

Appeal of Building Permit
2015-000030 BA
2910 Rio Grande

In July 2014, a permit application (2014-069694 PR) was submitted to build a new house on a recently scraped lot at 2910 Rio Grande. Staff promptly reviewed the application and provided comments including the following.

Major issue with this submitted Plan Review and site: You have an existing encroachment of a neighbor's garage (appears to be less than 200sf in size) or shed into your property. No new construction will be allowed and no new plan reviews will be approved until this structure is relocated off of your property/site. Adjacent property owner will need to move this structure – so that none of it is encroaching into your property.

Apparently the neighbor was reluctant to move the structure, so an application was filed for this Board to hear a case for a Special Exception. This item (C15-2015-0010) appeared on your January 12, 2015 and February 9, 2015 agendas. As the building plans submitted with the permit application looked like a stealth dorm intended to be rented to at least 6 unrelated adults, the Heritage NA voted unanimously to oppose the Special Exception. The neighbors intended to argue that 1) the residential use for which the special exemption is sought is no longer allowed in an SF-3 district, and 2) granting the Special Exemption would alter the character of the area adjacent to the property because of the noise, trash, and parking problems that are typical with this type of property.

However, the citizens never got to voice their objections and the Board of Adjustment wasn't given the opportunity to render a decision. Instead, on January 12, 2015 just as this board was beginning its meeting, staff determined that the property was eligible for an Exception from Compliance under section 25-1-365. Soon after, we were notified that city had made an administrative decision to approve the residential plan review application at 2910 Rio Grande Street (2014-069694 PR). The Heritage NA steering committee voted to appeal this decision.

It seems unclear whether the conditions of Section 25-1-365 actually apply. For example, 2910 Rio Grande had a certificate of occupancy since 1983. There is no building permit for the encroaching garage. The only proof provided that the garage existed before March 1, 1986 was the 1922 Sanborn map, which showed a stable, not a garage. Although the 1935 Sanborn map shows a garage, there is no proof that the garage that is currently on the ground is the same one as shown on that map. In fact, there is considerable reason to believe that the garage was completed much more recently. The existing garage appears to have Masonite siding and construction similar to the shed that was built on my property in the early 1990s. In an e-mail sent on January 27, City attorney, Brent Lloyd concluded that section 25-1-365 probably did not apply to this site, but explained that Director Guernsey determined that the structure existed lawfully in its current location prior to setback regulations and applied a completely different section of the land development code to justify the determination. Guernsey used section 25-2-961 and 25-2-963 to conclude that the structure may remain in its current location and additional development on the site may occur if it does not increase the degree of noncompliance.

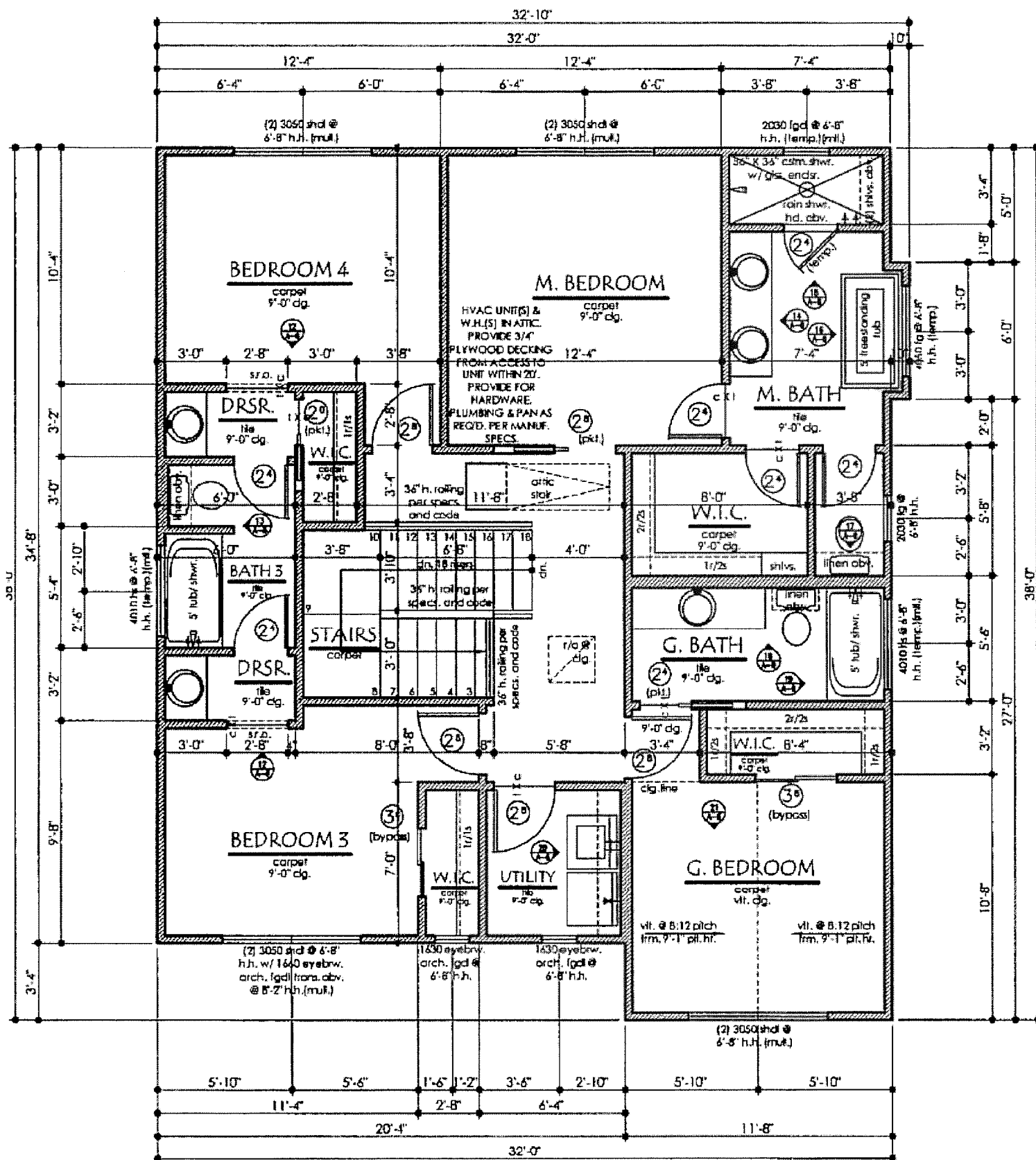
It is even less clear that sections 25-2-961/963 apply in this case. The section 25-2-961 definition of "noncomplying structure" requires that the garage "comply with applicable regulations at the time it was constructed." As mentioned above, there is no proof that the garage was built prior to setback regulations in the City of Austin. Further, it was never legal to

build a structure on your neighbor's property. Even if the garage was legal at the time it was constructed, section 25-2-963 addresses the modification and maintenance of noncomplying structures. It does not address questions of additional development on the site.

Paul Yadro's January 28 e-mail explained that the initial comment that the permit wouldn't be issued until the garage was moved were appropriate because the plan review was for new construction on a vacant lot. This seems reasonable -- when someone scrapes a lot, they should then have to comply with all regulations or seek a variance from the Board of Adjustment.

We ask that the Board of Adjustment rule that the building permit for 2910 Rio Grande Street (2014-069694 PR) was issued in error and schedule a new hearing for a variance or special exception. The Heritage Neighborhood Association and near neighbors would have preferred that the 1922 bungalow remain on the ground at 2910 Rio Grande. Now that it is gone, the goal is not to prohibit development on the site. Instead the hope is that a house will be constructed that complies with current regulations and not one so clearly intended for illegal over-occupancy.

Submitted by Betsy Greenberg
on behalf of the Heritage Neighborhood Association



UPPER FLOOR PLAN

SCALE 1/8" = 1'-0"



City of Austin Residential Permit Application Master Comment Report

Original Submittal Date: July 2, 2014
Application Expiration: December 29, 2014
Comment-report Sent Date: July 10, 2014
Comment-report #: 1
Property: 2910 RIO GRANDE ST
Case #: 2014-069694 PR
Case Manager: Shahin Moezzi
Manager Contact: Shahin.Moezzi@austintexas.gov

This report includes all staff comments received to date concerning your most recent residential permit application submittal. The comments may include requirements, recommendations, or information.

The application will be approved when all comments from each review discipline have been addressed. However, until this happens, your application is considered disapproved. Additional comments may be generated as a result of information or design changes provided in your update.

If you have any questions, problems, concerns, or if you require additional information about this report, please do not hesitate to contact your case manager or the appropriate reviewer(s).

Requirements:

- Write a separate letter or use this report to explain how each comment is being addressed and to note any questions you may have addressed with the reviewer.
- Submit updated drawings in 3 separated, assembled and stapled sets – correctly sized, and to-scale according to original intake requirements.
- Label any additional reviewer-specific paperwork accordingly.
- If information on the application is required or needs to be revised, you must provide these new sheets.
- If revisions of the site plan are required, the small format set must be re-stamped by Austin Energy and Austin Water Utility – as necessary.

Update Fees and Submittal:

You are advised to submit all requested information to clear these comments one (1) time. If there are comments remaining to be addressed on this comment report, it will be REJECTED and you will incur a review update fee (\$342.00 plus 4% development surcharge) on all subsequent update submittals. Invoices will use the billing information obtained during Intake. The fee must be paid at the Cashier on the first (1st) floor of the One Texas Center (OTC) before the update will be accepted. Your update must be formally submitted to the Residential Intake desk on the second (2nd) floor of the OTC during Intake hours (MWF 8a – 11p, W 1p – 3p).

Update Deadline (LDC 25-1) and extensions:

It is the responsibility of the applicant or his/her agent to update this application. The final update to clear all comments must be submitted by the application expiration date. Otherwise, the application will automatically expire. If this date falls on a weekend or City of Austin holiday, the next City of Austin workday will be the deadline.

Contact your case manager to request an extension. Note that an extension may be granted only one (1) time and must be requested prior to expiration.

Online Reference:

Your project information is available online:

<http://www.austintexas.gov/page/interactive-development-review-permitting-and-inspection>

Technical Building Code Review - Beth Culver - 512-974-3111

1. **TRUSS LAYOUT:** Truss layouts must be shown to meet the minimum requirements of the Insurance Services Office. The current plans are missing location and spacing. Submit one of the following:
 - a. Truss layout shown on the framing plans, sealed by the engineer of record.
 - b. Truss layout from the truss manufacturer/supplier stamped by Texas-licensed engineer. *Remaining truss package and cover letter can be deferred to the field.*
2. If you have questions about the above comments that cannot be addressed via email or telephone and you would like to set up an appointment, please email me at beth.culver@austintexas.gov. **We *do not* take walk-in appointments for projects under review; you must set an appointment beforehand to speak with me or you will be turned away at the Intake window.**

Beth Culver, AIA
Plans Examiner
City of Austin Planning and Development (Residential) Review Dept.
Beth.culver@austintexas.gov

Residential Zoning Review - Paul Yadro - 512-974-3553

I have reviewed the above noted application and have the following comments that must be addressed before a permit will be released:

1. Major issue with this submitted Plan Review and site: You have an existing encroachment of a neighbor's garage (appears to be less than 200sf in size) or shed into your property. No new construction will be allowed and no new plan reviews will be approved until this structure is relocated off of your property/site. Adjacent property owner will need to move this structure – so that none of it is encroaching into your property. Note: this structure appears to be less than 200sf and does not require a building permit to move or relocate. Revise accordingly.
2. The proposed type 1 apron design does not comply with standards and will have to be revised in such a manner to demonstrate that the proposed apron's required returns or flares do not cross an adjacent property line. See Transportation Technical Criteria Manual online for acceptable Type 1 apron designs and applicable standards. Your proposed type 1 apron will have to be shifted to the right to meet standards. Revise accordingly.\
3. A sidewalk inspection will be required for this project.
4. Use of driveway runners is acceptable; however, they should be solid all the way with no space/breaks between the two tandem parking spaces that you are proposing. Revise accordingly.
5. On the plot plan and the building elevations with tent exhibits, provide and label the topographic elevation values for both Tent 1 high point/grade and Tent 2 high point/grade.
6. Provide a front yard impervious cover table to demonstrate compliance with LDC 25-2-1603 which was adopted by the West University NP.
7. The McMansion/Sub-Chapter F building line was not started at the correct location. See Sub-Chapter F 3.2 for directions on where to start it.
8. Why does the plot plan depict the existing curbing running through one of the proposed driveway runners? Do you plan to leave it there? Based on google street-view – it appears that your

neighbor's fence will also have to be relocated to accommodate your proposed new parking spaces.

9. For submittal of next update: submit 3 complete plan sets (2 full-size sets and 1 small-size or 3 complete sets on 11"x17" sheets) drawn to scale and Sealed by your Design Professional.
10. When submitting next Update, make for certain to submit revisions that will address all comments. Do not piecemeal (submitting multiple updates to address rejection comments) your Updates because as of October 1, 2013 new Residential Review Fees have gone into effect for Plan Reviews and Plan Review Updates. As of October 1, 2013, the combined plan review fee covers the initial review and one (1) update. Note: After a Plan Review receives two rejections; a Plan Review Update Fee (\$342 + 4% Development Services Surcharge Fee) is automatically generated and must be paid before submitting future Updates. If you have unpaid fees on a Plan Review Application and attempt to submit Updates, our Intake Staff will not accept your Update and revised plans until any unpaid fees are paid.
11. Staff will hold the plans and application as submitted in our office. If you have questions regarding the comments or would like to make an appointment with the Zoning Reviewer, please contact Paul Yadro at Paul.Yadro@austintexas.gov or via phone at 512-974-3553. Note: I do not take walk-ins during walk-in general information hours on Monday, Wednesday, and Friday (8am to 11am) for projects under review; you must set an appointment or you will be turned away at the Intake window.

Heldenfels, Leane

From: McDonald, John
Sent: Monday, January 12, 2015 6:04 PM
To: Meade, Nikelle; Heldenfels, Leane; Guernsey, Greg; Lloyd, Brent
Subject: RE: 2910 Rio Grande

Nikelle,
My apologies. I must have overlooked this today. The encroaching garage qualifies for an Exception from Compliance under 25-1-365. Any notes, disclaimers or conditions that need to be placed for the record having to do with the encroaching garage can be done under the existing PR folder in AMANDA for a permanent record.

Respectfully,
John M. McDonald
Development Services Manager
Residential Plan Review/PDRD
974-2728 - Office
john.mcdonald@austintexas.gov

From: Meade, Nikelle [Nikelle.Meade@huschblackwell.com]
Sent: Monday, January 12, 2015 4:46 PM
To: McDonald, John; Heldenfels, Leane; Guernsey, Greg; Lloyd, Brent
Subject: 2910 Rio Grande

Guys,

Can you please, please let me know if I can to withdraw the BOA special exception case that is on tonight's agenda? Has the 25-1-365 exemption request been approved?

