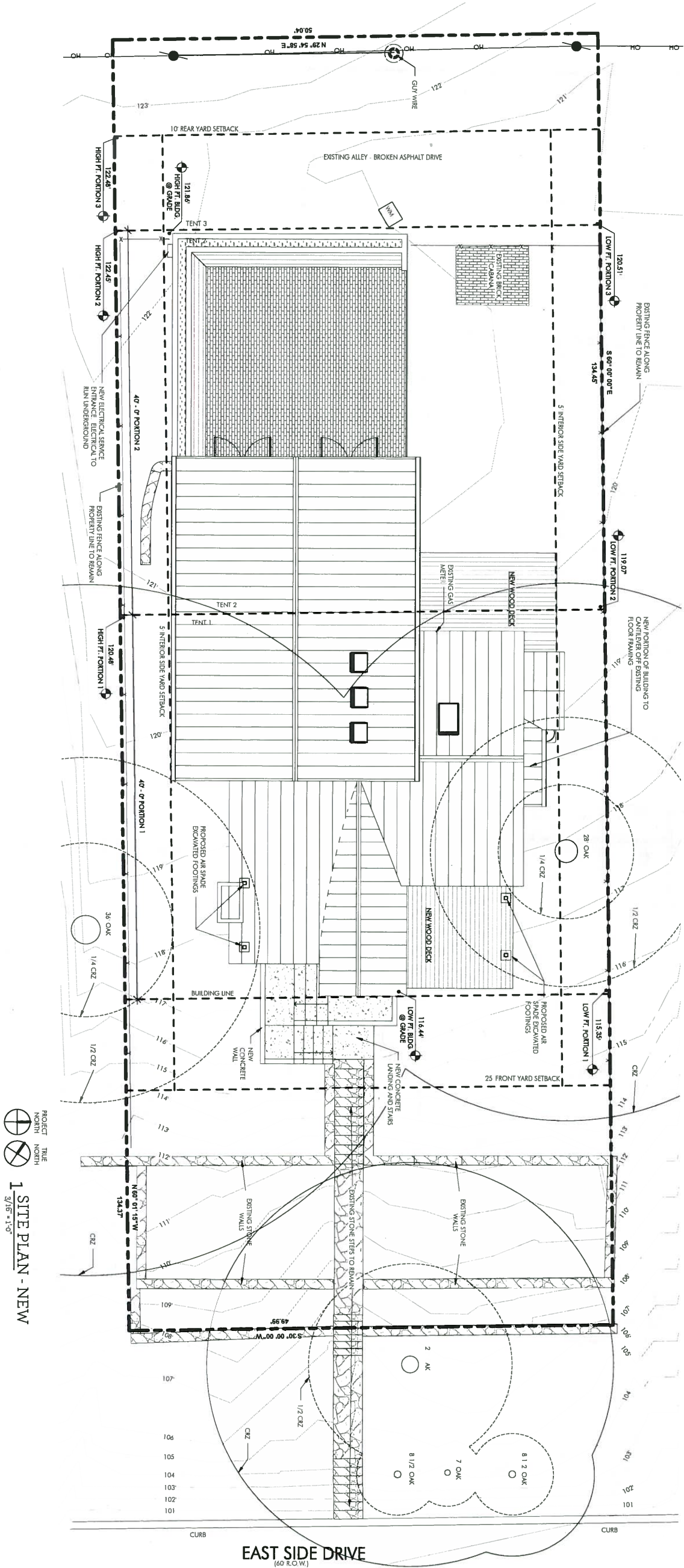
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08/21/14	PERMIT REVIEW
08/21/14	DEMOLITION SET
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GROUND FLOOR DEMO PLAN

D1.0



NOTE:
1. CONSTRUCTION ENTRY AT EXISTING ALLEY. CONTRACTORS
TO PARK VEHICLES ALONG EAST SIDE DRIVE.

