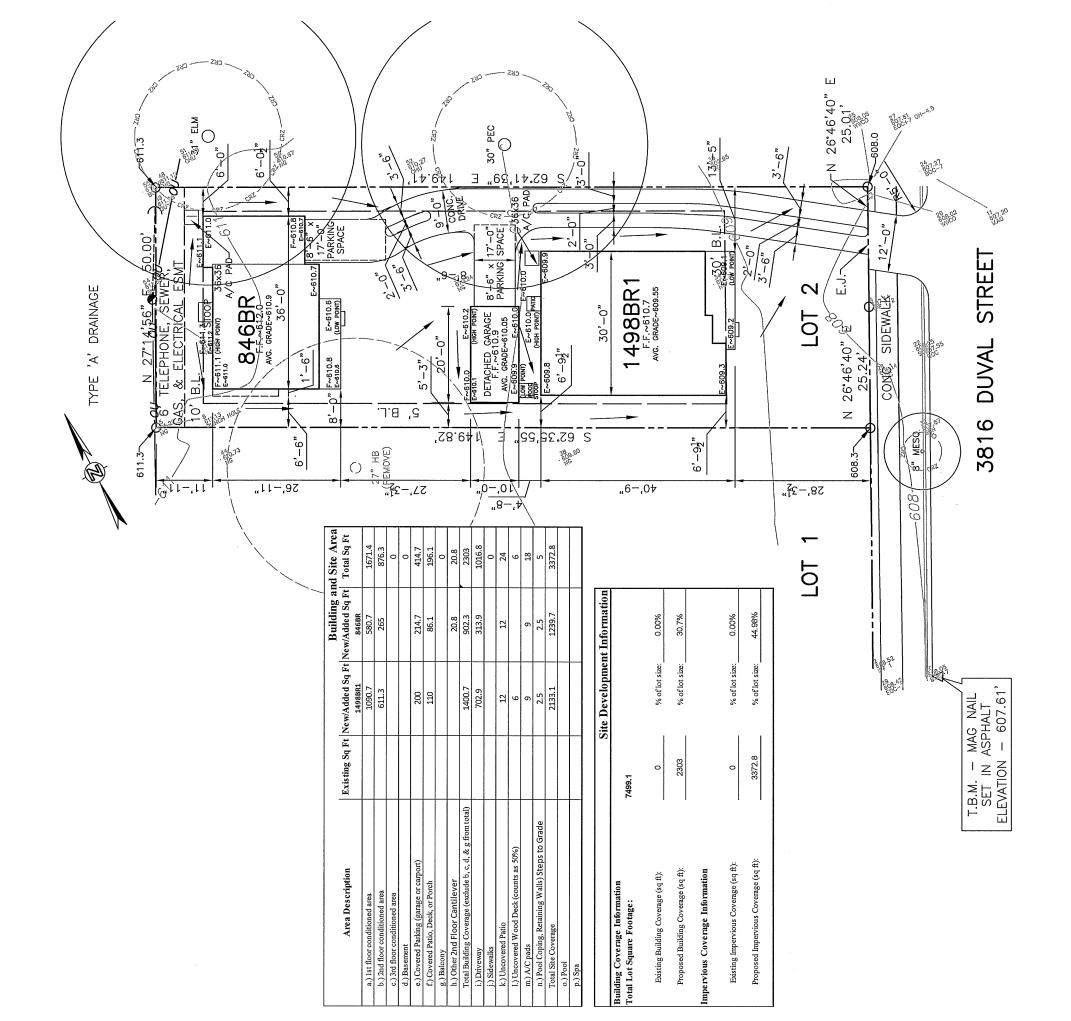
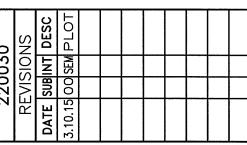
× The grades shown on this plot plan for Lot 2, Block X, in Addition SHADOW LAWN

Austin, TX

Were provided by Lenz & Associates Inc.