Nikelle Meade
Partner

HUSCH BLACKWELL LLP
111 Congress Avenue, Suite 1400
Austin, TX 78701-4093
Direct: 512.479.1147
Fax: 512.226.7373
Nikelle.Meade@huschblackwell.com
huschblackwell.com
[View Bio](#) | [View VCard](#)

RE: Exemption for 2910 Rio Grande

1 message

Lloyd, Brent <brent.lloyd@austintexas.gov>

Tue, Jan 27, 2015 at 1:33 PM

To: Betsy S Greenberg

Cc: "Heldenfels, Leane" <Leane.Heldenfels@austintexas.gov>

Ms. Greenberg –

Since this is an administrative matter, I have removed Councilmember Tovo and city commissioners from this email. However, you are certainly free to communicate with them as you wish.

On closer review, Director Guernsey determined that a BOA variance was not required in this case. His decision is supported by City Code § 25-2-961 (*Noncomplying Defined*) & -963 (*Modification & Maintenance of Noncomplying Structures*). Under these sections, a structure which pre-dates applicable site development regulations may remain in its current location and additional development on the site may occur if it does not increase the degree of noncompliance.

In this case, Director Guernsey concluded that the garage existed lawfully in its current location prior to the applicable setback regulations. So, proposed construction of a single-family home would be allowed as long as it doesn't increase the degree of noncompliance. Since the house will not (and cannot) be permitted in the setbacks, and the garage itself is not proposed for expansion, the Director determined that there would be no increase in the degree of noncompliance and that a variance was not required.

If the structure already had a CO in 1983, then I think you're correct that Section 25-1-365 technically would not apply. If the structure had never received a CO, however, that section would allow the structure to remain because of how long it's been there. Thus, the effect would be the same as under the Section 25-2-961/963 analysis described above.

Thanks,

Brent D. Lloyd

Assistant City Attorney

(512) 974-2974

RE: 2014-069694 PR - 2910 Rio Grande Street Plan Review

1 message

Yadro, Paul <Paul.Yadro@austintexas.gov>

Wed, Jan 28, 2015 at 4:24 PM

To: Betsy S Greenberg

Cc: "McDonald, John" <John.McDonald@austintexas.gov>

This plan review was submitted as a Vacant Lot – they were starting from scratch with proposed new construction of a new S-F residence. This means that everything is new “New S-F Residence is the Principal Use” and everything must be complying – all structures and the site must be complying for all applicable development standards– its “New Construction.”

If this had been an addition/remodel of the existing residence – This comment would not have been made and I would have noted that there is an existing noncomplying structure (with no work proposed on it) on the site at time of approval.

New Construction for the “principal use” triggers bringing everything into compliance on the site (setbacks, building coverage, height, impervious cover, etc). Note: The Principal Use is the S-F Residence.

Please contact Mr. John McDonald at 974-2728 if you have more questions regarding the review and approval of the Plan Review.

Paul W. Yadro Jr., AICP

Planner Senior

Planning and Development Review Dept. – City of Austin

OSS / Residential Review Division

505 Barton Springs Rd, Austin, TX 78704

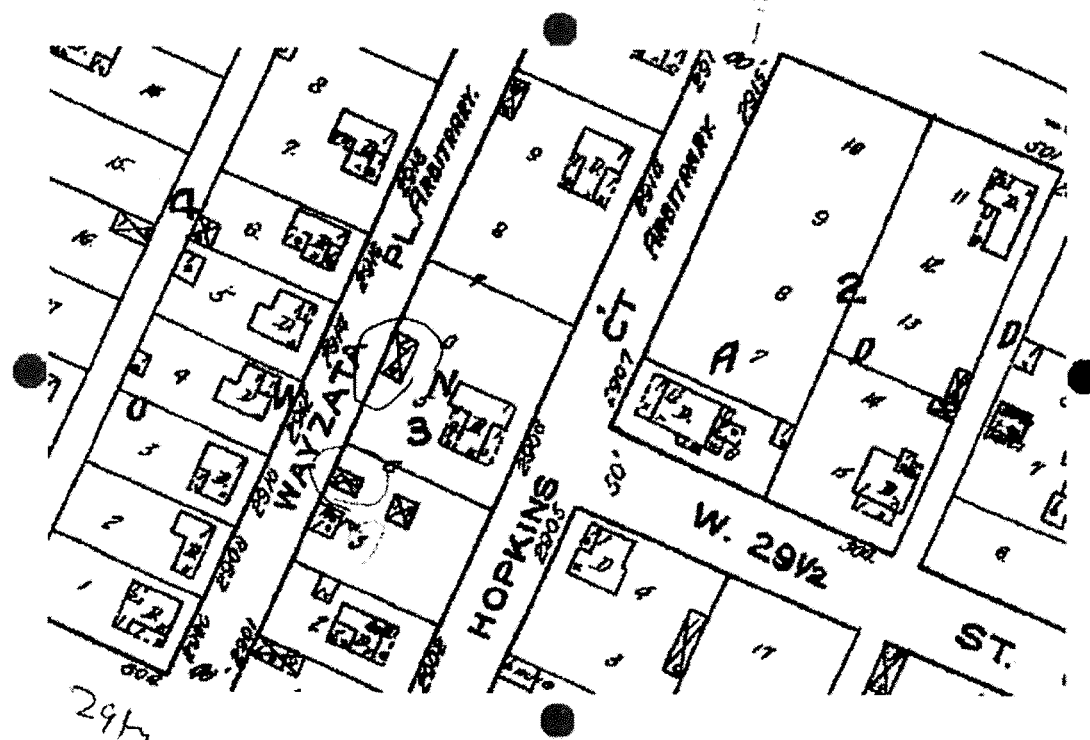
(512) 974-3553

Paul.Yadro@austintexas.gov

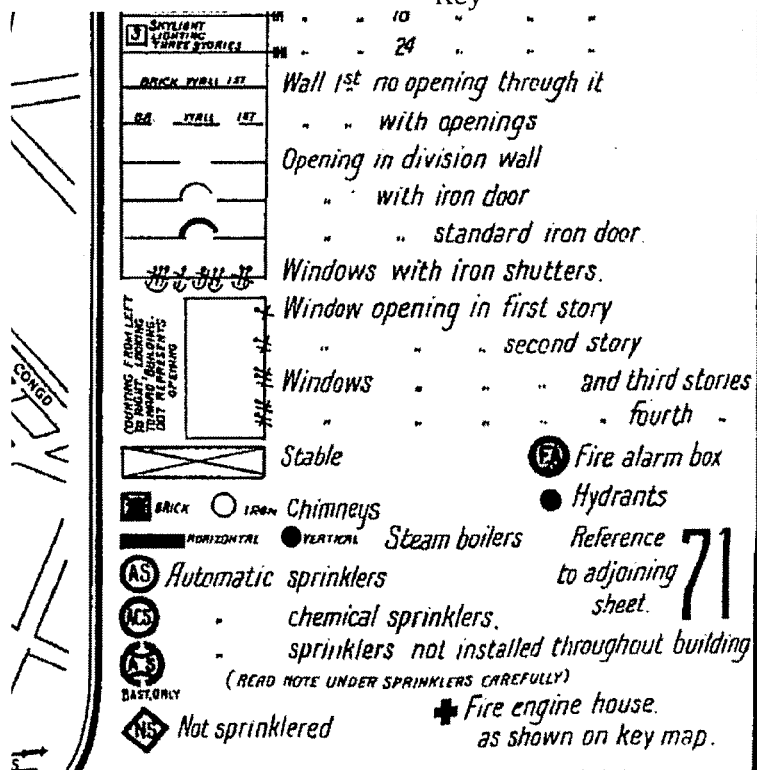
** We are currently experiencing a high volume of activity. We make every effort to respond to you by the end of the next business day. Thank you in advance for your patience. **

Zoom: 200%

Austin 1922, Sheet 87



Key



Travis CAD

Property Search Results > 211421 BARTEL BETHANY for Year 2012

 Details  Map

Click on a title bar to expand or collapse the information.

▼ Property

Account

Property ID:	211421	Legal Description:	LOT 6 BLK 3 OLT 72 DIV D BROWN LEANDER ADDN
Geographic ID:	0217021505	Agent Code:	
Type:	Real		
Property Use Code:			
Property Use Description:			

Location



Address:	2910 RIO GRANDE ST TX 78705	Mapsc0:	585A
Neighborhood:	Z7040	Map ID:	021801
Neighborhood CD:	Z7040		

Owner

Name:	BARTEL BETHANY	Owner ID:	192876
Mailing Address:	APT 719 555 E 5TH ST AUSTIN , TX 78701-4157	% Ownership:	100.0000000000%
		Exemptions:	HS

Travis CAD

Property Search Results > 211421 BARTEL BETHANY for Year 2013

 Details  Map

Click on a title bar to expand or collapse the information.

▼ Property

Account

Property ID:	211421	Legal Description:	LOT 6 BLK 3 OLT 72 DIV D BROWN LEANDER ADDN
Geographic ID:	0217021505	Agent Code:	
Type:	Real		
Property Use Code:			
Property Use Description:			

Location

Address:	2910 RIO GRANDE ST TX 78705	Mapsc0:	585A
Neighborhood:	WEST CAMPUS -SFR	Map ID:	021801
Neighborhood CD:	Z5400		

Owner

Name:	BARTEL BETHANY	Owner ID:	192876
Mailing Address:	APT 719 555 E 5TH ST AUSTIN , TX 78701-4157	% Ownership:	100.0000000000%
		Exemptions:	HS

CATHRYN CRAWFORD
510 S. CONGRESS AVENUE, STE 208
AUSTIN, TEXAS 78704
(512) 637-5225 (o) (773) 456-0524 (c)

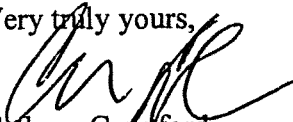
January 12, 2015

To whom it may concern,

My husband and I rented, and lived in, the house at 2910 Rio Grande, Austin, Texas 78705 from September 1, 2012- May 31, 2014.

Please do not hesitate to contact me with any questions.

Very truly yours,



Cathryn Crawford



MEMORANDUM

TO: Board of Adjustment

FROM: John M. McDonald, Development Services Manager, Residential Plan Review

DATE: March 9, 2015

SUBJECT: Appeal of Building Permit Approval at 2910 Rio Grande Street

Timeline

July 2014: An application was submitted to Residential Plan Review on **July 2, 2014** proposing to construct a new two-story single-family residence at 2910 Rio Grande Street. Upon review of the application it was discovered that the adjacent property owner at 2908 Rio Grande Street had an existing garage that encroached slightly into the side yard setback of the 2910 Rio Grande property. The reviewer advised the applicant he could not proceed with the review of the application until the encroachment was resolved as he did not have the administrative capability to approve a setback encroachment. I met with the applicant and explained the current options I knew about at the time which would require active involvement from the property owner at 2908 Rio Grande Street. The applicant informed me the property owner was elderly and did not wish to be involved in the matter, but did not protest the new construction, nor at any point did I receive any objection to the applicant's project. At this point the application sat with no resolution.

December 9, 2014: The applicant obtained additional representation to try and obtain a resolution. I met with Husch Blackwell the legal representation for the applicant and we came to an agreement that the encroachment could qualify as a special exception and a life/safety inspection could be performed to alleviate any concerns for the proposed new construction and the property itself. At this time we also discussed the applicability of the provisions in 25-1-365, which I had not considered before. We decided the best course of action was to post for a Special Exception at the Board of Adjustment (BOA) until I could research and speak with the City of Austin's Law Department about the application of 25-1-365 to the existing encroachment. The Special Exception was posted for the January 12, 2015 BOA Agenda.

December 10, 2014: An application was filed for a Special Exception for my review.

December 15, 2014: The application was approved and a building permit was issued.

December 17, 2014: A life/safety inspection was completed as a part of the Special Exception process on December 17, 2014 and a copy of that report is attached as Exhibit A.

January 12, 2015: The Special Exception was to be heard at the Board of Adjustment but was postponed to February 9, 2015 due to the pending outcome of the application of 25-1-365 to the encroaching garage.

January 21, 2015: An update for the new construction application was submitted for review.

January 22, 2015: I completed my evaluation of applying 25-1-365 and the garage met all of the criteria to be considered exempt from compliance. I used the Sandborn Fire Insurance Maps of 1935 (Exhibit B) to determine the garage structure had been present since before March 1, 1986 and I suspect it may have been present before a building permit was required.

January 23, 2015: The application for new construction was approved and all interested parties were notified including Betsy Greenberg.

January 27, 2015: The associated building permit was paid for and issued in the Permit Center.

February 4, 2015: An appeal was filed by Betsy Greenberg of the Heritage Neighborhood Association.

February 9, 2015: Special Exception was withdrawn and no longer needed since the garage was able to qualify for an exemption from compliance.

Arguments

The appellant has two main arguments as I understand the information included in the appeal. The appellant argues that staff should not have approved the application for a building permit because all new construction must comply with applicable site development regulations. The appellant also contends the encroaching garage should have gone forth to the Board of Adjustment for a variance.

Commentary

The application for new construction does comply with all site development regulations, which is why the application was approved. In the matter of the encroaching garage it qualifies for an exemption from compliance under 25-1-365, which in effect makes it a legal structure. Both the building coverage and the impervious cover of the portion of the existing garage located on the property at 2910 Rio Grande Street was included in the application for new construction as evidenced on page 2 of the application (Exhibit C).

The Board of Adjustment has purview over Chapter 25-2 Zoning and more specifically Subchapter C which contains the site development regulations, whereas 25-1-365 is located in Article 9 (Certificate of Compliance and Occupancy) under Chapter 25-1 General Requirements and Procedures. The appellant contends that the evaluation performed under 25-1-365 for the encroaching garage should have gone forth to the Board of Adjustment; however, staff contends this would require an amendment to the Land Development Code in order to put this section under purview of the Board of Adjustment.

Recommendation

Staff recommends the Board of Adjustment uphold the approval of the residential application for new construction and the associated building permits issued at 2910 Rio Grande Street.

Code Section from 25-1 (General Requirements) of the Land Development Code

§ 25-1-365 - EXEMPTION FROM COMPLIANCE.

(A) This section applies to an existing use or occupancy for which a certificate of occupancy was not issued if:

- (1) the structure in which the use or occupancy occurs existed before March 1, 1986;
- (2) the use or occupancy was established before March 1, 1986;
- (3) the use or occupancy was not subject to an enforcement action on January 1, 1988;
- (4) the use is a permitted use or is a nonconforming use; and
- (5) the use is not an adult-oriented business use.

(B) The building official shall issue a certificate of occupancy for a use or occupancy described in Subsection (A) if the building official determines that continuing the existing use or occupancy is not a hazard to life, health, or the public safety.

(C) The building official shall issue a certificate of occupancy under Subsection (B) notwithstanding the noncompliance of an existing use or occupancy or of a building in which the use or occupancy occurs with applicable technical code requirements or site development regulations.

Code Sections from 25-2 (Zoning) of the Land Development Code

SUBCHAPTER C. - USE AND DEVELOPMENT REGULATIONS.

ARTICLE 1. - GENERAL PROVISIONS.

§ 25-2-471 - INTERPRETATION GUIDELINES.

§ 25-2-472 - BOARD OF ADJUSTMENT VARIANCE AUTHORITY.

§ 25-2-473 - VARIANCE REQUIREMENTS.

