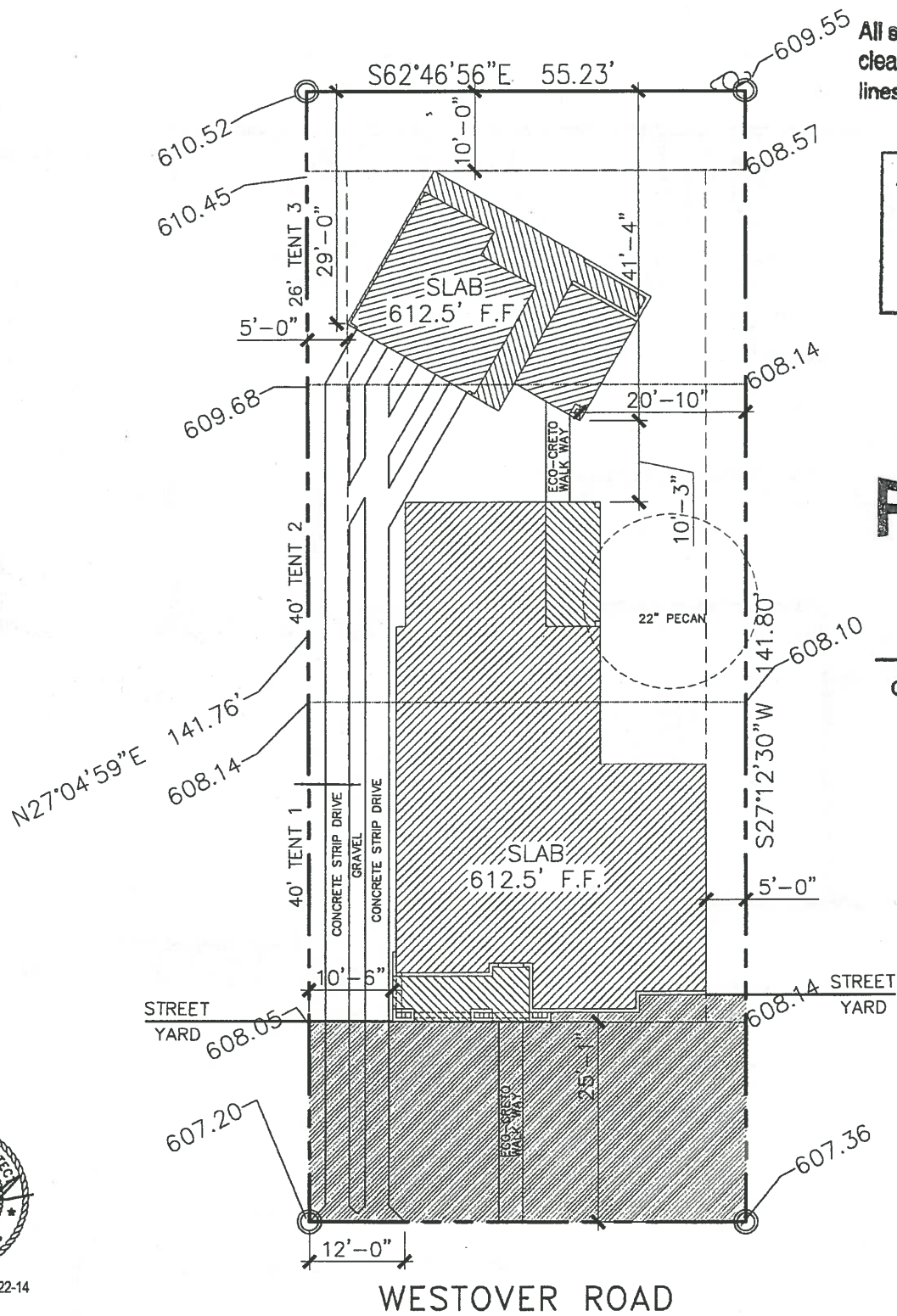




All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.

