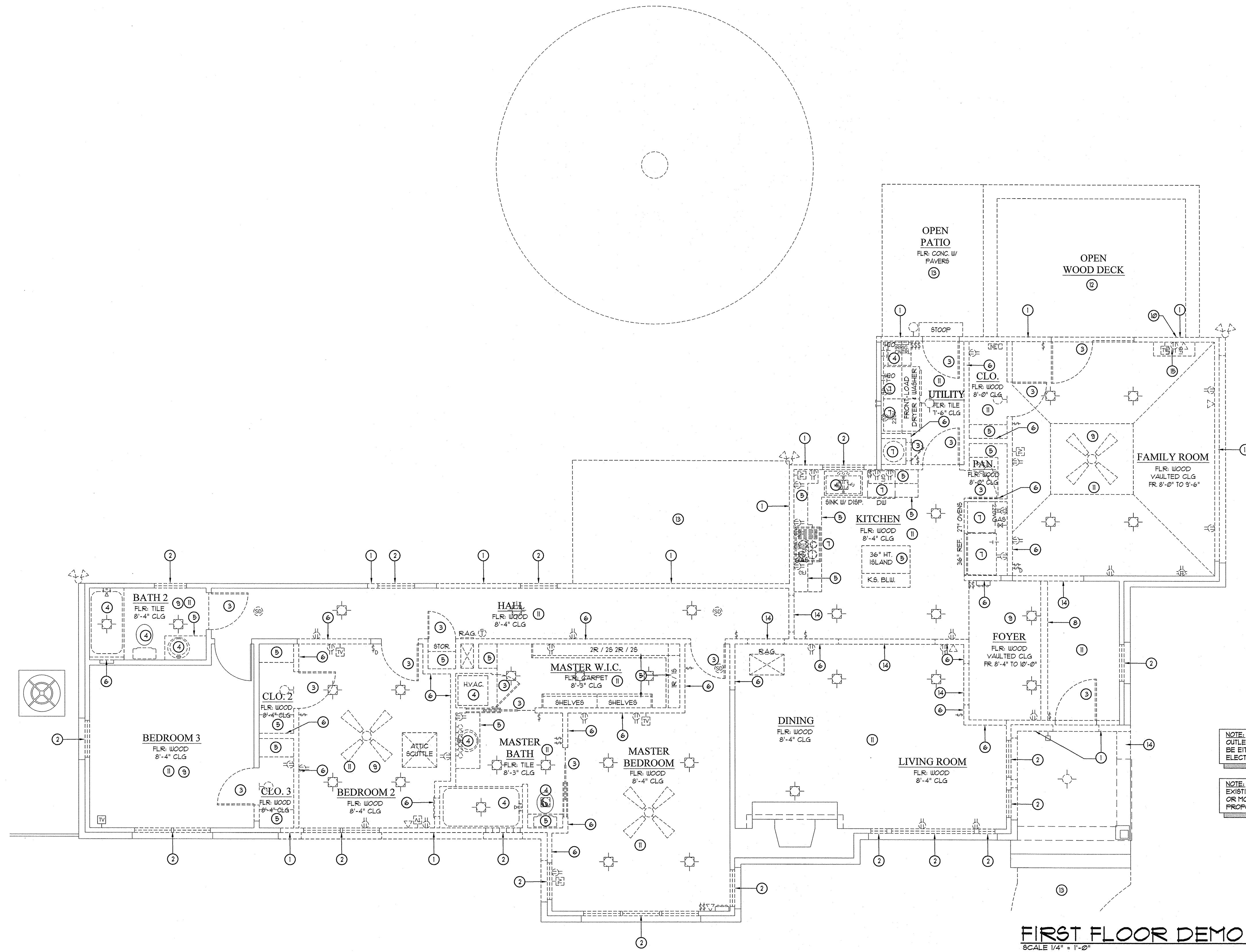




- GENERAL DEMOLITION NOTES:**
- 10 REMOVE ALL WALLS, DOORS, AND WINDOWS PER DEMOLITION PLANS (STORE DOORS FOR POSSIBLE RE-USE / SALVAGE)
 - 20 REMOVE ALL AFFECTED ELECTRICAL PER DEMOLITION PLANS. REMOVE ALL NON-REMAINING WIRING & CAP OFF ABOVE CEILING. REMOVE ALL NON-REMAINING ELEC. OUTLETS, PHONE JACKS, ETC. (STORE FOR POSSIBLE RE-USE / SALVAGE)
 - 30 REPLACE ALL DAMAGED SHEETROCK TO REMAIN. TAPE, FLOAT, & TEXTURE TO MATCH EXISTING.
 - 40 REMOVE ALL NON-REMAINING CABINETS & ASSOCIATED FIXTURES (STORE FOR POSSIBLE RE-USE / SALVAGE)
 - 50 REMOVE ALL NON-REMAINING LIGHTING & CAP OFF AFFECTED WIRING. (STORE LIGHTING FOR POSSIBLE RE-USE / SALVAGE)
 - 60 CAP OFF ALL NON-REMAINING PLUMBING.
 - 70 REMOVE ALL NON-REMAINING R/A GRILLS & OTHER HVAC COMPONENTS. REPOSITION AS NEEDED.

- DEMOLITION KEY NOTES:**
- 1 DEMOLISH EXISTING EXTERIOR WALL, OR A PORTION THEREOF, AT THIS LOCATION. REMOVE ALL STUDS, SHEETROCK, FINISHES, VENEERS, ELECTRICAL, ETC. SHORE UP STRUCTURE.
 - 2 REMOVE EXISTING WINDOW AT THIS LOCATION AND SALVAGE FOR OWNER'S STOCKPILE.
 - 3 REMOVE EXISTING DOOR AT THIS LOCATION AND SALVAGE FOR OWNER'S STOCKPILE.