§ 25-2-474 - REQUIRED FINDINGS.

§ 25-2-475 - APPEALS.

§ 25-2-476 - SPECIAL EXCEPTIONS.

§ 25-2-475 - APPEALS.

A person may appeal a decision of the building official regarding a site development regulation **prescribed by this subchapter**, or by a Neighborhood Conservation Combining District adopted under this chapter, to the Board of Adjustment. After an appeal is filed, the building official shall provide the board with a copy of documents regarding the matter that has been appealed.

§ 25-2-476 - SPECIAL EXCEPTIONS.

(A) The Board of Adjustment shall grant a special exception for an existing residential structure, or portion of an existing structure, that violates a setback required under Chapter 25-2 (Zoning) if the board finds that the special exception meets the requirements of this section.

(B) The Board shall grant a special exception under Subsection (A) of this section if:

- (1) the residential use for which the special exception is sought is allowed in an SF-3 or more restrictive zoning district;
- (2) the building official performs an inspection and determines that the violation does not pose a hazard to life, health, or public safety; and
- (3) the Board finds that:
 - (a) the violation has existed for:
 - (i) at least 25 years; or
 - (ii) at least 10 years, if the application for a special exception is submitted on or before June 6, 2016;
 - (b) the use is a permitted use or a nonconforming use;
 - (c) the structure does not share a lot with more than one other primary residence; and
 - (d) granting a special exception would not:
 - (i) alter the character of the area;
 - (ii) impair the use of adjacent property that is developed in compliance with city code; or
 - (iii) grant a special privilege that is inconsistent with other properties in the area or in the district in which the property is located.

(C) A special exception granted under this section:

- (1) applies only to the structure, or portion of a structure, for which the special exception was granted and does not run with the land;
- (2) may not authorize an increase in the degree of noncompliance or excuse compliance with minimum health and safety requirements; and
- (3) may not authorize a remodel or addition to the existing structure, except to the extent required by the building official to meet minimum life and safety requirements.

(D) A structure granted a special exception under this section shall be treated as a non-complying structure under Chapter 25-2, Article 8 (Noncomplying Structures).

EXHIBIT A



SPECIAL EXCEPTION INSPECTION



Address:	2910 Rio Grande
Permit Number:	2014-132769
Property Owner Requesting Special Exception:	Charles Martin Custom Homes

Special Exception Requested:

Neighbors garage encroaching into 2910 Rio Grande lot.

Date Structure was originally constructed: COA GIS confirms structure existed in 1997

Date of Inspection:	12-17-2014
Building Official or designated representative	Tony Hernandez
	The granting of the variances requested will <u>Not</u> result in any hazard to the life, health or public safety for either the property for which the variance is requested or to an adjoining public or private property
X	<p>The granting of the variances request will result in a hazard to the life, health or public safety of the either the property for which the variance is requested or to an adjoining public or private property. The following hazards related to the variance request were noted in this inspection:</p> <ol style="list-style-type: none">1. Any wall to a structure built parallel to existing encroaching garage will be required to comply with all the requirements of Table R302.1(1).2. The fire separation line will be centered between the existing structure and any structure built parallel to the encroaching structure. <p>FIRE SEPARATION DISTANCE. The distance measured from the building face to one of the following:</p> <ol style="list-style-type: none">1. To the closest interior <i>lot line</i>; or2. To the centerline of a street, an alley or public way; or3. To an imaginary line between two buildings on the <i>lot</i>. <p>The distance shall be measured at a right angle from the face of the wall.</p>

EXHIBIT B

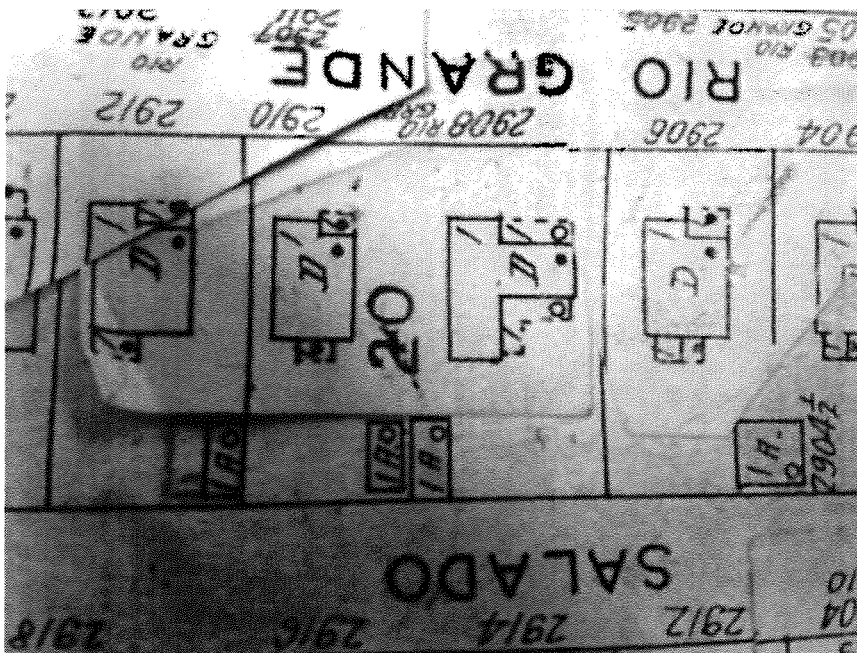
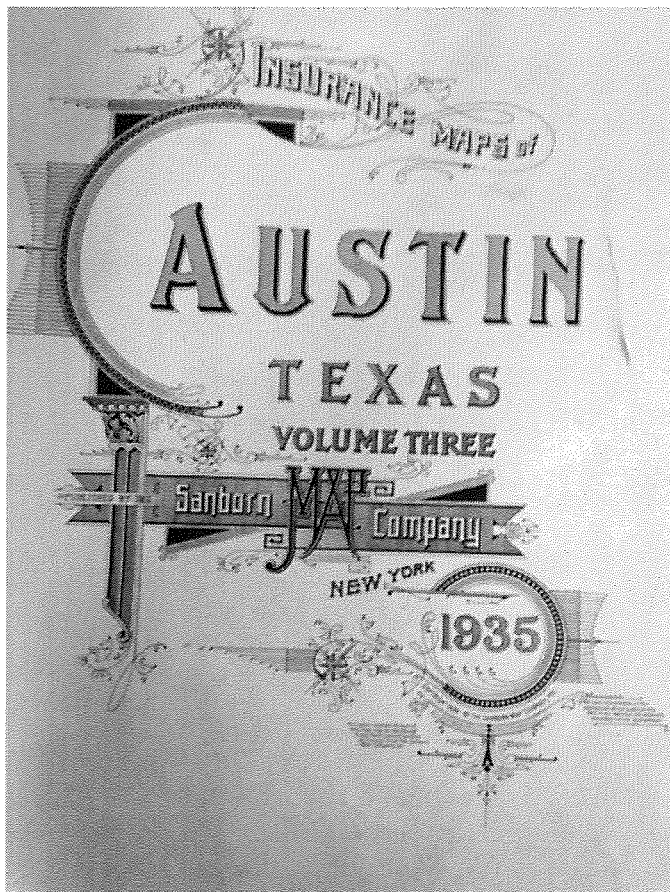


EXHIBIT C

Revised 1/21/15

Building and Site Area			
Area Description		Existing Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.		New/Added Sq Ft	
a) 1 st floor conditioned area		1148	1148
b) 2 nd floor conditioned area		1152	1152
c) 3 rd floor conditioned area			
d) Basement			
e) Covered Parking (garage or carport)			
f) Covered Patio, Deck or Porch		359	359
g) Balcony			
h) Other - neighbors encroaching garage (Exemption from Compliance)	27		27
i) Uncovered Wood Deck			
Total Gross Building Area (total A through I)		2686	2686
j) Pool			
k) Spa			

Site Development Information	
Building Coverage Information Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21) Total Building Coverage (sq ft): <u>1534</u> % of lot size: <u>30.2</u> Max = 2,032.56	
Impervious Cover Information Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23) Total Impervious Cover (sq ft): <u>1927</u> % of lot size: <u>39</u> (37.9) Max = 2,286.56	
Setbacks Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-513) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Building Height: <u>27.8</u> ft Number of Floors: <u>2</u>	Parking (LDC 25-6 Appendix A & 25-6-478) # of spaces required: <u>2</u> # of spaces provided: <u>2</u>
Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC 6-353) <u>New sidewalk along Grande Street</u> <input checked="" type="checkbox"/> Y <input type="checkbox"/> N *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.	
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Width of approach (measured at property line): <u>18</u> ft Distance from intersection (for corner lots only): _____ ft Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	

New Type 3 apron off of Salado Street

→ Received Exemption from Compliance under LDC Section 25-1-365

THE UNIVERSITY OF GEORGIA UNDERGRADUATE ADMISSIONS

New Dawgs Information Session Agenda

SAMPLE AGENDA

This is a sample schedule of past New Dawgs Sessions to give you an idea of how they day will unfold. Some of these options are the same and others are subject to change. All registrants will get a final agenda in a reminder email to confirm their registration. Please [click here](#) to return to the main New Dawgs page. *Note: Don't see an Academic Department that interests you when registering for an event? Please contact a department of your choice through our campus directory or by searching at UGA.edu. Academic Department availability changes with different New Dawgs Session dates, however, most programs can make appointments with individuals as requested. Go Dawgs!*

Event Location: UGA Chapel (Located across from Undergraduate Admissions on North Campus)

Morning Overview:

8:30am - Student Check-in at UGA Chapel: Across from Undergraduate Admissions in Terrell Hall

9:00am - Informal Question and Answer Session with representatives from Admissions, Financial Aid, and a current UGA student

10:15am - Historical North Campus Tour

11:00am - Lunch (Suggestions on 'Athens Lunch Eateries' page in your folder)

12:00pm-5:00pm - Optional Events

Non - Academic Opportunities:

12:00pm-5:00pm Tour the Ramsey Center for Physical Activities (706) 542-1454

12:00pm-5:00pm Bursar's Office - Business Services Building - Broad St. (706) 542-1625

8:00am-5:00pm Financial Aid Office - Holmes/Hunter Building - 2nd Floor (706) 542-6147

12:30pm-4:00pm Model residence hall room in Creswell Hall - 1:30pm-4:30pm (706) 542-8344

Academic Opportunities(with Departmental Contacts)

1:00pm-3:00pm Franklin College of Arts & Sciences • Memorial Hall Bldg

Rm 116 • Laura Dowd • (706)542-1509 • laura@franklin.uga.edu

1:00pm-3:00pm Terry College of Business** • Brooks Hall • Rm 301

Nancy Garrett • (706)542-3551 • ngarrett@terry.uga.edu

1:00pm-2:00pm Agriculture and Environmental Science • Conner Hall

Rm 102 • Brice Nelson • (706)542-1611 • bricen@uga.edu

2910 Rio Grande Street

City of Austin Residential Permit Application

Residential Review, 2nd floor, One Texas Center
505 Barton Springs, Austin, TX 78704
(512) 978-4000

Approved
11/23/15
[Signature]

Project Information

Project Address: 2910 RIO GRANDE	Tax Parcel ID: 211421
Legal Description: LOT 6 BLK 3 OLT 72 DIV D BROWN LEANDER ADDN	
Zoning District or PUD: SF3-3-CONP <i>Tract 169A</i>	Lot Size (square feet): 5082
Neighborhood Plan Area (if applicable): <i>West University</i>	Historic District (if applicable):
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Note: Boundaries are defined under Title 25-2 Subchapter F of the Land Development Code.	
Does this site currently have water availability? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N wastewater availability? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.	
Does this site have or will it have an auxiliary water source? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, submit approved auxiliary and potable plumbing plans (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site have a septic system? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, submit a copy of approved septic permit to construct	
Does this site require a cut or fill in excess of four (4) feet? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, contact the Development Assistance Center for a Site Plan Exemption.	
Does this site front a paved street? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Is this site adjacent to a paved alley? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	
Does this site have a Board of Adjustment (BOA) variance? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.	
Does the project impact a tree protected by ordinance? This includes canopy and/or critical root zone impacts to nearby trees. <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Note: If yes, application for a tree permit with the City Arborist may be required.	
Is this site within one hundred-fifty (150) feet of the one hundred (100) year floodplain? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Note: Proximity to a floodplain may require additional review time.	

Description of Work

Existing Use: <input checked="" type="checkbox"/> vacant <input type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential other _____			
Proposed Use: <input type="checkbox"/> vacant <input checked="" type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential other _____			
Project Type: <input checked="" type="checkbox"/> new construction <input type="checkbox"/> addition <input type="checkbox"/> addition/remodel <input type="checkbox"/> remodel/repair other _____			
# of existing bedrooms:	# of bedrooms upon completion: 5	# of existing baths:	# of baths upon completion: 4
Will all or part of an existing exterior wall be removed as part of the project? <input type="checkbox"/> Y <input type="checkbox"/> N Note: Removal of all or part of a structure requires a demolition permit.			
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary) New residential 2 story single family construction. No garage or carport. _____ _____ _____ _____			
Trades Permits Required: <input checked="" type="checkbox"/> electric <input checked="" type="checkbox"/> plumbing <input checked="" type="checkbox"/> mechanical (HVAC) <input checked="" type="checkbox"/> concrete (right-of-way) (circle all that apply)			

Job Valuation

Total Job Valuation: \$210,000	Portion of Total Job Valuation Dedicated to Addition/New Construction: \$150k Bldg: \$105000 Elec: \$10000 Plmbg: \$20000 Mech: \$15000 Primary Structure: \$150k Accessory Structure: \$	Portion of Total Job Valuation Dedicated to Remodel/Repair: \$ Bldg: \$ Elec: \$ Plmbg: \$ Mech: \$
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.		

NP - SLA/PP/GP/FP
max height = 30 feet

Revised 1/21/15

Building and Site Area			
Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 st floor conditioned area		1148	1148
b) 2 nd floor conditioned area		1152	1152
c) 3 rd floor conditioned area			
d) Basement			
e) Covered Parking (garage or carport)			
f) Covered Patio, Deck or Porch		359	359
g) Balcony			
h) Other - neighbors encroaching garage (Exemption from Compliance)	27		27
i) Uncovered Wood Deck			
Total Gross Building Area (total A through I)		2686	2686
j) Pool			
k) Spa			

Site Development Information	
Building Coverage Information Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)	
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New Type 3 apron off of Salado Street

→ Received Exemption from Compliance under LDC Section 25-1-365

Subchapter F – 'McMansion'

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls. Areas with ceiling height over 15 feet are counted twice.

