

F.A.R. CALCULATIONS

1st FLOOR GROSS AREA	1747
2nd FLOOR GROSS AREA**	1147
CARPORT EDITION	239
*EXIST. 1-CAR GARAGE (attached)	248
*Subtract 200.0 for attached parking	-200
TOTAL GROSS FLOOR AREA	3181
TOTAL GROSS GROSS AREA OF LOT	8452
FLOOR AREA RATIO (max. 0.4% of lot area)	37.64%

**2nd FLR GROSS AREA INCLUDES 53# AT STAIRS W/ CLG. HT. ABV. 15' ABV. LOWER FLOOR

BUILDING COVERAGE

LOT SQ. FT.	8452 = 100.0%
1st FLOOR COND. AREA	1747
UPPER FLOOR CANTILEVER	26
CARPORT	239
1-CAR GARAGE (attached)	248
COV. PORCH	164
COV. PATIO	189
SHED (EXIST.)	130

TOTAL BUILDING COVERAGE 2743 = 32.5%

IMPERVIOUS COV.

TOTAL BUILDING COV.	2743
DRIVEWAY	454
FRONT WALKS & STEPS	183
A/C PADS	18

TOTAL IMPERV. COVERAGE 3372 = 39.9%

FRONT YARD IMPERVIOUS COV.

TOTAL FRONT YARD AREA	1624
FRONT YARD DRIVEWAY	300
COV. PORCH & EXISTING BLDG.	114
FRONT WALKS & STEPS	173

FRONT YARD IMPERV. COVERAGE 587 = 36.2%

NOTES:

PROVIDE POSITIVE DRAINAGE AWAY FROM HOUSE AROUND ENTIRE STRUCTURE

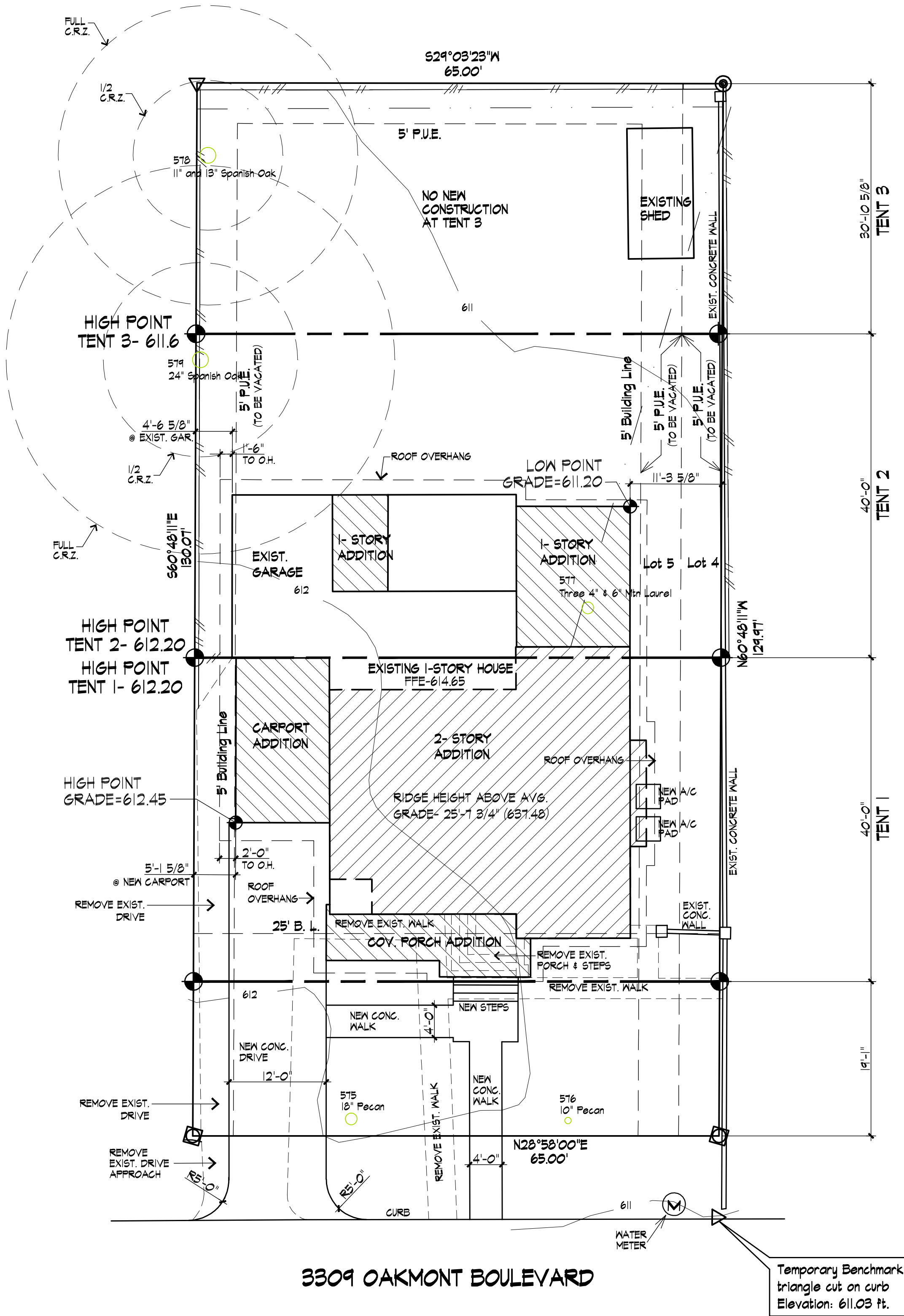
FINISHED GRADES AS CALLED ON PLAN ARE APPROXIMATE AND SHOULD BE VERIFIED WITH ARCHITECTURAL AND ENGINEERING PLANS.