 - 4 REMOVE EXISTING PLUMBING FIXTURE AT THIS LOCATION.
 - 5 REMOVE EXISTING CABINETS AND/OR MILLWORK AT THIS LOCATION. PATCH & REPAIR SURFACES AS REQUIRED.
 - 6 DEMOLISH INTERIOR WALL, OR A PORTION THEREOF, AT THIS LOCATION, INCLUDING STUDS, SHEETROCK, BASE AND ELECTRICAL. PATCH AND REPAIR SURFACES AS REQUIRED.
 - 7 REMOVE EXISTING APPLIANCE AT THIS LOCATION. SALVAGE FOR OWNER'S STOCKPILE.
 - 8 REMOVE EXISTING DECORATIVE BEAM AT CEILING.
 - 9 REMOVE EXISTING CEILING AT THIS SPACE.
 - 10 REMOVE EXISTING POWER LOOP ON EXTERIOR OF HOUSE.
 - 11 REMOVE EXISTING FLOORING IN THIS AREA.
 - 12 REMOVE EXISTING WOOD DECK.
 - 13 REMOVE EXISTING CONCRETE PATIO, PAD, OR WALK.
 - 14 REMOVE EXISTING FURR-DOWN / HEADER AT SHEET ROCK OR CASSED OPENING.
 - 15 REMOVE MINI-SPLIT HVAC UNIT. SALVAGE UNIT FOR RE-USE AT NEW APARTMENT. REFER TO SECOND FLOOR PLAN.

NOTE: ALL EXISTING POWER INCLUDING ELECTRICAL OUTLETS, GAS STUBS, SWITCHES AND LIGHT FIXTURES TO BE EITHER REMOVED OR MODIFIED. REFER TO ELECTRICAL PLANS FOR MORE INFO.

NOTE: ROOM NAMES AND NOTES SHOWN ARE THAT OF EXISTING ROOMS THAT ARE BEING EITHER DEMOLISHED OR MODIFIED. REFER TO FLOOR PLANS FOR NEW PROPOSED ROOM NAMES AND NOTES.