AE APPROVED
SEP 25 2014
RLS 268-1

REVIEWED

SEP 24 2014

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS



DATE SEALED: 09-22-14

SQUARE FOOTAGES:

SLAB: 2699
TOTAL DRIVEWAYS: 746
WALK-WAYS: 0
A/C PAD: 18

TOTAL CONCRETE OF PROPERTY: 3,463
LOT: 7,809

IMPERVIOUS COVER:

% OF TOTAL CONCRETE: 44.35%

GROSS SQUARE FOOTAGES:

TOTAL LIVING SQUARE FOOTAGE: 2952
DETACHED GARAGE 484 - 450 = 34

TOTAL GROSS FLOOR AREA 2,986
GROSS AREA OF LOT 7,809

MAXIMUM DEVELOPMENT PERMITTED

% OF TOTAL FLOOR AREA RATIO 38.24%

FRONT YARD IMPERVIOUS COVER

SQ. FT. OF FRONT YARD (HATCHED): 1436
TOTAL DRIVEWAYS: 158
WALKWAYS: 0
PERCENT OF COVERAGE: .11%

THE



2800 CORPORATE DRIVE, STE 101
FLOWER MOUND, TX 75028
OFFICE : (972) 355-8700
FAX : (972) 355-8750
TRADEMARKED

builder

MARK LOVE

subdiv.

EDGEMONT

lot

13

blk

5

phase

N/A

city

AUSTIN, TEXAS

county

TRAVIS COUNTY

date

09-22-14

plan

MARK LOVE RESIDENCE

SCALE: 0'-1" = 20'-0"

GENERAL NOTES:

REVISIONS		

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DESCRIPTION:

BUILDER:

THE

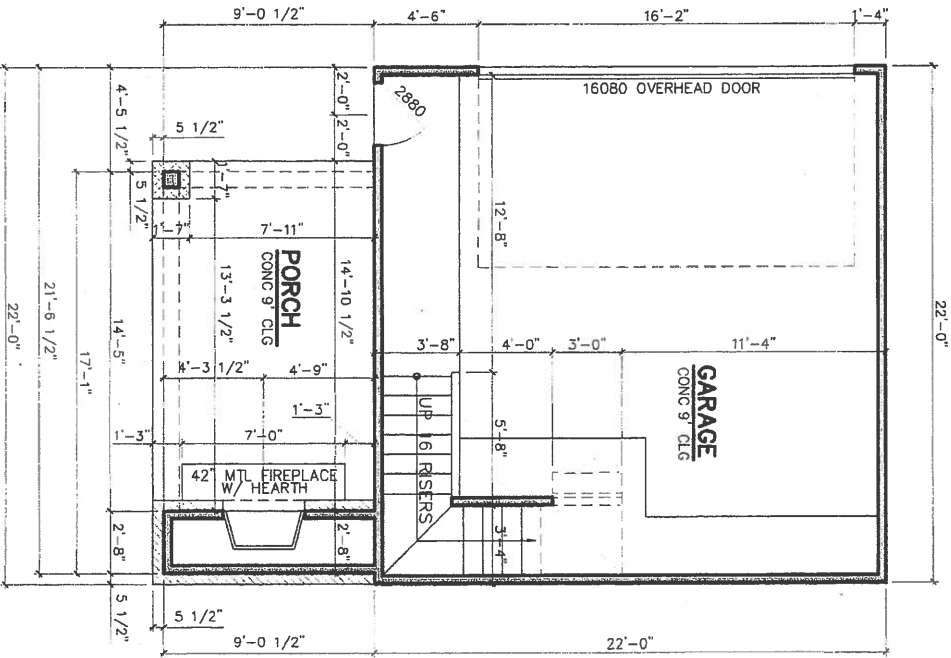
GROUP

2800 CORPORATE DRIVE, STE. 100
FLOWER MOUND, TX 79028
OFFICE : (972) 355-8700
FAX : (972) 355-8750
TRADEMARKED

ISSUE DATE
09-22-14
DRAFTSPERSON
JB
PROJECT NO.
14-372
PLAN NUMBER
2952
SHEET NUMBER
A-1

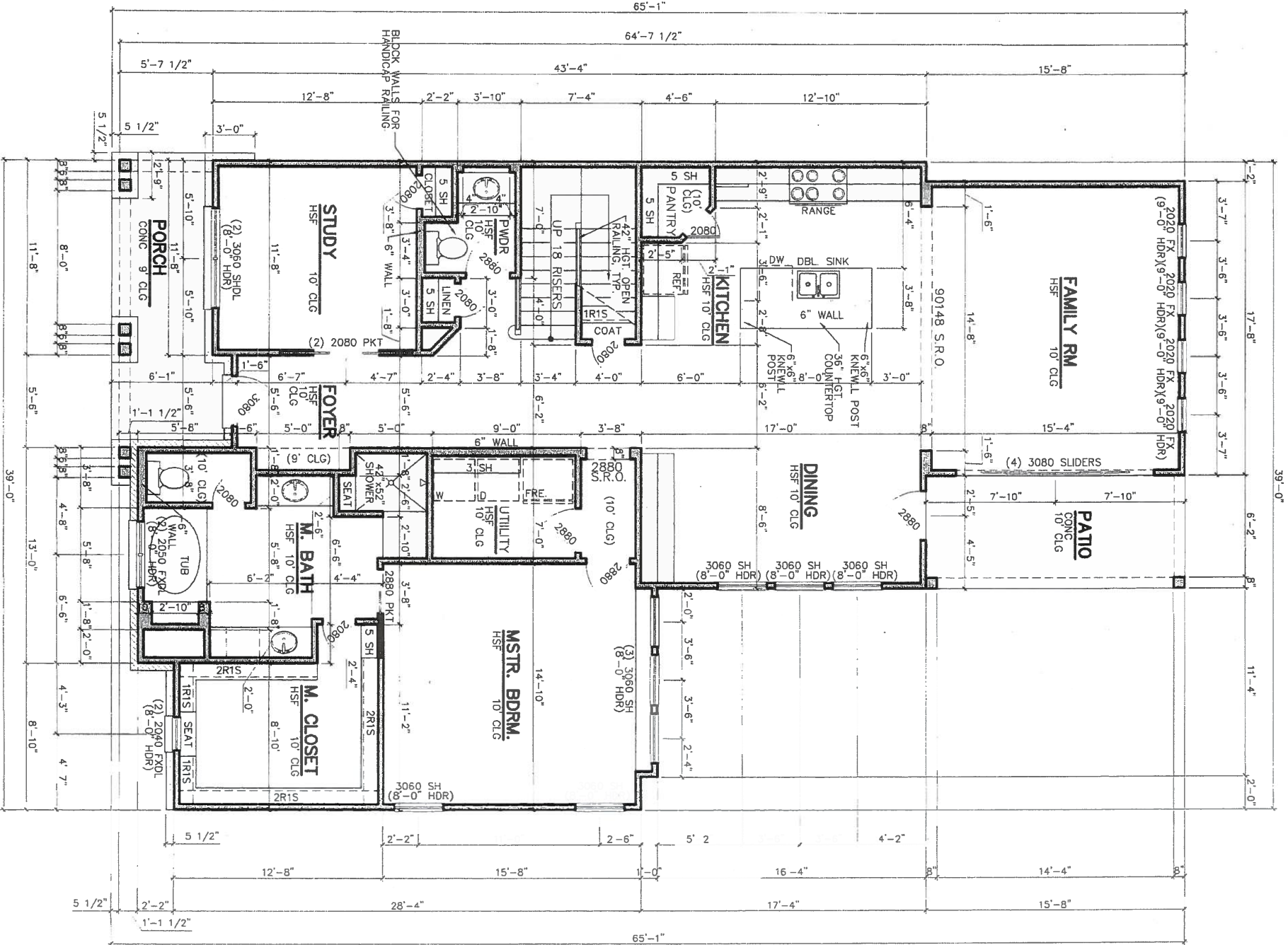
PLAN MEETS COMPLIANCE WITH R320 VISITABILITY (SEE ORDINANCE NO. 20140130-021 EFFECTIVE 2-10-14. EXTERIOR VISITABILITY ROUTE SECTION R320.7 IS EFFECTIVE 7-1-2015) INCLUDING VISITABLE BATHROOMS, MENTAL SWITCHES, RECEPTACLES, ENVIRONMENTAL CONTROLS, BOTHROOM ROUTE, AND DWELLING ENTRANCE.