	Existing	New	Exemption	Total
1 st Floor		1148		1148
2 nd Floor		1152		1152
3 rd Floor				
Basement				
Attic				
Garage (attached)				
(detached)				
Carport (attached)				
(detached)				
Accessory building(s) (detached)				
Ceilings over 15 ft				
TOTAL GROSS FLOOR AREA				2300

Max = 2,300sf

(Total Gross Floor Area /lot size) = .45 Floor-To-Area Ratio (FAR)

- Is this project claiming a "parking area" exemption as described under Article 3? ☐ Y ☒ N
- Is this project claiming a "ground floor porch" exemption as described under Article 3? ☒ Y ☐ N
- Is this project claiming a "basement" exemption as described under Article 3? ☐ Y ☒ N
- Is this project claiming a "habitable attic" exemption as described under Article 3? ☐ Y ☒ N
- Is a sidewall articulation required for this project? ☐ Y ☒ N
- Does any portion of the structure extend beyond a setback plane? ☐ Y ☒ N
- Are any ceilings over 15 feet in height? ☐ Y ☒ N

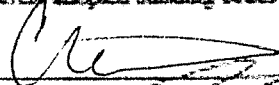
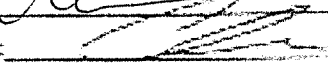
Parking Area exemption: Up to 450 square feet of a parking area may be deducted if it is a detached rear parking area that is separated from the principal structure by not less than 10 feet; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width; or a parking area that is open on two or more sides, if: it does not have habitable space above it; and the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport. Up to 200 square feet may be deducted if it is an attached parking area used to meet the minimum parking requirement; or a garage that is less than 10 feet from the rear of the principal structure, provided that the garage is either detached from the principal structure; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width. An applicant may receive only one 450-square foot exemption per site under Article 3. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under Article 3, but only for an attached parking area used to meet minimum parking requirements.

Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fifty percent or more of the area has a ceiling height of seven feet or less.

Contact Information			
Owner	Beth Bartel	Applicant or Agent	Same as Contractor
Mailing Address	555 E. 5th St #719 78701	Mailing Address	
Phone	512-736-4602	Phone	
Email	ELTX1@hotmail.com	Email	
Fax		Fax	
General Contractor	Charles Martin Homes LLC.	Design Professional	Design Visions of Austin
Mailing Address	5615-B Clay Ave. Austin 78756	Mailing Address	107 R.R. 620 N. #201, Austin 78734
Phone	512-914-7256	Phone	512-583-0059
Email	austin@cmartin.com	Email	chad@designvisionsofaustin.com
Fax		Fax	

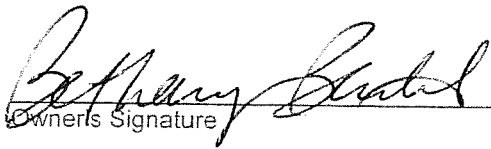
Acknowledgments	
Is this site registered as the owner's homestead for the current tax year with the appraisal district? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	
I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.	
I understand that I am responsible for complying with any subdivision notes, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property.	
If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.	
I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.	
I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.	
I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required and compliance with current code may be required.	
I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.	
I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.	
I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or cityarborist@austintexas.gov. This initiates the tree permitting requirement needed to proceed with the development review process.	
Erosion and Sedimentation Controls are required per Section 25-8-181.	
I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.	
I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.	
Applicant's signature: 	Date: 6-30-2014
Design Professional's signature: 	Date: 6-30-14

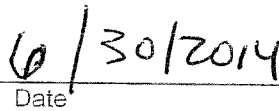
OWNER'S AUTHORIZATION LETTER

I/we hereby certify that I/we am/are the owner(s) of the property referenced below. I/we am/are respectfully requesting processing and approval of the below referenced permit(s) review. I/we hereby authorize the Applicant listed on this application to act on my/our behalf during the processing and presentation of this request. They shall be the principal contact with the City in processing this application.

Property Address:

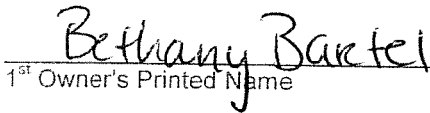
PR#:


Owner's Signature


Date

Owner's Signature

Date


1st Owner's Printed Name

2nd Owner's Printed Name

One Stop Shop
505 Barton Springs Rd
(512) 974-2632 – phone
(512) 974-9112 – phone
(512) 974-9109 – fax
(512) 974-9779 – fax



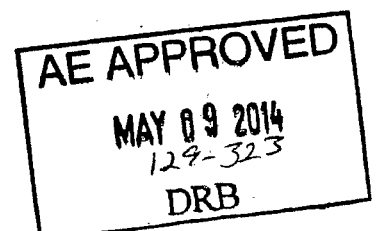
Austin Energy
Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only
For use in One Stop Shop Only

Responsible Person for Service Request <u>Charles Martin</u>		
Email <u>austin@crmartin.com</u>	Fax _____	Phone <u>512-914-7256</u>
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial	<input type="checkbox"/> New Construction <input type="checkbox"/> Remodeling
Project Address <u>2910 Rio Grande</u>		OR
Legal Description _____	Lot _____	Block _____
Who is your electrical provider? <input checked="" type="checkbox"/> AE <input type="checkbox"/> Other _____		
<input checked="" type="checkbox"/> Overhead Service	<input type="checkbox"/> Underground Service	<input type="checkbox"/> Single-phase (1Ø) <input type="checkbox"/> Three-phase (3Ø)
Location of meter <u>LF</u>		
Number of existing meters on gutter _____ (show all existing meters on riser diagram)		
Expired permit # _____		
Comments _____		
BSPA Completed by (Signature & Print Name) <u>Charles Martin</u> Date <u>5-9-14</u> Phone <u>512-914-7256</u>		
Approved <input type="checkbox"/> Yes <input type="checkbox"/> No		
AE Representative _____	Date _____	Phone _____

Application expires 180 days after the date of approval
(Any change to the above information requires a new BSPA)

All structures etc. must maintain 7'5"
clearance from AE energized power
lines. Enforced by AE & NESC codes.





Austin Water Utility

Water & Wastewater Service Plan Verification (WWWSPV)

Service Address:	2910 Rio Grande				
Lot:	6	Block:	3	Subdivision:	Leander Brown Addition
Existing Use:	Vacant	Single-Family Res.	Duplex	Garage Apt.	Other
Proposed Use:	2 nd Structure	Single-Family Res.	Duplex	Garage Apt.	Other
Existing # Baths		# Baths added		Total number of bathrooms the meter will feed	4

Charles Martin

Applicant's Name & Title

6/30/14

Date

512 914 7256

Phone

City of Austin Office Use

Water main size		Service stub size	3/4"	Service stub upgrade required:	Yes	No		
Existing meter #	98956	Existing meter size	5/8"	Upgrade required	<input checked="" type="radio"/> Y	<input type="radio"/> N	New meter size	3/4"
Existing water service line/meter location	on Rio Grande							
WW main size		WW Service line/clean-out location	on Salado					
AWU Pipeline Engineering approval required:	Yes	No						
Comments:	Existing driveway staying in place							
REVIEWED								

JUN 30 2014

AWU Engineer Representative

Date

Phone

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION TAPS

AWU Taps Representative

Date

Phone

972 0000

Water meters & wastewater clean-outs are not permitted in sidewalks or driveways.

Relocation of services necessary to remove them from proposed sidewalks or driveways shall be performed at the applicant's expense.

If the existing water meter was pulled for demolition, apply for a new building permit or contact Customer Care at 512-494-9400 to have the same size meter reinstalled within 120 days of meter removal to avoid city connect charges being applied.

Verification expires 180 days after date of submittal



City of Austin

Planning and Development Review Department

505 Barton Springs Road, P.O. Box 1088
Austin, Texas 78767-1088

January 15, 2015

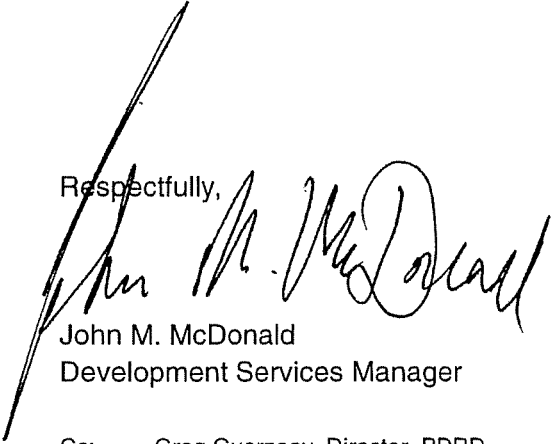
Ms. Nikelle Meade, Partner
HuschBlackwell
111 Congress Avenue, Ste. 1400
Austin, Texas 78701

Subject: Exemption from Compliance for garage structure located at 2908 and 2910 Rio Grande Street

Dear Ms. Meade:

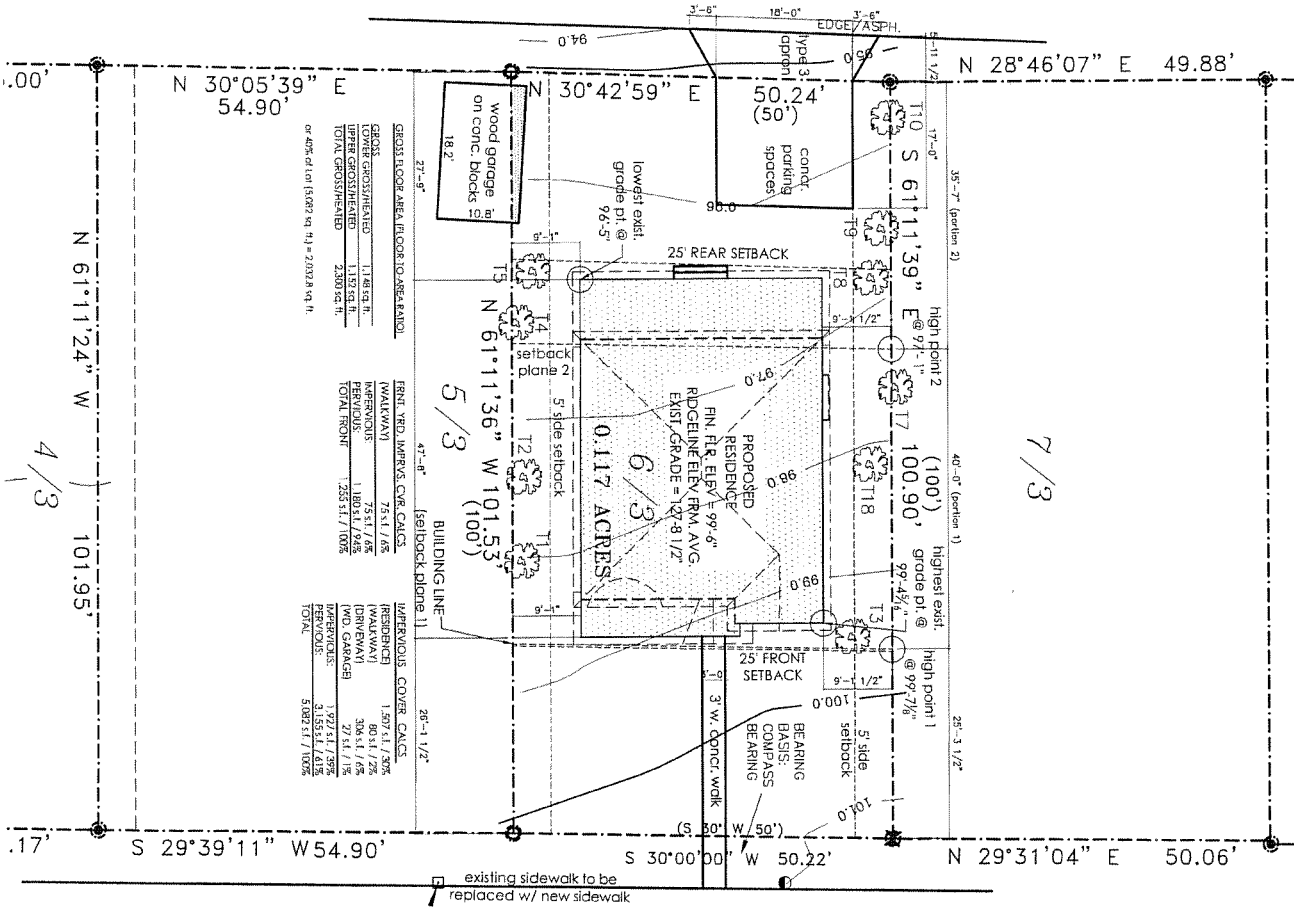
In response to your request for an exemption from compliance under Section 25-1-365 of the City of Austin's Land Development code, staff has performed the research and determined the garage structure meets the necessary criteria. Your client can proceed with the review of their application for new construction at 2910 Rio Grande Street. If you have any questions, feel free to contact me at 512.974.2728 or john.mcdonald@austintexas.gov

Respectfully,


John M. McDonald
Development Services Manager

Cc: Greg Guernsey, Director, PDRD
Carl Wren, Assistant Director, PDRD
Kathy Haught, Division Manager, PDRD
Daniel Word, Planner Principal, PDRD
Brent Lloyd, Senior Attorney, Law Department

SALADO STREET (BROWN STREET PER PLAT) 40' R.O.W.



GRANDE STREET (SAN GABRIEL STREET PER PLAT) 40' R.O.W.

SITE PLAN
SCALE 1/16" = 1'-0"



CITY OF AUSTIN - TECHNICAL REVIEW

Approval of these plans and specifications shall not be construed to be a permit for or an approval of any violation of any of the provisions of the currently adopted residential building code or any other ordinance of the City of Austin which might have been omitted or overlooked in the plan review process.