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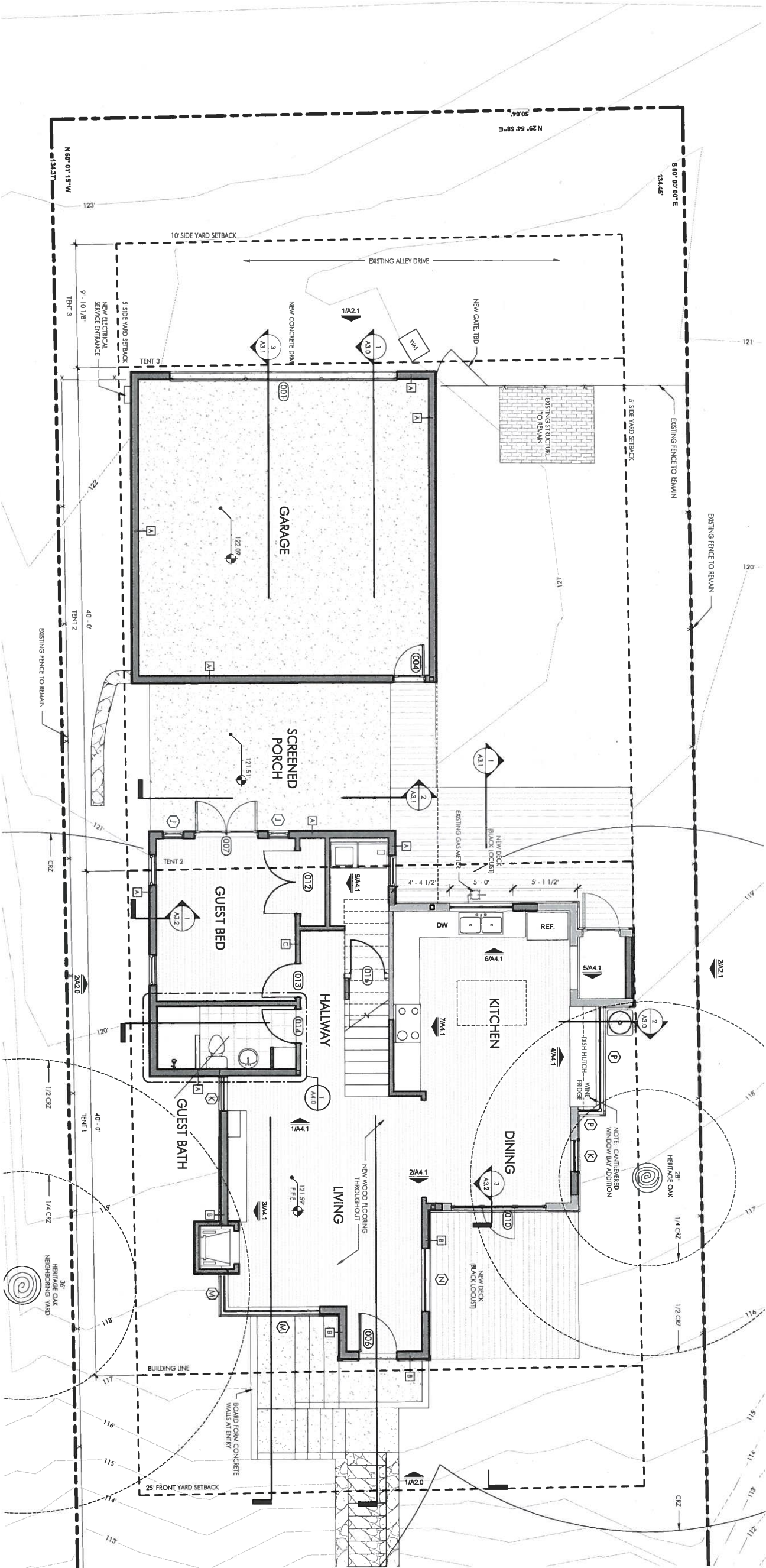
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01/28/15	HISTORICAL SET
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SITE PLAN