LEGAL DESCRIPTION

BRYKER WOODS
SECTION E
BLOCK 2
LOT 3 & N 5' OF LOT 4
3309 OAKMONT BOULEVARD



SITE PLAN



3309 OAKMONT BOULEVARD

Temporary Benchmark
triangle cut on curb
Elevation: 611.03 ft.

ADS JOB NUMBER
87214

PRELIMINARY REVIEW DATE:
10-27-14 11-14-15 3-10-15
4-14-15 4-17-15

RELEASE DATE:

REVISIONS:

ADDITION & RENOVATION
3309 OAKMONT

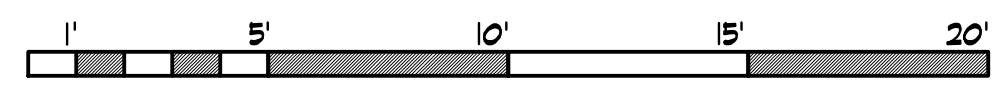
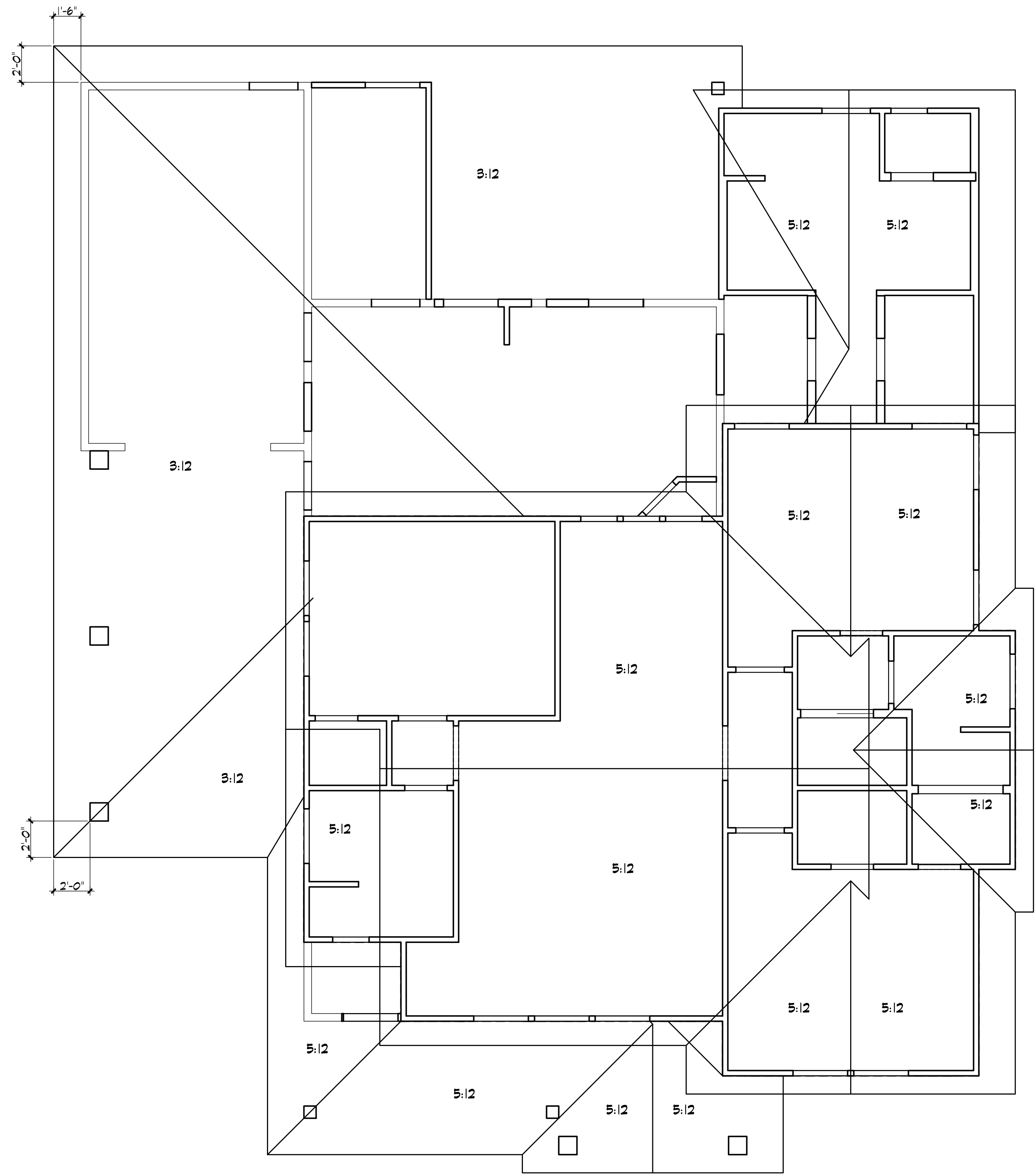
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DIRECTORY:
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1 of 7

HOLT CARSON, INC.
1904 FORTVIEW ROAD
AUSTIN, TX 78704
(512) 442-0990



ROOF PLAN

SCALE: 1/4" = 1'-0"

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PRELIMINARY REVIEW DATE:		
10-27-14	1-14-15	3-10-15
4-14-15	4-17-15	

RELEASE DATE:

REVISIONS:

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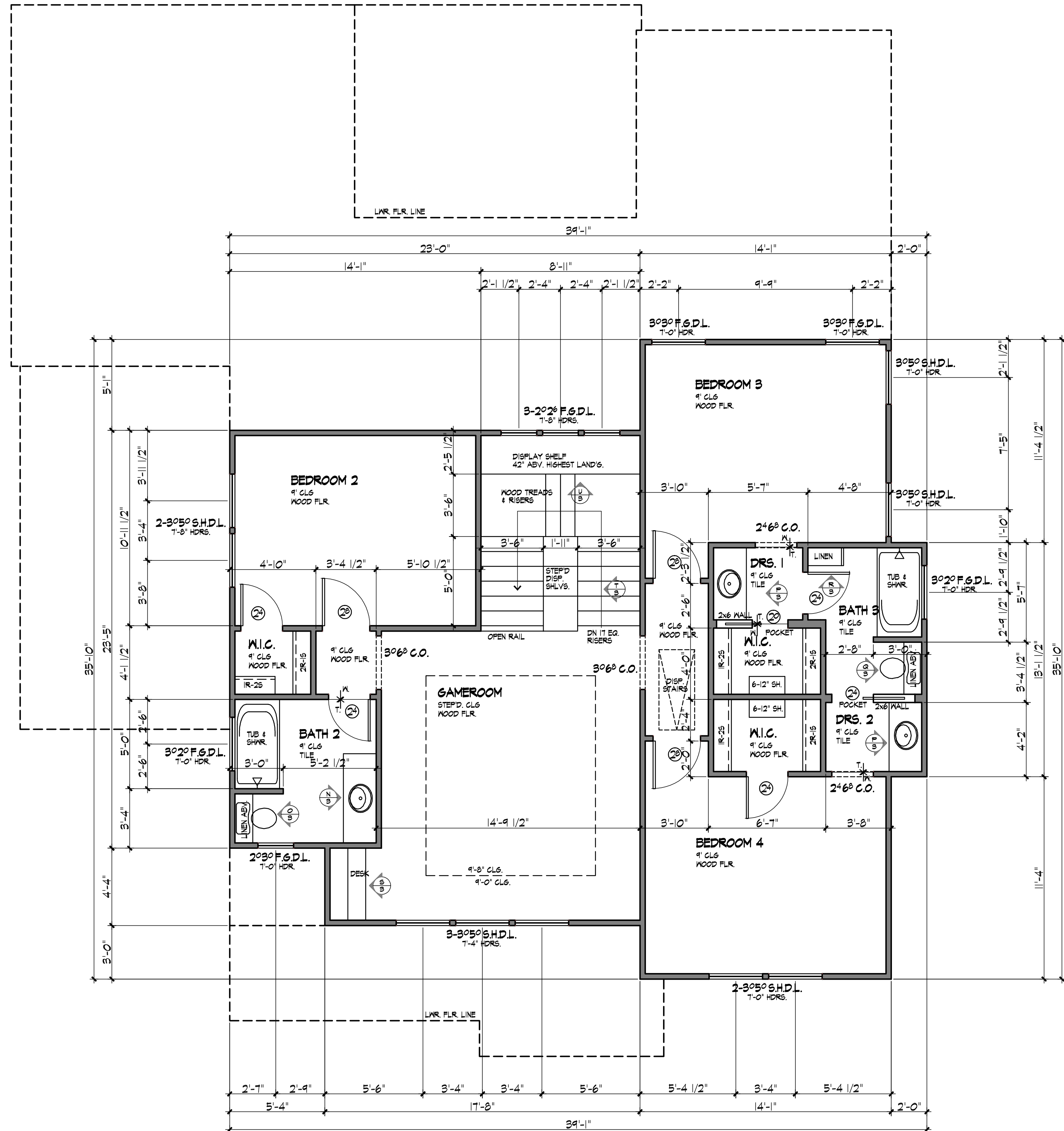
