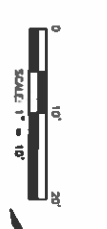
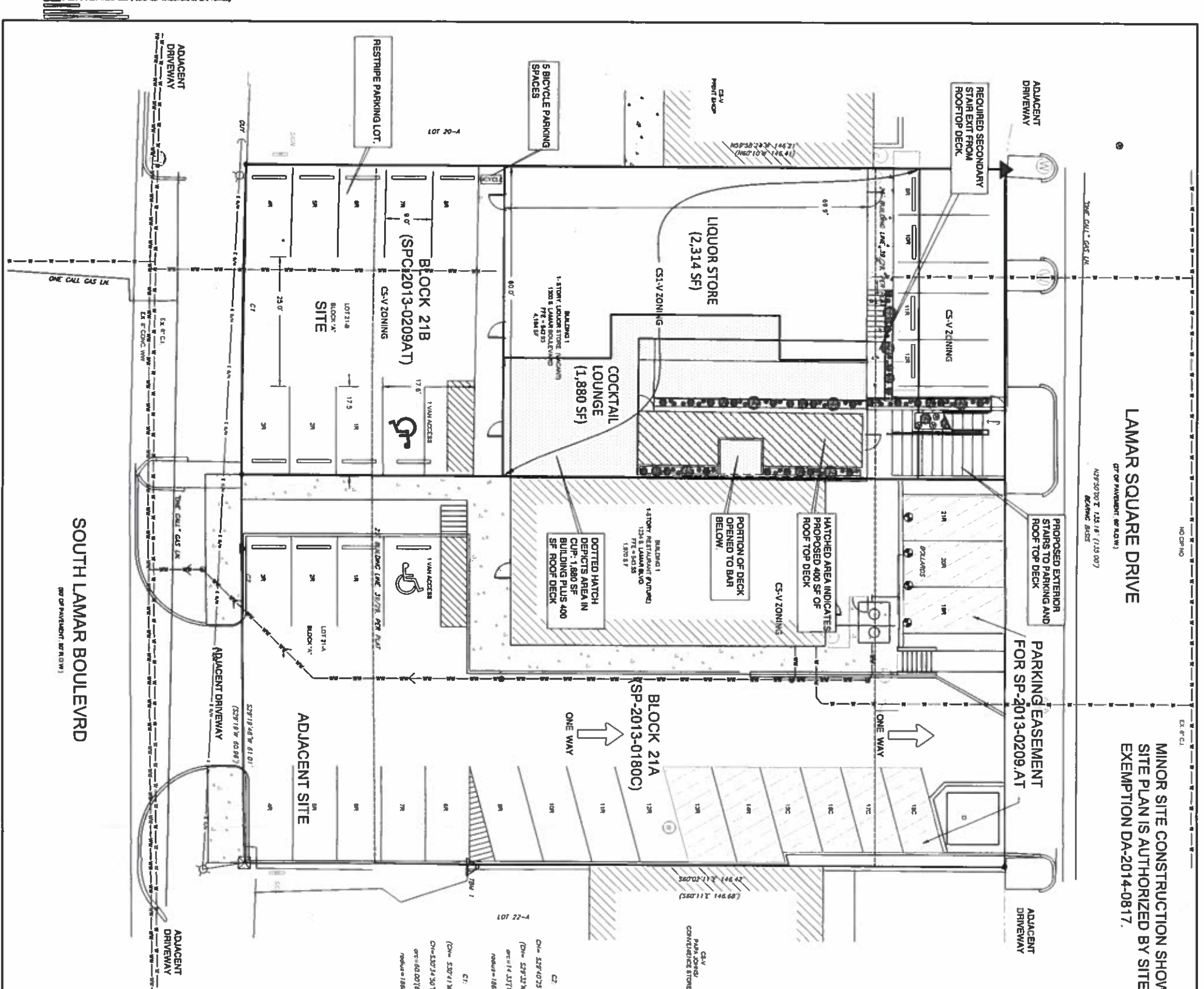