FIRST FLOOR DEMO PLAN

SCALE 1/4" = 1'-0"

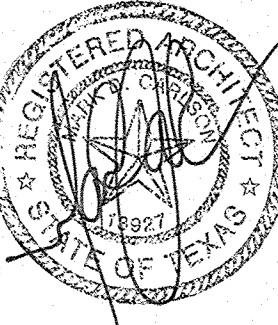
DEMO LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED

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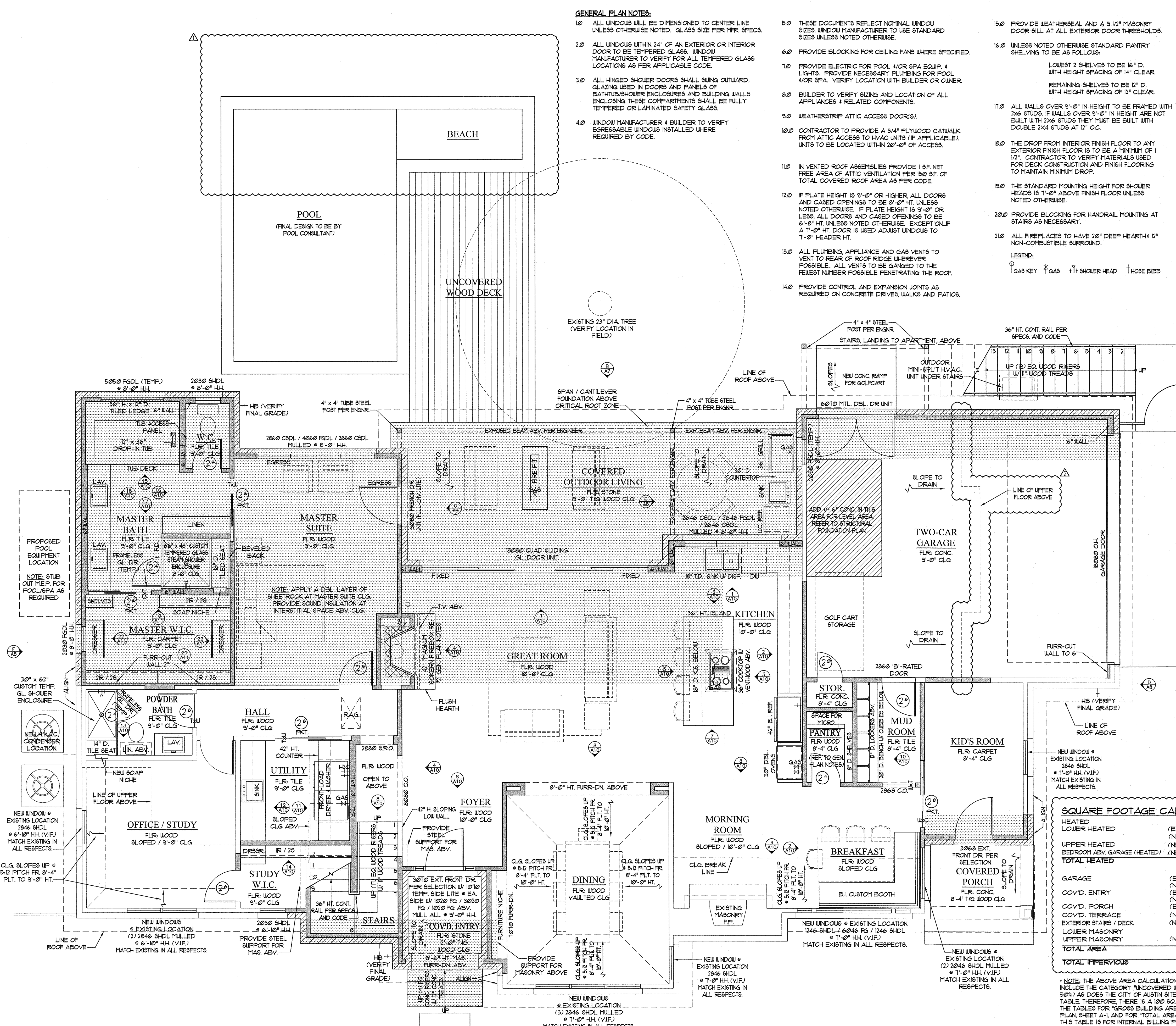
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KORIOTH RESIDENCE REMODEL

