

05-2016-0065

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THESE DRAWINGS ARE THE PROPERTY OF THE
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bartush
design

3303 HYCREEK DRIVE
AUSTIN, TEXAS 78723
TEL 512.415.3787

PROJECT

HUGHES RESIDENCE
ADDITION AND ALTERATIO NS
3303 WHITEPINE DRIVE
AUSTIN, TX 78757

REVISIONS

DATE ISSUED
01.26.15
SHEET TITLE
SITE PLAN
IMPERVIOUS
COVER
SHEET

AO.1

SHADED AREA
INDICATES EXISTING
ATTACHED GARAGE

COVERED
CONCRETE
CARPORT

BEARING BASIS
N 25°52'00" E 125.25' (125.31')

5'-3 3/4"

C.M.

CURB

EXISTING
CURB CUT TO
REMAIN

17'-0 1/2"

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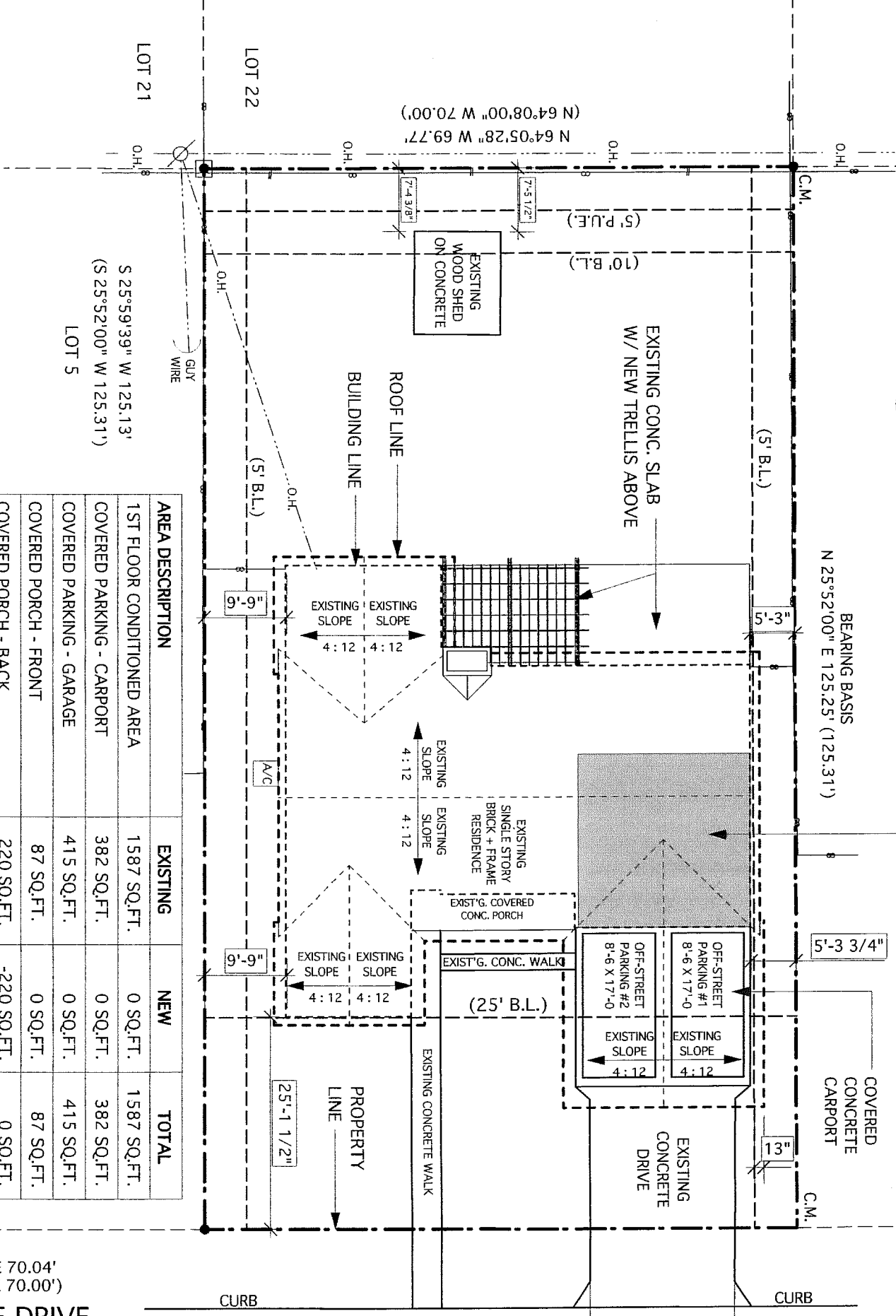
AO.1

LOT 3

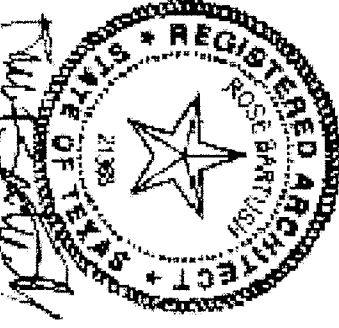


LOT 23

- LEGEND
- POWER POLE
 - OVERHEAD ELECTRIC
 - RIGHT OF WAY
 - CONTROL MONUMENT
 - PER PLAT
 - PUBLIC UTILITY EASEMENT
 - BUILDING LINE
 - WOOD FENCE
 - CHAIN LINK FENCE
 - 1/2" CAPED REBAR SET
 - 1/2" REBAR FOUND
- OH
R.O.W.
C.M.
()
P.U.E.
B.L.
//
- - -
- - -



S 63°59'39" E 70.04'
(S 64°08'00" E 70.00')
WHITEPINE DRIVE
(50' R.O.W.)



