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**PLANNING COMMISSISON  
SITE PLAN WAIVER REQUEST REVIEW SHEET**

**CASE NUMBER:** SP-2014-0362D      **PLANNING COMMISSION  
HEARING DATE:** January 27<sup>th</sup>, 2015

**PROJECT NAME:** Southern Datacom Inc. Site Improvements

**ADDRESS:** 3508 Montopolis Drive

**NEIGHBORHOOD PLAN:** McKinney

**APPLICANT:** Southern Datacom, Inc. (Michael Pounds) - (512) 448-7800  
3508 Montopolis Dr  
Austin, TX 78744

**AGENT:** Watershed (Don Jones) - (813) 732-5842  
1705 N. Street #10  
Sacramento, CA 95811

**CASE MANAGER:** Rosemary Avila      Phone: 512-974-2784  
[Rosemary.avila@austintexas.gov](mailto:Rosemary.avila@austintexas.gov)

**PROPOSED DEVELOPMENT:**

The applicant is proposing to construct 6 parking stalls, driveway improvements and associated improvements. There are no buildings proposed with this site plan.

**DESCRIPTION OF WAIVERS:**

The applicant is requesting a waiver from § 25-2-1067(H): If a site on which a parking or driveway is constructed is less than 125' wide, the setback must comply with a 23' setback for parking and a 18' setback for driveways. The site is 104' in width, which dictates the respective setbacks.

The proposed gravel storage vehicle area to the rear of the property is subject to the 23' parking setback adjacent to the triggering site. It is set back 10' from the property line, therefore is encroaching into the setback by 13'.

The proposed 3 parallel parking spaces adjacent to the lot being used as a single family residence are subject to the 23' parking setback. They are set back by 5' from the property line, therefore are encroaching into the setback by 18'.

The proposed driveway extending from Montopolis Drive is subject to an 18' driveway setback. The driveway is set back from the property line by 9', therefore is encroaching in the setback by 9'.

**SUMMARY STAFF RECOMMENDATION:**

Staff recommends approval of the waiver requests. The reasons for support are twofold:

- 1) The adjacent property owner, Janice Hokanson, is in support of the waiver. See attached letter of support.
- 2) The proposed drive aisle and parking facilities are already being used for this purpose, and will be improved upon with the construction of this proposal.

C11  
1/2

**PROJECT INFORMATION:**

<b>SITE AREA</b>	41,643 square feet	0.956 acres	
<b>EXISTING ZONING</b>	CS-MU-NP		
<b>WATERSHED</b>	Carson Creek		
<b>WATERSHED ORDINANCE</b>	Comprehensive Watershed Ordinance (Urban)		
<b>TRAFFIC IMPACT ANALYSIS</b>	Not required		
<b>CAPITOL VIEW CORRIDOR</b>	None		
<b>PROPOSED ACCESS</b>	Montopolis Drive		
	<b>Allowed/Required</b>	<b>Existing</b>	<b>Proposed</b>
<b>FLOOR-AREA RATIO</b>		.05:1	.05:1
<b>BUILDING COVERAGE</b>	95%	6.36%	6.36%
<b>IMPERVIOUS COVERAGE</b>	95%	66.08%	59.53%
<b>PARKING</b>	6		6

**COMPATIBILITY:**

Section 25-2-1051 states that Article 10 Compatibility Standards apply if a use in a SF-6 or less restrictive zoning district is located on a property across the street from or adjoining a property on which a use is permitted in a SF-5 or more restrictive zoning district is located.

The proposed development is subject to Compatibility standards along the north property line. The adjacent property to the north is zoned CS-MU-NP and is being used as a single family residence. A single family residence is a permitted use permitted in a zoning of SF-5 or more restrictive, therefore the property to the north triggers Compatibility Standards.

**PLANNING COMMISSION ACTION:**

Zoning ordinance C14-02-0128.02 changed the zoning from SF-3 to CS-MU-NP in 2002.

A Site Plan Compatibility waiver was granted (consent approval) for the previous site plan, SP-2013-0185D. The waiver approved on 4/22/14 was to encroach into a 23' parking setback and an 18' driveway setback [LDC Sec 25-2-1067(H)].