SHEET A-2 2 of 13

PROJECT NO. 14159
DRAWN BY: CM
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PROJECT MGR: CM



GENERAL PLAN NOTES:

- 1. ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
- 2. ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- 3. ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. GLAZING USED IN DOORS AND PANELS OF BATHTUB/SHOWER ENCLOSURES AND BUILDING WALLS ENCLOSING THESE COMPARTMENTS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
- 4. WINDOW MANUFACTURER + BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- 5. THESE DOCUMENTS REFLECT NOMINAL WINDOW SIZES. WINDOW MANUFACTURER TO USE STANDARD SIZES UNLESS NOTED OTHERWISE.
- 6. PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- 7. PROVIDE ELECTRIC FOR POOL 4/0R SPA EQUIP. 4 LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL 4/0R SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
- 8. BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES + RELATED COMPONENTS.
- 9. WEATHERSTRIP ATTIC ACCESS DOOR(S).
- 10. CONTRACTOR TO PROVIDE A 3/4" FLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
- 11. IN VENTED ROOF ASSEMBLIES PROVIDE 1 SF. NET FREE AREA OF ATTIC VENTILATION PER 150 SF. OF TOTAL COVERED ROOF AREA AS PER CODE.
- 12. IF PLATE HEIGHT IS 9'-0" OR HIGHER, ALL DOORS AND CASED OPENINGS TO BE 8'-0" HT. UNLESS NOTED OTHERWISE. IF PLATE HEIGHT IS 9'-0" OR LESS, ALL DOORS AND CASED OPENINGS TO BE 6'-8" HT. UNLESS NOTED OTHERWISE. EXCEPTION: IF A 1'-0" HT. DOOR IS USED ADJUST WINDOWS TO 7'-0" HEADER HT.
- 13. ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GAUGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- 14. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.

GENERAL PROJECT NOTES:

- 1. THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL, CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- 2. ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- 3. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- 4. ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (512)488-1563.
- 5. WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE ARCHITECT IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS 4/0R SPECS.
- 6. PORTIONS OF THIS WORK MAY NOT HAVE BEEN DRAWN BY A REGISTERED ARCHITECT.
- 7. THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS ARCHITECT.
- 8. THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING 4/0R WATERPROOFING.
- 9. THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
- 10. ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.
- 11. ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
- 12. ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
- 13. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- 14. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
- 15. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 16. ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
- 17. THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
- 18. THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- 19. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
- 20. IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE ARCHITECT OR OWNER BEFORE PROCEEDING WITH THE WORK.
- 21. CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.

SQUARE FOOTAGE CALCS.

HEATED LOWER HEATED	(EXISTING)	1449#
UPPER HEATED	(NEW)	804#
BEDROOM ABV. GARAGE (HEATED)	(NEW)	173#
TOTAL HEATED		2844#
GARAGE	(EXISTING)	441#
COV'D. ENTRY	(EXISTING)	22#
COV'D. PORCH	(NEW)	41#
COV'D. TERRACE	(NEW)	61#
EXTERIOR STAIRS / DECK	(NEW)	330#
LOWER MASONRY	(NEW)	122#
UPPER MASONRY	(NEW)	11#
TOTAL AREA		4545#
TOTAL IMPERVIOUS		3488#

* NOTE: THE ABOVE AREA CALCULATION TABLE DOES NOT INCLUDE THE CATEGORY "UNCOVERED WOOD DECK" (+ 806#) AS DOES THE CITY OF AUSTIN SITE/BLDG. AREA TABLE. THEREFORE, THERE IS A 100 SQ. FT. DIFFERENCE IN THE TABLES FOR "GROSS BUILDING AREA" ON THE SITE PLAN, SHEET A-1, AND FOR "TOTAL AREA" ON THIS ONE. THIS TABLE IS FOR INTERNAL BILLING PURPOSES ONLY.