03.16.15

1
AO.1
SITE PLAN
Scale 1/16" = 1'-0"

3303 WHITEPINE DRIVE
LOT FOUR (4)
BLOCK B
ALLANDALE PARK SEC 9
AUSTIN, TRAVIS COUNTY,
TEXAS

AREA DESCRIPTION	EXISTING	NEW	TOTAL
1ST FLOOR CONDITIONED AREA	1587 SQ.FT.	0 SQ.FT.	1587 SQ.FT.
COVERED PARKING - CARPORT	382 SQ.FT.	0 SQ.FT.	382 SQ.FT.
COVERED PARKING - GARAGE	415 SQ.FT.	0 SQ.FT.	415 SQ.FT.
COVERED PORCH - FRONT	87 SQ.FT.	0 SQ.FT.	87 SQ.FT.
COVERED PORCH - BACK	220 SQ.FT.	-220 SQ.FT.	0 SQ.FT.
SHED	125 SQ.FT.	0 SQ.FT.	125 SQ.FT.
TOTAL BUILDING COVERAGE	2816 SQ.FT.	-220 SQ.FT.	2596 SQ.FT.
DRIVEWAY	289 SQ.FT.	0 SQ.FT.	289 SQ.FT.
AC PAD	9 SQ.FT.	0 SQ.FT.	9 SQ.FT.
CONC. FLATWORK	354 SQ.FT.	220 SQ.FT.	574 SQ.FT.
TOTAL SITE COVERAGE	3468 SQ.FT.	0 SQ.FT.	3468 SQ.FT.
SITE AREA = 8,918.71			
BUILDING COVERAGE = 29.11%			
IMPERVIOUS = 38.88%			
FAR = 25.89%			



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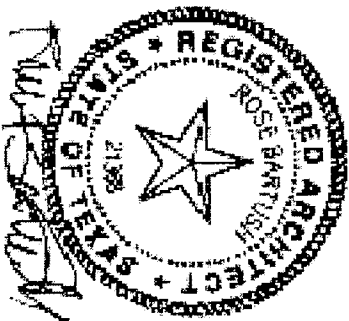
REVISIONS

DATE ISSUED
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SHEET TITLE
DEMOLITION PLAN