CONC. CURB BELOW GRADE STREETS A APPROX. PAVED

MAR 2 6 2015 1/2/13 OF 10

/**	SEWER AFFROX. 3				VECTON		SCALE: $1'' = 20'$	
U	NS	DESC	PLOT					
US	9	INT	SEM					
220020	REVISIONS	SUB	00					
7	RE	DATE SUBINT DESC	3.10.15 00 SEM PLOT					

PLAN: 1498BR1 & ADDRESS: 3816 ILOT: 2
BLOCK: X
Austin, TX 20,

& 846AR DUVAL STREET

AUSTIN CITY BUILDERS

DANZE & DAVIS ARCHITECTS, INC.
4701 Spleawod Springs Rd., Sule 200 Austin, Texas 78759
512,343-0714 512,343-0718 (Fox) www.danze-davis.com

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The grades shown on this plot plan for Lot 2, Block X, in Addition SHADOW LAWN

Addition SHADOW LAWN

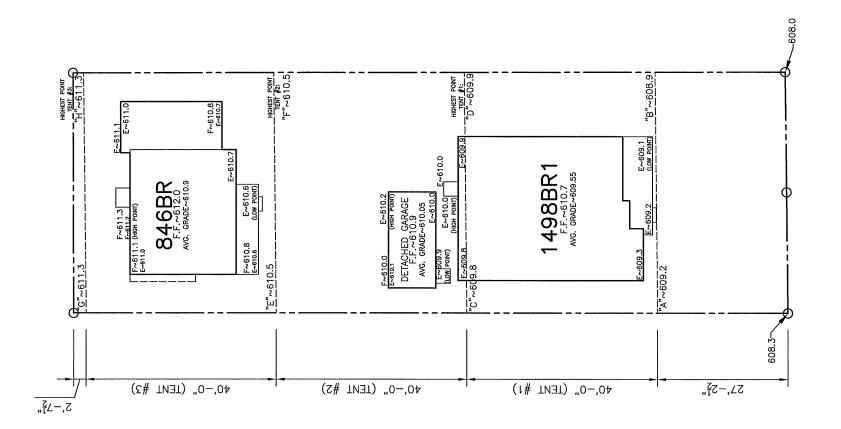
Austin, TX

, were provided by Lenz & Associates Inc.

AVERAGE BUILDING HEIGHT BASED ON LOWER OF NATURAL OR FINISHED GRADE

846BR:

$$E \sim 611.2$$
 (HIGH POINT)  
+  $E \sim 610.6$  (LOW POINT)  
1221.8 ÷ 2 =  $610.9$  AVG. GRADE



# STREET 3816 DUVAL

# **EXHIBIT** PLANE SETBACK

220030	REVISIONS	DESC	PLOT				
		INT	SEM				
		SUBINT	00				
		DATE	3.10.15				

CURB GRADE CONC. BELOW PAVED STREETS w/ SEWER APPROX. 3'

HS

SECTION

20, SCALE: 1" =

& 846AR DUVAL STREET PLAN: 1498BR1 & ADDRESS: 3816 ILOT: 2
BLOCK: X
Austin, TX

Copyright DANZE & DAVIS ARCHITECTS, Inc. These drawings and the ideas ARCHITECT and may not be used without his express permission. DANZE & DAVIS ARCHITECTS, INC.
701 Spleaved Springs Rd., Sule 200 Auslin, Texas 78759
512,343-0714 512,445-0718 (Fox) www.danze-davis.com

AUSTIN CITY BUILDERS

AN ORDINANCE AMENDING CITY CODE SECTION 25:12:243 RELATING TO ACCESSIBILITY AND VISITABILITY REQUIREMENTS OF THE RESIDENTIAL CODE FOR NEW SINGLE-FAMILY AND DUPLEX CONSTRUCTION.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN

PART 1. City Code Section 25-12-243 (Local Amendments) is amended to add a Section R320, as a local amendment to the Residential Code, to read as follows:

SECTION R320

VISITABILITY

R320.2 Compliance required at plan review. A permit application that is subject this section must include detailed plans prepared by a registered design professiona other certified professional demonstrating compliance with all applicable requirement

- a minimum clear opening of 30 inches is required;
- lateral two-inch by six-inch or larger nominal wood blocking mu-installed flush with stud edges of bathroom walls; and
- the centerline of the blocking must be 34 inches from and parallel to the interior floor level, except for the portion of the wall located directly behind the lavatory.