By [Signature] Date 1/23/15

CITY OF AUSTIN
APPROVED FOR PERMIT
Greg Guernsey
Planning and Development Review Department
Date 1/23/15

The granting of a permit for or approval of these plans and specifications shall not be construed to be a permit for or approval of any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

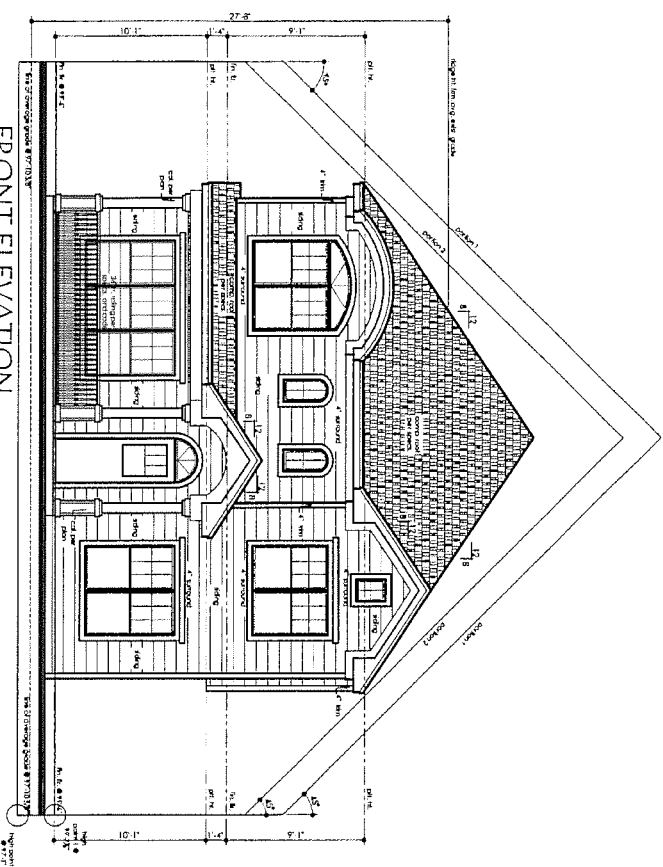
ROEDER SURVEYING
11000 N. LBJ Fwy, Suite 100, Austin, TX 78758
512.454.1111
www.roversurveying.com

CONTRACT NO. 1501-0001
1. THE CITY OF AUSTIN, TEXAS, HEREBY GRANTS A PERMIT TO THE SURVEYOR TO CONDUCT A SURVEY OF THE PROPERTY DESCRIBED IN THE PLANS ATTACHED TO THIS PERMIT.
2. THE SURVEYOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS AND INFORMATION TO COMPLETE THE SURVEY.
3. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE SURVEY DATA AND THE CORRECTNESS OF THE SURVEY RESULTS.
4. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL SURVEY MONUMENTS AND MARKERS.
5. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL SURVEY INSTRUMENTS AND EQUIPMENT.
6. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY DURING THE SURVEY.
7. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL SURVEY DATA AND INFORMATION.
8. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY RESULTS.
9. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL SURVEY MONUMENTS AND MARKERS.
10. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL SURVEY INSTRUMENTS AND EQUIPMENT.
11. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY DURING THE SURVEY.
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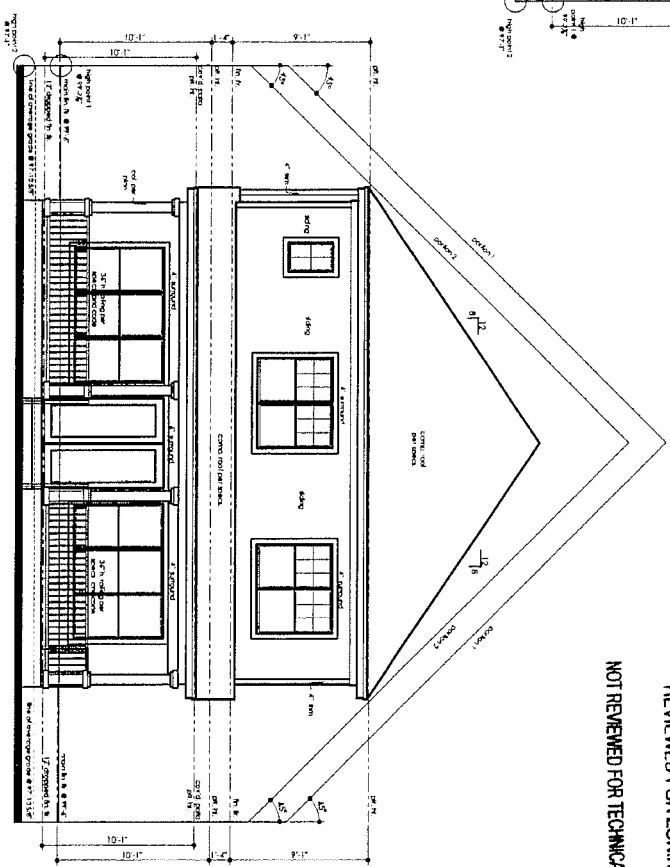
FRONT ELEVATION

SCALE 1/8" = 1'-0"



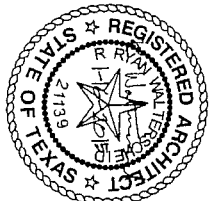
REAR ELEVATION

SCALE 1/8" = 1'-0"



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NOT REVIEWED FOR TECHNICAL BUILDING CODE

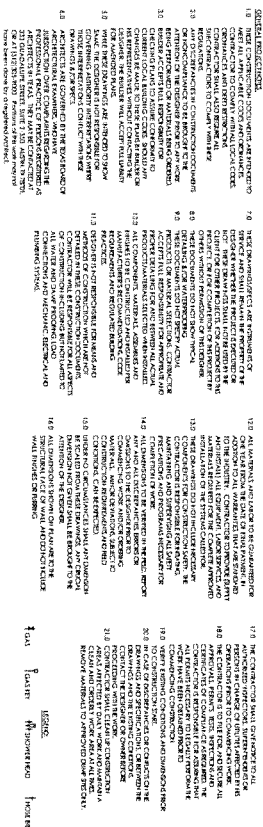
GENERAL NOTES:
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.



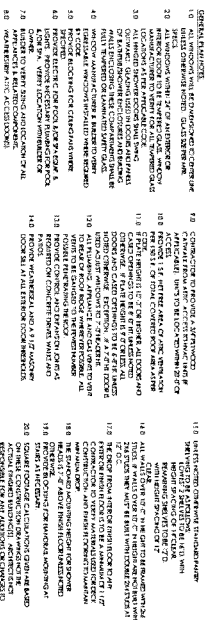
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unique residential design

PROJECT:
Lopez Residence
A-2
2 of 6
date: 11.6.14
project #: 13075

SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"



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NOT REVIEWED FOR TECHNICAL BUILDING CODE



Project #: 13096



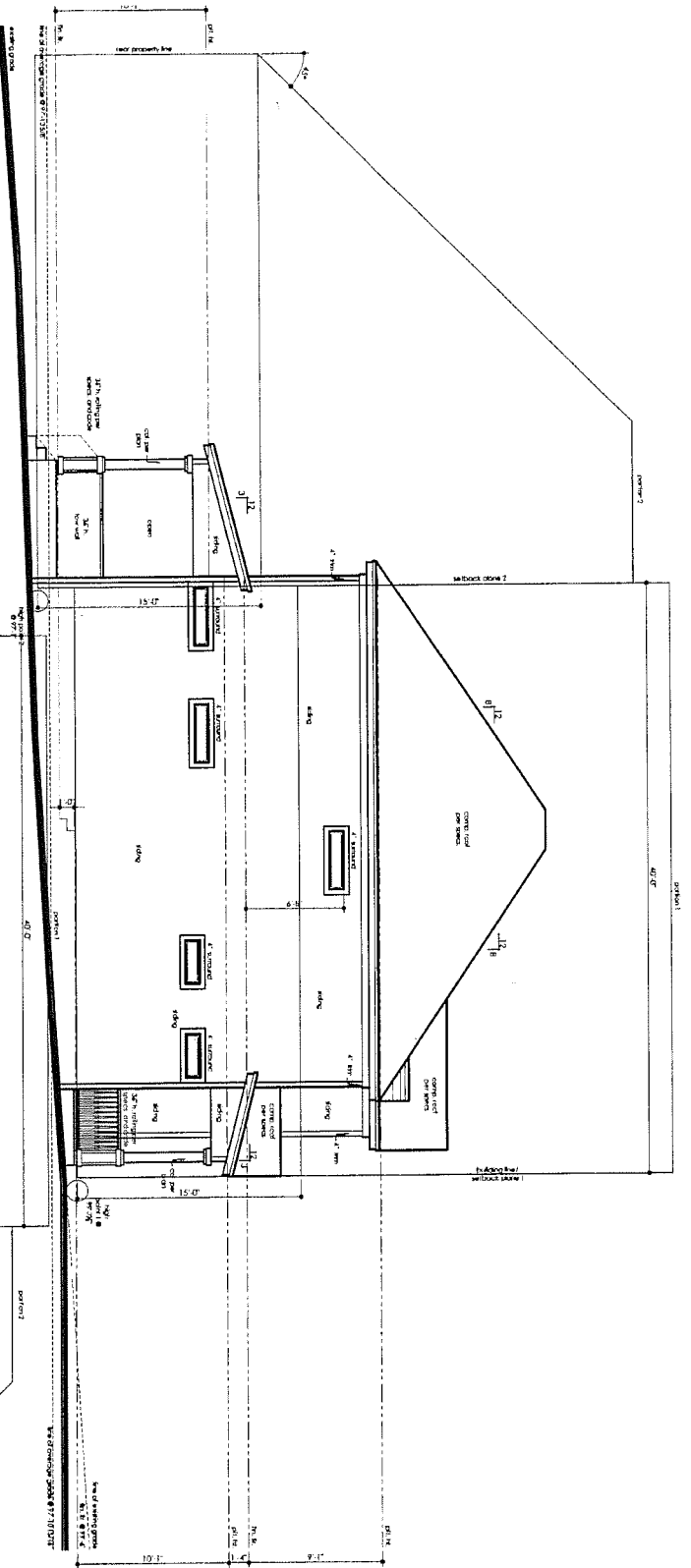
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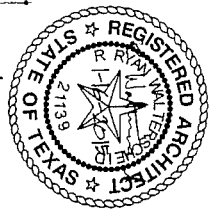
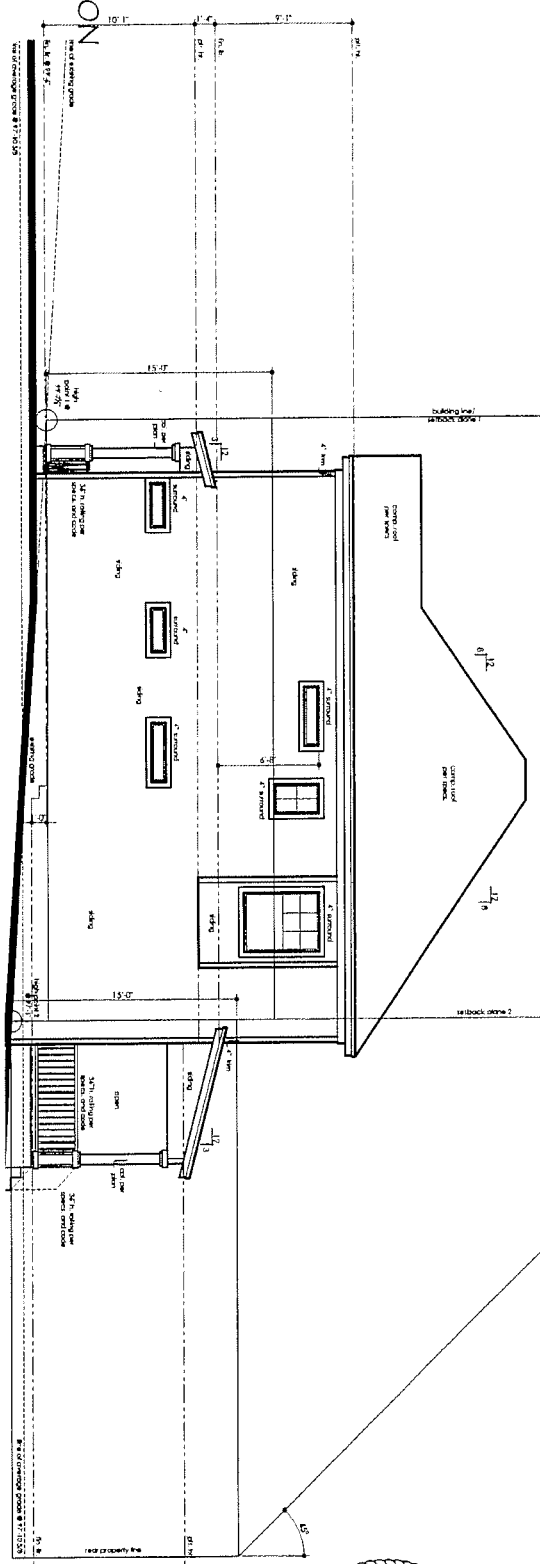
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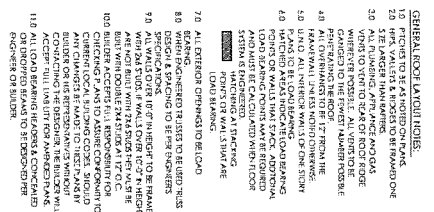


RIGHT ELEVATION

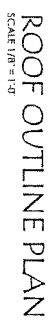
SCALE 1/8" = 1'-0"



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 PROJECT: 13376
 SHEET: A-4
 OF: 6
 DATE: 11/14/14



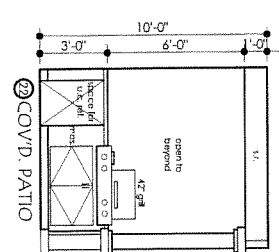
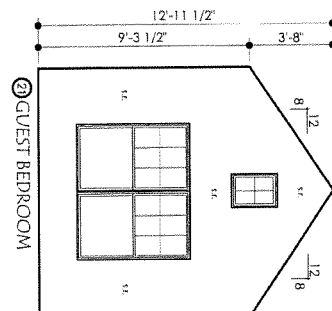
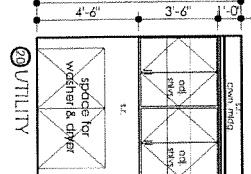
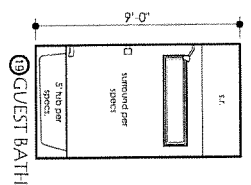
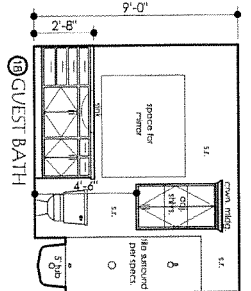
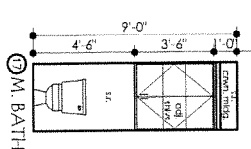
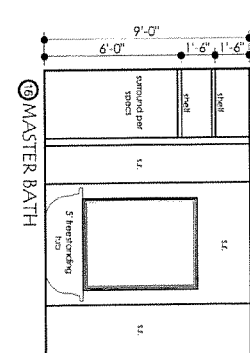
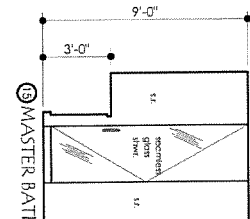
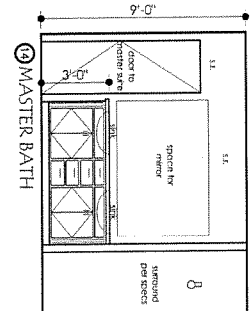
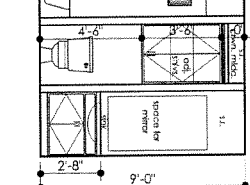
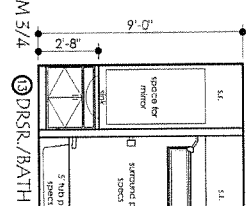
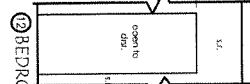
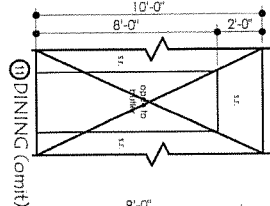
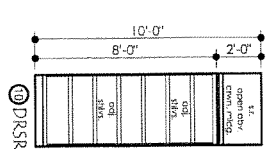
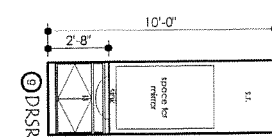
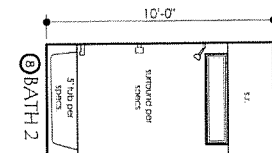
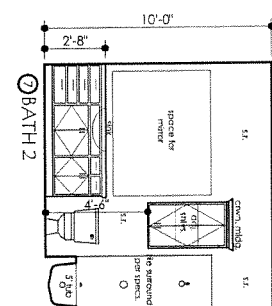
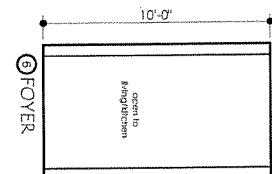
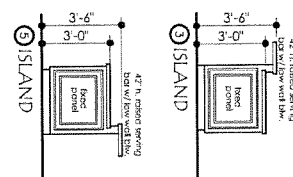
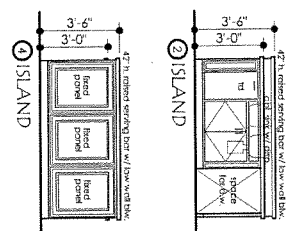
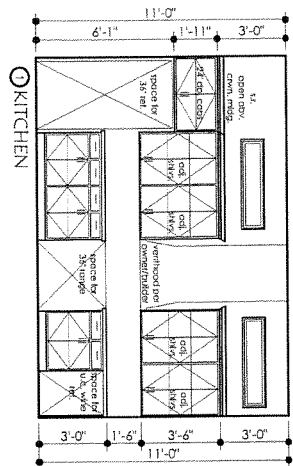
NOT REVIEWED FOR TECHNICAL BUILDING CODE



