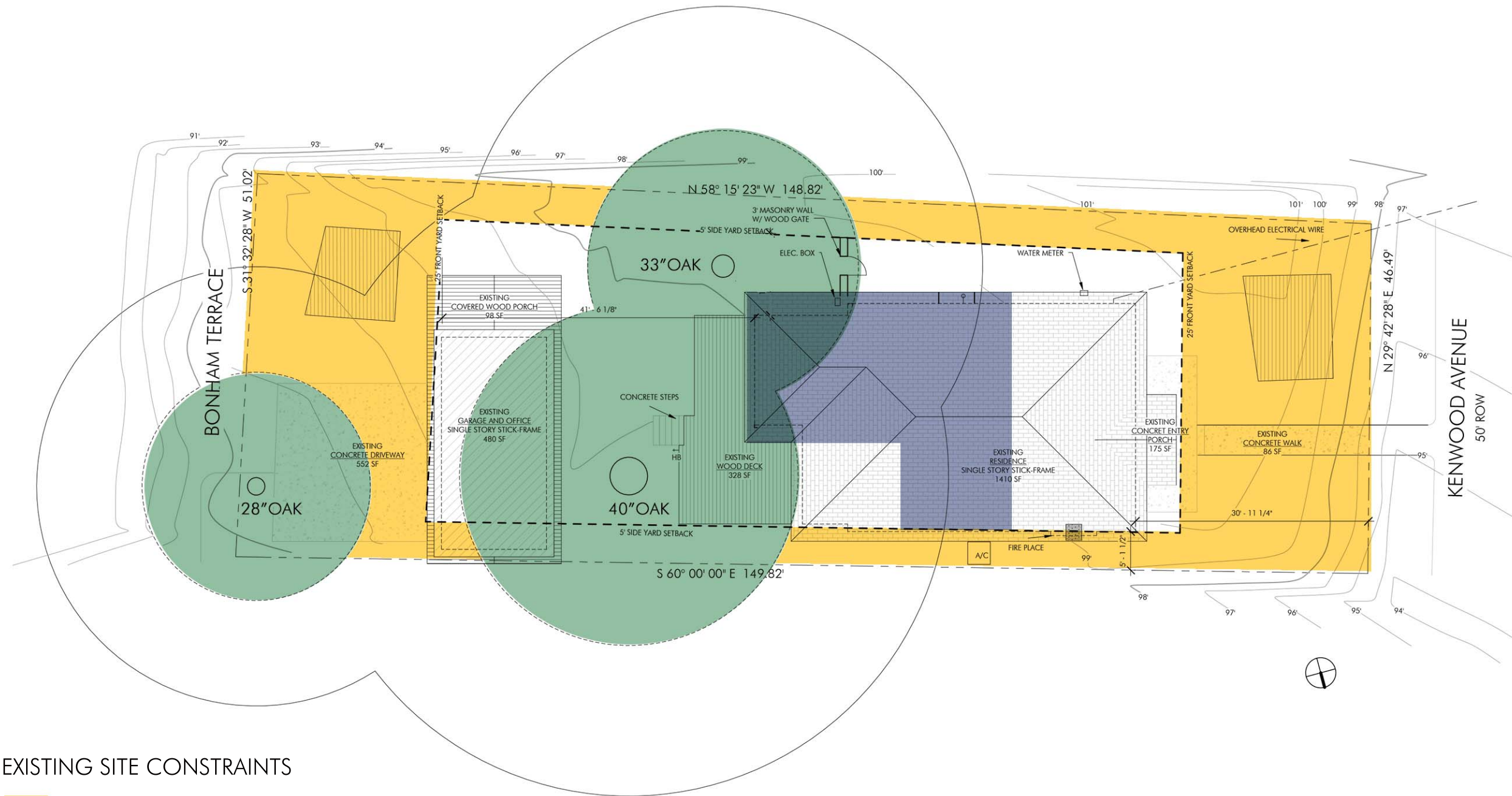




EXISTING SITE CONSTRAINTS

- SETBACK AREA
- CRITICAL ROOT ZONES
- PROPOSED 2ND-STORY ADDITION AT REAR OF EXISTING HOME

SITE PLAN
1/16" = 1'-0"



NORTH ELEVATION
1/8"=1'-0"



WEST ELEVATION
1/8"=1'-0"



SOUTH ELEVATION
1/8"=1'-0"



EAST ELEVATION
1/8"=1'-0"



VIEW OF PROPERTY FROM KENWOOD AVE
THIS HOUSE SITS HIGH ON THE PROPERTY AND AWAY FROM THE STREET.