- light switches and environmental controls must be no higher than 48 in above the interior floor level; and
- outlets and receptacles must be a minimum of 15 inches above the interference for floor outlets and receptacles.

R320.5 Visitability bathroom route. A bathroom group or half both designated fo visitability under Section R320.3 must be accessible by a route with a minimum clean opening of 32 inches beginning at the visitable entrance designated under Section 320.0 and continuing through the living room, diving room, and kitchen, and be level with uniped or beveled changes at door thresholds.

A visitable route is not required through an area located on a split-level or sunfloor, provided an alternative route is available.

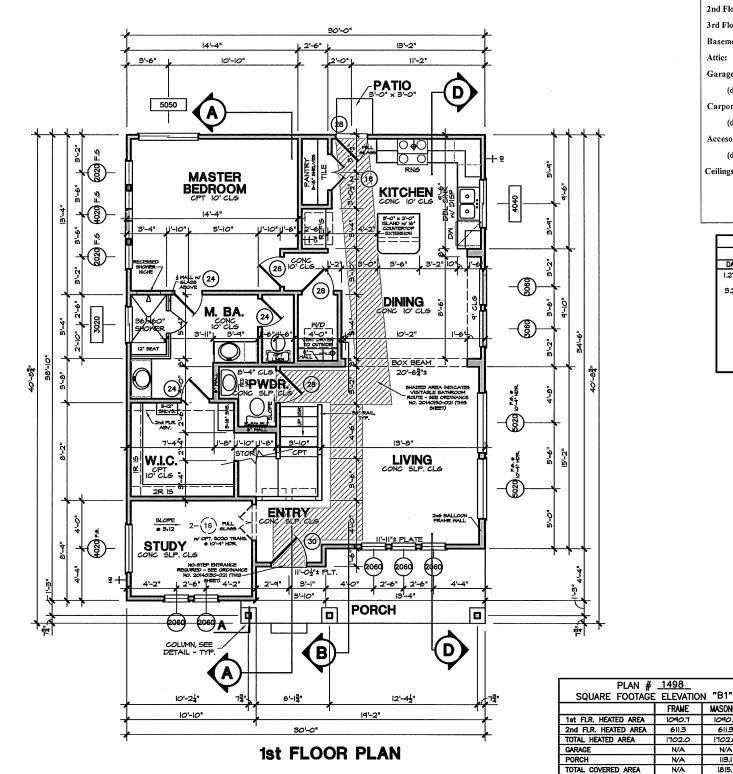
R320.6 Visitable dwelling entrance. A dwelling must be accessible by at least one step entrance with a beveled threshold of one-balf inch or less and a door with a cl width of at least 20 inches. The cntrance may be located at the front, rear, or side, or the garage or carport, of the dwelling.

R220.7 Exterior visitable route. A visitable entrance approved under Section R320, must have at least one visitable route with a cross slope of no greater than two percer (1.50) that originates from a gazage, drieway, public street, or public sidewalk. A ram included in an exterior visitable route must comply with the Residential Code.

R320.7.1 Waiver of exterior visitable route provision for certain properties, equirements of Section R320.7 do not apply to:

- 1. lots with 10% or greater slope prior to development; or
- 2. properties for which compliance cannot be achieved without the use

Page 2 of 3



SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE JOB SITE. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS RELATED TO THE PROJECT CONSTRUCTION.