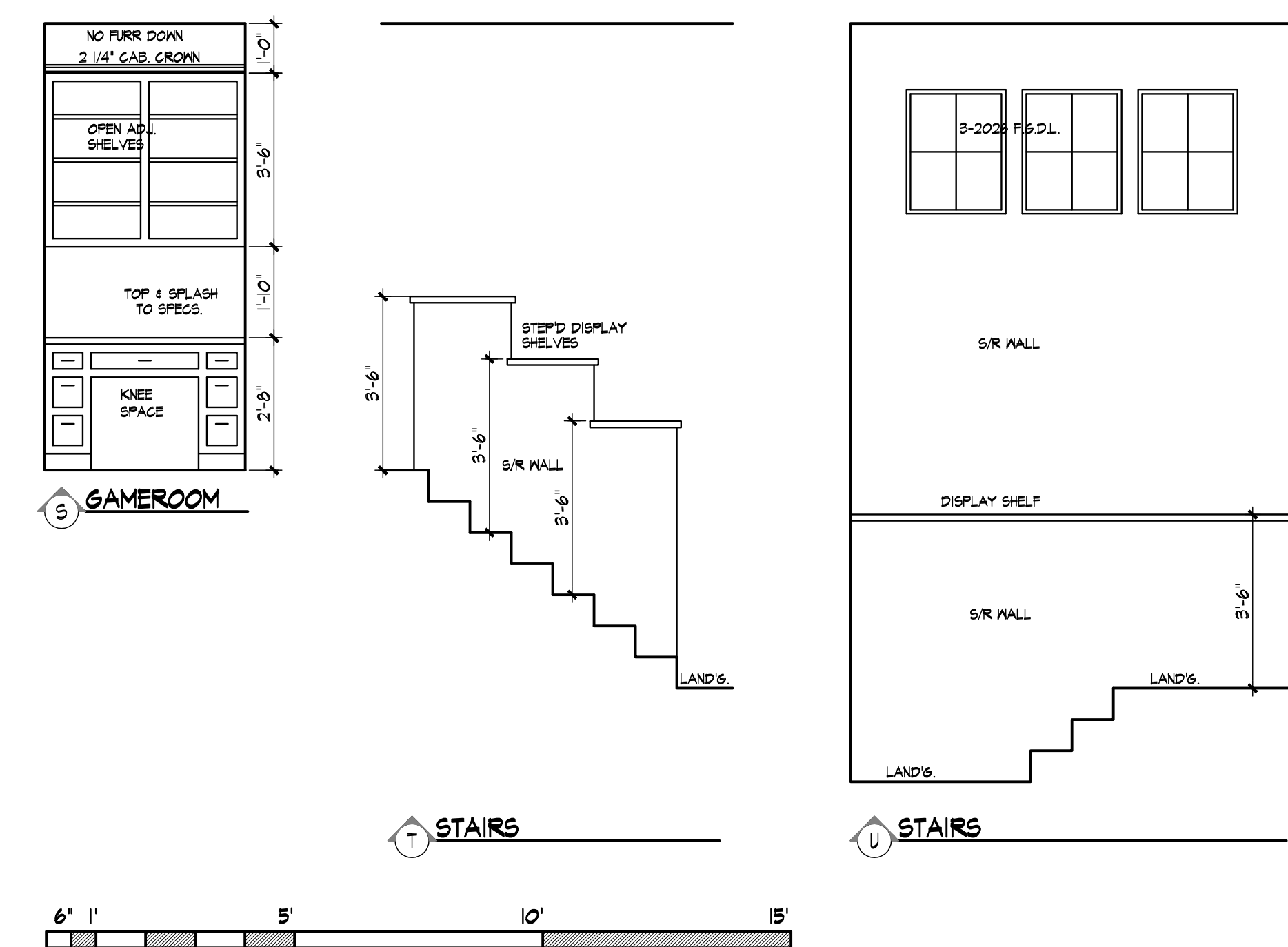
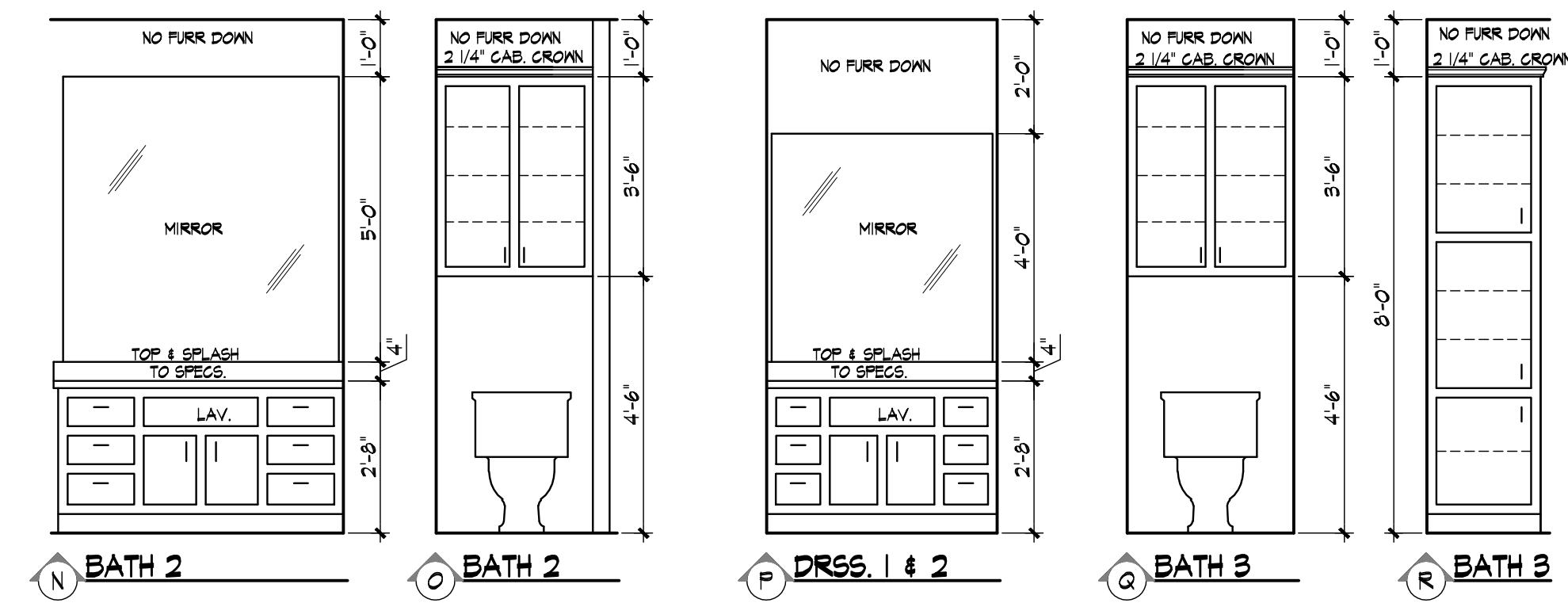
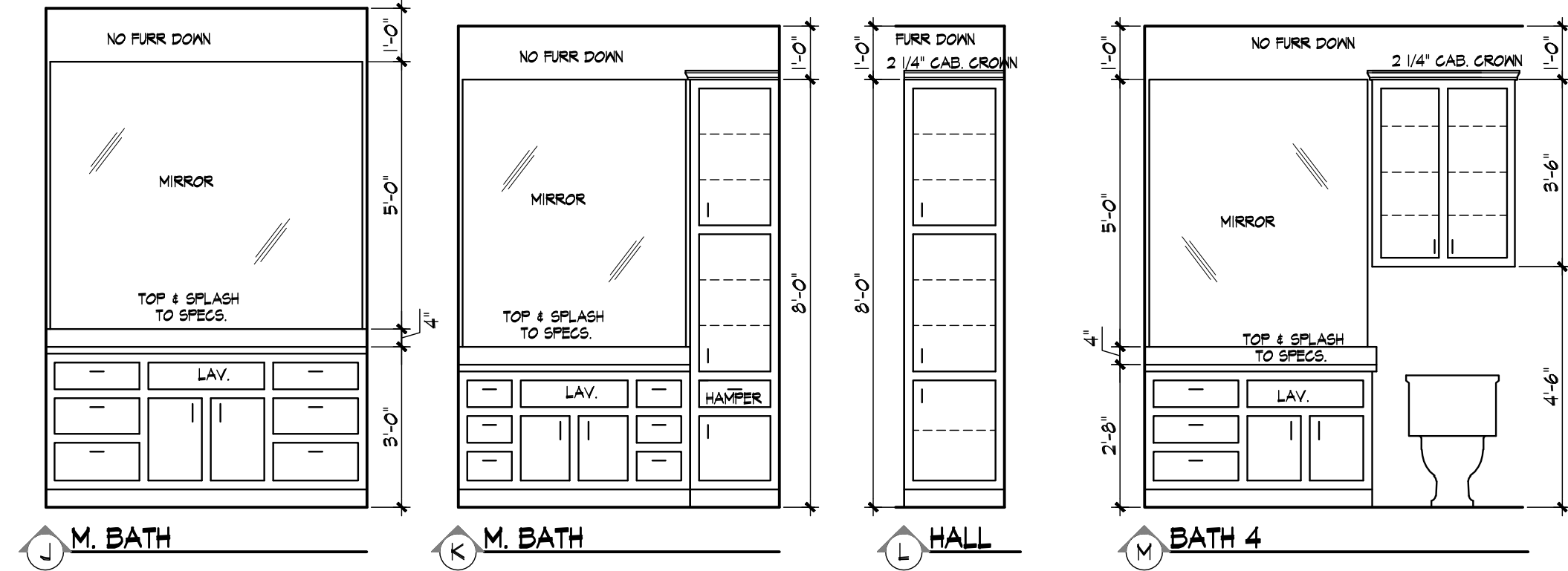