LAMAR SQUARE DRIVE
 1300 SOUTH LAMAR BOULEVARD
 SOUTH LAMAR BOULEVARD

**MINOR SITE CONSTRUCTION SHOWN ON THIS
 SITE PLAN IS AUTHORIZED BY SITE PLAN
 EXEMPTION DA-2014-0817.**



817' W/2" PROPOSED COVER TABLE CS-V ZONING

EXISTING	PROPOSED	PROPOSED
REMOVED	CONSTRUCTION	IMPROVEMENTS
ROOF & COVERED WALKWAY	4,284 SF	1,242 SF
CONCRETE	2,281 SF	1,545 SF
ASPHALT	2,281 SF	1,545 SF
TOTAL	4,800 SF	4,800 SF

NET SITE AREA: GROSS SITE AREA: 0.11 AC (4,800 SF)

EXISTING	PROPOSED	PROPOSED
REMOVED	CONSTRUCTION	IMPROVEMENTS
ROOF & COVERED WALKWAY	4,284 SF	1,242 SF
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ASPHALT	2,281 SF	1,545 SF
TOTAL	4,800 SF	4,800 SF

BUILDING SUMMARY TABLE

EXISTING USE	EXISTING AREA	PROPOSED USE	PROPOSED AREA
LIQUOR STORE	2,314 SF	LIQUOR STORE	2,314 SF
COCKTAIL LOUNGE	1,880 SF	COCKTAIL LOUNGE	1,880 SF
TOTAL	4,194 SF	TOTAL	4,194 SF

EXISTING CONDITIONS

USE	SIZE (SF)	RATIO	20% REDUCTION	DEFICIT	PARKING
LIQUOR STORE	2,314	1/775	6.7	3.0	3.8
COCKTAIL LOUNGE	1,880	1/100	15.0	0	15.0
COCKTAIL LOUNGE DECK	400	1/100	3.2	0	3.2
TOTAL					22

PROPOSED PARKING CALCULATIONS

USE	SIZE (SF)	RATIO	20% REDUCTION	DEFICIT	PARKING
LIQUOR STORE	2,314	1/775	6.7	3.0	3.8
COCKTAIL LOUNGE	1,880	1/100	15.0	0	15.0
COCKTAIL LOUNGE DECK	400	1/100	3.2	0	3.2
TOTAL					22

PROPOSED PARKING TABLE

PARKING	ALLOTTED	TO THIS	TOTAL
PARKING PROVIDED (SP-2013-PARKING ON-SITE (218) OTHERS PROVIDED)	13	9	22

- LEGEND**
- 7" W/ CONC. POLE
 - 1/2" W/ CONC. POLE
 - SURVEY CONTROL POINT/ MARK
 - 1" W/ CONC. POLE
 - POWER POLE
 - OVERHEAD ELECTRIC
 - OVERHEAD ELECTRIC
 - WATER MAINS
 - WATER MAINS
 - CONCRETE IMPROVEMENTS
 - WATER METER
 - GAS METER
 - BUILDING LINE
 - TRAILER COURT PLOT RECORD
 - LIMITS OF CONSTRUCTION
 - EXISTING WATER MAIN LINE
 - PROPOSED WATER LINE
 - PROPOSED CURB & GUTTER
 - SITE BUILDING TO REMAIN
 - ADJACENT BUILDING
 - ADJACENT BUILDING
 - ADJACENT BUILDING