			Subch	apter F - 'M	cMansion
	New 1498BR1	New 846BR	Exemption 1498BR1	Exemption 846BR	Total
1st Floor:	1090.7	580.7			1671.4
2nd Floor:	611.3	265			876.3
3rd Floor:					0
Basement:					0
Attic:				-	0
Garage (attached):					0
(detached):	200		200	***************************************	0
Carport (attached):		214.7		214.7	0
(detached):					0
Accesory Building(s)	<b>.</b>				0
(detached):					0
Ceilings over 15':	174.5				174.5

TOTAL GROSS FLOOR AREA: 2722.2

Total G.F.A. / Total Lot Sq. Ft. 36.30% Floor-To-Area Ratio

	169	686	
R	EVI	SION	S
DATE	SUB	INT.	DES.
1.27.15	61	KM	
3.2.15	62	SEM	NEW VERSION
	i		

1ST FLOOR CEILING • 10'-0" HEIGHT U.N.O. 1ST FLR. WDW. HEADERS . 8'-0" HEIGHT UNLESS NOTED OTHERWISE IF APPLICABLE

2ND FLOOR CEILING ● 9'-0" HEIGHT 2ND FLR. WDW. HEADERS ● 8'-0" HEIGHT UNLESS NOTED OTHERWISE

SEE DETAIL SHEETS FOR CURRENT ADOPTED BUILDING CODES

HEADE	R SCHEDUL
	ST FLOOR
OPN'G.	HEADER SIZI
3º (MAX.)	) 2-2X10's
8º (MAX.	
ABOVE 8	P ENG'D. BEA SEE PLAN
050	
	OND FLOOR
OPN'G.	HEADER SIZI
3º (MAX.)	
4º (MAX.)	
5º (MAX.)	
BO (MAX.)	
ABOVE 8	P ENG'D. BEAU SEE PLAN
1	JLE FLAN



MAR **26** 2015

# **ALAMO SERIES ALAMO 1879 FLOOR PLANS**

Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

1st FLOOR DOOR HEIGHT - 8'-0" 2nd FLOOR DOOR HEIGHT - 6'-8"

1.090

611.3

1702.0

N/A

113.1

1815.1

N/A

FRAME MASONRY

1702.0

NΑ

N/A

N/A

9.0

1203.8

PATIO (UNCOVERED)

TOTAL SLAB AREA

3816 DUVAL STREET 1498BR1

JOB •220030 DETACHED GARAGE

(0)

8

S

UILDER

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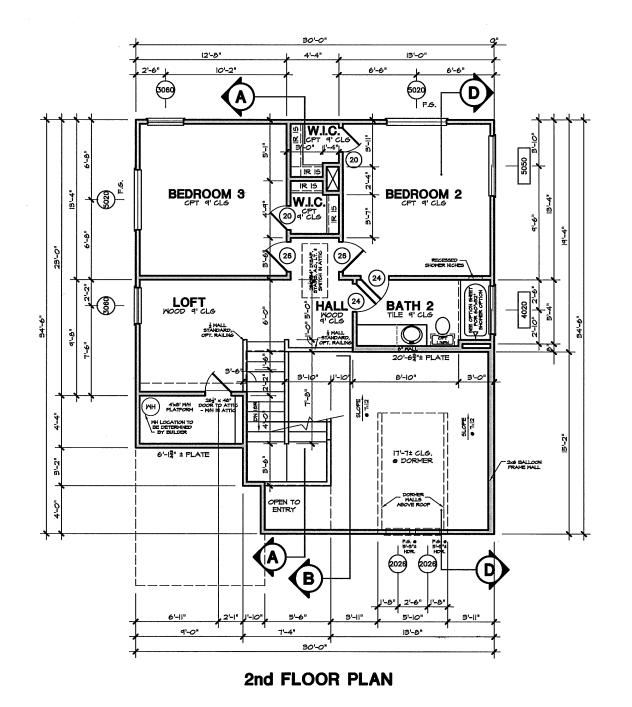
<u>N</u>

