

The Hatler Residence

Existing Residence Alterations

1508 Northwood Road
Austin, TX 78703



Issue for Permit 10 November 2014

Architect	Owner	General Contractor/Builder
McWalters Collaborative Architecture and Design	The Hatlers	Duckworth Properties, L.L.C.
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Structures PE, L.L.P.	Greer Interior Design

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Applicable Codes

2012 International Residential Code for One & Two-Family Dwellings
2012 International Fire Code w/ Austin amendments
2012 Uniform Mechanical Code w/ Austin amendments
2012 Uniform Plumbing Code w/ Austin amendments
2012 International Electrical Code
2012 International Energy Conservation Code w/ Austin amendments

Occupancy Class - R-3

Zone1 - SF-3-AP
Zoning Overlay
- Neighborhood Planning Area
- Windward Road - West Austin Combined
- NPA - Residential Design Stas
- Accessory Dwelling Units
Impervious Cover & Garage Setback

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	ISSUE FOR PERMIT	10 NOV 2017
	ISSUE FOR PRELIM REVIEW	05 NOV 2017
PENDING ISSUE		DAT
N	HITLP	
PROGRAM BY	LMMT	
SCALE		1/8" = 1'-0"

Plot Plan Impervious Cover Summary F.A.R. Summary

A0-02

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1 REMOVAL PLAN - 1st FLOOR

REMOVAL KEY NOTES (cont)

- 12 REMOVE EXISTING STONE PLANTING BORDER, STEPPING STONES AND FRONT WALK AS INDICATED
- 13 REMOVE EXISTING GRAVEL DRIVE & CURB AT WEST SIDE
- 14 REMOVE EXISTING LAV FOR SCHED NEW FIXTURE

REMOVAL KEY NOTES:

- 1 FULLY REMOVE PARTITION, INCLUDING ALL ELEC DEVICES, MECH DEVICES, FRAMING, TRIM ETC.
- 2 REMOVE EXISTING WINDOW, JAMB, HEAD, SILL & CASING AND PREP FOR NEW SCHED WINDOW OR WALL INFILL
- 3 SELECTIVELY REMOVE PARTIAL PARTITION FOR NEW DOOR/WINDOW OPENING OR OTHER AS NOTED. REFER TO ARCHITECTURAL PLANS.
- 4 REMOVE EXISTING PORCH, PORCH COLUMNS & PORCH ROOF
- 5 REMOVE EXISTING REAR DECK, STEPS, COLUMNS & ROOF.
- 6 REMOVE EXISTING A/C UNIT AND PAD. COORD IF A/C UNIT IS TO BE REUSED W/ MECHANICAL SUB-CONTRACTOR.
- 7 REMOVE EXISTING WATER HEATER LOCATION. COORD IF WATER HEATER IS TO BE REUSED W/ PLUMB CONTRACTOR.
- 8 REMOVE EXISTING FULL HEIGHT/PARTIAL HT EXTERIOR STONE CLADDING IN PREPARATION FOR NEW FINISHES.
- 9 SELECTIVELY REMOVE CEILING AND FRAMING AS REQ'D FOR NEW 2nd FLOOR ADDITION AND STAIR.
- 10 REMOVE EXISTING KITCHEN CABINETS & APPLIANCES. COORD W/ OWNER ITEMS TO BE SALVAGED.
- 11 REMOVE DOOR & HDWR. CASING TO REMAIN. FOR RE-HANG OF DOOR OR NEW AS SCHEDULED.

DEMOLITION NOTES (cont)

- 0.1.8 PRIOR TO DEMOLITION AND BEFORE SUBMISSION OF PROPOSED METHODS AND SEQUENCES OF OPERATIONS, THE GENERAL CONTRACTOR SHALL SCHEDULE A REVIEW MEETING WITH THE OWNER/AGENT AND ARCHITECT TO REVIEW THE DEMOLITION SCOPE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN FOR REFERENCE ANY EXISTING RECORD DRAWINGS AND TO CONDUCT ANY APPROPRIATE FIELD TESTING TO DETERMINE THE NATURE OF THE WORK TO BE REMOVED.
- 0.1.9 THE OWNER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT THE TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY THE OWNER INsofar AS FEASIBLE.
- 0.1.10 THE GENERAL CONTRACTOR SHALL DISCONNECT OR SHUT OFF AND CAP ALL M.E.P. SERVICES TO ALL AREAS WHERE WORK IS TO BE REMOVED OR RELOCATED.
- 0.1.11 GENERAL CONTRACTOR SHALL PROVIDE A NECESSARY TEMPORARY SUPPORTS AND PROTECTION OF ANY/all STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL ELEMENTS AFFECTED BY DEMOLITION.

DEMOLITION NOTES (cont)

- 0.1.3 PROVIDE ALL DEMOLITION REQUIRED FOR REMOVAL OF SYSTEMS, MATERIALS AND EQUIPMENT MADE OBSOLETE BY THIS PROJECT AS INDICATED BY THE CONTRACT DOCUMENTS.
- 0.1.4 FIELD VERIFY ALL CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT OF ANY DEVIATION BEFORE PROCEEDING WITH DEMOLITION.
- 0.1.5 THE GENERAL CONTRACTOR SHALL PROVIDE AS REQUIRED THE MEANS AND METHODS AS REQUIRED TO MAINTAIN APPROPRIATE VENTILATION, LIGHTING AND SAFETY, ETC., THROUGHOUT THE DEMOLITION PROCESS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH OWNER ALL MEANS AND METHODS, I.P.
- 0.1.6 ANY DEMOLITION OR REMOVAL INDICATED IS SHOWN IN GENERAL TO PROVIDE THE EXTENT OF DEMOLITION AND IS NOT TO BE CONSIDERED A RECORD DRAWING OF EXISTING CONDITIONS.
- 0.1.7 THE GENERAL CONTRACTOR SHALL SUBMIT A SCHEDULE OF METHODS AND OPERATIONS OF DEMOLITION FOR THE OWNER'S REVIEW FOR ALL DEMOLITION AND REMOVAL. THE SCHEDULE SHALL INCLUDE A DETAILED DEMOLITION SEQUENCE REQUIRED WITH ALL TRADES FOR SHUTOFF, CAPPING OR REROUTING OF UTILITIES, THE CONSTRUCTION OF ANY TEMPORARY UTILITY LINES, AND PROTECTIVE MEASURES.