SQUARE FOOTAGES	
First Floor	1832 SQ. FT.
Second Floor	793 SQ. FT.
Detached Garage 2nd	327 SQ. FT.
Total Living Area	2952 SQ. FT.
Detached Garage 1st	484 SQ. FT.
Porches	105/107 SQ. FT.
Covered Patio at Garage	171 SQ. FT.
Total Under Roof	3819 SQ. FT.
Total Slab	2699 SQ. FT.



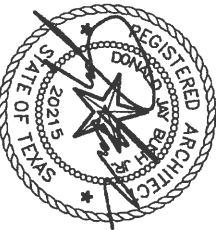
GARAGE FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



DATE SEALED: 09-22-14

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BUILDER:



8800 CORPORATE DRIVE, STE 10
FLOWER MOUND, TX 75028
OFFICE: (972) 355-8700
FAX: (972) 355-8750
TRADEMARKED

ISSUE DATE
09-22-14
DRAFTSPERSON

५

PROJECT NO.
14-372

PLAN NUMBER

2952

SHEET NUMBER

A-2



SECOND FLOOR PLAN

REVISIONS		

The M.L. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of The M.L. Group Inc.

DESCRIPTION:

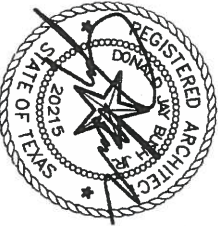
BUILDER:

THE

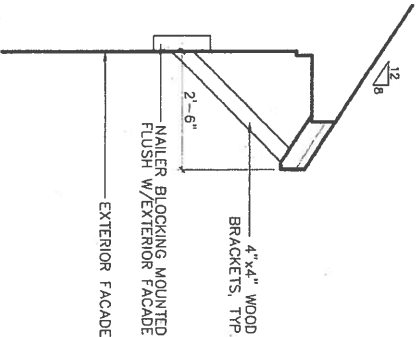


2900 CORPORATE DRIVE, STE 101
FLOWER MOUND, TX 75028
OFFICE : (972) 355-8700
FAX : (972) 355-8750
TRADEMARKED

ISSUE DATE	09-22-14
DRAFTSPERSON	JB
PROJECT NO.	14-372
PLAN NUMBER	2952
SHEET NUMBER	A-3



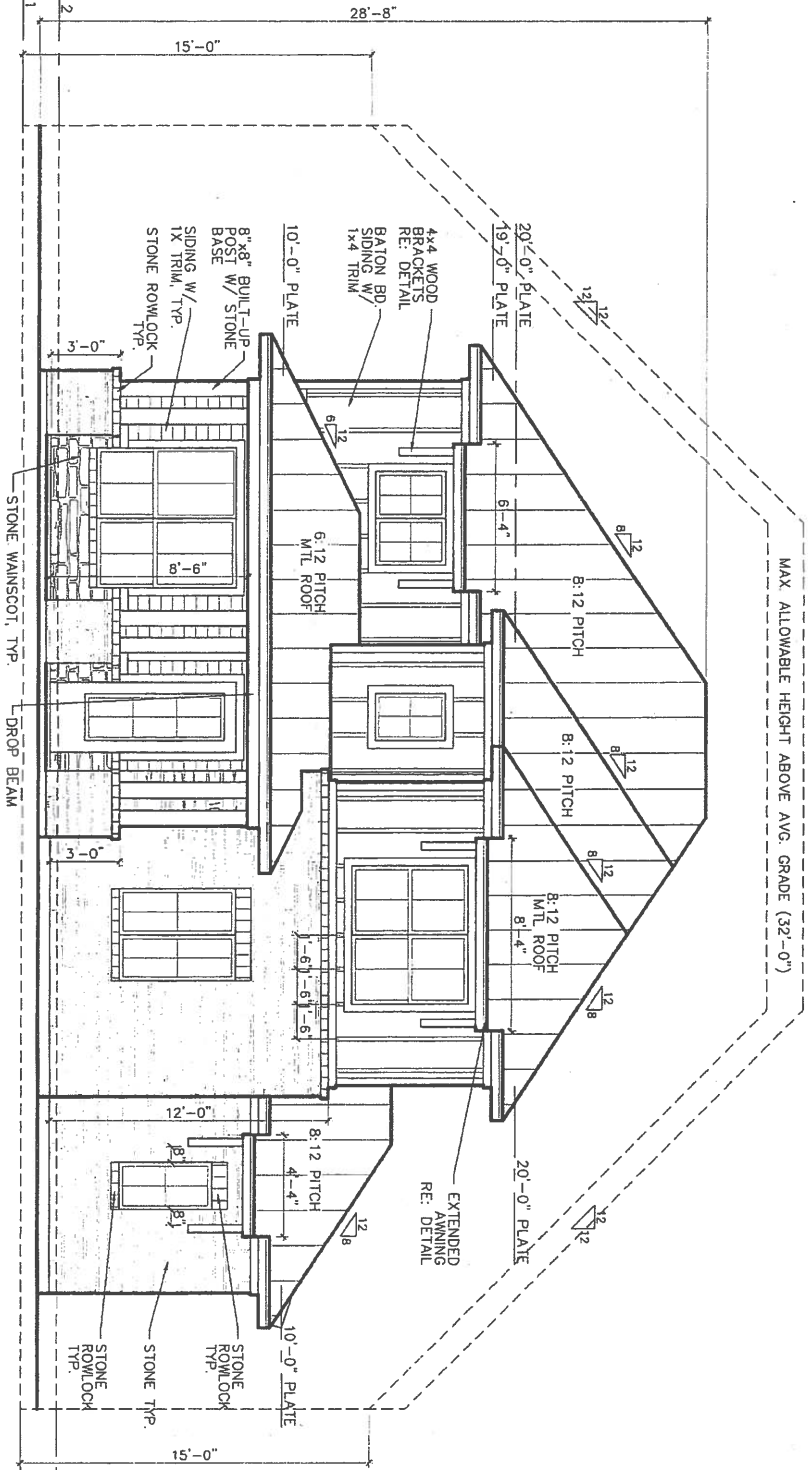
DATE SEALED: 09-22-14



EXTENDED AWNING DETAIL

SCALE: 1/2" = 1'-0"