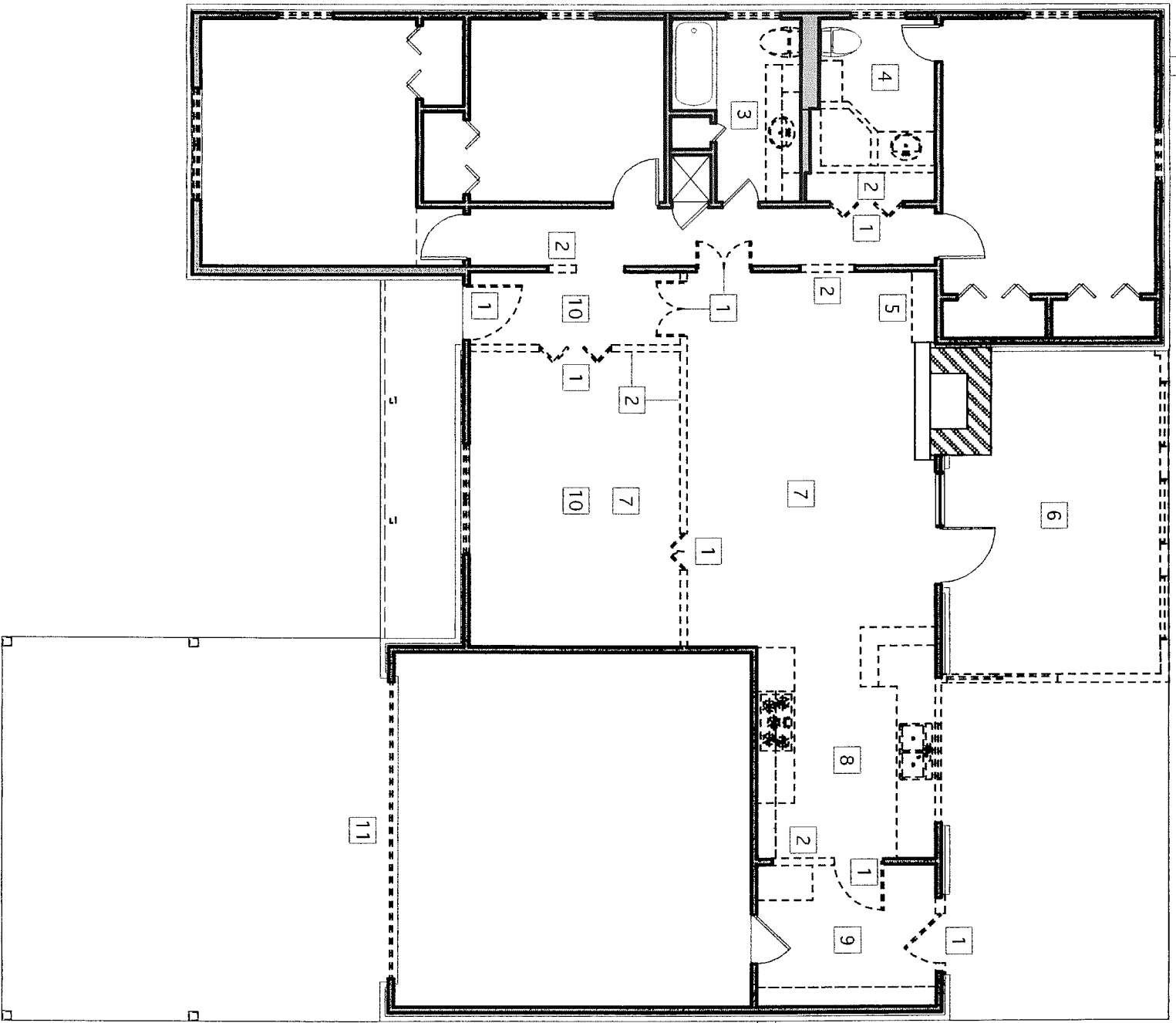
SHEET

A1.0



03.16.15

- 1 EXISTING DOOR(S) TO BE REMOVED
 - 2 REMOVE WALL OR PORTION OF WALL INDICATED BY DASHED LINES
 - 3 REMOVE FLOORING, WALL PAPER, TILE @ TUB / SHOWER SURROUND, TOILET, VANITY BASE CABINET INCLUDING BOWL + FAUCET, WOOD VALENCE + LIGHT ABOVE SINK, WALL HUNG CABINETS, WALL MIRROR, SHOWER PLUMBING FIXTURES, CABINETS + FLUR DOWN OVER TUB, SHOWER DOORS AND FRAME + CEILING FAN.
NOTE: DO NOT REMOVE BUILT-IN LINEN CABINET TO LEFT OF TUB.
 - 4 REMOVE FLOORING, WALL PAPER, TILE @ SHOWER, CURB, DOOR + FRAME AND FLUR DOWN ABOVE SHOWER. REMOVE BUILT-IN LINEN CABINET, VANITY BASE CABINET INCLUDING BOWL AND FAUCET, WALL MIRROR, UPPER CABINET AND WALL LIGHT.
 - 5 REMOVE EXISTING BUILT-IN
 - 6 REMOVE EXISTING UNCONDITIONED ROOM INCLUDING ROOF STRUCTURE. RETAIN SLAB.
 - 7 REMOVE SHEET ROCK CEILING @ LIVING / DINING - ROOM TO BE VAULTED SEE STRUCTURAL.
 - 8 REMOVE ALL BASE + UPPER CABINETS, APPLIANCES, PLUMBING FIXTURES AND FLOORING.
 - 9 REMOVE ALL BUILT-IN CABINETS, APPLIANCES AND FLOORING AND WATER HEATER SALVAGE EXISTING WASHER FOR REUSE.
 - 10 REMOVE CEILING MOUNT LIGHT FIXTURE.
 - 11 EXISTING GARAGE DOOR TO BE REPLACED.
- GENERAL NOTES:
1. REMOVE ALL BASE BOARDS, INTERIOR DOOR TRIM, FLOORING AND WALLPAPER THROUGHOUT.
 2. ALL EXISTING WINDOWS TO BE REPLACED.
 3. EXISTING COLUMNS @ FRONT FACADE AND CAR PORT TO BE REPLACED.



1
A1.0 DEMOLITION PLAN

Scale 1/8" = 1'-0"



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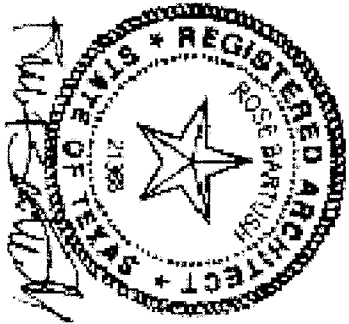
DATE ISSUED
01.26.15