FRONT DOOR AND PORCH
EXISTING FRONT DOOR AND PORCH TO REMAIN AS IS.



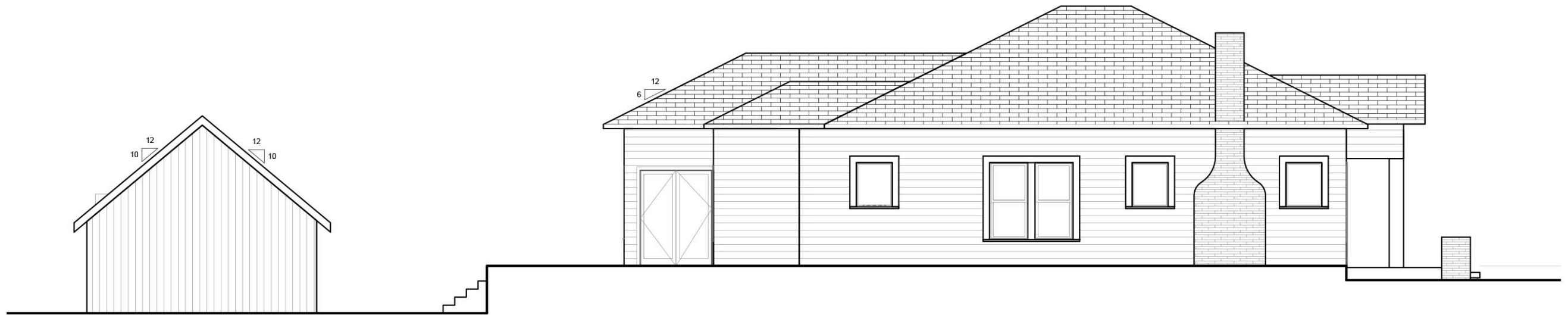
EXISTING BOARD AND BATTEN
IN KEEPING WITH THE EXISTING CHARACTER OF THE PROPERTY,
WE ARE PROPOSING TO USE THIS SAME FINISH ON THE ADDITION.



WINDOWS
WINDOWS AND TRIM ARE TO MATCH EXISTING
TO ADD CONSISTENCY TO THE PROJECT.



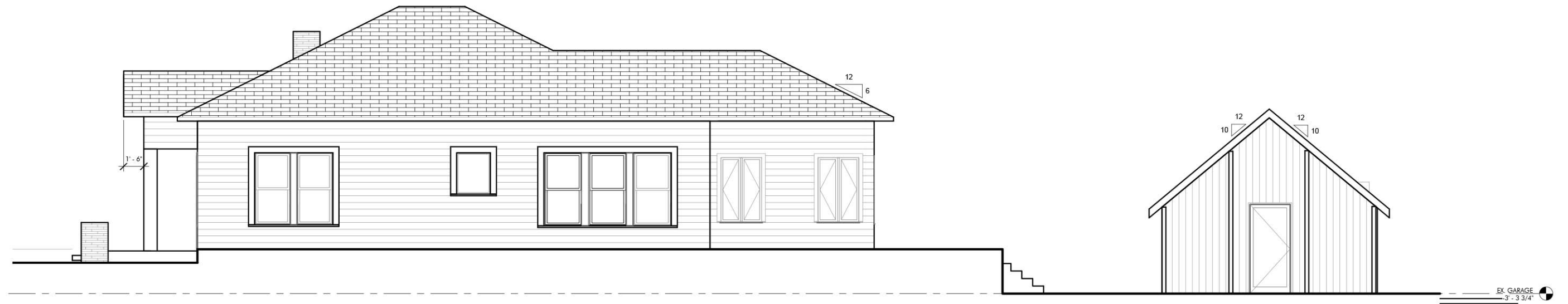
REAR ELEVATION
THE REAR ADDITION WILL UTILIZE THE EXISTING ARCHITECTURAL ELEMENTS.
SIMILAR SIDING, WINDOWS AND TRIM WILL ADD CONSISTENCY TO THE PROJECT.