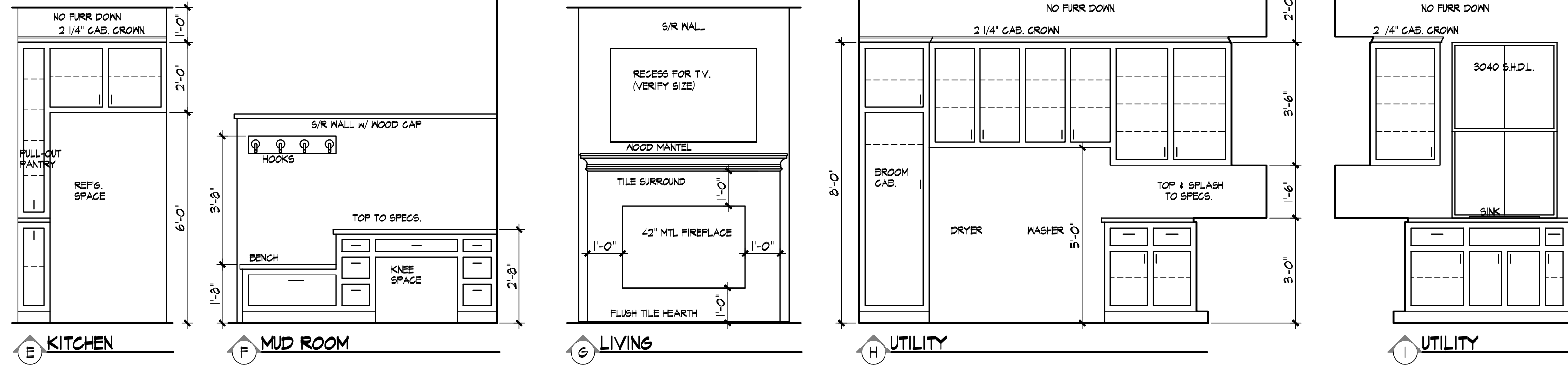
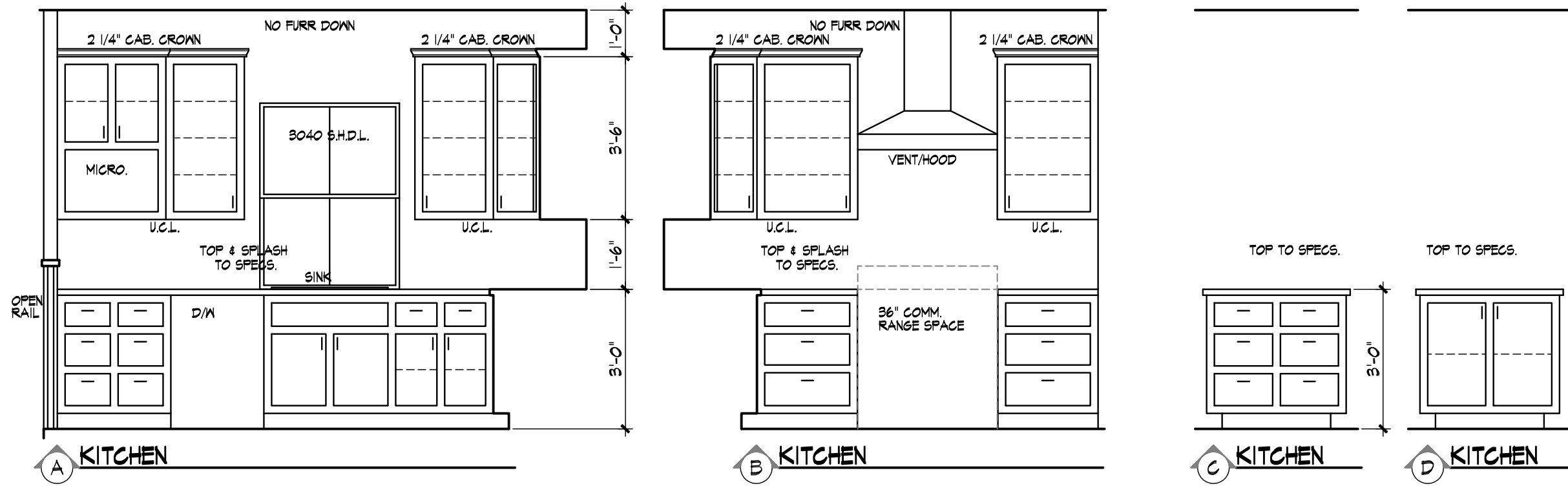
ADDITION & RENOVATION
3309 OAKMONT