SHEET TITLE
FLOOR PLAN
SCHEDULES

SHEET

A1.1

WALL LEGEND
EXISTING WOOD STUD WALL
NEW WOOD STUD WALL

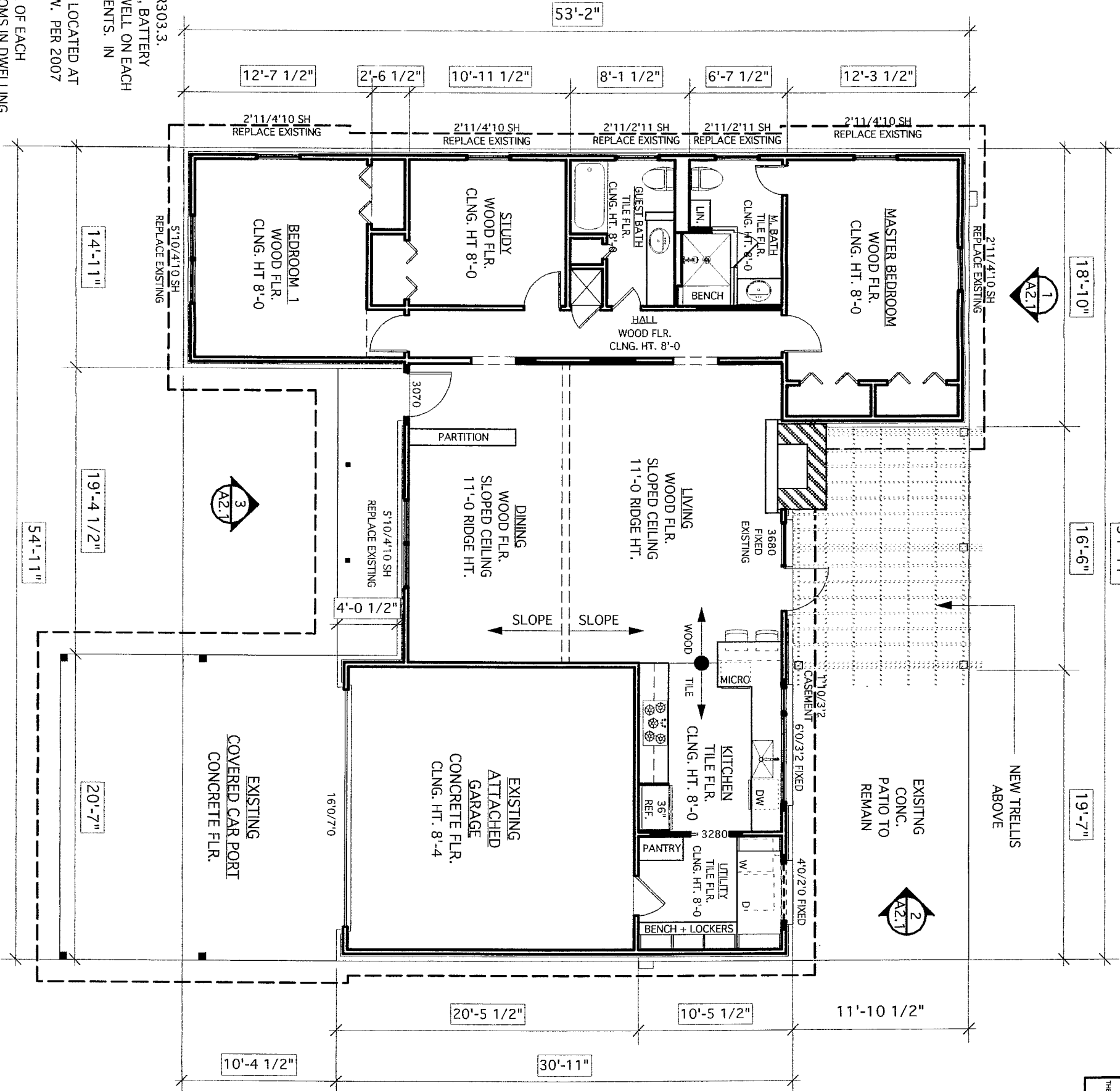


03.16.15

NOTES:

1. PROVIDE LOCAL EXHAUST SYSTEM FOR BATHROOM PER IRC SECTION R303.3.
2. PROVIDE SMOKE DETECTOR SYSTEM - HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND VICINITY, IF APPLICABLE AS WELL ON EACH ADDITIONAL STORY WITHIN THE DWELLING UNIT INCLUDING IN BASEMENTS. IN ACCORDANCE WITH 2012 IRC SEC R314.
3. GENERAL CONTRACTOR SHALL VERIFY FOR SMOKE DETECTORS TO BE LOCATED AT LEAST 36" AWAY FROM HORIZONTAL PATH OF MECHANICAL AIR FLOW. PER 2007 NFPA 72 CHAPTER 11.
4. APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. IN ACCORDANCE WITH 2012 IRC SEC. R315.1.
5. PROVIDE COMBUSTION AIR VENTILATION PER IRC 2012 SEC R317 + SEC G2407.