GENERAL NOTES

- 1 REFER TO AN SERIES DWGS FOR ADDITIONAL NOTES, SYMBOLS & ABBREVIATIONS.
- 2 REFER TO SHEET A6-02 FOR WINDOW OPENING SCHEDULE DOCUMENTS.
- 3 REFER TO SHEET A1-02 FOR WALLS/FRAMING, INSULATION & MILLWORK NOTES.
- DEMOLITION NOTES
 - 0.1.1 DURING DEMOLITION, ALL STRUCTURES, FURNISHINGS, FINISHES, ETC. WHICH ARE NOT TO BE REMOVED OR ARE TO BE REUSED SHALL BE PROTECTED FROM DAMAGE. DAMAGE TO THE EXISTING ITEMS OR SURFACES THAT REMAIN SHALL BE REFINISHED, REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND ARCHITECT AT NO ADDITIONAL COST.
 - 0.1.2 DURING REMOVAL OF ITEMS INDICATED TO BE SALVAGED, PROTECTION AND CAUTION SHALL BE USED TO ELIMINATE THE POSSIBILITY OF DAMAGE TO SUCH ITEMS. ALL ITEMS OF EXISTING EQUIPMENT, MATERIALS, FIXTURES, ETC., SHALL BE PROTECTED FROM DAMAGE. DAMAGE TO THE EXISTING ITEMS OR SURFACES THAT REMAIN SHALL BE REFINISHED, REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND ARCHITECT AT NO ADDITIONAL COST.

Proposed Removal Plan
1st Floor

A0R-01

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02 ISSUE FOR PERMIT 10 NOV 2014

01 STRUCTURAL COORD/BKGRDS 05 NOV 2014
DRAWING ISSUE DATE

PN HTLR

DRAWN BY LGM/TD

SCALE 1/4" = 1'-0"

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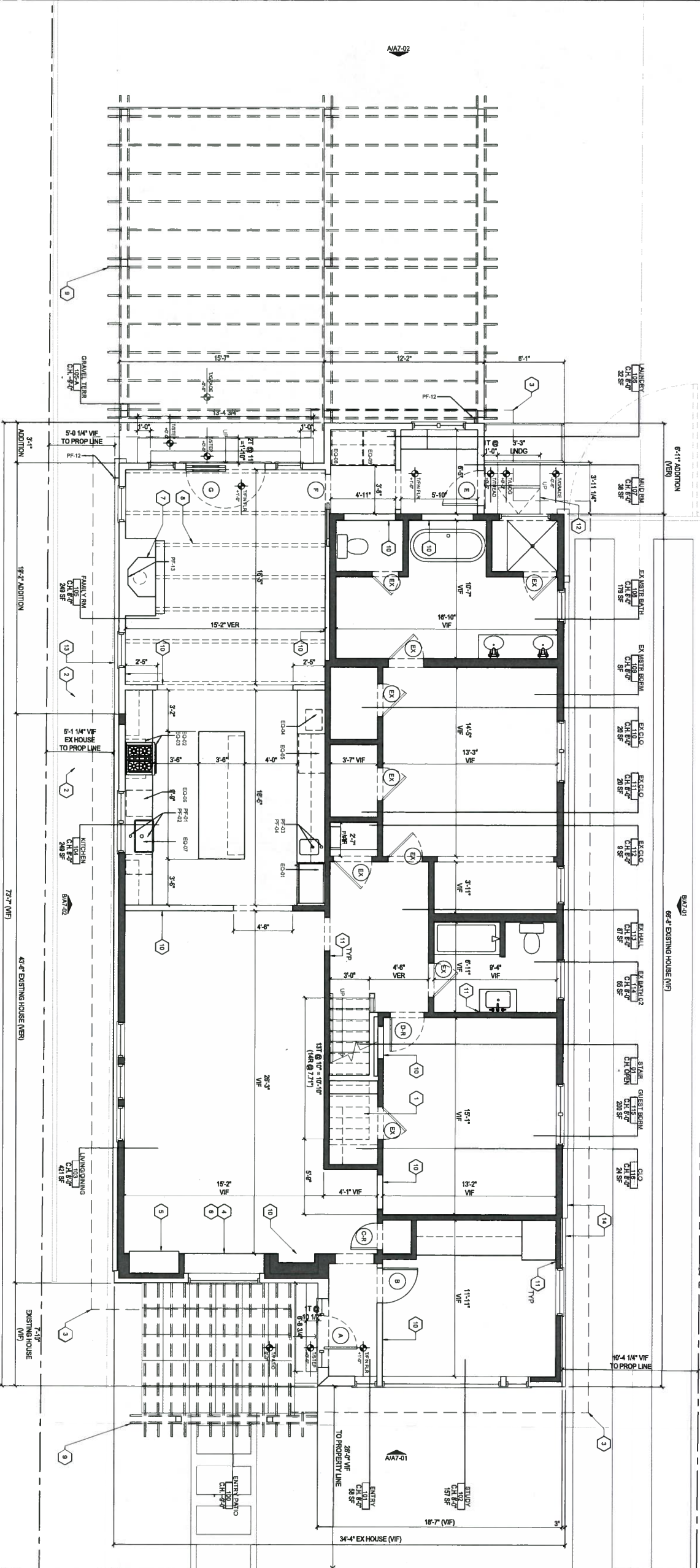
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02	ISSUE FOR PERMIT	10 NOV 2014
01	STRUCTURAL COORDINATIONS	08 NOV 2014
DRAWN BY	DATE	
PM	HTLR	
DRAWN BY	LSM/TD	
SCALE	1/4" = 1'-0"	

Proposed Floor Plan
1st Floor

A1-01

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1 FLOOR PLAN - 1st FLOOR
SCALE AS NOTED



DOOR SCHEDULE - MAIN HOUSE 1st & 2nd FLOORS (cont)