WALL LEGEND

- EXISTING WALLS
- NEW FRAME WALLS
- NEW MASONRY VENEER
- HATCHING INDICATES AREAS OF NEW ADDITION AT 1ST FLOOR

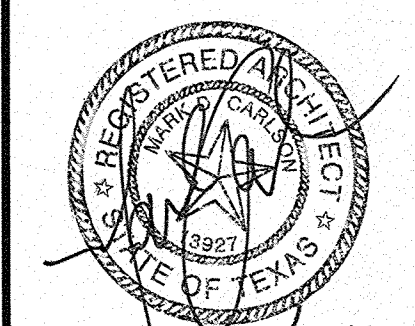
FIRST FLOOR NOTES PLAN

SCALE 1/4" = 1'-0"

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REVISION: 03/13/15 CM
Pool Revision per CoA
04/22/15 CM
- Plan Review Revisions



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SHEET A-3
3 of 13
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PROJECT MGR: CM



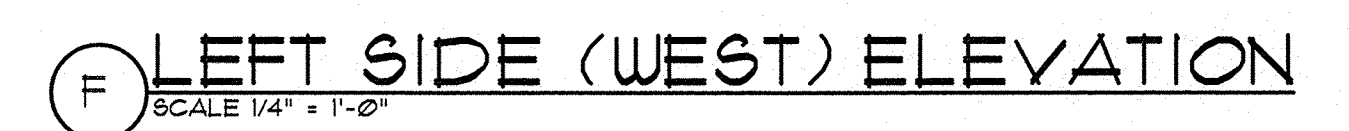
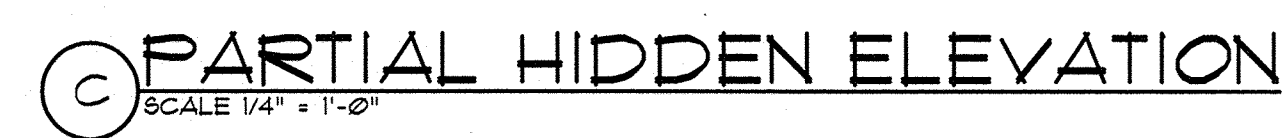
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4 of 13