1 FLOOR PLAN
A1.1
Scale 1/8" = 1'-0"





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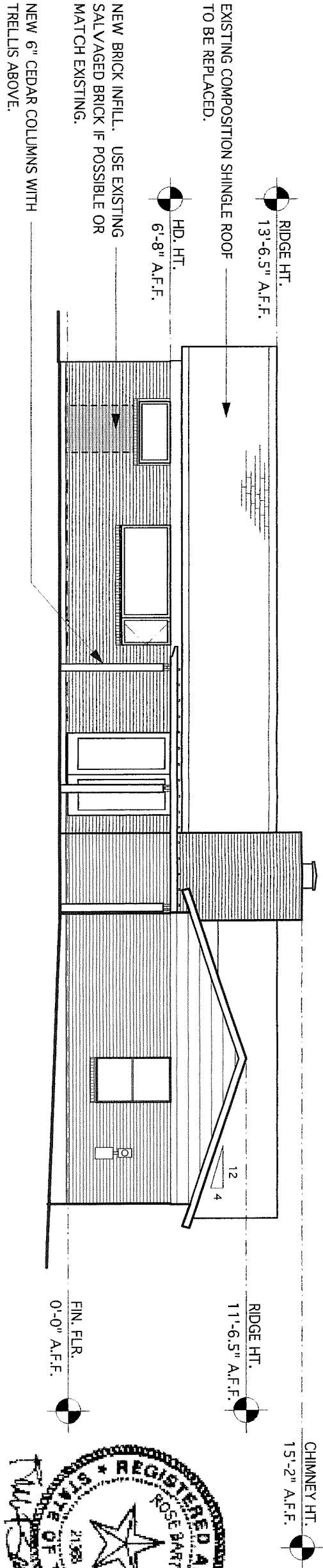
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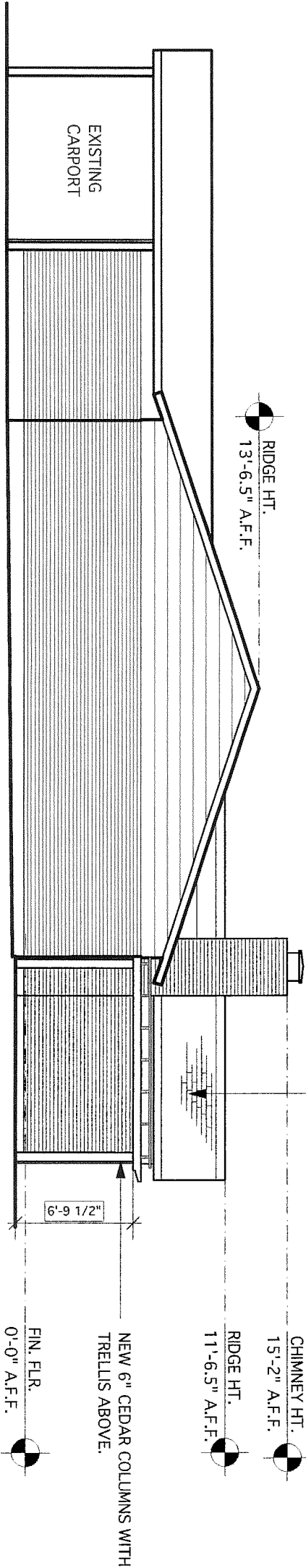
DATE ISSUED
01.26.15
SHEET TITLE
EXTERIOR
ELEVATIONS
SHEET

A2.1



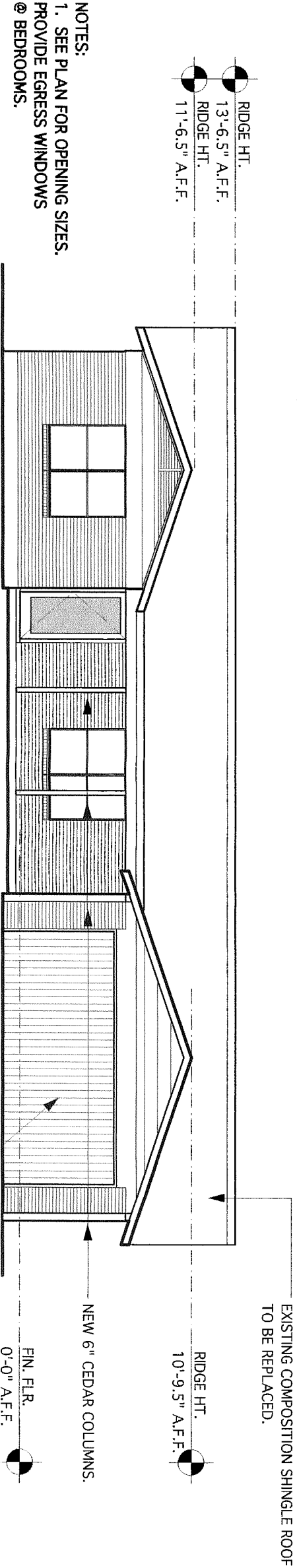
1 SOUTH (REAR) ELEVATION

A2.1 Scale 1/8" = 1'-0"



2 WEST (RIGHT SIDE) ELEVATION

A2.1 Scale 1/8" = 1'-0"