G	2'-0"x6'-8"x2 1/4" WDG.	PATIO UNIT-LOCKING
	1 FIXED UNIT W/ 1 OPERABLE LOCKSET, WEATHERSTRIP & T-HOLD, INSUL. SAFETY GLAZING	
H	2'-6"x6'-8"x1 3/4" WD	BATH-POCKET-PRIVACY
	2 RECESSED PULLS W/ 1 TURNING, PRIVACY LOCK, POCKET HDMR, OVERSIZE DOOR AS RECD	

DOOR SCHEDULE - MAIN HOUSE 1st & 2nd FLOORS

A	2'-0"x6'-8"x2 1/4" WDG.	ENTRY-LOCKING
	LOCKSET, WEATHERSTRIP & T-HOLD, INSUL. SAFETY GLAZING	
B	2'-0"x6'-8"x1 3/4" WDG.	LOCKING
	LOCKSET	
C	2'-6"x6'-8"x1 3/4" WD	CLOSET-PASSAGE
	LATCHSET	
C-R	2'-0"x6'-8"x1 3/4" (VIF) WD	CLOSET-PASSAGE
	- NEW DOOR IN EX OPENING	
D	2'-6"x6'-8"x1 3/4" WD	BEDRM-LOCKING
	PRIVACY LOCKSET	
D-R	2'-0"x6'-8"x1 3/4" (VIF) WD	BEDRM-LOCKING
	- RE-HAND/RE-HANG EX DOOR IN EX OPENING	
E	2'-6"x6'-8"x2 1/4" WDG.	ENTRY-LOCKING
	LOCKSET, WEATHERSTRIP & T-HOLD, INSUL. SAFETY GLAZING	
F	2'-6"x6'-8"x1 3/4" WD	POCKET-PASSAGE
	RECESSED PULLS, POCKET HDMR, OVERSIZE DOOR AS RECD	

KEY NOTES (cont):

13	LINE OF EXTENDED PARTIAL HT STONE WALL
14	LINE OF EXISTING CURB BELOW

KEY NOTES:

1	NEW 6" TYPE IV FIRE CODE CURB/CM BOARD AT UNDERSIDE OF NEW STAIR, FOR 1 HR RATING
2	CONCRETE PAD FOR AIR CONDITIONER, COORDINATE SIZE AND LOCATION W/ UNIT CLEARANCES
3	LINE OF ROOF OVERHANG, TYP.
4	PAINTED WOOD SILL
5	MILKWORK BOOKCASE
6	WINDOW SEAT
7	NEW PRE-FAB HEARTH & FLUE, TO COMPLY W/ UL 127
8	LINE OF BEAMED CEILING, ABOVE
9	LINE OF TRELLIS, ABOVE
10	NEW WALL OR NEW INTEL WALL TO MATCH EXISTING SEAMLESS FINISH
11	PATCH/REPAIR WALLS AT REMOVED WALLS/INTENS TO ACHIEVE SEAMLESS FINISH (APPLY ADOTL GYP BD LAYERS AS RECD)
12	NEWHINGED ACCESS HATCH TO EX UNDER HOUSE ACCESS

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- KEY NOTES**
- 1 LINE OF CLG CLIP OR SLOPED CLG ABOVE, REF REFL CLG PLAN FOR HTS.
 - 2 ACCESS DOOR IN WALL ABOVE FOR ACCESS TO ATTIC SPACE ABOVE
 - 3 LINE OF ROOF OVERHANG, TYP.
 - 4 LINE OF TRELLIS, BELOW.
 - 5 LINE OF SKYLIGHT, ABOVE.
 - 6 REFER TO SHEET A1-01 FOR ADD'L STAIR TIR & DIMENSIONS
 - 7 PROVIDE 60CFM INTERMITTENT EXHAUST FAN FOR VENTILATION.
 - 8 PRE-FAB HEARTH FLUE, REF SHT A1-01.

- MILLWORK - (cont.)**
- 1.23 PROVIDE ALL BLOCKING, SHIMS, ETC., AS REQUIRED FOR THE ATTACHMENT, INSTALLATION, ECT. OF ALL MILLWORK AND TO MAINTAIN LEVEL AND PLUMB INSTALLATION, TYP. G.C. SHALL COORDINATE WITH ALL TRADES.
 - 1.24 G.C. SHALL COORDINATE LOCATIONS OF ELECTRICAL AND VOICEDATA DEVICES, PLUMBING, ETC., MOUNTED WITHIN 12" OF MILLWORK, WITH ALL TRADES, INCLUDING PLUMBING, ETC., SUB-CONTRACTORS AND MILLWORKER, TYP.
 - 1.25 MILLWORK CONTRACTOR SHALL SHIM ALL MILLWORK INSTALLED AGAINST NON-MILLWORK CONSTRUCTION AS REQUIRED.
 - 1.26 ALL MILLWORK CABINET DOORS TO BE 1'-3" MINIMUM TO 1'-6" MAXIMUM WIDTH, TYPICAL UNLESS NOTED OTHERWISE.
 - 1.27 PROVIDE FINISHED SCORE STRIPS AND FINISHED MILLWORK EDGES TO CREATE FINISHED REVEAL CONDITION WHERE MILLWORK COUNTERTOPS, CABINETS, ETC., ABUT ADJACENT CONSTRUCTION, TYPICAL UNLESS NOTED OTHERWISE. ALL EXPOSED REVEAL SURFACES AND EDGES TO HAVE MATCHING COLOR AND FINISH, TYP.
 - 1.28 MILLWORK DETAILS, SECTIONS, ETC., MAY ONLY INDICATE FINISHED FACE OF MILLWORK FOR DESIGN AND DETAILING PURPOSES. G.C. SHALL PROVIDE MILLWORK WITH PLASTIC LAMINATE OR VENEER TO COVER ALL EXPOSED REVEALS. REQUIRED BALANCE MATCHING, ALL COLOR, FINISH & GRAINING TO MATCH FACE COLOR, FINISH & GRAINING, TYP.