- NOTES**
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY PERFORMED BY FUGEL OTHERS INC. IN MARCH 2013.
 - ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - DIMENSIONS MEASURED IN FEET.
 - THERE ARE NO TREES LOCATED ON THIS SITE.
 - ADJACENT BARRIERS BETWEEN ALL VEHICULAR USE AREAS AND ADJACENT LANDSCAPE AREAS SUCH AS A "CONCRETE CURB" ARE REQUIRED IF A STANDARD CURB AND GUTTER ARE NOT PROVIDED FOR ALL VEHICULAR USE AREAS AND ADJACENT PROTECTION OF OVERSIGHT AREAS.
 - ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED TO BE LOCATED ON THE BUILDING WILL BE IN COMPLIANCE WITH SUBCHAPTER E 23 ALL SITE LIGHTING SHALL BE TURNED OFF AT 11:00 PM.
 - REFER TO ASSOCIATED ZONING CASE (14-2013-008) THAT RESOLVES THE BACK POSITION OF THE BUILDING AND TO DEMAND THE BUILDING TO CS-V ZONING REQUIREMENTS 20130820-18.
 - THE EASTERN PORTION OF THE BUILDING IS ZONED CS-V PER C14-08-08 AND 2008-11-04-08.

EXISTING CONDITIONS

USE	SIZE (SF)	RATIO	20% REDUCTION	DEFICIT	PARKING
LIQUOR STORE	2,314	1/775	6.7	3.0	3.8
COCKTAIL LOUNGE	1,880	1/100	15.0	0	15.0
COCKTAIL LOUNGE DECK	400	1/100	3.2	0	3.2
TOTAL					22

PROPOSED PARKING CALCULATIONS

USE	SIZE (SF)	RATIO	20% REDUCTION	DEFICIT	PARKING
LIQUOR STORE	2,314	1/775	6.7	3.0	3.8
COCKTAIL LOUNGE	1,880	1/100	15.0	0	15.0
COCKTAIL LOUNGE DECK	400	1/100	3.2	0	3.2
TOTAL					22