PROJECT: Lopez Residence

A-5
5 of 6

date: 11.15.14
project #: 13676



REVIEWED FOR ZONING ONLY

NOT REVIEWED FOR TECHNICAL BUILDING CODE

GENERAL INT. ELEV. NOTES

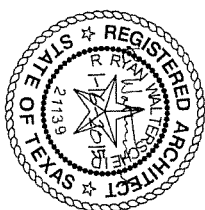
INTERIOR ELEVATIONS
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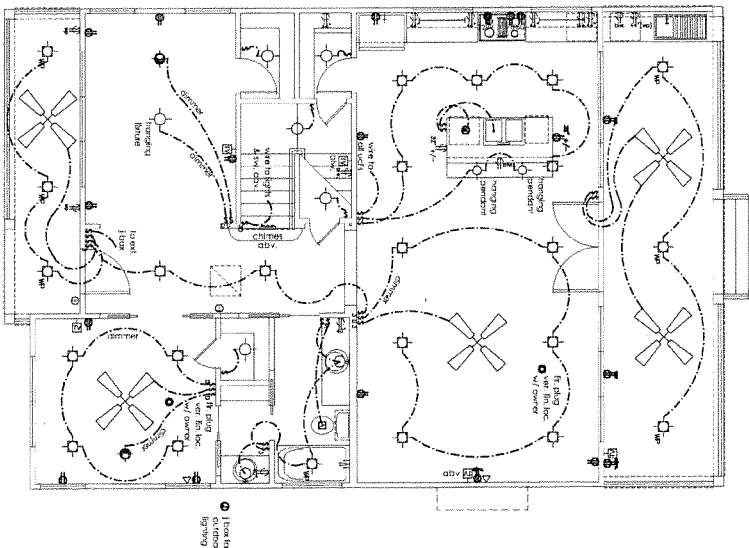
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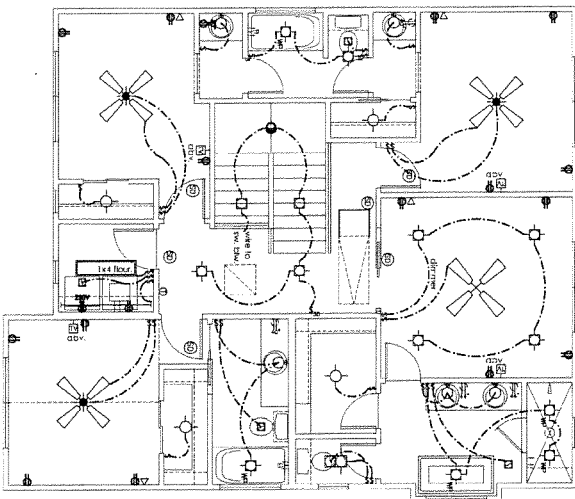
design visions of austin
unique residential design

PROJECT: Lopaz Residence
A-6
6 of 6
date: 11.15.14
project #: 13096





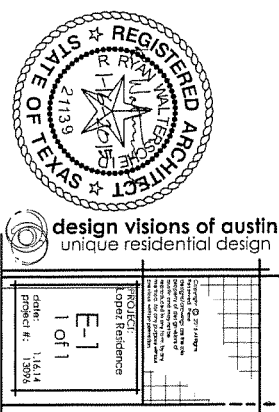
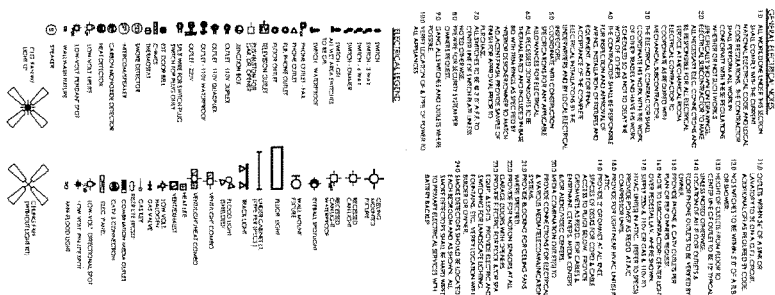
LOWER ELECTRICAL PLAN
SCALE 1/8" = 1'-0"

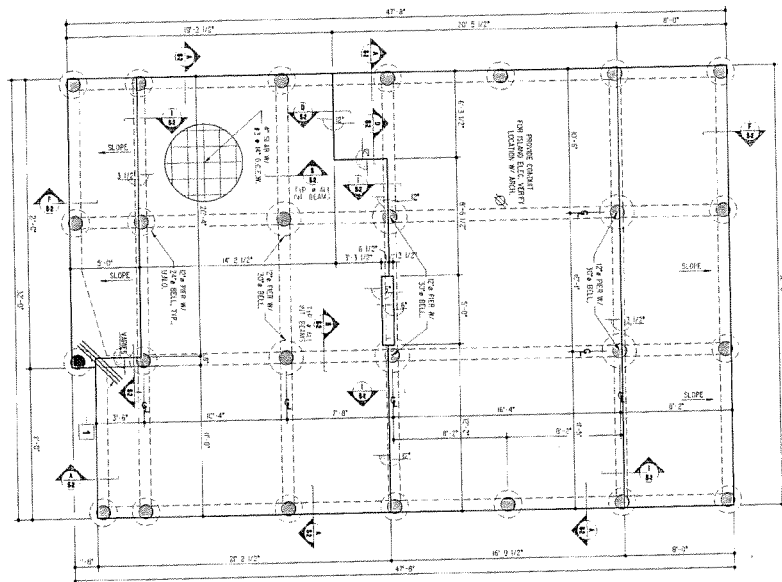


UPPER ELECTRICAL PLAN
SCALE 1/8" = 1'-0"

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FOUNDATION PLAN

NOT REVIEWED FOR TECHNICAL BUILDING CODE

Some or all of the information on this drawing was obtained from the following sources:
 Survey and other data furnished by the owner.
 Information obtained from the owner's records.
 Information obtained from the owner's records.
 Information obtained from the owner's records.

GENERAL PLAN NOTES

01. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
02. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DATE: 05/27/2014
 DRAWN BY: J. M. H.
 CHECKED BY: J. M. H.
 SCALE: 1/4" = 1'-0"

CONTRACTOR'S RESPONSIBILITY

The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies.

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

LEGEND

1. 12" x 12" O.C.
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3. 12" x 12" WALL
4. 12" x 12" O.C.
5. 12" x 12" SILL
6. 12" x 12" WALL
7. 12" x 12" O.C.
8. 12" x 12" SILL
9. 12" x 12" WALL
10. 12" x 12" O.C.
11. 12" x 12" SILL
12. 12" x 12" WALL

5/27/2014 12:59 PM

FOUNDATION PLAN

S-1

DATE ISSUED: 5/27/2014

REVISIONS:

NO.	DATE	DESCRIPTION
1	5/27/2014	ISSUED FOR PERMIT

DRAWN BY: J. M. H.

CHECKED BY: J. M. H.

PROJECT NUMBER: 144-025-1

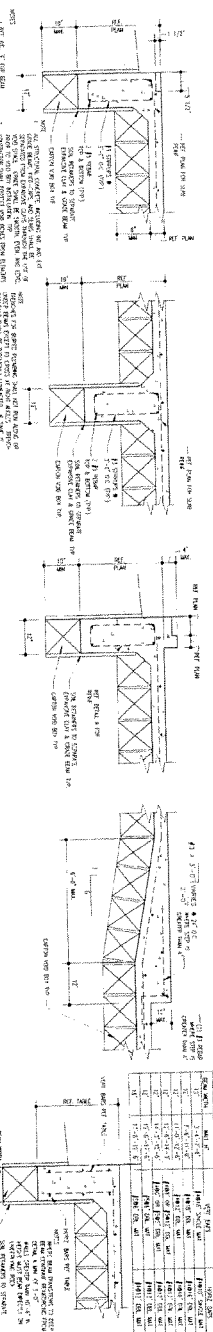
ATS

engineers, inspectors & surveyors

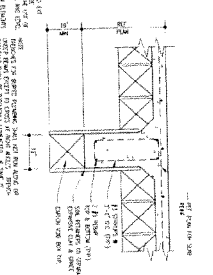
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 SUITE 400
 AUSTIN, TEXAS 78746
 (512) 328-0000
 FAX: (512) 328-0006

CHARLES MARTIN HOMES

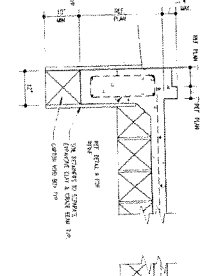
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 AUSTIN, TEXAS



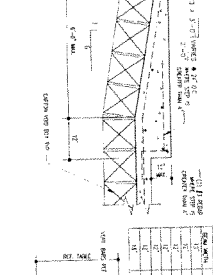
A EXTERIOR BEAM
W/ OPT. BRICKLEDGE



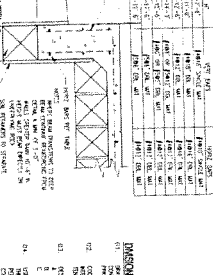
B INTERIOR BEAM



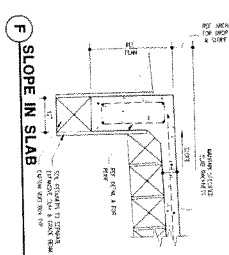
C CURB & EXT. BEAM
W/ OPT. BRICKLEDGE



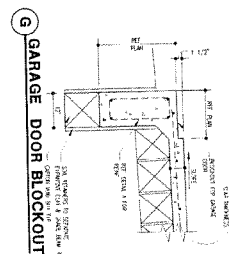
D DROP IN SLAB



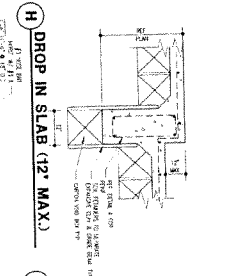
E DEEP BEAM



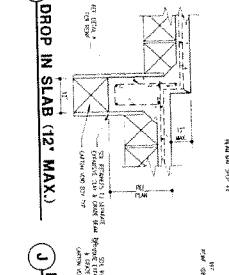
F SLOPE IN SLAB



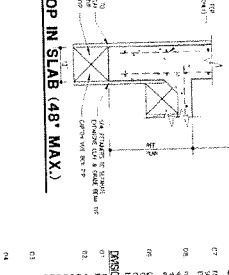
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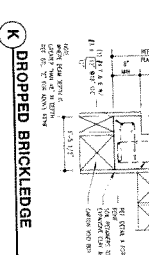
H DROP IN SLAB (12' MAX.)



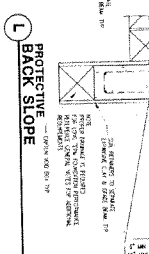
I DROP IN SLAB (12' MAX.)



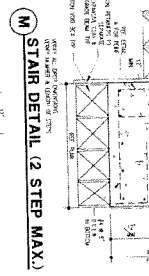
J DROP IN SLAB (48' MAX.)



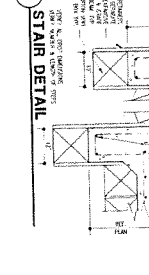
K DROPPED BRICKLEDGE



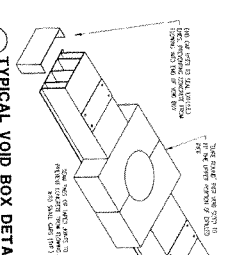
L PROTECTIVE
BACK SLOPE



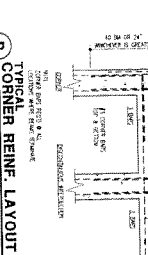
M STAIR DETAIL (2 STEP MAX.)



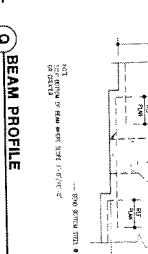
N STAIR DETAIL



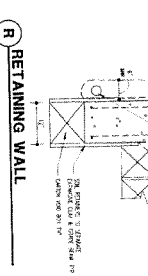
O TYPICAL VOID BOX DETAIL



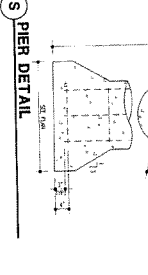
P TYPICAL CORNER REINF. LAYOUT



Q BEAM PROFILE



R RETAINING WALL



S PIER DETAIL

GENERAL NOTES

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NOT REVIEWED FOR TECHNICAL BUILDING CODE

FOUNDATION DETAILS

S-2

DATE: 01/11/14

REVISIONS:

NO. 1: 01/11/14

NO. 2: 01/11/14

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CHARLES MARTIN HOMES

2910 RIO GRANDE STREET

AUSTIN, TEXAS

ATS

Engineers
Inspectors
& Surveyors

www.ats-engineers.com

1115 S. CAPITAL OF TEXAS HWY

AUSTIN, TEXAS 78746

TEL: (512) 222-0096

FAX: (512) 222-0096

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REGISTERED NO. 2407

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STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING
SURVEYING
INSPECTIONS

CHARLES MARTIN HOMES

2910 RIO GRANDE STREET

AUSTIN, TEXAS

1/4" x 3-0" 50. FOOTAGE - 150



NOTE:
FRAMING PLANS BASED ON ARCHITECTURE
RECEIVED ON 05/02/14. CONSULT ENGINEER
FOR ANY STRUCTURAL CHANGES DUE TO
ARCHITECTURAL CHANGES MADE AFTER
DATE.

NOT REVIEWED FOR TECHNICAL BUILDING CODE

IRC 2006
IRC 2009
IRC 2012

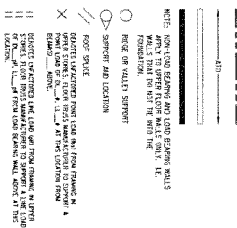
NOTE:
THESE PLANS WERE DESIGNED
ACCORDING TO THE AMERICAN WOOD
COUNCIL'S NEWLY ADOPTED REVISED
PROPERTIES FOR VISUALLY GRADED
SOUTHERN YELLOW PINE EFFECTIVE
JUNE 1, 2013.