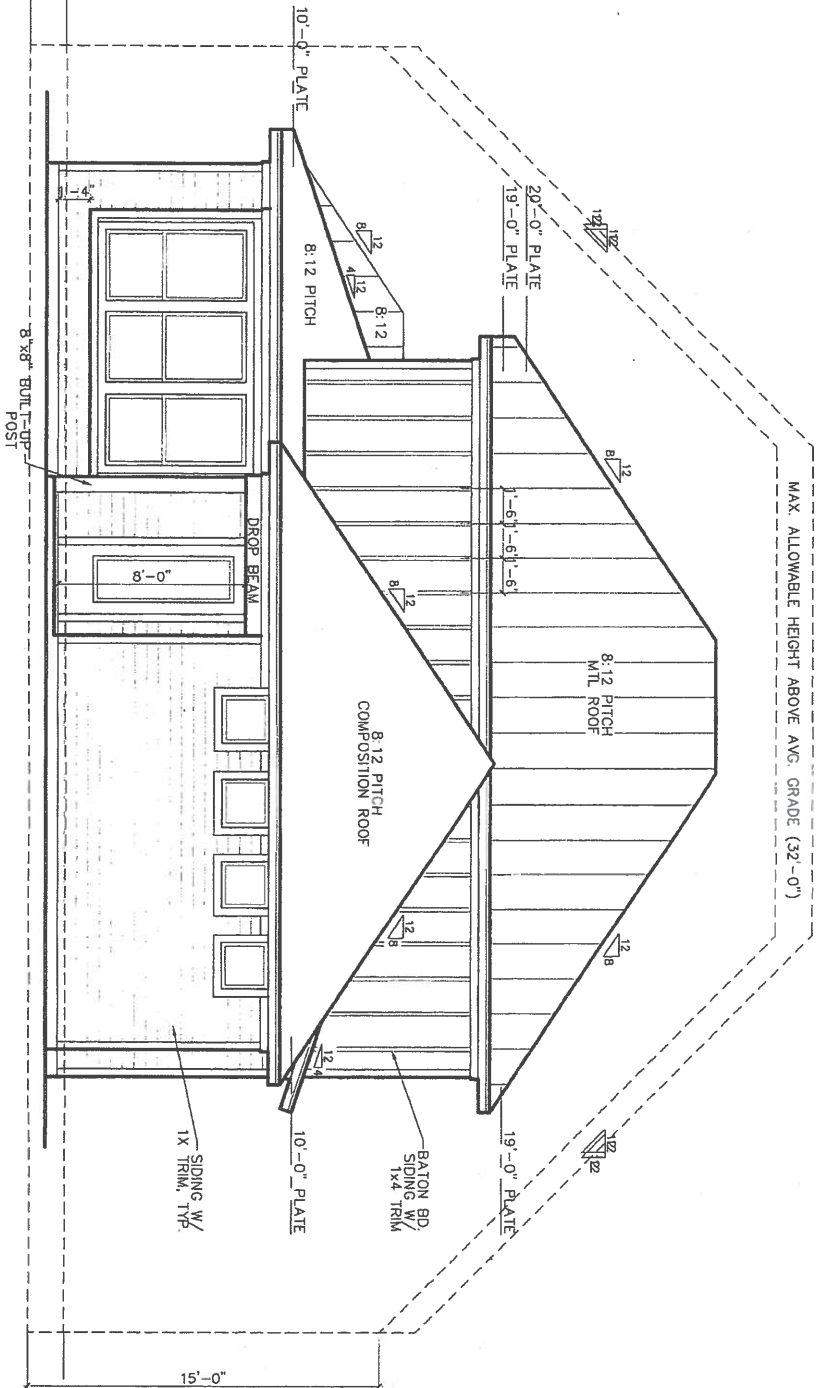
610.52' HIGH POINT	609.68' HIGH POINT TENT 2
608.86" AVG. GRADE	608.14' HIGH POINT TENT 1
607.2' LOW POINT	



FRONT ELEVATION

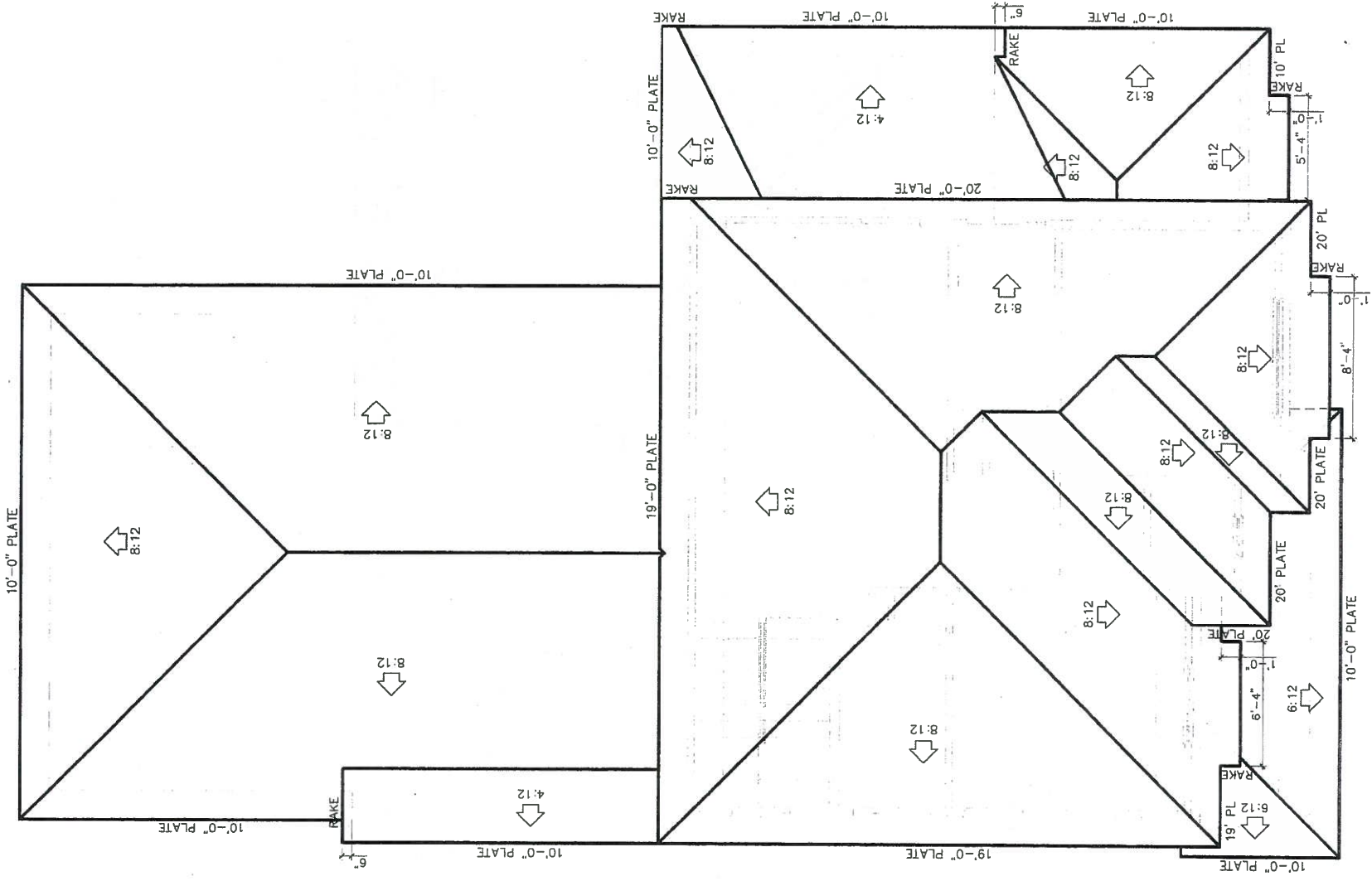
SCALE: 1/8" = 1'-0"