PROPOSED PARKING TABLE

PARKING	ALLOTTED	TO THIS	TOTAL
PARKING PROVIDED (SP-2013-PARKING ON-SITE (218) OTHERS PROVIDED)	13	9	22



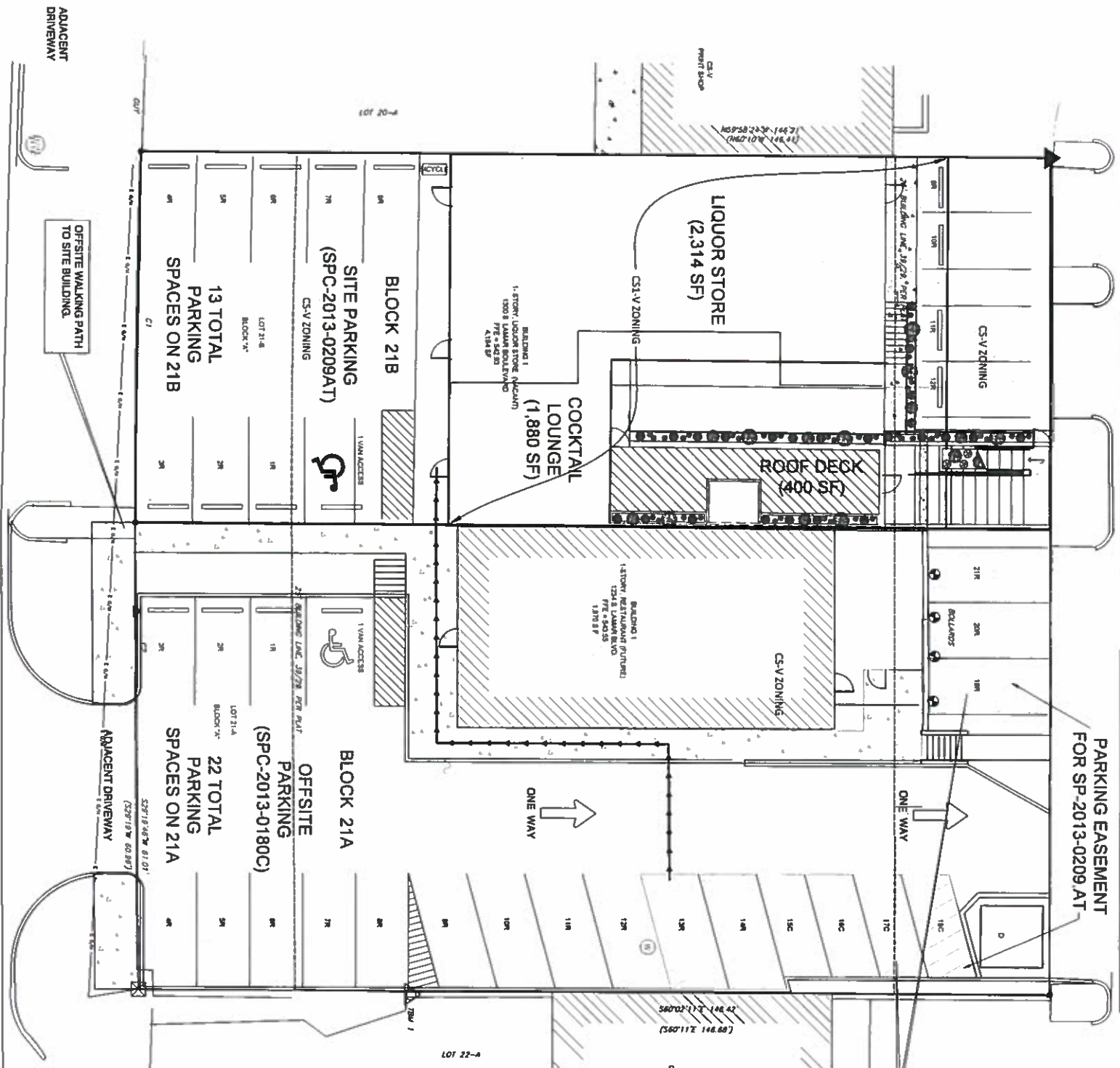
DATE: 06-OCT-2014
 DRAWN: JT
 CHECKED: JT

REVISIONS

NO.	DATE	DESCRIPTION
1	10-6-14	MODIFY CURB AND PARKING EASEMENTS TO REFLECT ACTUAL BAR & DECK SIZE (1,880 SF + 400 SF = 2,280 SF)

1300 LAMAR PLAZA II
 1300 SOUTH LAMAR BOULEVARD
 AUSTIN, TEXAS

SITE PLAN & DIMENSIONAL CONTROL PLAN



THESE NINE (9) SPACES ARE LOCATED WITHIN A PARKING AGREEMENT (SEE DOC. NO. 2014189712 AND DOC. NO. 2014189713 FOR USE BY 1300 S. LAMAR (PLAZA II) UNTIL SUCH TIME THAT THE EASEMENT IS REMOVED. THE CITY OF AUSTIN MUST APPROVE THE RELEASE OF EASEMENT.

SITE (BLOCK 21B) PARKING REQUIREMENTS (SPC-2013-0209AT)

USE	SIZE (SF)	RATIO	% REDUCTION	PARKING REQUIRED	DEFICIT	PARKING PROVIDED
LIQUOR STORE	2,314	1/275	6.7	3.0	0	3.8
COCKTAIL LOUNGE	1,880	1/100	15.0	0	0	15.0
COCKTAIL LOUNGE DECK	400	1/100	3.2	0	0	3.2
TOTAL				3.0	0	22

OFFSITE (BLOCK 21A) PARKING REQUIREMENTS (SP-2013-0180C)

USE	SIZE (SF)	RATIO	% REDUCTION	PARKING REQUIRED	DEFICIT	PARKING PROVIDED
RESTAURANT	1,570	1/100	15.8	0.2	0	9
OUTDOOR BRINCHES	25	1/100	18.0	0.2	0	2.8
TOTAL				0.4	0	13