Thank you for allowing AFS the opportunity to assist you on your Airm. To ensure the quality of our design we recommend an inspection prior to the placement of concrete. Inspections start at \$45.00 each. Please contact AFS at (512) 324-6555 at least 24 hours prior to the scheduled pour. Our world-wide engineers offer additional inspection and engineering services offered.

GENERAL NOTES

- [illegible]

FRAMING LEGEND



LEGEND:

- | | |
|---|---------------------|
| 1 | (2) 2 X 5 Y.P. #2 |
| 2 | (3) 2 X 6 S.Y.P. #2 |
| 3 | (4) 2 X 6 S.Y.P. #2 |
| 4 | (5) 2 X 6 S.Y.P. #2 |
| 5 | (7) 2 X 6 S.Y.P. #2 |
| 6 | (8) 2 X 6 S.Y.P. #2 |
| 7 | (4) 2 X 6 S.Y.P. #2 |
- REFRIGERANTS: MIN. # OF
STOPS FOR EXD SUPPORT
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5/13/2014 12:06 PM

CEILING FRAMING PLAN

S-4

DATE RECEIVED		05/09/14	
REVISIONS			
NO.	DATE	BY	REVISION
1	05/13/14		
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DRAWN BY: LINDA B. BROWN			
CIN			
S3 PROJECT NO.			
SIT CONTROL NO.			
PROJECT NUMBER			
14040051			
SHEET NO.			



 eileen merriitt's
ATS
www.ats-engineers.com
912 S. CAPITAL OF TEXAS HWY
SUITE 450
AUSTIN, TEXAS 78748

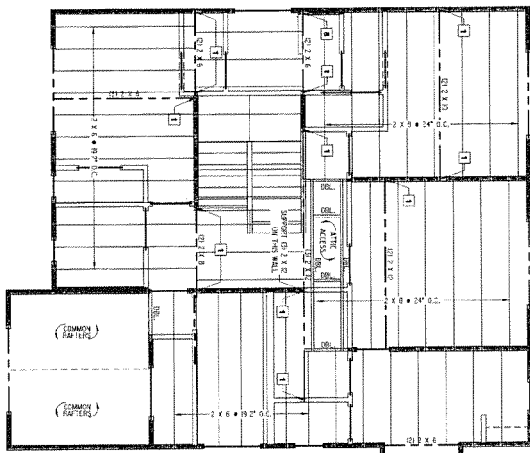
**Engineers
Inspectors
& Surveyors**

- CIVIL
- STRUCTURAL
- MECHANICAL
- ELECTRICAL
- PLUMBING
- SURVEYING
- INSPECTIONS

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INC. FIRM
REGISTRATION NO.

CHARLES MARTIN HOMES
2910 RIO GRANDE STREET
AUSTIN, TEXAS

3/4" = 1'-0" SO. FOOTAGE ~ 115'



NOTE:
 PLANNING PLANS BASED ON ARCHITECTURE
 RECEIVED ON 05/02/14. CONSULT ENGINEER
 FOR ANY STRUCTURAL CHANGES DUE TO
 ARCHITECTURAL CHANGES MADE AFTER
 DATE.

NOT REVIEWED FOR TECHNICAL BUILDING CODE

IRC 2006
IRC 2009
IRC 2012

LEGEND:

1	(1) 2 X 4 S.Y.P. #2
2	(2) 2 X 4 S.Y.P. #2
3	(3) 2 X 4 S.Y.P. #2
4	(4) 2 X 4 S.Y.P. #2
5	(5) 2 X 4 S.Y.P. #2
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STUDS FOR END SUPPORT
OR WEDGERS.

[illegible]

FRAMING LEGEND

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NOTE:
THESE PLANS WERE DESIGNED
ACCORDING TO THE AMERICAN WOOD
COUNCIL'S NEWLY ADOPTED REVIAD
PROPERTIES FOR VISUALLY GRADED
SOUTHERN YELLOW PINE EFFECTIVE
JUNE 1, 2013.

DAYS
iSchedule App
Schedule inspections and surveys faster and easier with this "ATS Essential" App for Android-powered devices now available on the Google Play Store

Thank you for allowing ITS the opportunity to assist you on your home. To ensure the quality of our design we recommend an inspection prior to the placement of concrete, inspection start at \$45.00 each. Please contact ITS at (312) 323-6855 at least 24 hours prior to the scheduled pour. Visit www.dlx-engineers.com for additional inspection and engineering services offered.

CEILING FRAMING PLAN

DATE ISSUED 05/09/14	
NO. 05-2157-14	REVISIONS
DATE	
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SEE GENERAL NOTE	
PLANS: CT RIDGE R	
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SHEET NO.	

S-5

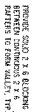
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Inspectors
& Surveyors

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 SUITE 460
 AUSTIN, TEXAS 78746
 (813) 328-8968
 (813) 328-1300

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- STRUCTURAL
- MECHANICAL
- ELECTRICAL
- PLUMBING
- SURVEYING
- INSPECTIONS

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REGISTRATION NO
2487.

CHARLES MARTIN HOMES
2910 RIO GRANDE STREET
AUSTIN, TEXAS

$$W_A = T - Q^*$$


NOTE:
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FOR ANY STRUCTURAL CHANGES DUE TO
ARCHITECTURAL CHANGES MADE AFTER
DATE.

NOT REVIEWED FOR TECHNICAL BUILDING CODE

IRC 2006
IRC 2009
IRC 2012

NOTE,
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ACCORDING TO THE AMERICAN WOOD
COUNCIL'S NEWLY ADOPTED REVERSE
PROPERTIES FOR VISUALLY GRADED
SOUTHERN YELLOW PINE EFFECTIVE
JUNE 1, 2013.

DATE
iSchedule App
Schedule important dates and
events by simply scanning the
Google Play Store

Thank you for allowing AFS the opportunity to assist you on your home. To ensure the quality of our design we recommend an inspection prior to the placement of concrete. Inspections start at \$45.00 each. Please contact AFS at (312) 328-6553 at least 24 hours prior to the scheduled pour. Visit www.afs-engineers.com for additional inspection and engineering services offered.

GENERAL NOTES

01. PREPARE A REPAIR AND PATCHING CONTRACT FORM (DOD FORM 300) FOR EACH PROJECT.
02. ALL MATERIALS SHALL BE APPROVED AND APPROVED BY THE DISTRICT ENGINEER.
03. ALL MATERIALS SHALL BE APPROVED AND APPROVED BY THE DISTRICT ENGINEER.
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SPECIAL NOTES

1. PREPARE A REPAIR AND PATCHING CONTRACT FORM (DOD FORM 300) FOR EACH PROJECT.

FRAMING LEGEND

WALLS OF CHIMNEYS

REPAIR

RECORD THICK CONSTRUCTION

NON LEAD EDDING WALLS

LEAD EDDING WALLS

NOTE: NON-LEAD EDDING AND LEAD EDDING WALLS APPLY TO UPPER FLOOR WALLS ONLY. I.E. WALLS THAT DO NOT BE AROUND THE FOUNDATION.

PROJECT OF VALLEY'S SPOT

SUPPORT AND LOCATION

ROOF SHEET

LEGEND:	
1	(1) 2 x 4 x Y.P. #2
2	(2) 3 x 4 x Y.P. #2
3	(3) 2 x 4 x Y.P. #2
4	(4) 2 x 4 x Y.P. #2
5	(5) 2 x 4 x Y.P. #2
6	(6) 2 x 4 x Y.P. #2
7	(7) 2 x 4 x Y.P. #2

REFRIGERANTS UNIT - OF
 57,025 FROM END REPORT
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5/13/2014 12:06 PM

ROOF FRAMING PLAN

S-6

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SO. FOOTAGE: 266
 SEE GENERAL NOTES
 PROJECT NUMBER:
 14042951
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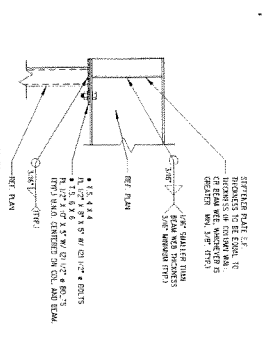


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(512) 326-0806

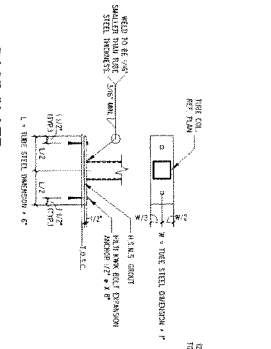
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- MECHANICAL
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- PLUMBING
- SURVEYING
- INSPECTIONS

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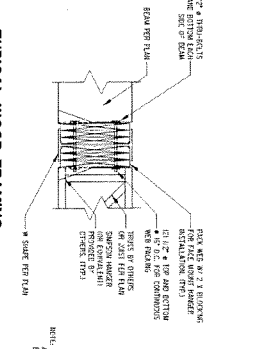
CHARLES MARTIN HOMES
2910 RIO GRANDE STREET
AUSTIN, TEXAS



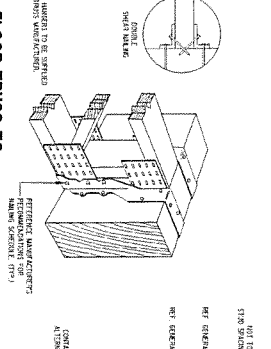
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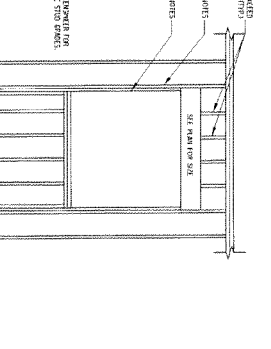
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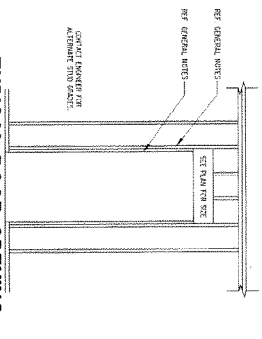
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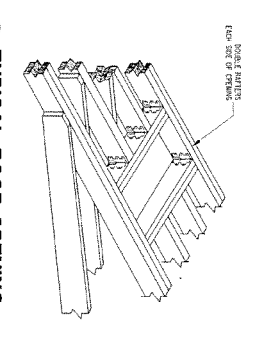
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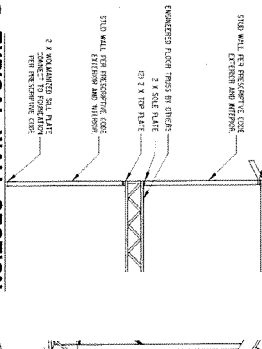
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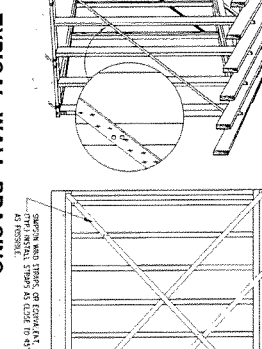
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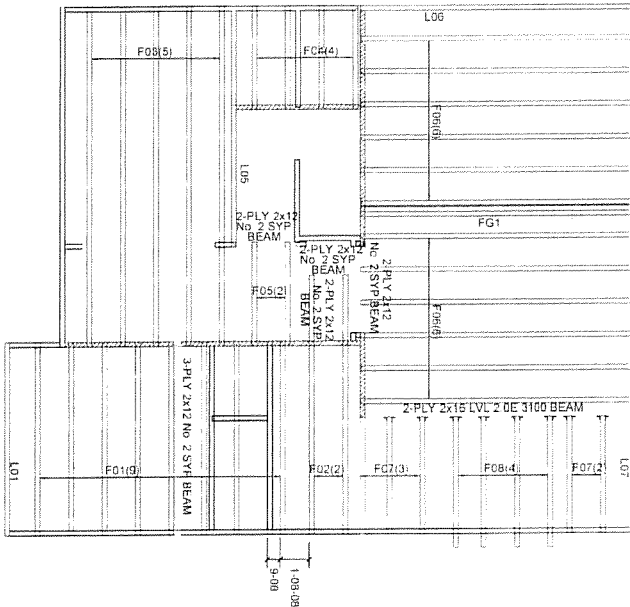
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WALL TYPE	WALL THICKNESS	WALL HEIGHT	WALL WIDTH	WALL LENGTH
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WALL TYPE 2	12" x 12"	12" x 12"	12" x 12"	12" x 12"
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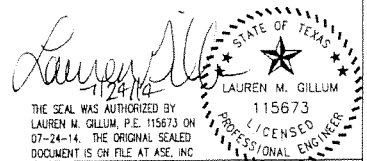
10
SCALE: 1/8\"/>

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----- Interior load-bearing wall

NOT REVIEWED FOR TECHNICAL BUILDING CODE



Associated Structural Engineers, Inc. (ASE) is not the building designer or engineer of record and takes no responsibility for the structural stability of the overall floor framing system or for the structural stability of the overall building structure system during construction or at final building state.

The building designer or engineer of record is responsible for the permanent bracing of the overall floor framing system and of the overall building structure system for the code required lateral loads and to provide support for all vertical and lateral loads applied to the building structure by the individual truss components.

The building designer, engineer of record, or erection contractor is responsible for the required bracing of the temporary floor framing system and overall building structure system needed to ensure stability during construction.

It is recommended the erection contractor and building designer or engineer of record follow all applicable recommendations in the BCSI, Guide to Good Practice for handling, including, Restraint & Bracing of Metal Plate Connected Wood Trusses as a minimum for handling and storing of the trusses, and for the temporary and permanent bracing of the floor truss system.

Refer to the individual truss drawings referenced below for the location, type, and fastening/connection of each truss; individual web member minimum required bracing. This chord bracing is for the stability of individual chord member only and is not intended to satisfy in part or in full the required temporary and permanent bracing of the overall floor framing system. However, the building designer or engineer of record may incorporate the individual chord member bracing into the temporary and permanent bracing of the overall floor framing system. Refer to the BCSI Document for additional information on individual truss chord member bracing.

Refer to the individual truss drawings referenced below for the location, type, and fastening/connection of each truss; individual top and bottom member minimum required bracing. This chord bracing is for the stability of individual chord member only and is not intended to satisfy in part or in full the required temporary and permanent bracing of the overall floor framing system. However, the building designer or engineer of record may incorporate the individual chord member bracing into the temporary and permanent bracing of the overall floor framing system. Refer to the BCSI Document for additional information on individual truss chord member bracing.

ASE is not responsible for the means and methods required to determine exact project applicable spacing, location, or fastening of the required individual web and chord member bracing.

The seal on this drawing indicates acceptance of professional engineering responsibility solely by the building designer or engineer of record. The building designer or engineer of record corresponds with the below referenced signed and sealed engineer's truss component design drawings (Truss Drawings) and for the previously stated bracing references. ASE is not responsible for the applicability of the design parameters stated on the Truss Drawings. The building designer or engineer of record is responsible for determining that the loads shown on the Truss Drawings match those required by the plans and by the actual use of each truss component, and that the loads shown on the Truss Drawings meets or exceeds applicable building code requirements and any additional factors required in the particular application.