**EXISTING ZONING AND LAND USES:**

	<b>ZONING</b>	<b>LAND USES</b>
<i>Site</i>	CS-MU-NP	Commercial Office
<i>North</i>	CS-MU-NP	Single Family Residential
<i>South</i>	LI-NP	Commercial Warehousing (Analysis Inc.)
<i>East</i>	Montopolis Dr, then P-NP	Commercial Office (LCRA Dalchau Service Center)
<i>West</i>	LI-NP	Undeveloped - Commercial

**ABUTTING STREETS:**

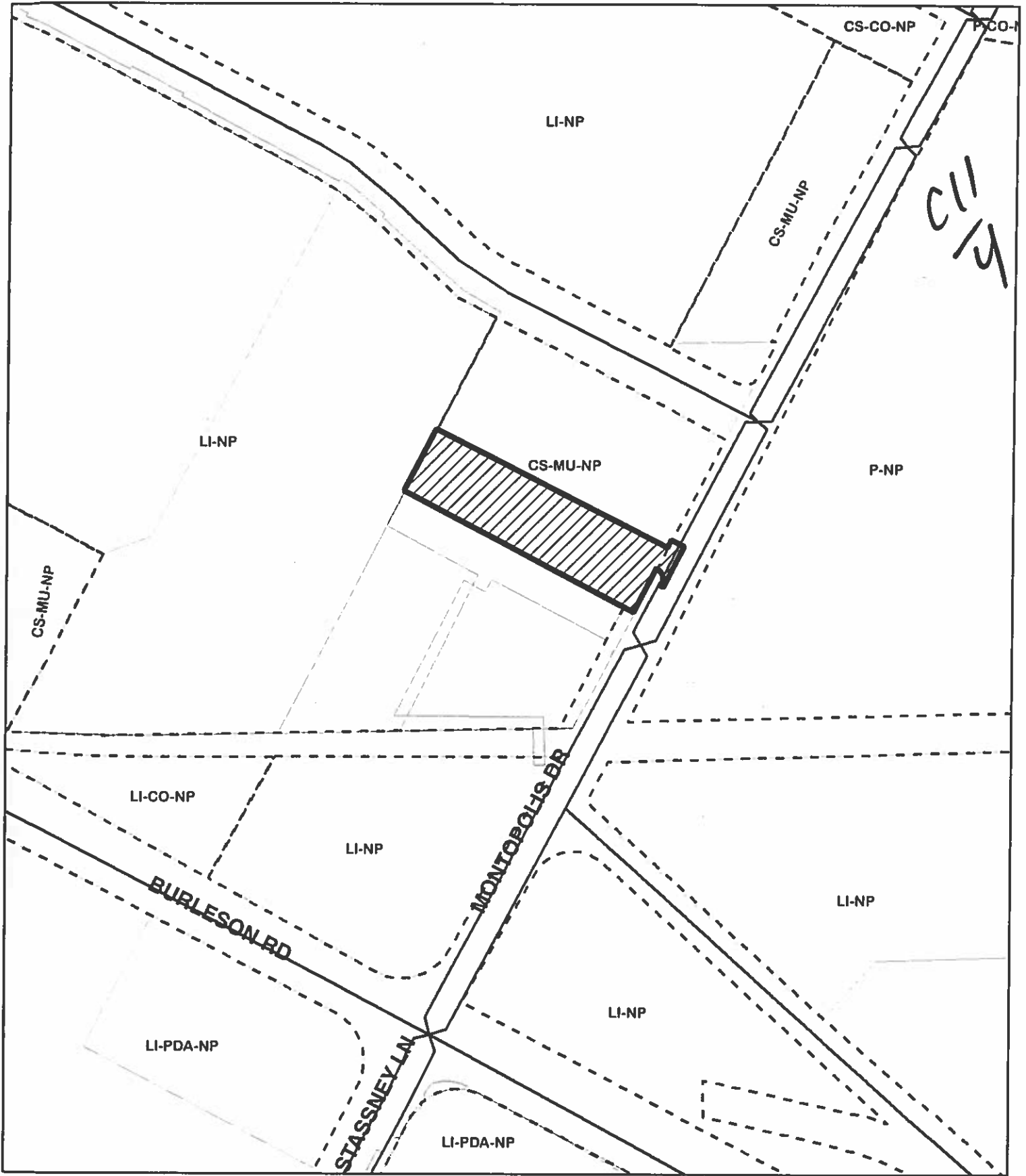
<b>Street</b>	<b>Right-of-Way Width</b>	<b>Pavement Width</b>	<b>Classification</b>
Montopolis Drive	100 ft	62 ft	Collector