- MILLWORK**
- 1.21 PERFORM ALL WORK IN ACCORDANCE WITH AIA PREMIUM GRADE QUALITY. WOODWORK MANUFACTURER SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND FINISHES AS COMPLETED TO PERFORM THE WORK SPECIFIED. SUBMIT PROPOSED FINISH METHOD TO MATCH ARCHITECT'S SAMPLE. SUBMIT (3) 12" X 12" FINISH SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL. PROVIDE ONE (1) SAMPLE TO SUBMIT CONTRACTOR AS A CONTROL SAMPLE FOR MILLWORK.
 - 1.22 WOODWORK MANUFACTURER SHALL SUBMIT SHOP DRAWINGS OF ALL CUSTOM MILLWORK, CABINETS, DOORS, TRIM AND ACCESSORIES TO OWNER FOR REVIEW.

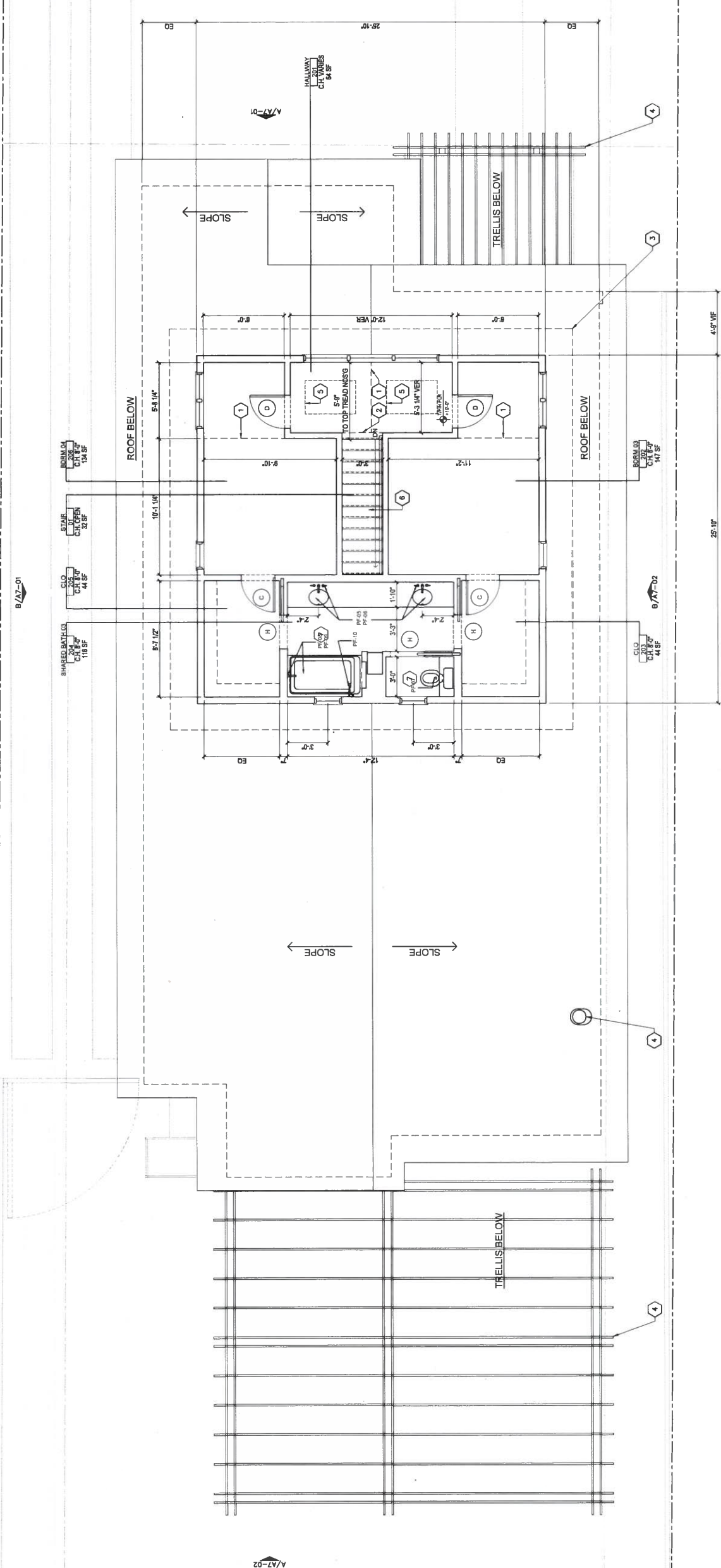
- WALLSFRAMING - (cont.)**
- 1.05 WALLS OVER DOORS SHALL BE CONTINUOUS AND THE SAME AS ADJACENT WALLS WHERE DRYWALL CONTINUES TO ADJACENT WALLS. FINISH SHALL BE NOTED OTHERWISE.
 - 1.06 WHERE NEW WALLS ABUTT OR MEET EXISTING WALLS, THE FINISH SHALL BE NOTED OTHERWISE.
 - 1.07 THE LOCATION DIMENSIONS, SUBMIT FOR WALLS WITH AN APPLIED FINISH (IE FULL-HEIGHT MILLWORK PANELING, TILE, ETC.) ARE TO THE FACE OF THE WALL FINISH, TYPICAL UNLESS NOTED OTHERWISE.
 - 1.08 INSTALLATION OF GYPSUM BOARD SHALL COMPLY WITH ASTM C 840 AND GA-216. AREAS TO RECEIVE A PAINTED FINISH ARE TO BE FINISHED TO LEVEL 5, ACCORDING TO ASTM C 840.
 - 1.09 SET ROUGH CARPENTRY TO REQUIRED LEVELS AND LINES. FINISH CARPENTRY SHALL BE RESPONSIBLE FOR PROVIDING ROUGH CARPENTRY TO OTHER CONSTRUCTION. SCRIBE AND COPE AS NEEDED FOR ACCURATE FIT. LOCATE FURRING, NAILERS BLOCKING AND SIMILAR SUPPORTS TO COMPLY WITH REQUIREMENTS FOR ATTACHING OTHER CONSTRUCTION.
 - 1.10 PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT HIGH MOISTURE AND/OR WET AREAS (IE SINKS, TOILETS, SHOWER, ETC.) FINISH PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 1.11 PROVIDE TILE BACKERS BOARD AT ALL TILESTONE SET AREA APPLICATIONS (IE SINKS, TOILETS, SHOWERS, ETC.) FINISH PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