MITEK sealed truss component drawing packet for

RE: B14-0331
THE LOPEZ RESIDENCE
DATE: JULY 24, 2014
ENGINEER: STEVEN E. FOS, P.E. #01340

ASSOCIATED STRUCTURAL ENGINEERS, INC. 2405 S INTERSTATE 35, SUITE J FIRM NUMBER: F-2820 NEW BRAUNFELS, TX 78130 TEL: (830) 625-5947 E-MAIL: OFFICE@ASESTRUCTURAL.COM	JOB NO: 14-0179 DATE: JULY 24, 2014	PREPARED BY: LMG CHECKED BY: DRW	INSPECTION DATE: N/A SCALE: NTS	PROPERTY ADDRESS: 2910 RIO GRANDE ST. AUSTIN, TX	PROPERTY OWNER: CHARLES MARTIN HOMES	FLOOR TRUSS LAYOUT MITEK ID: B14-0331 LOCKHART TRUSS CO., INC.	SHEET NO. S1 OF 1
---	--	---	---	--	--	--	--------------------------------


SHEAR WALL DESIGN BASED UPON FOLLOWING ASSUMPTIONS U.N.O.

- ## NOTES:

- ## LEGENDS:

2-PLY DRAG STRUT

REF. DETAIL SHEET



-SHEAR WALL LINE

BW
 A

-BRACED WALL LINE

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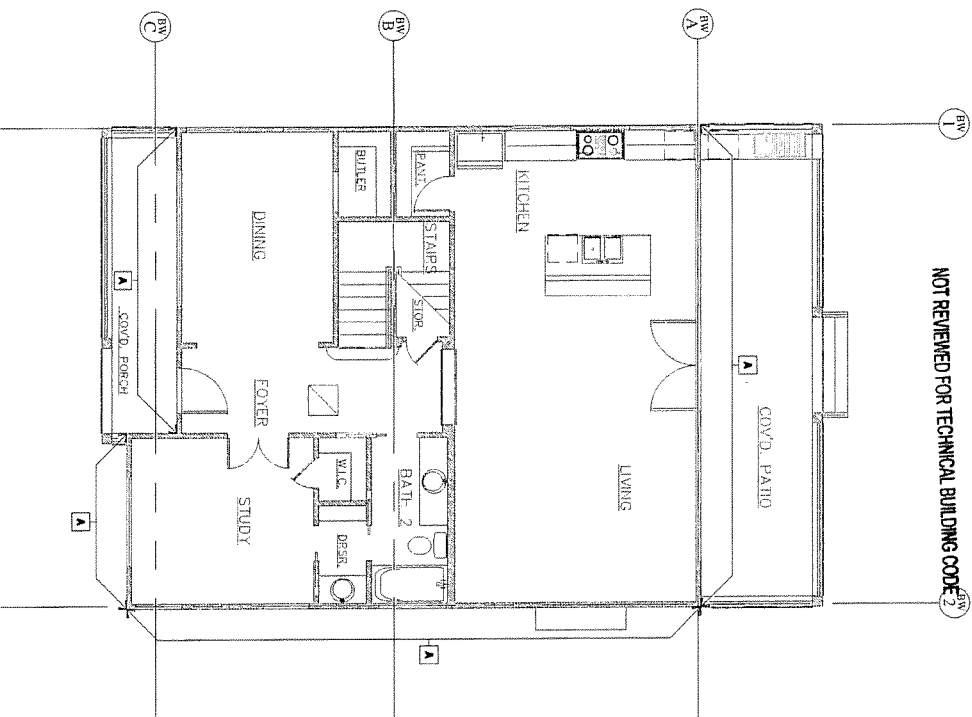
1ST FLOOR

WINDBRACING PLAN

SCALE: 1/8" = 1'-0"

ALL DIMENSIONS ARE THE SOLE RESPONSIBILITY OF THE ARCHITECT. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS PRIOR TO THE START OF CONSTRUCTION, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

NOT REVIEWED FOR TECHNICAL BUILDING CODE 2



WINDBRACING PLAN

WB-1

[illegible]

**Engineers
Inspectors
& Surveyors**

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(512) 320-6905
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**CHARLES MARTIN
HOMES
2910 RIO GRANDE
LOT 6 BLOCK 3
AUSTIN, TEXAS**

SHEARWALL & NAILING SCHEDULE

SHEAR WALL DESIGN BASED UPON FOLLOWING ASSUMPTIONS U.N.O.

1. ALL WALLS SHEATHED W/ 1/2" THICK GYPSUM WALL BOARD, INCLUDING GARAGE. BLOCKING IS NOT REQUIRED BETWEEN STUDS. ATTACH W/8d NAILS (OR EQUAL) AT 7" O.C. AT TOP & BOTTOM PLATES AND STUDS.
2. ATTACH UPPER FLOOR BOTTOM PLATES ACCORDING TO PRESCRIPTIVE CODE METHODS.
3. THIS DESIGN DOES NOT RELY ON ANY CONTRIBUTION FROM THE CEILING DIAPHRAGM.
4. FOUNDATION SILT PLATES AT BRACED WALL LINES AND ALL EXTERIOR WALLS ANCHORED TO FOUNDATION W/ 1/2" ϕ X 10" ANCHOR BOLTS @ 72" O.C. AND 12" FROM DOORS. FOUNDATION SILT PLATES AT INTERIOR WALLS ANCHORED TO FOUNDATION W/ Hilti X-DW POWDER ACTUATED FASTENERS (OR EQUAL) @ 16" O.C. AND WITHIN 12" OF EACH END.
5. ONE ANCHOR BOLT SHALL BE PROVIDED AT EACH END OF THE NARROW GARAGE WALLS, NEXT TO GARAGE DOOR OPENING.
6. BLOCK AND NAIL ALL COFFERED CEILING LINES.
7. THE MOST RESTRICTIVE PRESCRIPTIVE FASTENING REQUIREMENTS OF IRC TABLE 602.3 OR IBC 2304.9.1 SHALL APPLY.
8. THIS WINDBRACING PLAN IS VALID ONLY FOR LISTED ELEVATIONS AND OPTIONS.
9. ALL WALLS DESIGNATED (SW) ARE CONSIDERED BRACED WALLS AND SHALL BE DIRECTLY SUPPORTED BY FLOOR FRAMING MEMBERS OR 2x BLOCKING (FLAT) BETWEEN FLOOR TRUSSES, USING TOENAILING ON A PRODUCT SIMILAR TO THE SIMPSON TP97 TIE PLATE. FASTEN ALL SW SOLE PLATES W/ 3-16d NAILS 16" O.C.
10. INTERIOR WALLS INTERSECTING EXTERIOR WALLS SHALL BE DIRECTLY CONNECTED BY OVERLAPPING TOP PLATES PER CODE AND SHALL BE ADDITIONALLY FASTENED TO EXTERIOR WALL STUDS WITH MINIMUM (1) 16d NAIL @ 16" ON CENTER OR EQUIVALENT NAILING.

SHEATHING SCHEDULE LEGEND

- A 15/32" CDX PLYWOOD OR 7/16" OSB RATED SHEATHING (ONE SIDE), BLOCKED, NAILED W/ 8d COMMON NAILS @ 4" O.C. ON EDGE AND 12" O.C. IN FIELD.
- B 15/32" CDX PLYWOOD OR 7/16" OSB RATED SHEATHING (ONE SIDE), BLOCKED, NAILED W/ 8d COMMON NAILS @ 6" O.C. ON EDGE AND 12" O.C. IN FIELD.
- C 1/4" HARD PANEL (ONE SIDE), BLOCKED, NAILED W/ 6d COMMON NAILS, 2" LONG, @ 6" O.C. ON EDGE AND 6" O.C. IN FIELD.
- D SIMPSON STRAP BRACING SPANNING DIAGONALLY ACROSS THE GARAGE CEILING. STRAP TO BE NAILED TO UNDERSIDE OF EACH CEILING JOIST AND EXTEND OVER THE WALL PLATES AND DOWN AND AROUND CORNER STUDS TO ENSURE MIN. (10) 16d NAILS SECURE EACH END.

NOTES:

1. ADDITIONAL WINDBRACING ADDED BY CONTRACTOR IS ACCEPTABLE TO THE ENGINEER.
2. ENGINEER HAS DESIGNED WINDBRACING ONLY.
3. CONTINUOUS TOP PLATE OR DETAIL 12/WB3.
4. OSB NOTED ON PLAN TO BE CONTINUOUS FROM BOTTOM PLATE TO TOP PLATE OF THE FLOOR ON WHICH IT IS INDICATED.

LEGENDS:

- 2-PLY DRAG STRUT
- REF. DETAIL SHEET
- (SW) - SHEAR WALL LINE
- (BW A) - BRACED WALL LINE

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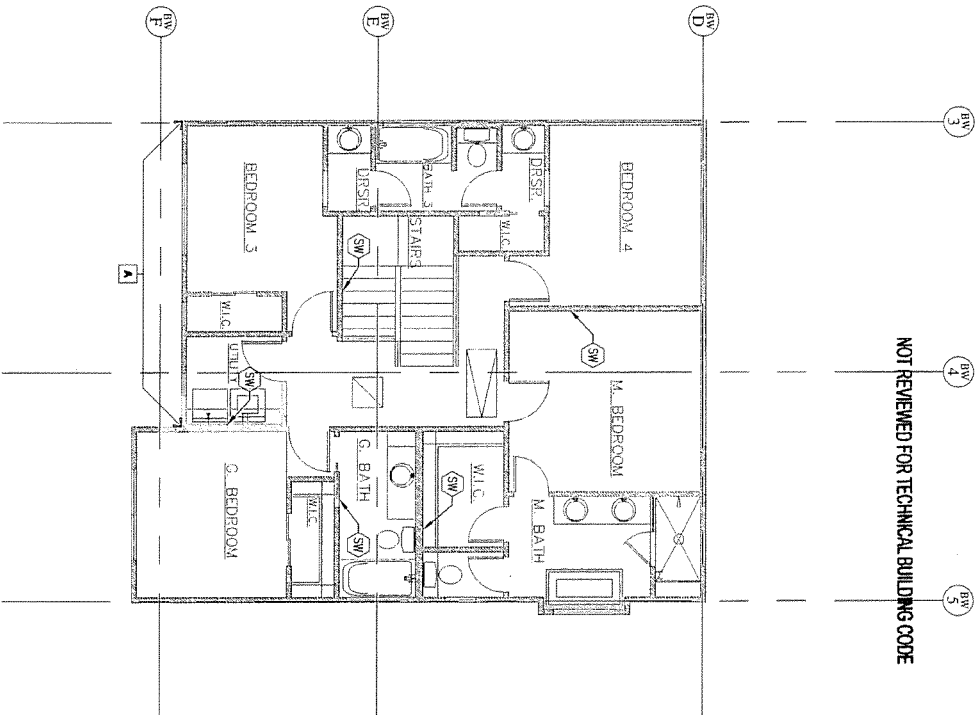
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2ND FLOOR

WINDBRACING PLAN

SCALE: 1/8" = 1'-0"

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WINDBRACING PLAN

WB-2

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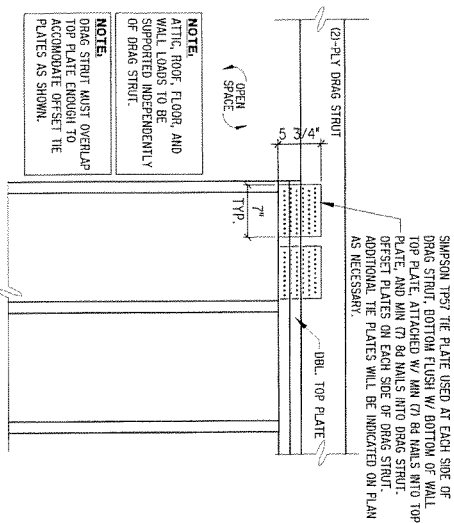
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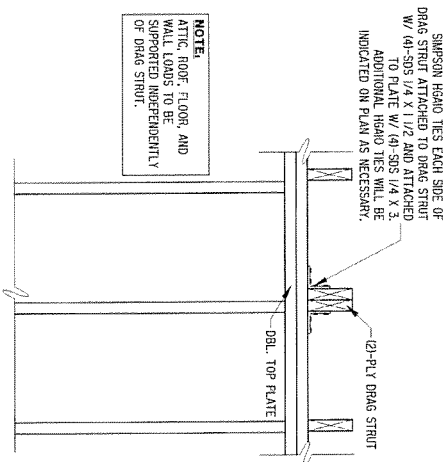
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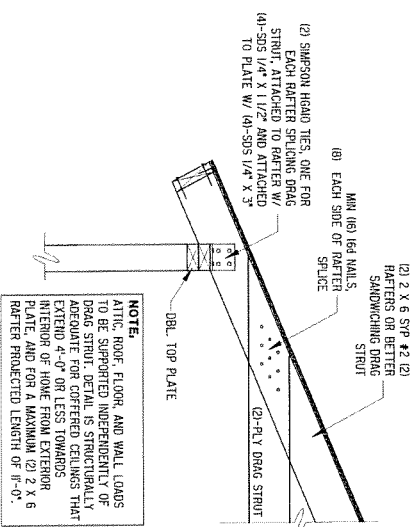
CHARLES MARTIN HOMES
2910 RIO GRANDE
LOT 6 BLOCK 3
AUSTIN, TEXAS



1
**PARALLEL CONNECTION
DRAG STRUT TO WALL**
SCALE: 3/4" = 1'-0"

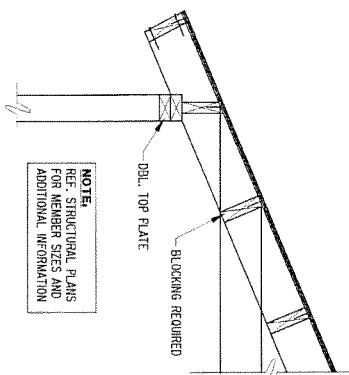


2
**PERPENDICULAR CONNECTION
DRAG STRUT TO WALL**
SCALE: 3/4" = 1'-0"

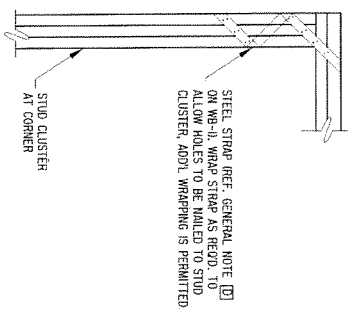


3
DRAG STRUT TO RAFTERS
SCALE: 3/4" = 1'-0"

NOT REVIEWED FOR TECHNICAL BUILDING CODE



4
**COFFERED
CEILING BLOCKING**
SCALE: 3/4" = 1'-0"



5
**STRAP AT
NARROW GARAGE WALL**
SCALE: 3/4" = 1'-0"

NOTE:
THE DETAILS SHOWN ON THIS SHEET ARE GENERIC IN NATURE. ALL DETAILS MAY NOT APPLY. SEE WB-1 FOR SPECIFIC REFERENCES TO DETAILS.



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WINDBRACING DETAILS

ALL DIMENSIONS ARE THE SOLE RESPONSIBILITY OF THE ARCHITECT. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS PRIOR TO THE START OF CONSTRUCTION, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

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