610.52' HIGH POINT	609.68' HIGH POINT TENT 2
608.86" AVG. GRADE	608.14' HIGH POINT TENT 1
607.2' LOW POINT	



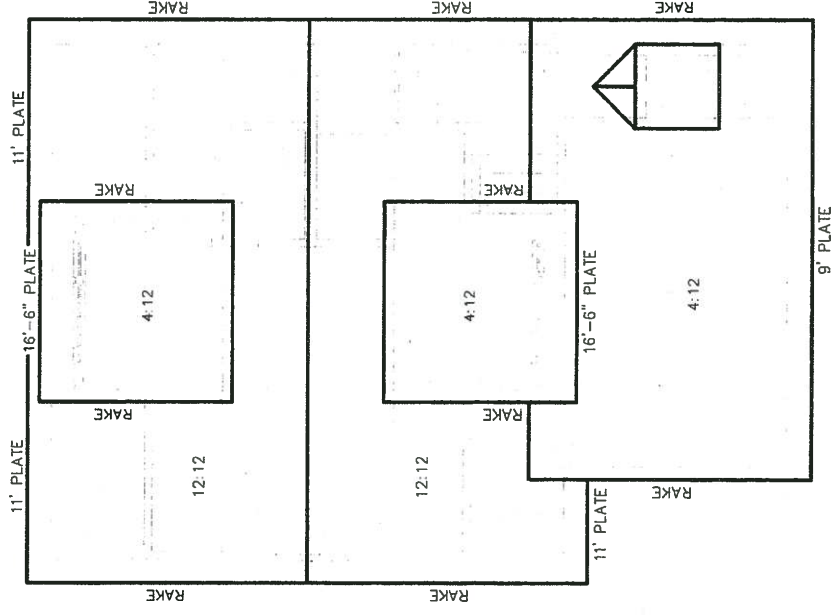
REAR ELEVATION

SCALE: 1/8" = 1'-0"



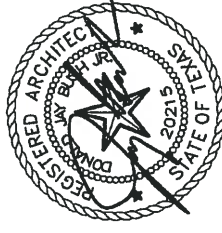
ROOF PLAN

SCALE: 1/8" = 1'-0"