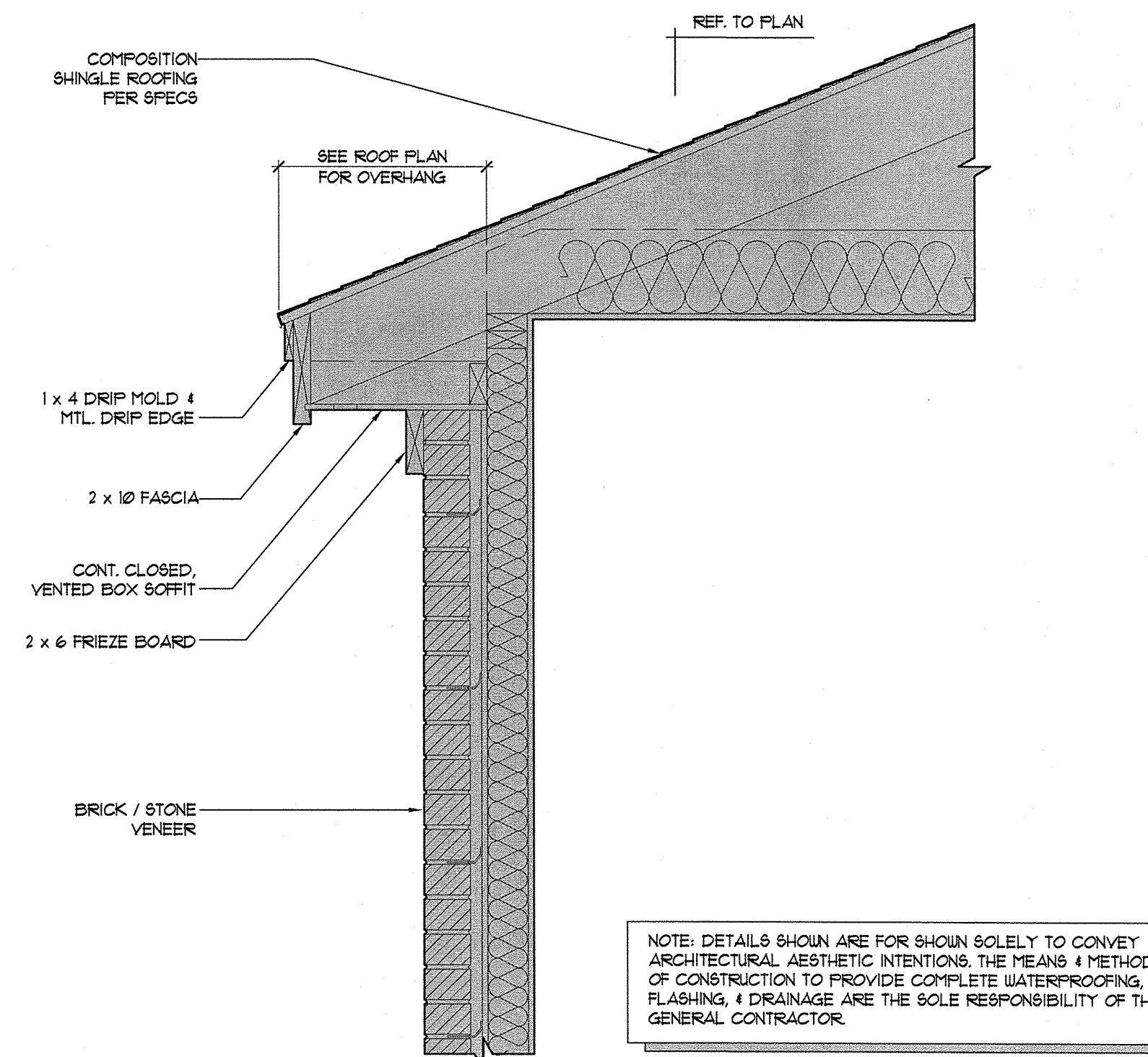
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PROJECT MGR: CM