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CABINET & INTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"

UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: ALL INTERIOR DOORS @ UPPER FLOOR TO BE 6'-8" TALL
: ALL SHOWER HEADS TO BE 7'-0" A.F.F.
: 1 - HVAC UNIT @ ATTIC ABV. BATH 3

ADS JOB NUMBER
87214

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4-14-15 4-17-15

RELEASE DATE:

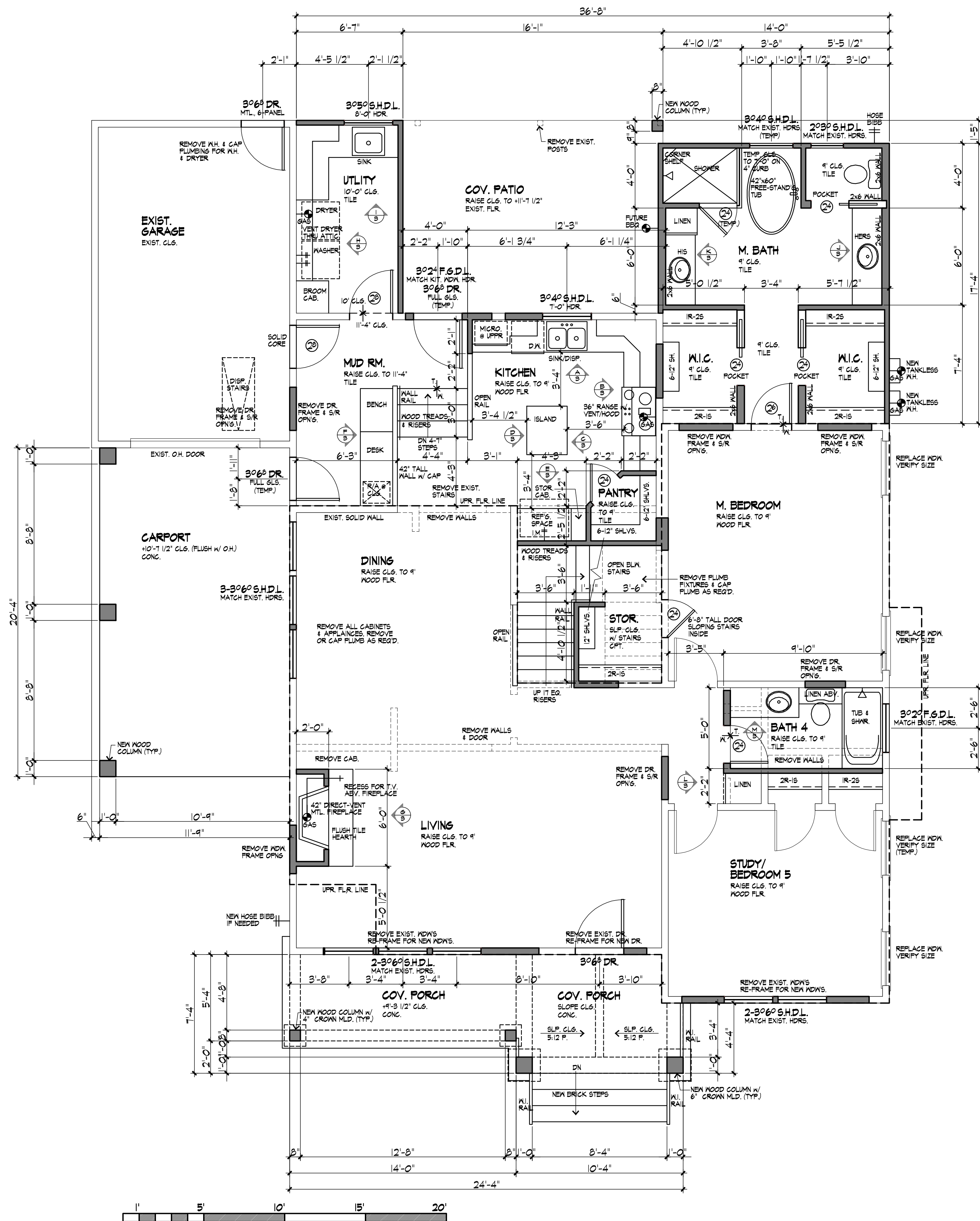
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LOWER FLOOR PLAN