**ARCHITI** 

DAVIS

ಂಶ

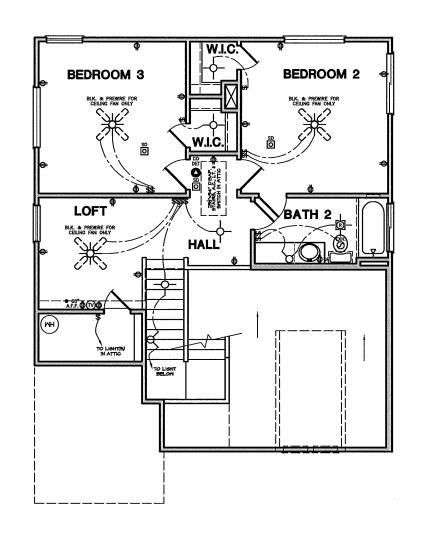
**DANZE** 4701 Spic 512/343-

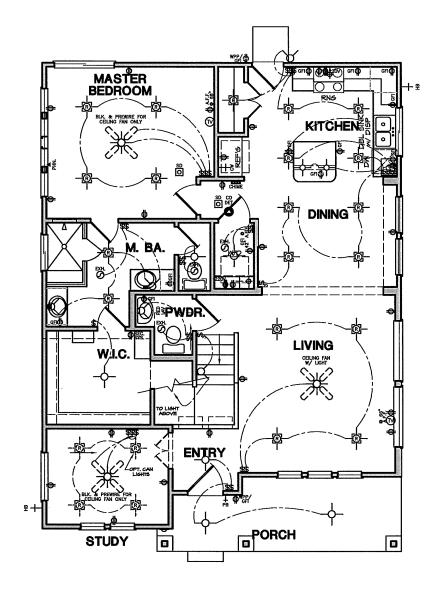


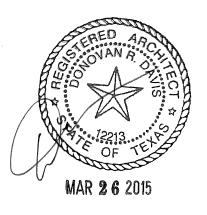


ALAMO SERIES ALAMO 1879 2nd FLOOR PLAN Scale: 1/8"- 1'-0" on 11"x17" Scale: 1/4"- 1'-0" on 24"x36"

3816 DUVAL STREET 1498BR1
JOB •220030 DETACHED GARAGE







## 1st FLOOR ELEC.

NOTE: ALL WALL—MOUNTED LIGHT FIXTURES TO BE 88" TO CENTER ABOVE FINISHED WALKING SURFACE BELOW FIXTURE U.N.O. ALL PENDANT LIGHTS TO BE 66" A.F.F., MEASURED FROM BOTTOM OF FIXTURE U.N.O.

T.V. & ADJACENT 110 OUTLET TO BE INSTALLED 60" A.F.F. U.N.O.

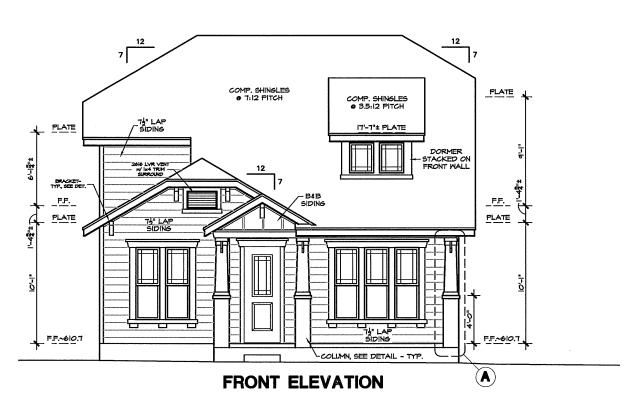
**ALAMO SERIES ALAMO 1879 ELECTRICAL PLANS** Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

3816 DUVAL STREET 1498BR1

JOB •220030 DETACHED GARAGE



**REAR ELEVATION** 





### **BRACKET DETAIL**

Scale: 3/16"- 1'-0" on 11"x17" Scale: 3/8"= 1'-0" on 24"x36"