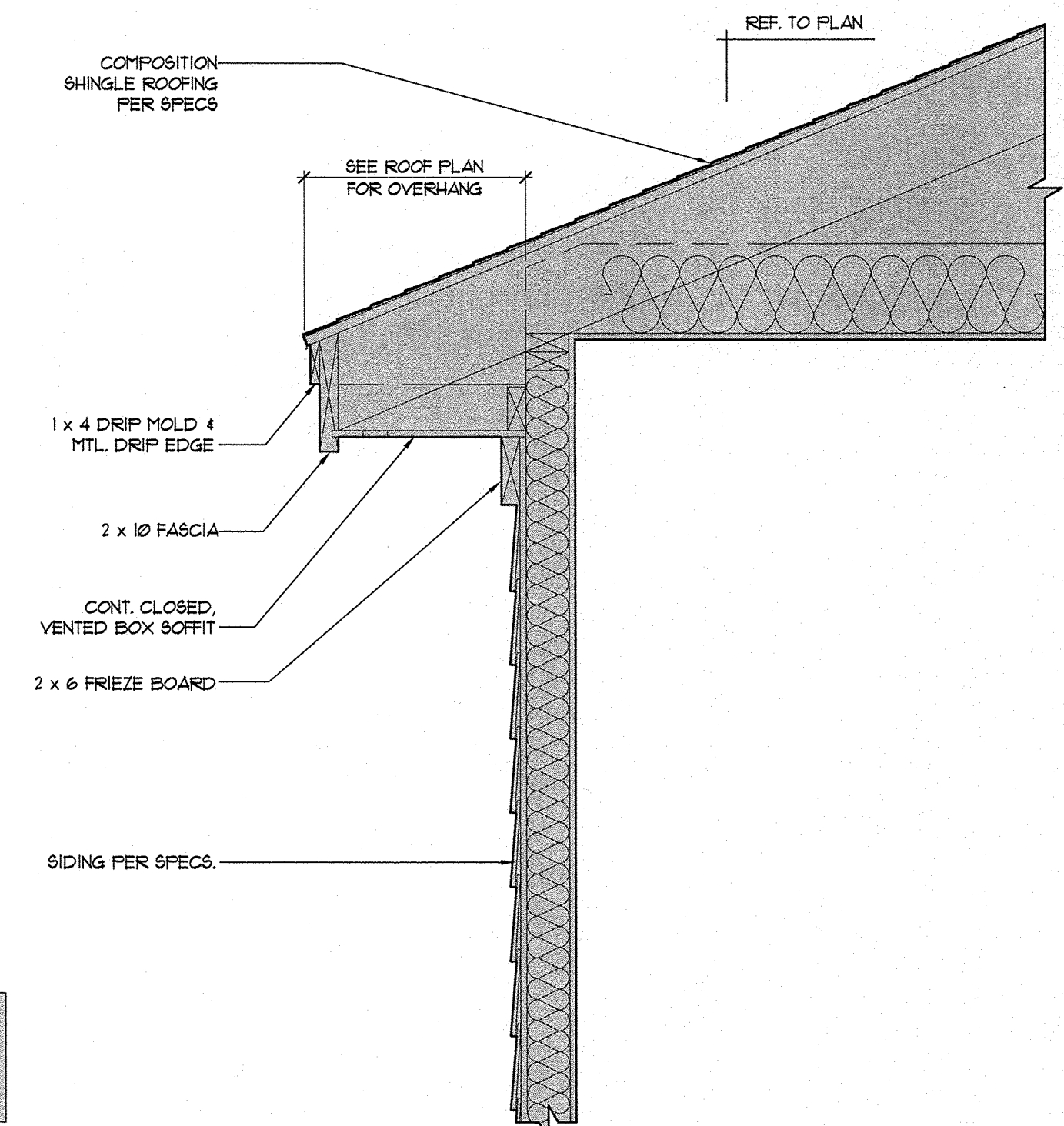


SCALE 1/4" = 1'-0"