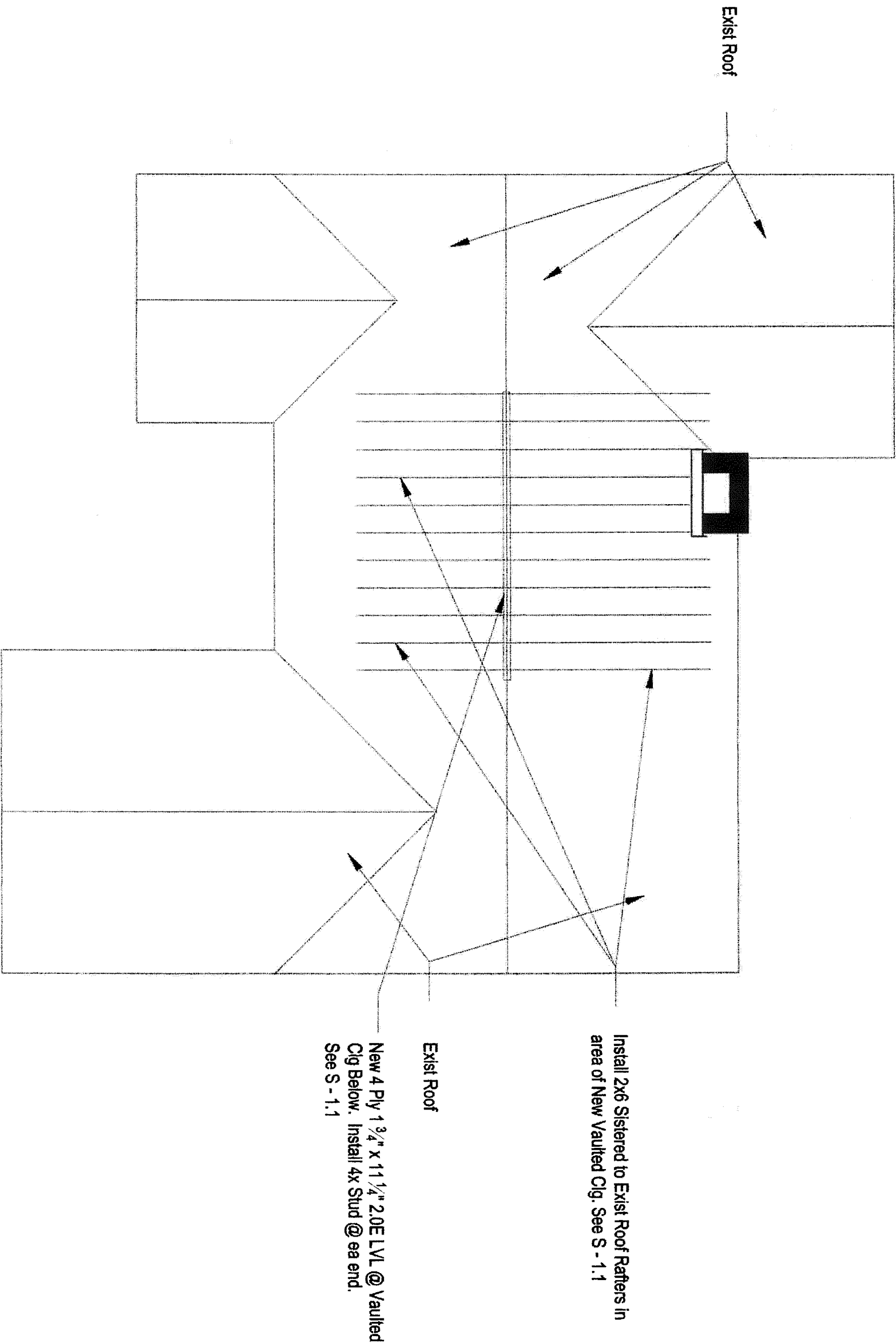


3 NORTH (FRONT) ELEVATION

A2.1 Scale 1/8" = 1'-0"

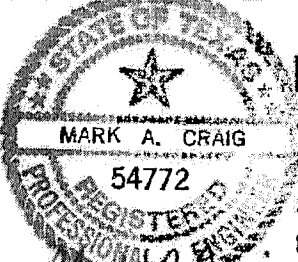
- NOTES:
- SEE PLAN FOR OPENING SIZES. PROVIDE EGRESS WINDOWS @ BEDROOMS.