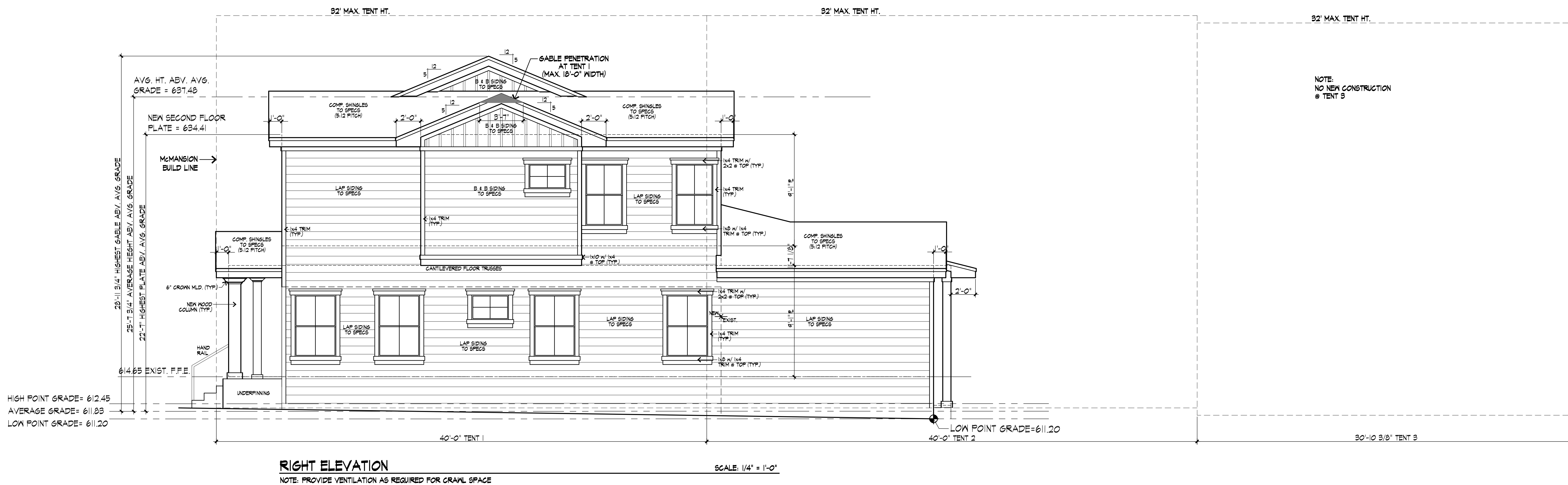
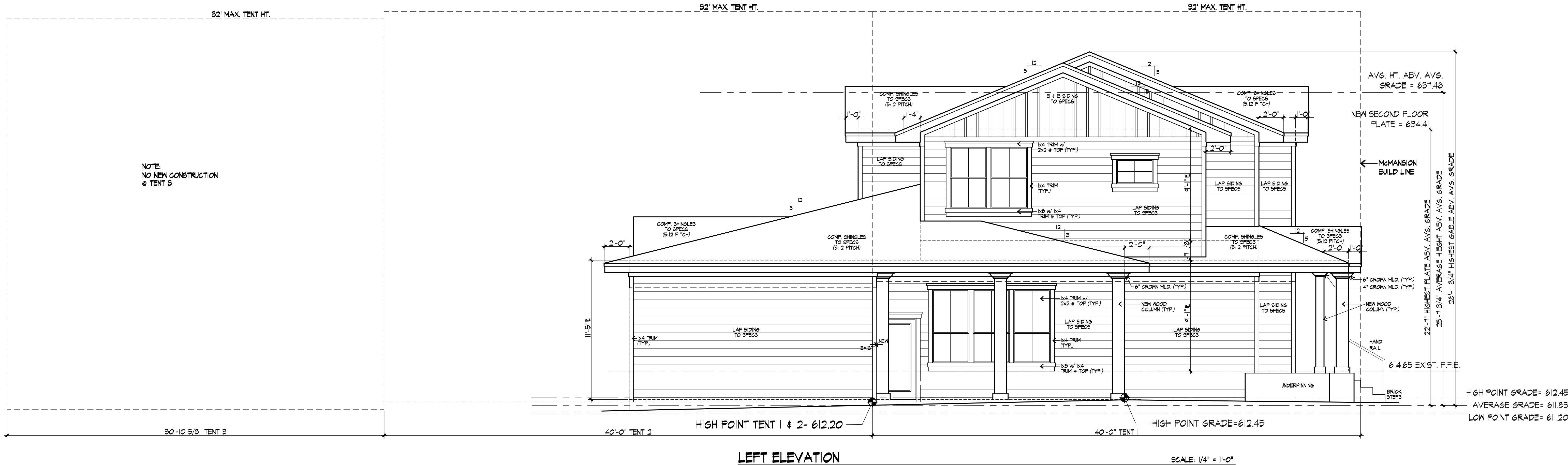
NOTE :ALL INTERIOR DOORS TO MATCH EXISTING DOOR HT'S
:ALL SHOWER HEADS TO BE 7'-0" A.F.F.
:1-H.V.A.C. UNIT @ ATTIC ABV. MUD ROOM
:VERIFY ALL DIMENSIONS TO EXISTING WALLS
:WALLS ARE SHOWN 5" TO DRYWALL, NOT FRAMING.
PLAN WAS FIELD MEASURED. FIELD VERIFY BEFORE CONSTRUCTION.

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE (APPROXIMATE)			
ITEM	EXIST.	NEW	TOTAL
LOWER LIVING	1418	329	1747
UPPER LIVING	-	1094	1094
TOTAL LIVING	-	-	2841
COVERED PORCH	-	164	164
EXIST. GARAGE	248	-	-
CARPORT ADDITION	-	239	239
NEW FOUNDATION	-	732	732