A1.0



PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF FOUNDATION OR CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE.
2. INTERIOR NON-FRAMING WALLS ARE 2x4 FRAMING, INTERIOR FRAMING WALLS ARE 2x6 FRAMING, AND ALL EXTERIOR WALLS ARE 2x6 UNLESS NOTED OTHERWISE.
3. DOORS ARE TO BE HELD OFF OF NEAREST WALLS 1/2" OR CENTERED BETWEEN WALLS AT A HALLWAY TERMINUS, UNLESS NOTED OTHERWISE.
4. WINDOW AND DOOR DIMENSIONS SHOWN ARE TO THE FACE LINE, UNLESS NOTED OTHERWISE. EITHER EDGE OF JAMB OR CENTERLINE OF JAMB FRAMING DIMENSIONS AT DOORS AND WINDOWS ARE NOMINAL. G.C. TO COORDINATE ROUGH OPENING SIZES WITH ACTUAL UNITS TO BE INSTALLED.
5. FOR DOOR & WINDOW TAGS, RE: A&O.
6. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
7. SEAL ALL CRACKS AROUND STRUCTURAL MEMBERS, BRACING, PIPES, CONDUNTS, DUCTS AND BETWEEN WALLS AND ROOF DECK WHERE AIR INfiltration BETWEEN CONDITIONED AND NON-CONDITIONED EXTERIOR SPACES MAY OCCUR. IF SEAL THE BUILDING ENVELOPE, SEAL SHALL BE PLACED AT ALL LOCATIONS WHERE WOOD STUDS ABUT CONCRETE.
8. PROVIDE CONVEY/ARCHITECT APPROVED TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISH.
9. FINISH FLOOR REFERENCED ASSUMES A 3/4" WOOD FLOOR ASSEMBLY.
10. PREPARE TO BE CENTERED ON LIVING ROOM CEILING AXES.

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FIELD INSPECTION REQUIRED

Prior to performing any building, new construction, and/or repair, the contractor shall visit the site to inspect all existing conditions and verify any discrepancies to the architect.

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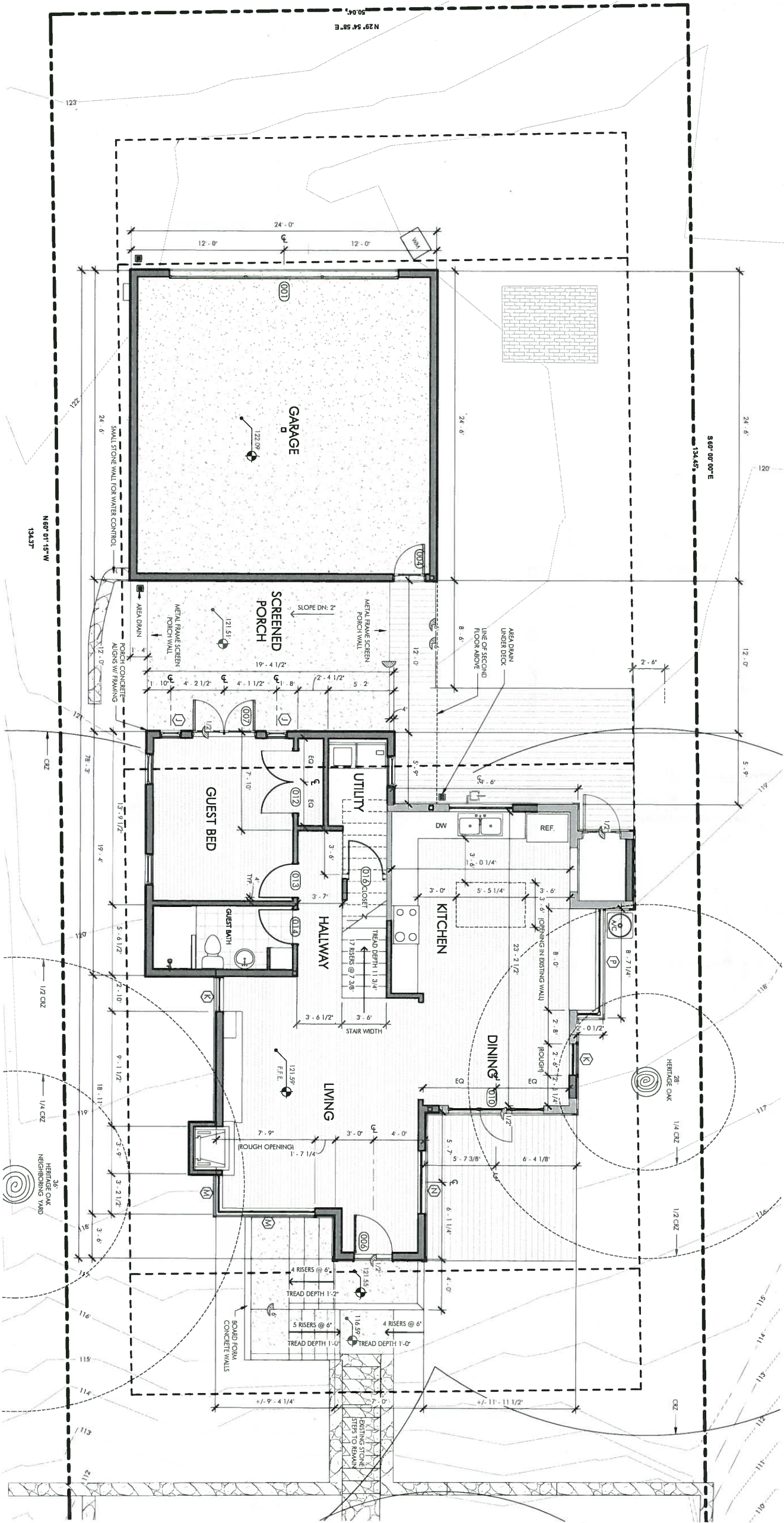
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FIRST FLOOR REFERENCE PLAN