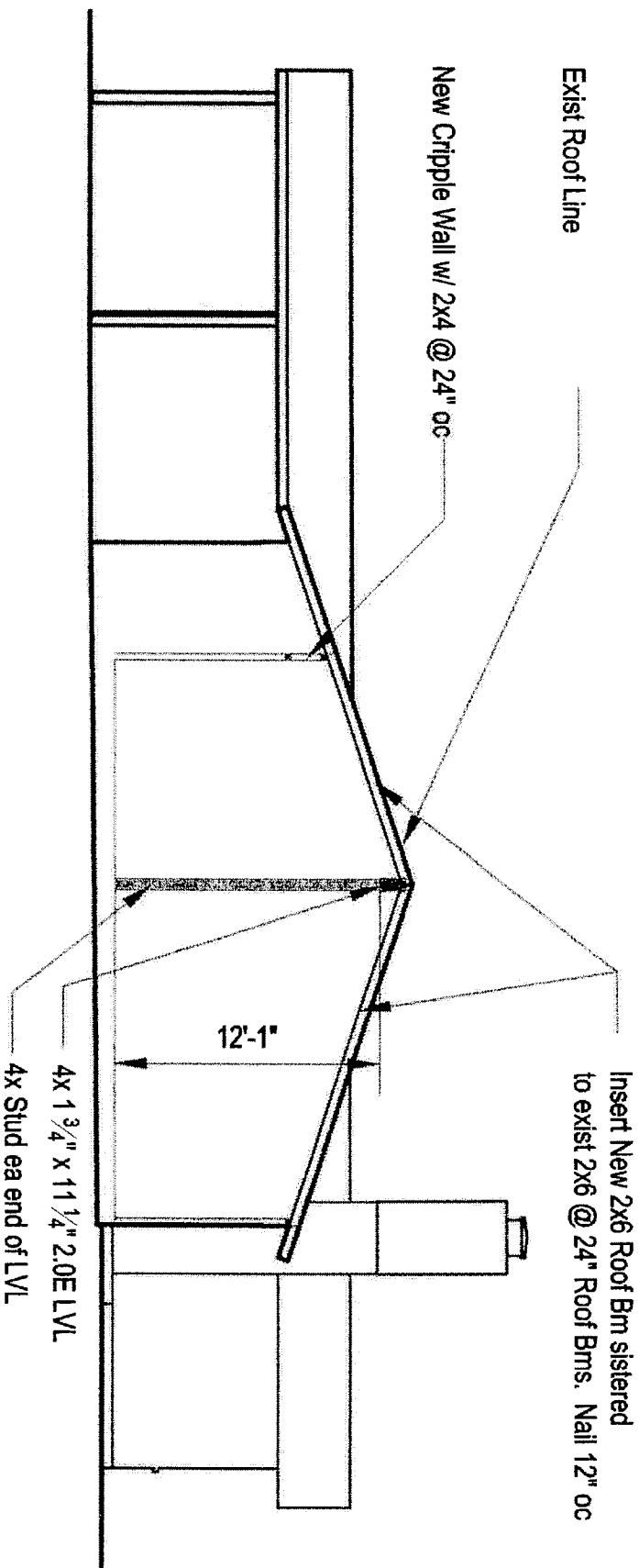
- ALL RIDGE ROOF LINES + RIDGE HEIGHTS ARE EXISTING TO REMAIN.
- CHIMNEY IS EXISTING TO REMAIN.



Ceiling Framing Plan

Scale: 1/8" = 1' - 0"

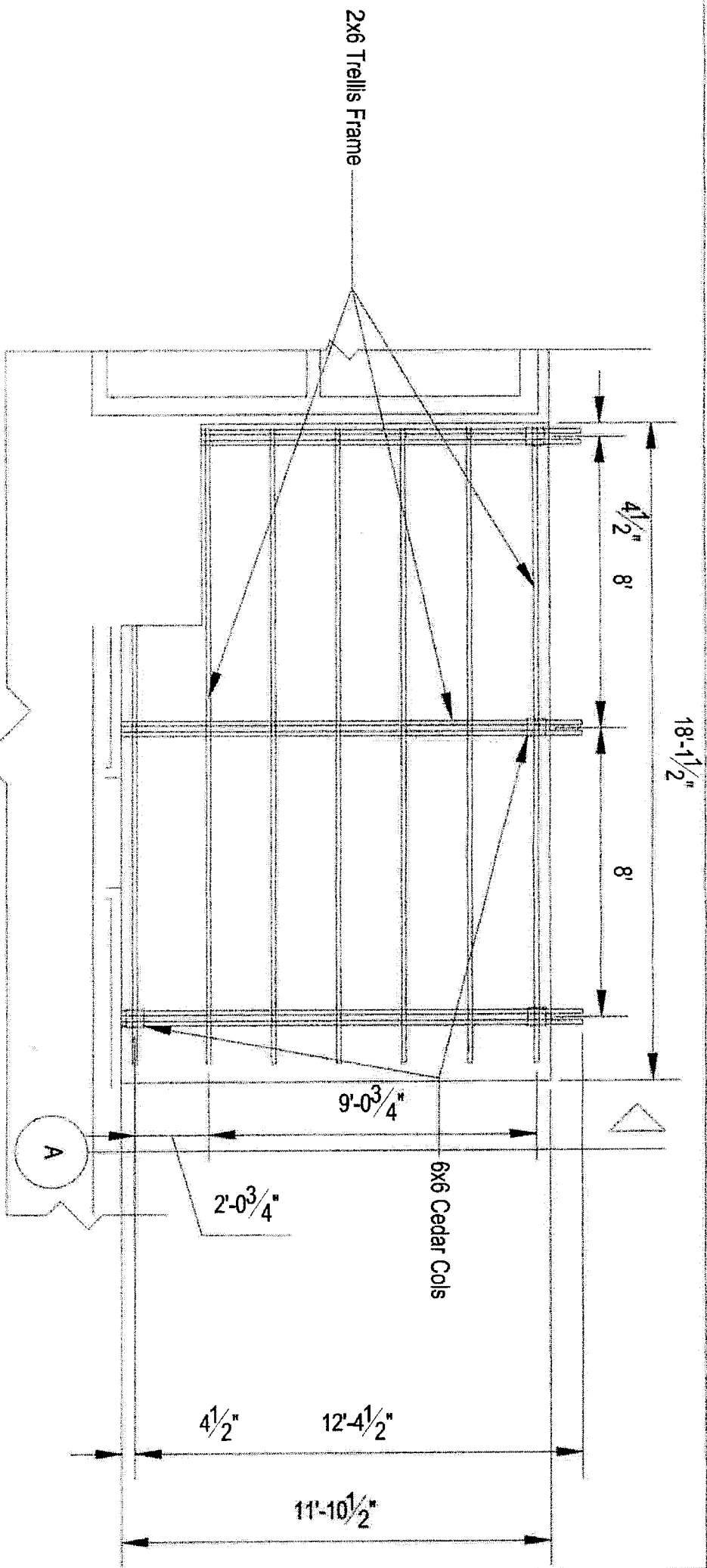
Sheet No. S - 1.0	CEILING FRAMING PLAN	HUGHES RESIDENCE ADDITION AND ALTERATIONS 3303 WHITEPINE DRIVE AUSTIN, TX 78757	 Mark Craig Consulting, LLC 1439 S Meadows Dr Austin, TX 78758 macraigconsulting@gmail.com TX Reg # F - 15381 <i>Mark A. Craig</i> 24 Oct 2014
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North South Section @ New Vaulted Ceiling