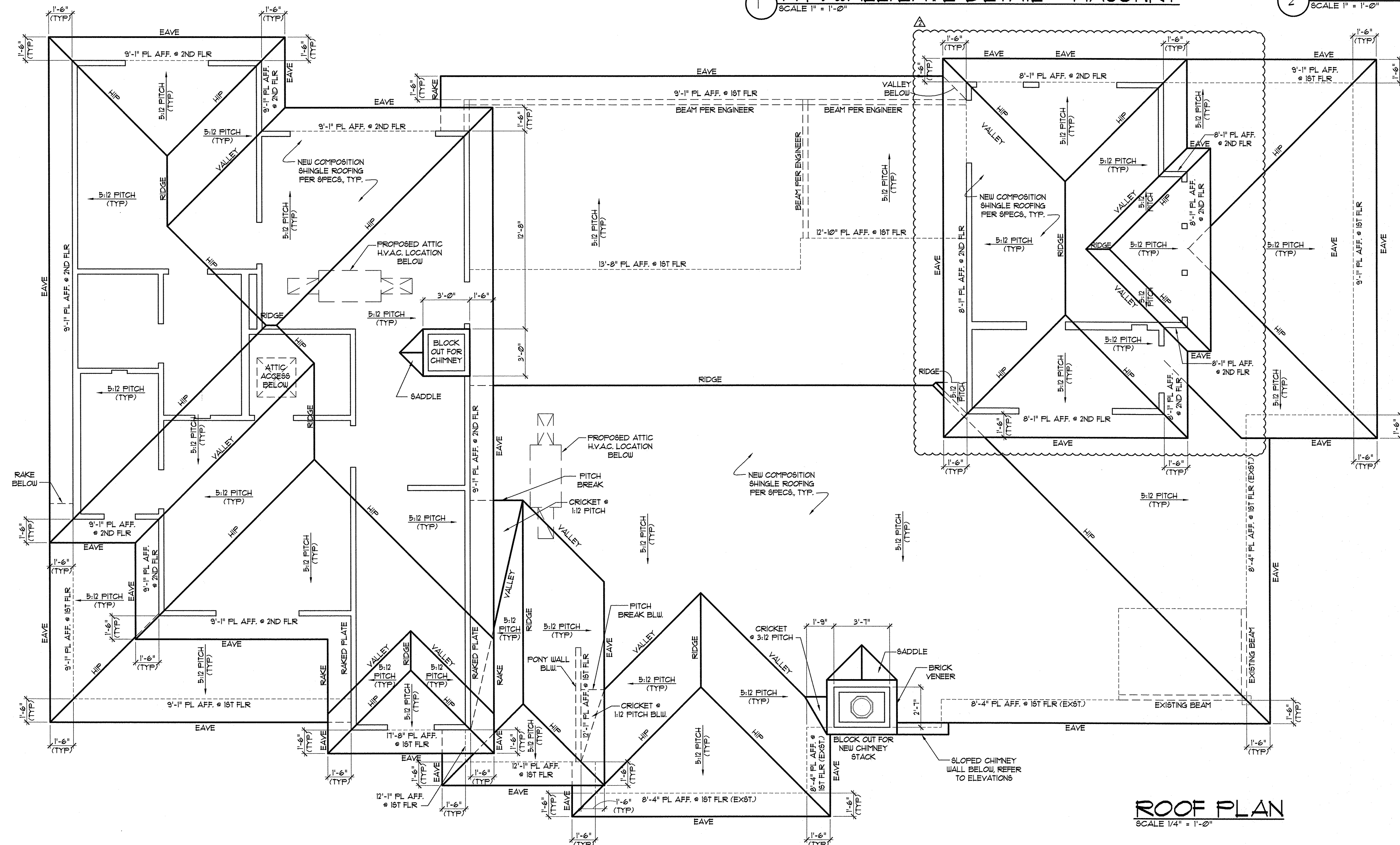




1 TYP. WALL/EAVE DETAIL - MASONRY
SCALE 1" = 1'-0"



2 TYP. WALL/EAVE DETAIL - SIDING
SCALE 1" = 1'-0"



ROOF PLAN
SCALE 1/4" = 1'-0"

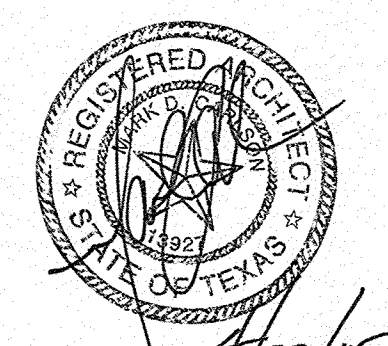
GENERAL ROOF NOTES:

- PITCHES TO BE AS NOTED ON PLANS.
- HIPS, VALLEYS & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS.
- ALL PLUMBING, AFFLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- ALL OVERHANGS TO BE 18" FROM THE FRAMEWALL UNLESS NOTED OTHERWISE.
- UNO. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
- ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
- WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
- ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
- BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.

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REVISION: 03/13/15 CM
- Pool Revision per CoA
04/22/15 CM
- Plan Review Revisions



KORIOTH RESIDENCE
REMODEL

SHEET
A-9
9 of 13

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