1 FIRST FLOOR - REFERENCE PLAN



A1.1



DRAWING LEGEND	
	EXISTING
	NEW
	WOOD FLOORING
	WOOD DECKING
	TILE

DRAWING LEGEND

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Before performing any building new construction or modifying existing construction, the general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

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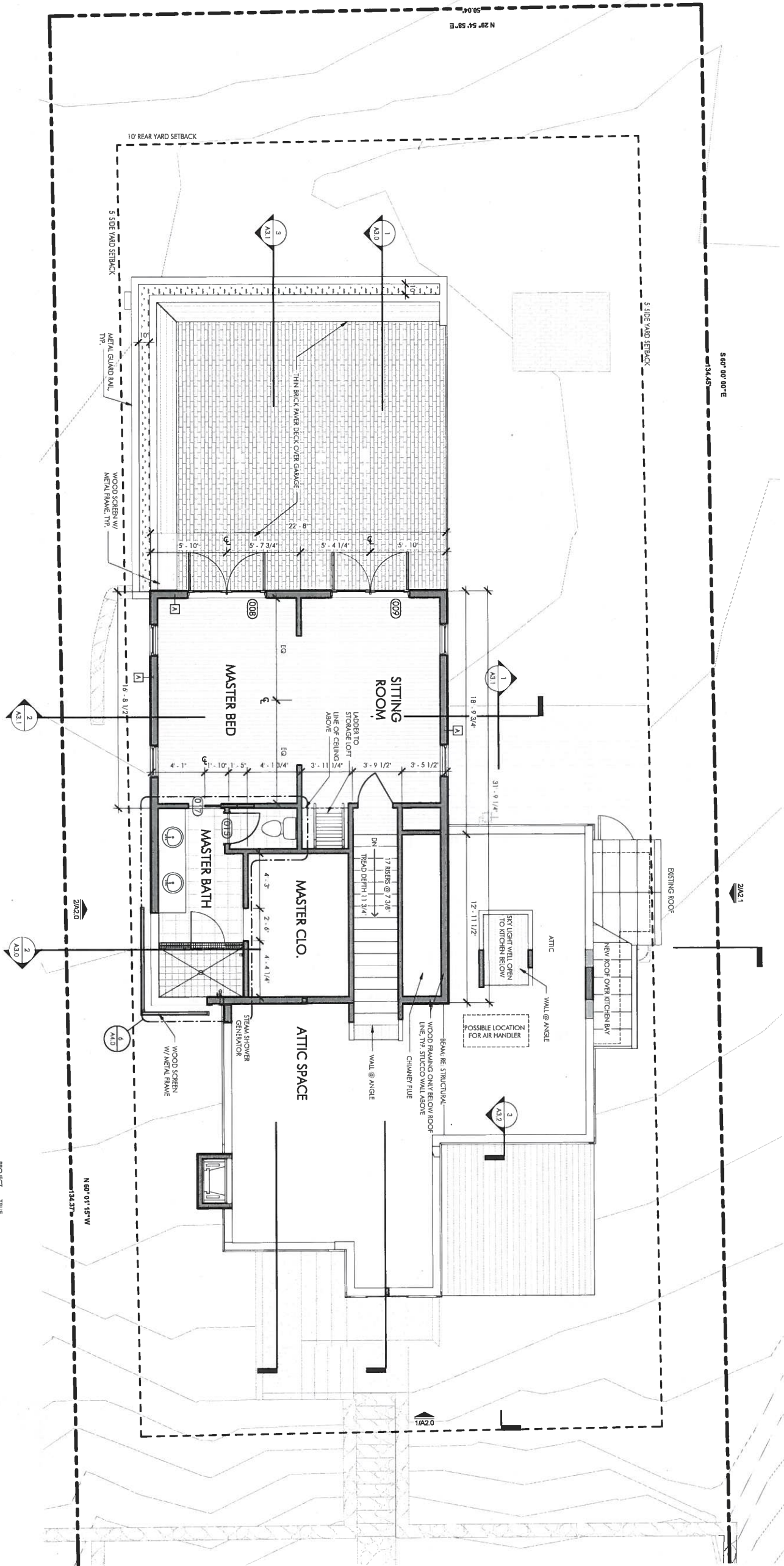
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FIRST FLOOR DIMENSION PLAN