- GENERAL NOTES**
- 1 REFER TO AN SERIES DWGS FOR ADDITIONAL NOTES, SYMBOLS & ABBREVIATIONS.
 - 2 REFER TO A7 SERIES FOR WINDOW TAGS & SHEET A8-02 FOR WINDOW OPENING SCHEDULE.
 - 3 REFER TO SHEET A1-01 FOR DOOR OPENING SCHEDULE.
- WALLSFRAMING**
- 1.01 DIMENSIONS, DETAIL TARGETS, ELEVATION TARGETS, ETC. ARE NOTED ON FLOOR PLANS DIMENSIONS, TARGETS, ETC. THAT ARE TYPICAL ARE NOTED ONLY ONCE.
 - 1.02 COMPLY WITH APPAS "MANUAL FOR WOOD FRAME CONSTRUCTION", UNLESS OTHERWISE NOTED.
 - 1.03 ALL SILL PLATES, BLOCKING, SHIMS, ETC., IN CONTACT WITH CONCRETE SLABS AND FOUNDATIONS SHALL BE TREATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVATION ASSOCIATION (AWPA) FOR USE IN CONTACT WITH CONCRETE. CONTINUOUS, SEALED VAPOR BARRIER AT ALL CONCRETE SLABS TO RECEIVED PLYWOOD SUBFLOOR.
 - 1.04 APPLY FIELD TREATMENT COMPLYING WITH AWPA STANDARDS TO CUT SURFACES OF PRESERVATIVE-TREATED LUMBER AND PLYWOOD.



1 FLOOR PLAN - 2nd FLOOR

SCALE AS NOTED



Proposed Floor Plan
2nd Floor

A1-02

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- 1.3.1 ROOFING NOTES**
- 1.3.1 EXTERIOR ROOFING RAFTERS SHALL BE CAR**
THINKING AND APPROVED ROOFING ROSE GAGE
SINGLETS AT ALL ROIGES. GENERAL CONTRACTOR SHALL
INSTALL ROOFING IN COMPLIANCE WITH MANUFACTURER'S
INSTRUCTIONS AND GUIDELINES.
- 1.3.2 NEW ROOFING SHINGLES SHALL BE INSTALLED OVER GAE**
DECAUMOUR ROOF DECK UNDERLAYMENT, OR APPROVE
EQUAL. PROVIDE CONTINUOUS APPLICATION OF GAR
MENTAL ROOFING UNDERLAYMENT, AND OTHER
AREAS RECOMMENDED BY MANUFACTURER.
- 1.3.3 PROVIDE CONTINUOUS FLASHING AT ALL ROOF**
TRANSOM JOINTS. PROVIDE CONTINUOUS FLASHING
CONSISTING OF RUBBERIZED-ASPHALT FLASHING PRODUCT
CONSTRUCTED OF A PLIABLE AND HIGHLY ADHESIVE
RUBBERIZED-ASPHALT COMPOUND, BONDED TO A HIGH
GRADE POLYESTER FIBER REINFORCED FILM TO
PROVIDE AN OVERALL THICKNESS OF 6.00 INCH
- 1.3.4 INSTALL GEORGIA PACIFIC THERMOSTAT PLYWOOD RADIANT**
HEATING. INSTALL PER MANUFACTURER'S INSTRUCTIONS
AND GUIDELINES.

- | | |
|-------------------------|--------------|
| ISSUE FOR PERMIT | 10 NOV 2011 |
| STRUCTURAL COORDINATORS | 06 NOV 2011 |
| DRAWING ISSUE | DA1 |
| PN | HTL |
| DRAWN BY | LGN/JTT |
| SCALE | 1/4" = 1'-0" |

A1-03

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1 REFLECTED CEILING/LIGHTING - 1st FLOOR

KEY NOTES:

- 1 5/8" TYPE X GYP BD CEILING, TYP.
- 2 1 HR CONSTRUCTION AT UNDERSIDE OF STAIR IN MAIN HOUSE

POWER LEGEND:

- SWITCH - DIMMING (EXCEPT AT EXHAUST FAN, ETC.)
- 3WAY SWITCH - DIMMING
- SWITCH FOR 1/2 POWER RECEPTACLE
- DOWNLIGHT FIXTURE-DIMMABLE
- WALLWASH FIXTURE-DIMMABLE
- PIN SPOT FIXTURE-DIMMABLE
- JUNCTION BOX- WALL MOUNTED
- JUNCTION BOX- CEILING MOUNTED (OR AS NOTED)
- 1"x4" SURFACE MTD FLUORESCENT IN HOUSING
- HARD-WIRED SMOKE DETECTOR
- HARD-WIRED COMBINATION SMOKE DETECTOR CARBON MONOXIDE DETECTOR
- CLG MTD EXHAUST FAN LOUVER
- J-BOX AND BRACING FOR OVERHEAD FAN/LIGHT LOCATION

SMOKE & CARBON-MONOXIDE ALARMS/DETECTOR NOTES:

- 2.1.1 ALL SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH PROVISIONS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE.
- 2.1.2 CARBON MONOXIDE DETECTION SYSTEMS THAT INCLUDE CARBON MONOXIDE DETECTORS AND AUDIBLE NOTIFICATION DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE AND NFPA 720. THE CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2075.

GENERAL NOTES:

- 1. REFER TO AN SERIES SHEETS FOR ADDITIONAL NOTES & LEGEND INFORMATION.
- 2.0.1 SEE LIGHT FIXTURE SCHEDULE FOR FIXTURE DESCRIPTION, MANUFACTURER, LAMP TYPE AND COMMENTS.
- 2.0.2 LAMPING OF ALL LIGHT FIXTURES TO BE PROVIDED BY ELECTRICAL CONTRACTOR AS SPECIFIED, UNLESS NOTED OTHERWISE.
- 2.0.3 FIXTURES INSTALLED IN WET LOCATIONS, SHOWERS, AND BATHS, SHALL BE LISTED FOR USE IN WET LOCATIONS. FIXTURES INSTALLED IN DAMP LOCATIONS, BATHROOMS, SHALL BE LISTED FOR USE IN DAMP LOCATIONS.