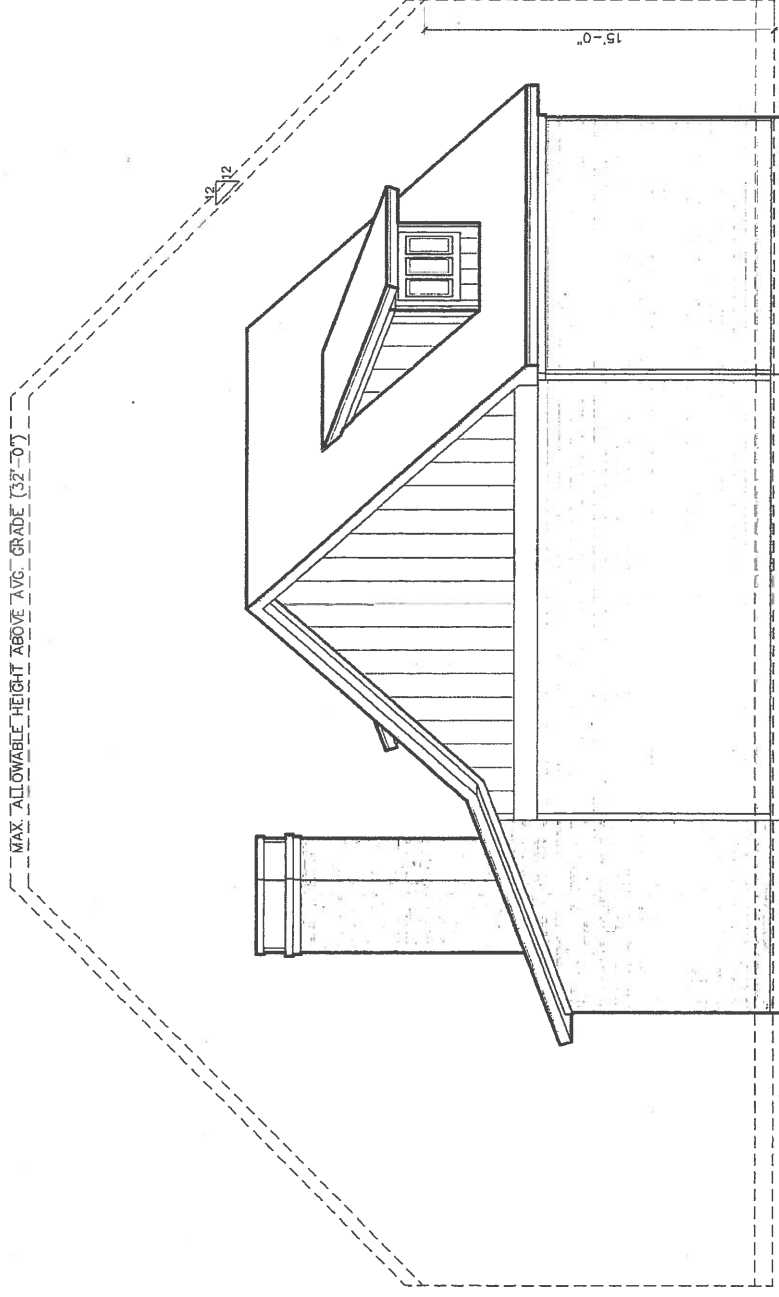
GARAGE ROOF PLAN

SCALE: 1/16" = 1'-0"



DATE SEALED: 09-22-14

REVISIONS		THE  GROUP 2900 CORPORATE DRIVE, STE 101 FLOWER MOUND, TX 75028 OFFICE : (972) 355-8700 FAX : (972) 355-8750 TRADEMARKED	ISSUE DATE	09-22-14	DRAFTSPERSON	JB	PROJECT NO.	14-372	PLAN NUMBER	2952	SHEET NUMBER	A-6
The M.L. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified engineer, architect, or structural engineer should be permitted to alter these plans, with written release of The M.L. Group Inc.												
DESCRIPTION:												
BUILDER:												



GARAGE ISOMETRIC ELEVATION
FROM PROPERTY REAR

SCALE: 1/16" = 1'-0"



DATE SEALED: 09-22-14

[illegible]