1/4" = 1'-0"



PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD. FACE OF FOUNDATION OR CENTERLINE OF COLUMN, UNLESS NOTED OTHERWISE.
2. INTERIOR NON-PLUMBING WALLS ARE 2"x4" FRAMING, INTERIOR PLUMBING WALLS ARE 2"x6" FRAMING, AND ALL EXTERIOR WALLS ARE 2"x6" UNLESS NOTED OTHERWISE.
3. DOORS ARE TO BE HUNG OFF OF NEAREST WALL 5' 1 1/2" OR CENTERED BETWEEN WALLS AT A HALFWAY TERMINUS, UNLESS NOTED OTHERWISE.
4. WINDOW AND DOOR DIMENSIONS SHOWN ARE TO THE BASE LINE ORIGIN. DIMENSIONS AT DOORS AND WINDOWS ARE NOMINAL, S.C. TO COORDINATE ROUGH OPENING SIZES WITH ACTUAL UNITS TO BE INSTALLED.
5. FOR DOOR & WINDOW TAGS, REF. A4.0
6. DO NOT SCALE DRAWINGS; IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE COMMENCING WITH CONSTRUCTION.
7. SEAL ALL CRACKS AROUND STRUCTURAL MEMBERS, BRACING, PILES, CONDUITS, DUCTS AND BETWEEN WALLS AND ROOF DECK WHERE AIR INfiltration BETWEEN CONDITIONED AND NON-CONDITIONED SPACES MAY OCCUR. IE. SEAL CRACKS AROUND ROOF DECK JOINTS AND ROOF DECK JOINTS TO BE TIGHTENED AT ALL JOINTS WHERE WOOD STUDS ABUT CONCRETE.
8. PROVIDE OWNER/ARCHITECT APPROVED TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISH.
9. FINISH FLOOR REFERENCED ASSUMES A 3/4" WOOD FLOOR ASSEMBLY.