LIGHT FIXTURE NOTES:

- 2.0.1 SEE LIGHT FIXTURE SCHEDULE FOR FIXTURE DESCRIPTION, MANUFACTURER, LAMP TYPE AND COMMENTS.
- 2.0.2 LAMPING OF ALL LIGHT FIXTURES TO BE PROVIDED BY ELECTRICAL CONTRACTOR AS SPECIFIED, UNLESS NOTED OTHERWISE.
- 2.0.3 FIXTURES INSTALLED IN WET LOCATIONS, SHOWERS, AND BATHS, SHALL BE LISTED FOR USE IN WET LOCATIONS. FIXTURES INSTALLED IN DAMP LOCATIONS, BATHROOMS, SHALL BE LISTED FOR USE IN DAMP LOCATIONS.

SCALE

1/4" = 1'-0"

Proposed Reflected
Ceiling/Lighting Plan
1st Floor

A2-01

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Window Opening Schedule

TAG	ROOM NAME	NOMINAL SIZE W x H	MANUFACTURER	MODEL	NATURAL LIGHT SF	NATURAL VENT SF	EXIT DIMS IF REQD	HDWR	REMARKS
1	FOYER	1'-8" x 4'-7 1/8"	MARVIN INTEGRITY	ICA2185	—	—			CASEMENT NON-OPERABLE
2	STUDY	9'-0" x 4'-7 1/8"	MARVIN	CUSTOM - FIELD VERIFY DIM	—	—			TO MATCH ADJACENT MARVIN INTEGRITY NON-OPERABLE
3	STUDY	1'-8" x 4'-7 1/8"	MARVIN INTEGRITY	ICA2185					CASEMENT OPERABLE
4	LIVING ROOM	5'-5" x 5'-7" (REPLACEMENT)	MARVIN	CUSTOM - FIELD VERIFY DIM	—	—			TO MATCH MARVIN INTEGRITY NON-OPERABLE
5	LIVING ROOM	(2) 2'-8" x 4'-2" (REPLACEMENT)	MARVIN INTEGRITY	CUSTOM - FIELD VERIFY DIM					CASEMENT OPERABLE
6	LIVING ROOM	2'-8" x 4'-2" (REPLACEMENT)	MARVIN INTEGRITY	CUSTOM - FIELD VERIFY DIM	—	—			CASEMENT NON-OPERABLE
7	KITCHEN	(2) 2'-0" x 3'-3 1/4" (MIRRORED)	MARVIN INTEGRITY	ICA2839					CASEMENT OPERABLE
8	FAMILY ROOM	2'-8" x 3'-11 1/2"	MARVIN INTEGRITY	ICA337E					CASEMENT OPERABLE
9	FAMILY ROOM	2'-8" x 3'-11 1/2"	MARVIN INTEGRITY	ICA337E	—	—			CASEMENT OPERABLE
10	FAMILY ROOM	2'-0" x 5'-11 1/8"	MARVIN INTEGRITY	ICA2571T	—	—			CASEMENT NON-OPERABLE
11	FAMILY ROOM	2'-0" x 5'-11 1/2"	MARVIN INTEGRITY	ICA2571T	—	—			CASEMENT NON-OPERABLE
12	MUD ROOM	(2) 2'-0" x 3'-11 1/2"	MARVIN INTEGRITY	ICA2837	—	—			CASEMENT NON-OPERABLE (LEFT) OPERABLE (RIGHT)
13	MASTER BATHROOM	3'-4" x 4'-10" (REPLACEMENT)	MARVIN INTEGRITY	CUSTOM - FIELD VERIFY DIM					AWNING NON-OPERABLE
14	MASTER BATHROOM	2'-4" x 3'-11 1/8"	MARVIN INTEGRITY	ICA2847E					CASEMENT OPERABLE
15	MASTER BATHROOM	(2) 2'-0 x 3'-11 1/8" (REPLACEMENT)	MARVIN INTEGRITY	ICA2847					CASEMENT NON-OPERABLE (LEFT) OPERABLE (RIGHT)
16	BEDROOM	2'-8" x 3'-8" (REPLACEMENT)	MARVIN INTEGRITY	CUSTOM - FIELD VERIFY DIM	—				CASEMENT NON-OPERABLE
17	BATHROOM 2	2'-6" x 3'-8" (REPLACEMENT)	MARVIN INTEGRITY	CUSTOM - FIELD VERIFY DIM					CASEMENT OPERABLE
18	BEDROOM 2	(2) 2'-0 x 3'-11 1/8" (REPLACEMENT)	MARVIN INTEGRITY	ICA2847					CASEMENT NON-OPERABLE (LEFT) OPERABLE (RIGHT)
19	STUDY	2'-8" x 4'-7" (REPLACEMENT)	MARVIN INTEGRITY	ICA3356E					CASEMENT OPERABLE
20	STAIR LANDING	(3) 3'-0" x 2'-11 1/2"	MARVIN INTEGRITY	IAMW235					AWNING OPERABLE
21	BEDROOM 3	(2) 2'-0 x 4'-7 1/8" (MIRRORED)	MARVIN INTEGRITY	ICA2555					CASEMENT OPERABLE
22	BEDROOM 3	2'-0" x 4'-7 1/8"	MARVIN INTEGRITY	ICA2555					CASEMENT OPERABLE
23	BATHROOM 3	2'-0" x 1'-7 1/2"	MARVIN INTEGRITY	IAMW2319					AWNING OPERABLE
24	BATHROOM 3	2'-0" x 1'-7 1/2"	MARVIN INTEGRITY	IAMW2319					AWNING NON-OPERABLE
25	BEDROOM 4	2'-0" x 4'-7 1/8"	MARVIN INTEGRITY	ICA2555					CASEMENT OPERABLE
26	BEDROOM 4	(2) 2'-0 x 4'-7 1/8" (MIRRORED)	MARVIN INTEGRITY	ICA2555					CASEMENT OPERABLE