PARKING SQUARE FOR 21B

PARKING FOR 21B AT 1300'S LAMAR (21B)	REGULAR SPACES	COMPACT SPACES	ACCESSIBLE SPACES	TOTAL PARKING PROVIDED
12	0	0	1	13
AT 1300'S LAMAR (21A)	5	4	4	9
TOTAL PROVIDED FOR 21B AT 1300'S LAMAR (21A)	17	4	4	22

PARKING SQUARE FOR 21A

PARKING FOR 21A	REGULAR SPACES	COMPACT SPACES	ACCESSIBLE SPACES	TOTAL PARKING PROVIDED
13	0	0	1	14
AT 1300'S LAMAR (21A)	8	4	4	16
TOTAL PROVIDED FOR 21A	21	4	5	30

C1
 CH- 537'03.23' W 14.31'
 CH- 537'21.7' N 4.97'
 SP- 14.31714.077
 AREA= 7882.30'

C2
 CH- 537'03.23' W 14.31'
 CH- 537'11.7' N 60.07'
 CH- 537'14.307' W 60.07'
 SP- 60.07760.307'
 AREA= 7882.30'

Handwritten signature/initials

- LEGEND**
- 2" W CONC. FOUND
 - 1" RCM AND FOLIO
 - BLANK CONTROL POINT RM
 - PM PALE FOUND
 - POWER POLE
 - OUT ANCHOR
 - OVERHEAD ELECTRIC
 - WATER MANHOLE
 - MULTI-UTILITY MANHOLE
 - CONCRETE IMPROVEMENTS
 - WATER METER
 - OLE METER
 - BLANK LINE
 - 1" C.P. R. TRAVEL COUNTY PLAT RECORDS
 - SITE BUILDING TO NEARBY
 - ADJACENT BUILDING
 - AREA ZONED CS-1-V
 - OFF-SITE PARKING PATH

- 1-PLAN NOTES**
- ALL HANDICAP RAMP AND PARKING SPACES SHALL MEET STATE AND ADA STANDARDS. EACH HANDICAP RAMP PARKING SPACE SHALL HAVE REQUIRED IDENTIFYING STORAGE AS REQUIRED ONLY.
 - EACH COMPACT PARKING SPACE WILL BE MARKED "SMALL CAR ONLY."
 - DIMENSIONS ARE MEASURED FROM FACE OF CURB
 - OFF-SITE PARKING SPACES WILL BE REQUIRED AS REQUIRED BY LAND DEVELOPMENT CODE. ONE SIGN AT THE OFF-SITE PARKING FACILITY INDICATING THE PROPERTY OR USE WHICH IT SERVES, AND ONE SIGN ON THE USE SITE INDICATING LOCATION OF THE OFF-SITE PARKING
 - THE PRACTICAL DISTANCE FROM THE NEAREST PARKING SPACE ON THE PARKING EASEMENT SITE AT 1300 SOUTH LAMAR BLVD (PLAZA I, SP-2013-0180C) TO THE FRONT DOOR OF 1300 SOUTH LAMAR BLVD (PLAZA II, SPC-2013-0209AT) IS 110 LINEAR FEET. THERE IS NO CONSTRUCTION AS PART OF THIS 1-PLAN. ANY MINOR CONSTRUCTION WILL BE AUTHORIZED BY SITE PLAN EXEMPTION DA-2014-0817

SHEET: OF 4
 SHEET: 4 OF 4

1300 LAMAR PLAZA II
 1300 SOUTH LAMAR BOULEVARD
 AUSTIN, TEXAS

REVISIONS
 DATE: 10-6-14
 CHECKED: JT
 DATE: 09-OCT-2014
 DESIGNED: JT

SEAL: 10/07/2014
 STATE OF TEXAS
 COUNTY CLERK
 JAMES T. HANCOCK

307 S. 1st Street
 Suite 303
 Austin, Texas 78704