**NEIGHBORHOOD ORGNIZATIONS:**

- 511—Austin Neighborhoods Council
- 1113—Austin Parks Foundation
- 1447—Friends of Emma Barrientos MACC
- 1409—Beyond2ndNature

C11  
/3

- 1363—SEL Texas
- 1340—Austin Heritage Tree Foundation
- 774—Del Valle Independent School District
- 1258—Del Valle Community Coalition
- 1316—Southeast Combined Neighborhood Plan Contact Team
- 634—Montopolis Area Neighborhood Alliance
- 1438 Dove Springs Neighborhood Association
- 93—Southeast Corner Alliance of Neigh (SCAN)
- 1441—Dove Springs Proud
- 1408—GO! Austin VAMOS! – Dove Springs
- 627—Onion Creek Homeowners Assoc.
- 1228—Sierra Club, Austin Regional Group
- 1236—The Real Estate Council of Austin, Inc



**SITE PLAN WAIVER**



**CASE#: SP-2014-0362D**

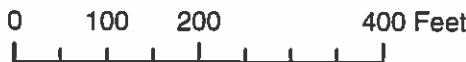
**ADDRESS: 3508 Montopolis Drive**

**CASE NAME: Southern Datacom Inc. Site Improvements**

**MANAGER: Rosemary Avila**

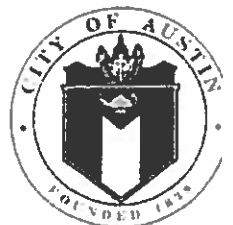


-  **SUBJECT TRACT**
-  **ZONING BOUNDARY**



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

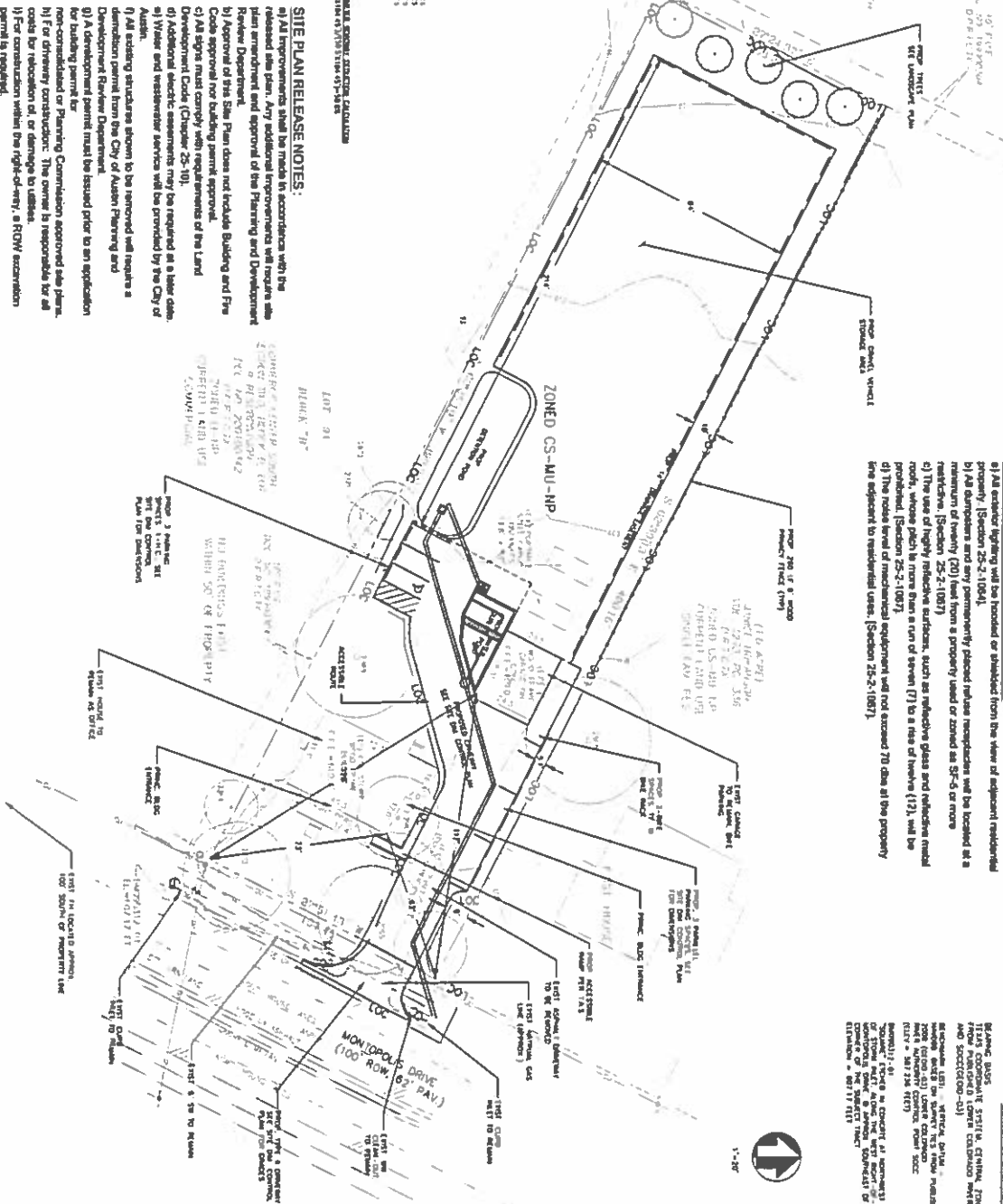
This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