- NOTES
- REFER TO PLANS FOR LOCATIONS OF SCHEDULED WINDOW OPENINGS
 - REFER TO ELEVATIONS FOR LOCATION | DIRECTION OF OPENINGS
 - MARVIN INTEGRITY OPTIONS AND FINISHES FOR ALL CASEMENT AND AWNING WINDOWS
- WOODILL TREX ASSEMBLY
INTERIOR FINISH: WOOD, PRIMED FOR PAINT
EXTERIOR FINISH: ULTREX, BRONZE
INTERIOR HARDWARE: FIRST FLOOR: OIL RUBBED BRONZE
SECOND FLOOR: WHITE
- PROVIDE SCREENS FOR ALL OPERABLE WINDOWS
MARVIN TO MULL ALL WINDOWS WITHIN A NUMBERED ASSEMBLY
MARVIN TO PROVIDE ACCESSORY MULLING FLANGE TRIM

02	ISSUE FOR PERMIT	10 NOV 2014
01	ISSUE FOR WINDOW PRICING	10 OCT 2014
DRAWN BY		DATE
PN	HTLR	
DRAWN BY	LMTD	
SCALE	AS NOTED	

Window Opening Schedule

The Hatler
Residence

1508 Northwood Road
Austin, TX 78703



McWALTERS
COLLABORATIVE
ARCHITECTURE
AND DESIGN

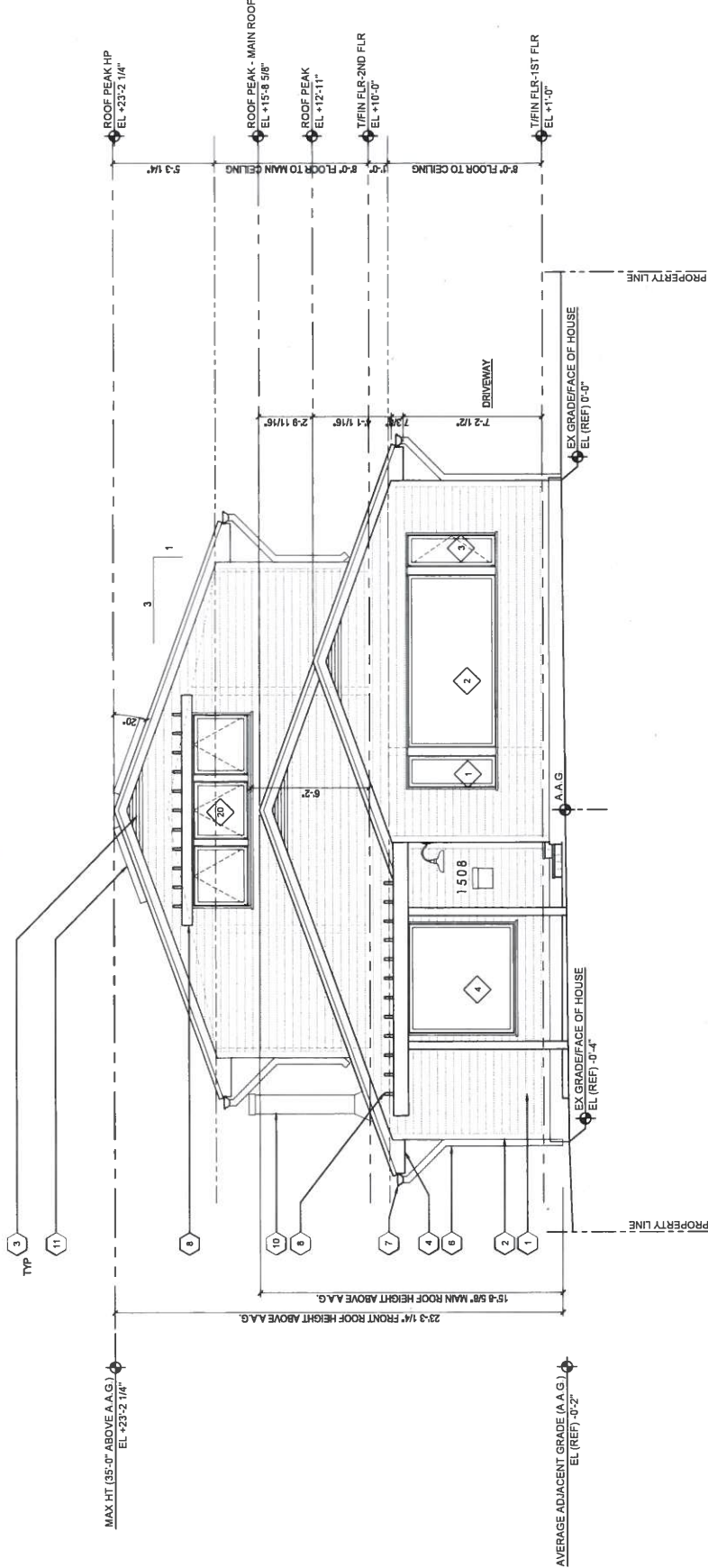
3075 Bateman Street
Berkeley, CA 94707
TEL 312.622.5836



1608 W. 34th Street, Ste A
Austin, TX 78703
TEL 512.323.9298

B EAST ELEVATION - MAIN HOUSE

SCALE AS NOTED



KEY NOTES

- 1 FIBER CEMENT BOARD LAP SIDING, SMOOTH FINISH W 4" EXPOSURE, TYP.
- 2 FIBER CEMENT BOARD STRAIGHT TRIM W PAINTED, SHAPED WD MOLDING, TYP.
- 3 PTD WOOD LOUVER
- 4 FIBER CEMENT BOARD SOFFIT PANELS WITH INTEGRAL VENTING, TYP.
- 5 EMERGENCY ACCESS WINDOW, REF WINDOW SCHED.
- 6 6" 1/2RD PRE-FINISHED ALUM GUTTERS, TYP.
- 7 4" RD PRE-FINISHED ALUM DOWNSPOUTS, TYP.
- 8 WOOD TRELLIS, TYP.
- 9 NEW STONE PARTIAL HT WALL WITH CAP TO MATCH EXIST.
- 10 NEW BLACK METAL FLUE AND CAP
- 11 LINE OF SKYLIGHT AT ROOF