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SECOND FLOOR PLAN

A1.3

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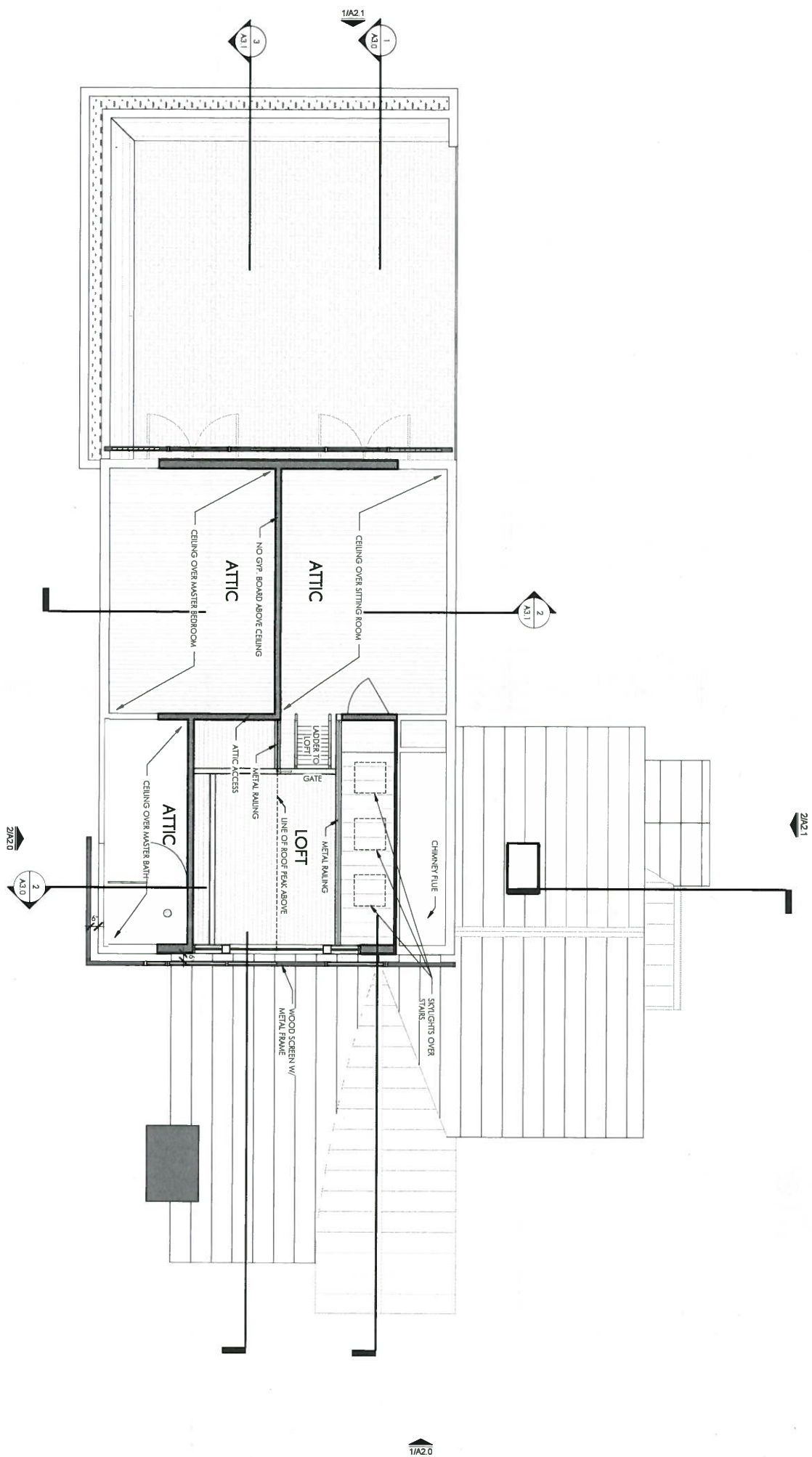
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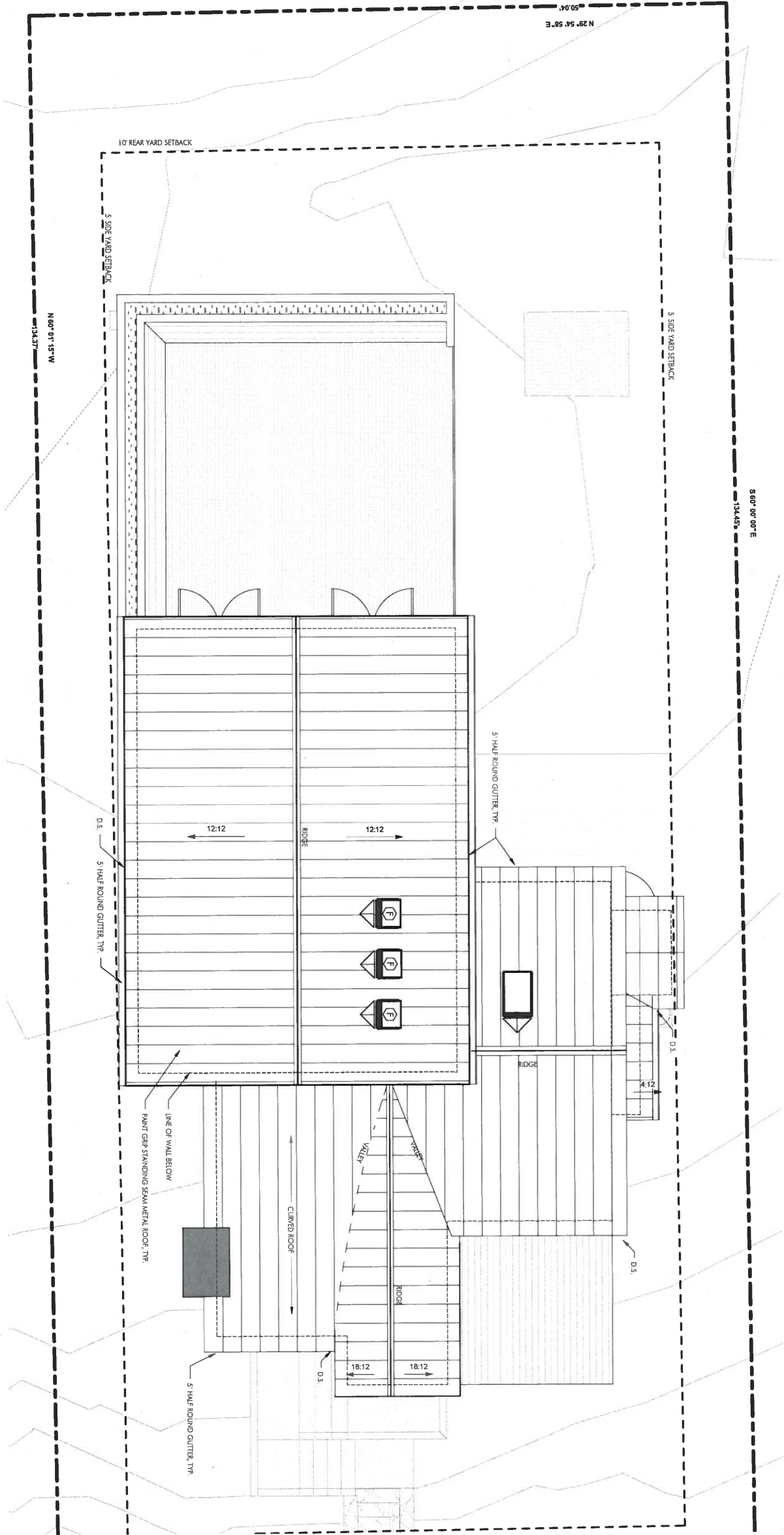
LOFT PLAN