Scale: 1/8" = 1' 0"

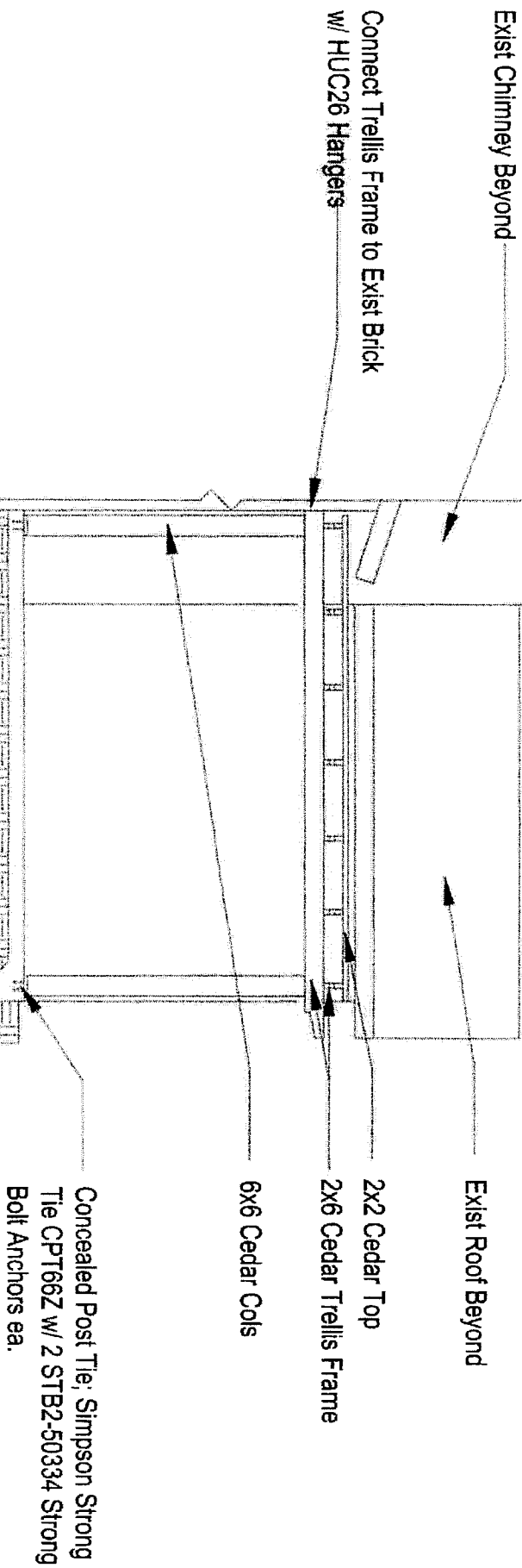
Sheet No. S - 1.1	House Section @ Vaulted Ceiling	HUGHES RESIDENCE ADDITION AND ALTERATIONS 3303 WHITEPINE DRIVE AUSTIN, TX 78757	Mark Craig Consulting, LLC 1439 S Meadows Dr Austin, TX 78758 macraigconsulting@gmail.com TX Reg # F - 15381
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Trellis Plan

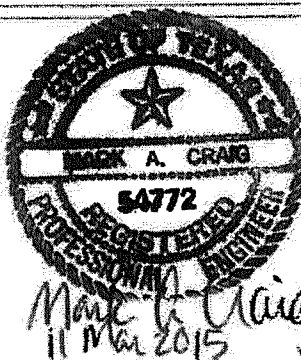
Scale: 1/4" = 1' - 0"

2x2 Cedar Top Not Shown for Clarity
Verify Dimensions on Site and Coordinate w/
Architectural Draws



Trellis Elevation A

Scale: 1/4" = 1' - 0"



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TX Reg # F - 15381

HUGHES RESIDENCE
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TRELLIS PLAN,
ELEVATION

Sheet No.

S - 1.2