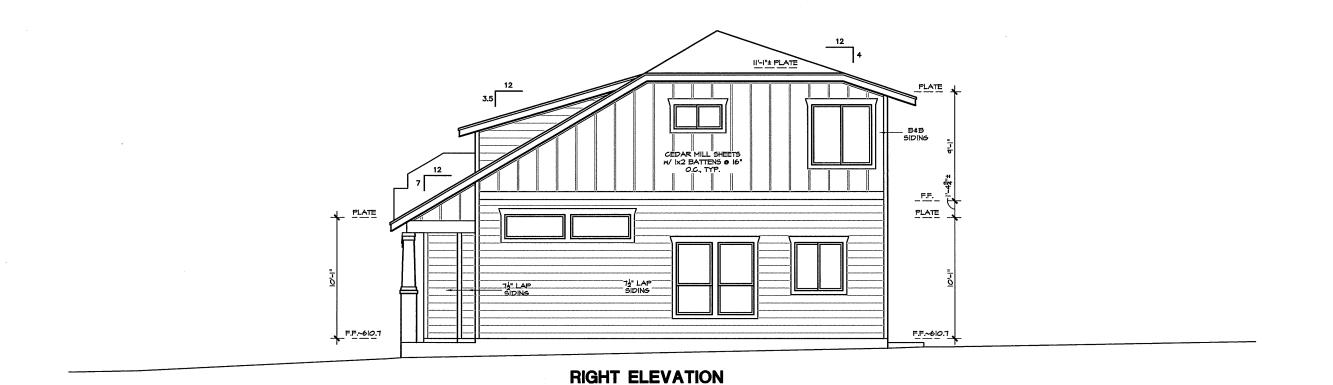


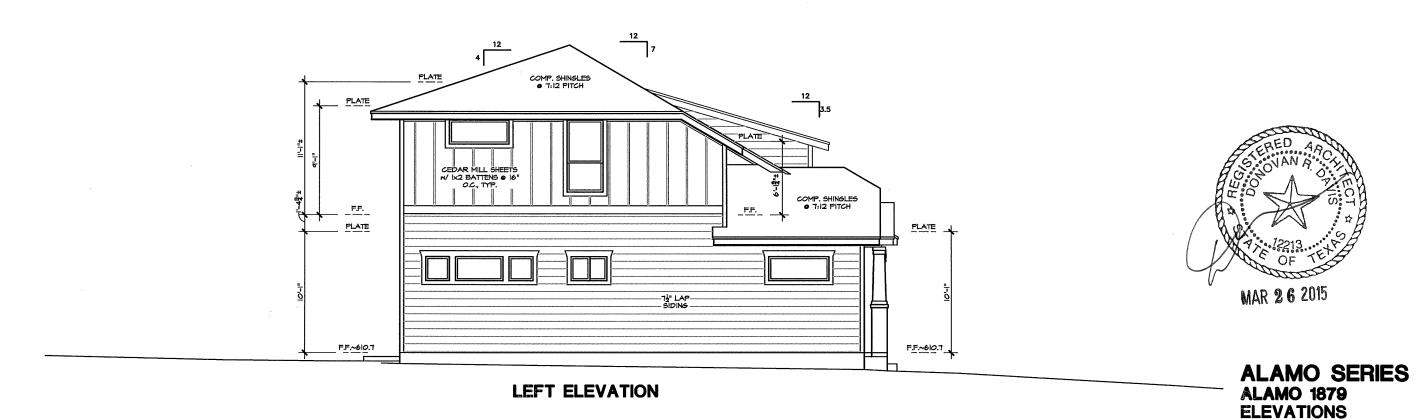
# **ALAMO SERIES ALAMO 1879 ELEVATIONS**

Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

3816 DUVAL STREET 1498BR1

JOB #220030 DETACHED GARAGE



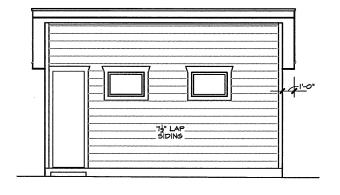


Scale: 1/8"- 1'-0" on 11"x17"
Scale: 1/4"- 1'-0" on 24"x36"

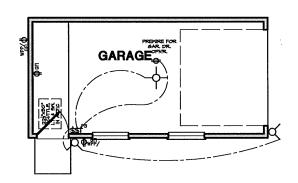
3816 DUVAL STREET

JOB •220030

DETACHED GARAGE



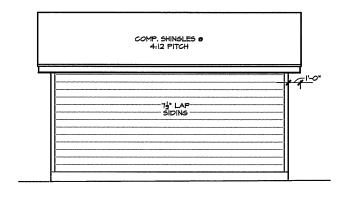
12
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SIDING