**OPERATOR: R. Avila**

11/15

CONTRACTOR: SOUTHERN DATACOM INC.  
 PROJECT: 3508 MONTPOLE DRIVE IMPROVEMENTS  
 SHEET NO. 2 OF 12  
 DATE: 11/15/15



**COMPATIBILITY STANDARDS NOTES:**

- All exterior lighting will be hooded or shielded from the view of adjacent residential property. [Section 25-2-1004].
- All awnings and any permanently placed fabric structures will be located at a minimum of twenty (20) feet from a property used or zoned as SF-6 or more restrictive. [Section 25-2-1007].
- The use of highly reflective surfaces, such as reflective glass and reflective metal roofs, whose pitch is more than six (6) to a rise of twelve (12), will be prohibited. [Section 25-2-1007].
- The noise level of mechanical equipment will not exceed 70 dba at the property line adjacent to residential uses. [Section 25-2-1007].

**SITE PLAN RELEASE NOTES:**

- All improvements shall be made in accordance with the released site plan. Any additional improvements will require site plan amendment and approval of the Planning and Development Review Department.
- Approved site plan does not include Building and Fire Code approval and building permit approval of the Land Development Code (Chapter 25-100).
- Additional electric easements may be provided by the City of Austin.
- All existing structures shown to be removed will require a demolition permit from the City of Austin Planning and Development Review Department.
- A development permit must be issued prior to an application for building permit for non-commercial or Planning Commission approved site plan.
- For driveway construction: The owner is responsible for all costs for relocation of, or damage to, utilities.
- For construction within the right-of-way, a ROW encroachment permit is required.

NO.	DESCRIPTION	BY DATE	APPROVED DATE
1	REVISIONS		
2			
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DESIGNED BY: DONALD G. JOHNS, P.E.  
 CHECKED BY: DONALD G. JOHNS, P.E.  
 DATE: 11/15/15



**SITE PLAN**

**SOUTHERN DATACOM INC. SITE IMPROVEMENTS**  
 3508 MONTPOLE DRIVE

**Watershed**  
 Civil Engineering  
 1100 N. Mopac Expressway, Suite 1000, Austin, TX 78746  
 SCALE: 1"=30'  
 SHEET NO. 2 OF 12  
 DATE: 11/15/15

SP-2014-0481D

Janice Hokanson  
3504 Montopolis Dr.  
Austin, TX 78744

CH/6

April 14, 2014

To whom it may concern,

I, Janice Hokanson, take no exception to the proposed driveway and parking shown on the current Southern Datacom site plan to be 5 to 10 feet from my property line. If you have any questions, please call me.

Sincerely,



Janice Hokanson  
512-385-3963