LEGEND

- NEW MASONRY VENEER
- NEW FRAME WALL
- EXISTING FRAME WALL
- EXISTING WALL, MASONRY, CAB, ETC., TO BE REMOVED



ADS JOB NUMBER
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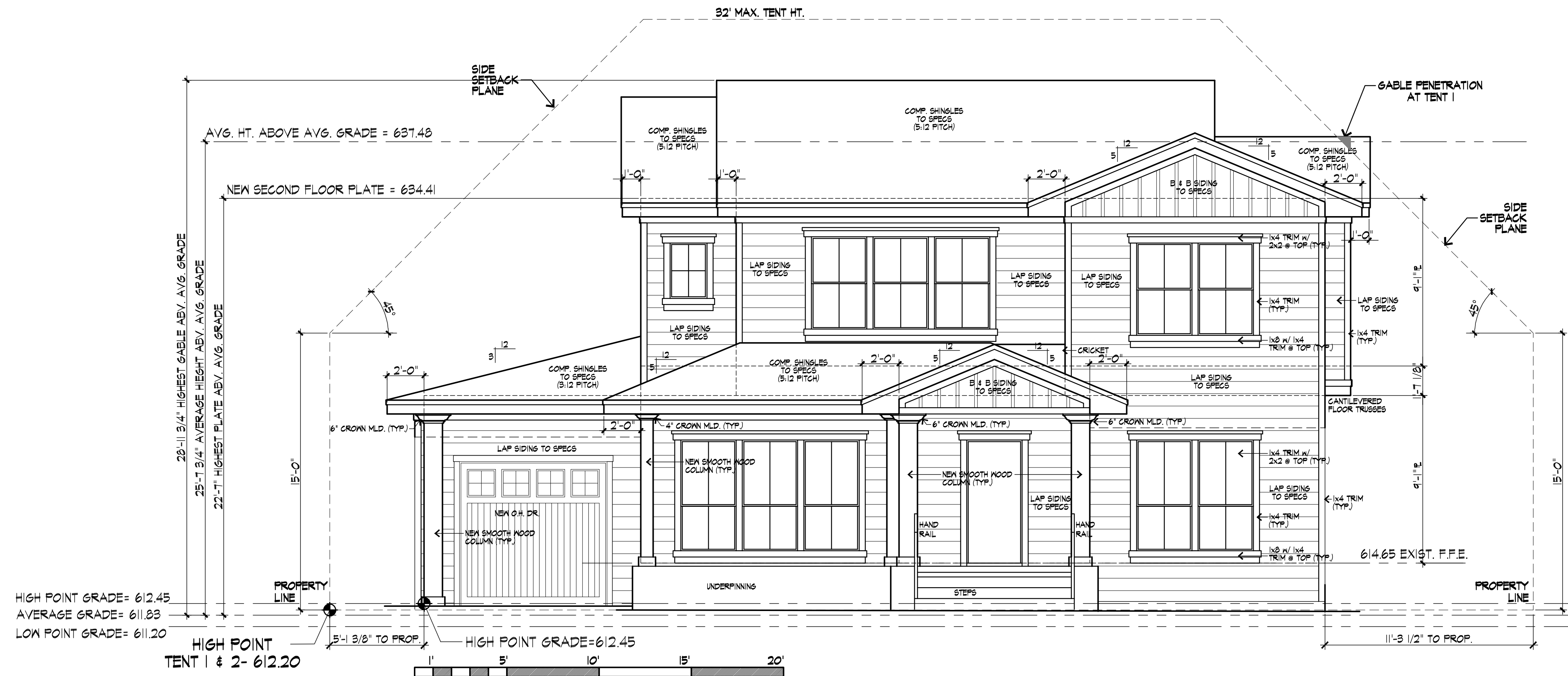
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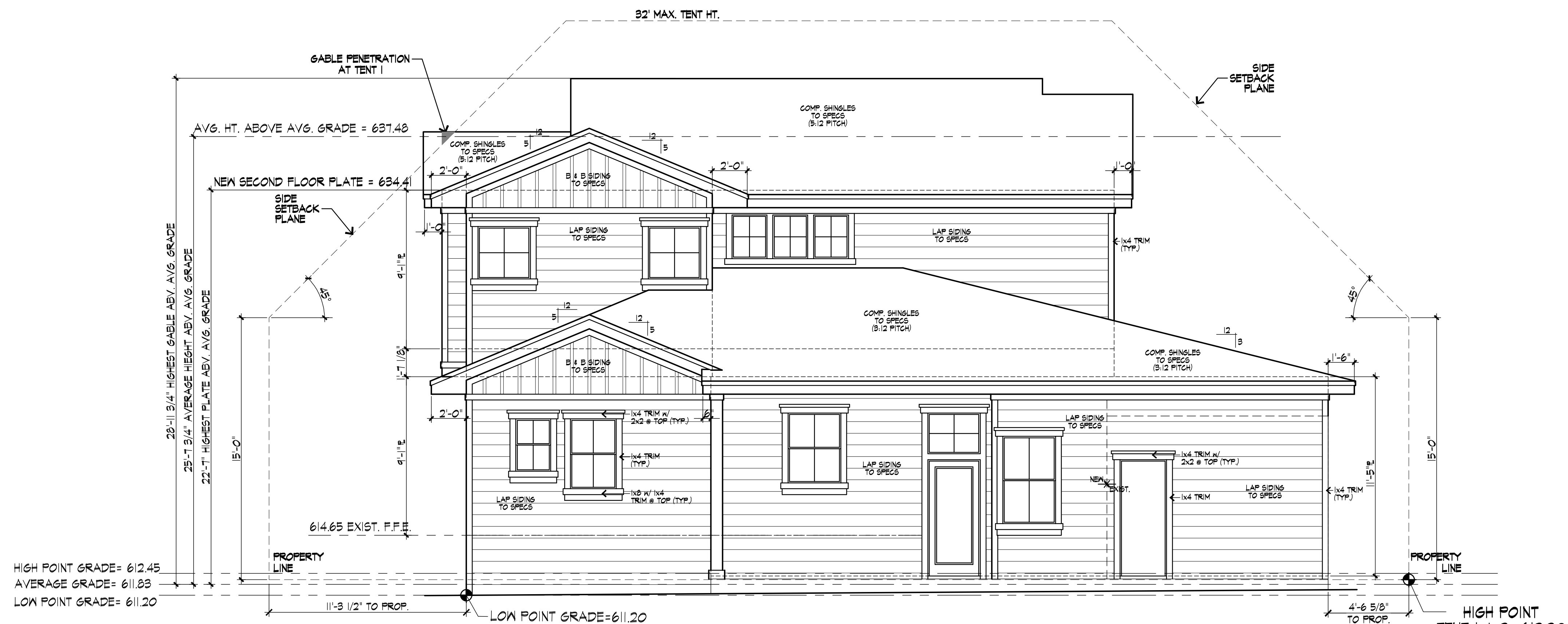
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87214ELEV.DWG



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: ATTIC VENTILATION TO COMPLY WITH I.R.C. BUILDING CODES
CURRENT EDITION.
: ROOF, SIDING & TRIM MATERIALS & COLORS TO MATCH EXIST. HOUSE
: PROVIDE VENTILATION AS REQUIRED FOR CRAWL SPACE



REAR ELEVATION

SCALE: 1/4" = 1'-0"