A1.4



PROJECT TRUE NORTH


 1 STORAGE LOFT PLAN
 1/4" = 1'-0"



- NOTES:**
- DOWNPOUTS TO BE LOCATED ON SITE WITH ARCHITECT AND OWNER. ROOFER TO CALCULATE LOCATION OF DOWNPOUTS AND LOCATE VENTS ON WEST AND/OR NORTH SIDE OF RIDGE.
 -

PROJECT TRUE
NORTH NORTH
1 ROOF PLAN
1/4" = 1'-0"

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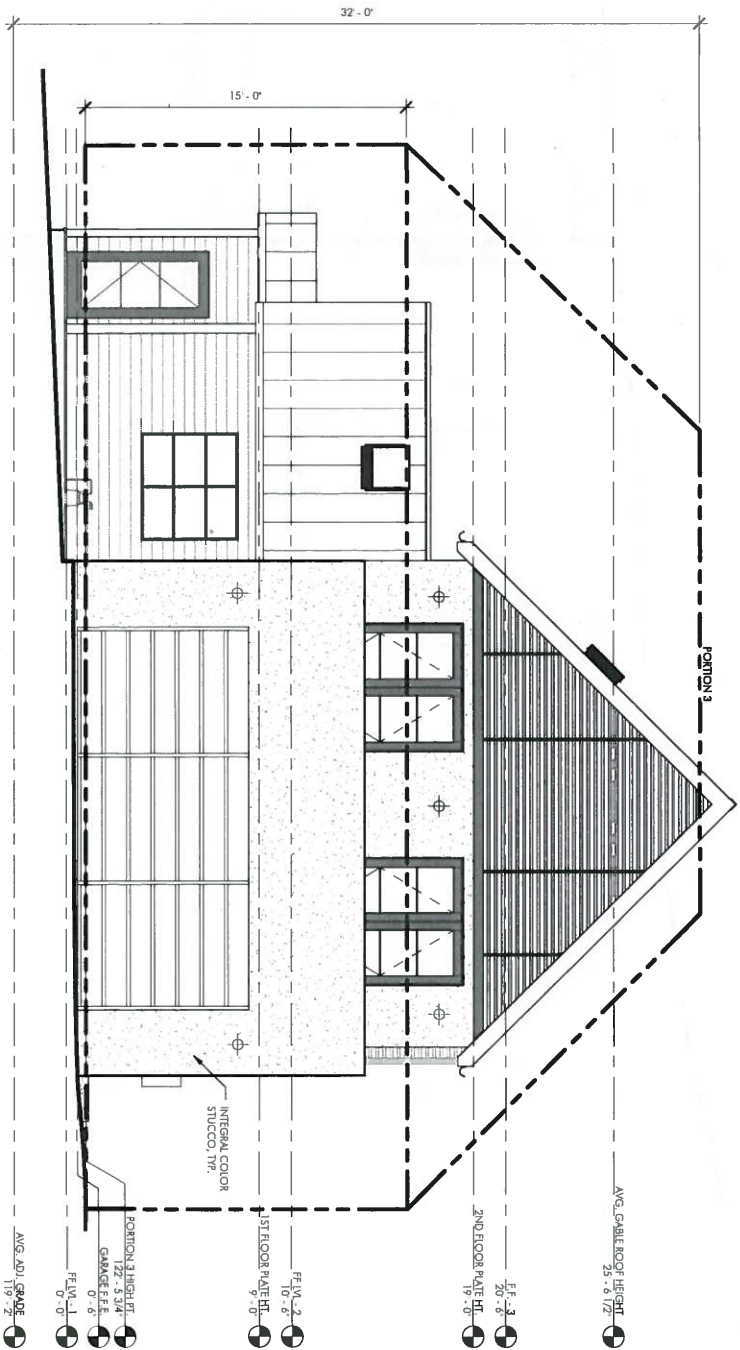
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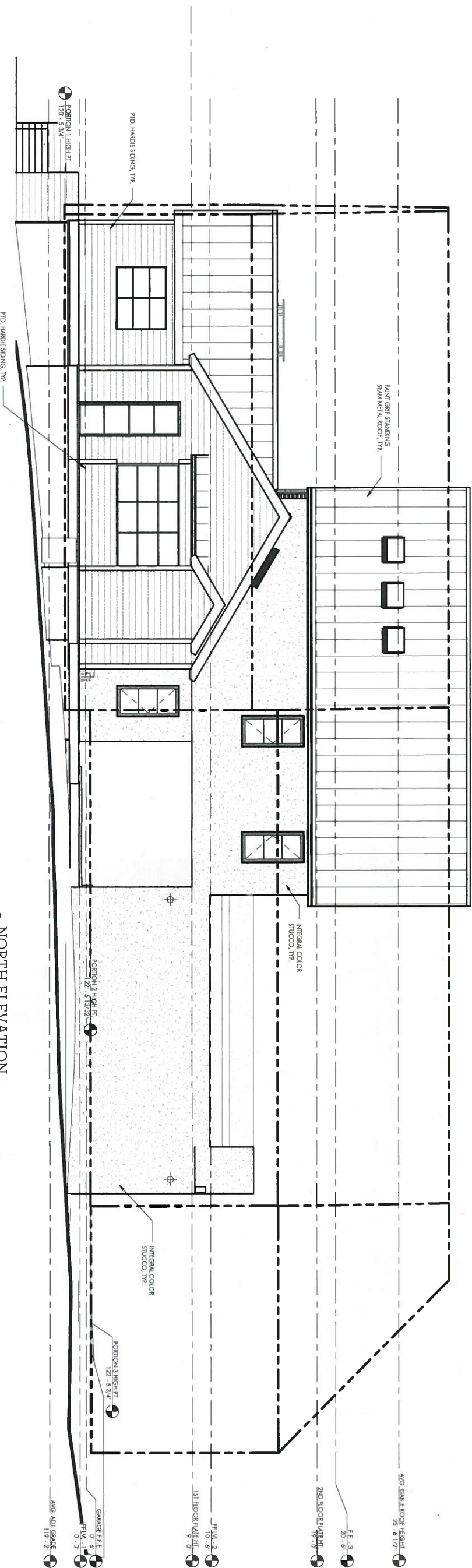
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ROOF PLAN

A1.5



1 WEST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

A2.1