NOTES

- 1 REFER TO SHEET AN-01 FOR SYMBOLS & ABBREVIATIONS
- 2 REFER TO SHEET AS-02 FOR WINDOW SCHEDULE

A SOUTH ELEVATION - MAIN HOUSE

SCALE AS NOTED

A7-01

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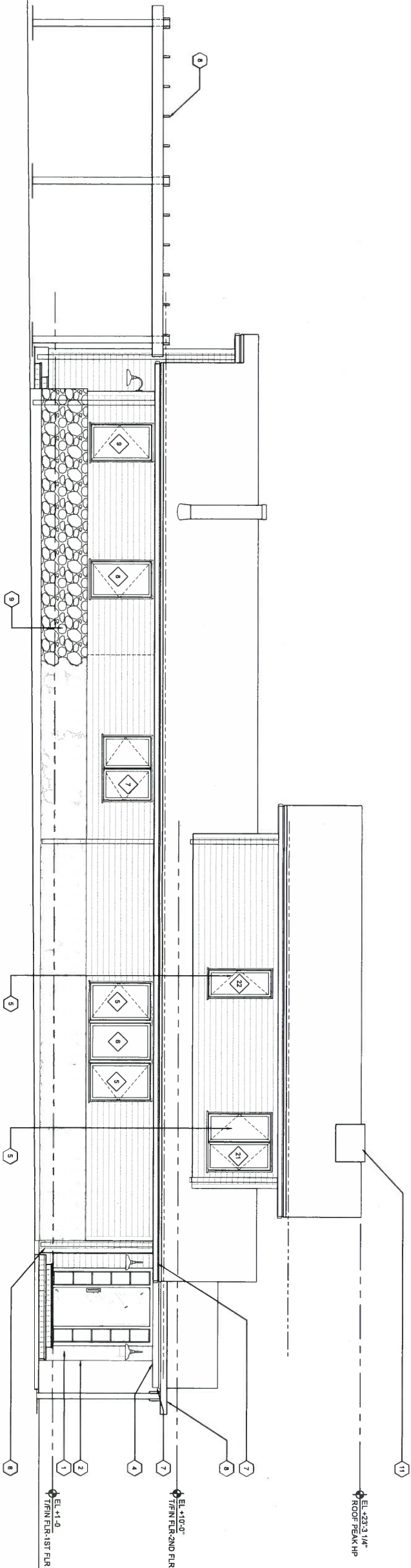
3075 Bateman Street
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1608 W. 34th Street, Site A
Austin, TX 78703
TEL 512.323.9298

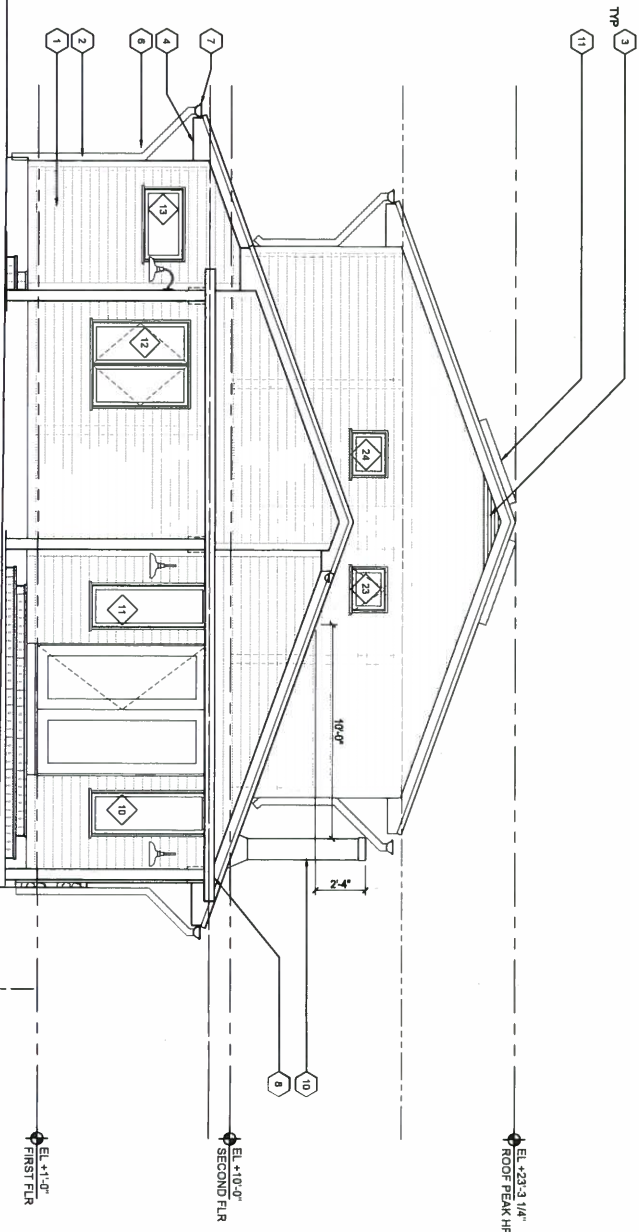
05	ISSUE FOR PERMIT 10 NOV 2014
04	STRUCTURAL COORDINATORS 08 NOV 2014
03	WINDOW PRICING 10 OCT 2014
02	IN PROGRESS 22 SEP 2014
01	REVIEW 08 SEP 2014
DRAWING DATE	DATE
PN	HTLR
DRAWN BY	LM/MD
SCALE	1/4" = 1'-0"

Exterior Elevations



B WEST ELEVATION - MAIN HOUSE

SCALE AS NOTED



A NORTH ELEVATION - MAIN HOUSE

SCALE AS NOTED

NOTES

- 1 REFER TO SHEET A4-01 FOR SYMBOLS & ABBREVIATIONS
- 2 REFER TO SHEET A4-02 FOR WINDOW SCHEDULE