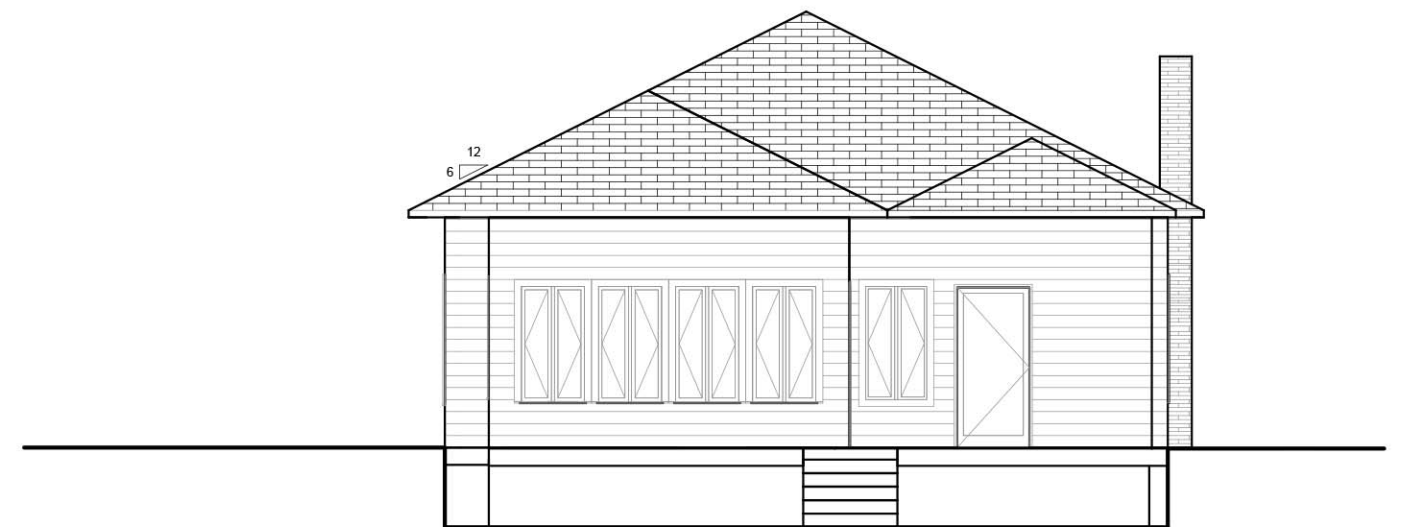
2 NORTH ELEVATION
1/4" = 1'-0"



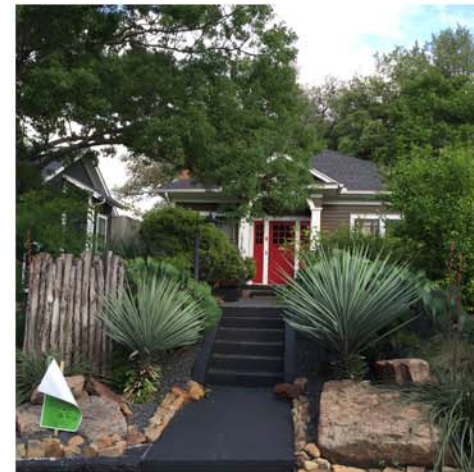
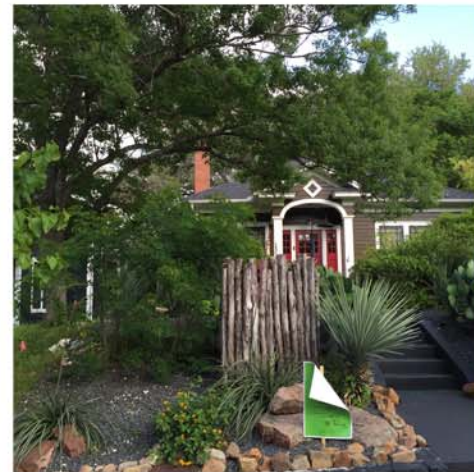
1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"





PROPOSED BUILDING PERSPECTIVES
REQUEST FOR LANDMARK STATUS

1315 KENWOOD AVENUE
LANDMARK COMMITTEE MEETING 4.27.2015