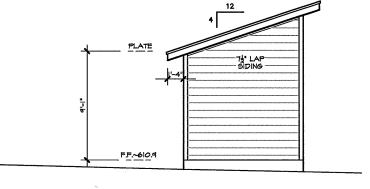
**ELECTRICAL PLAN** 

FRONT ELEVATION

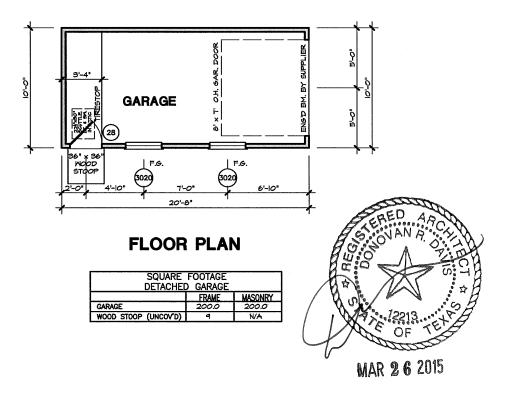




**REAR ELEVATION** 

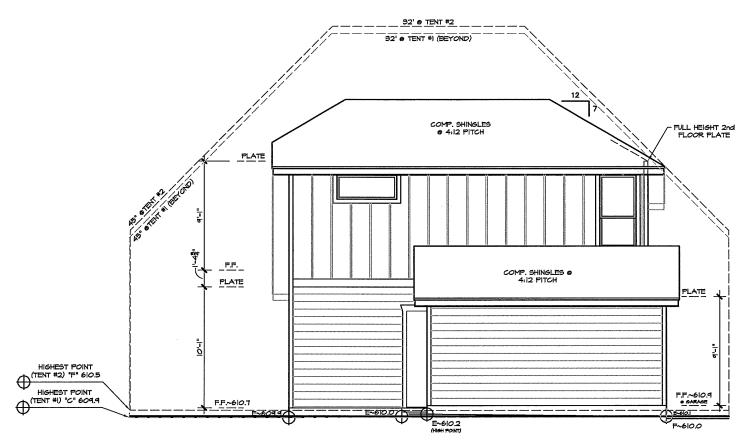


**LEFT ELEVATION** 

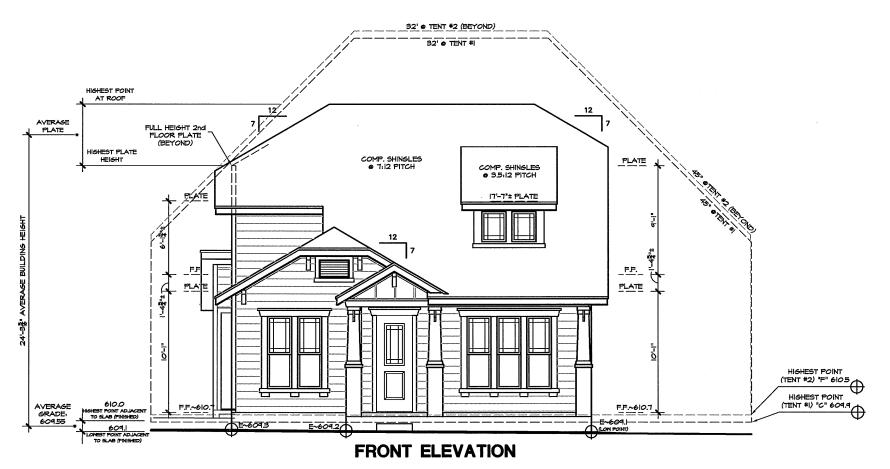


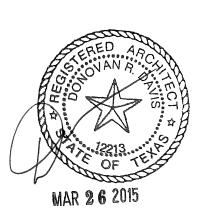
ALAMO SERIES DETACHED GARAGE

3816 DUVAL STREET Scale: 1/8"- 1'-0" on 11"x17"
Scale: 1/4"- 1'-0" on 24"x36"
JOB •220030 DETACHED GARAGE



### **REAR ELEVATION**



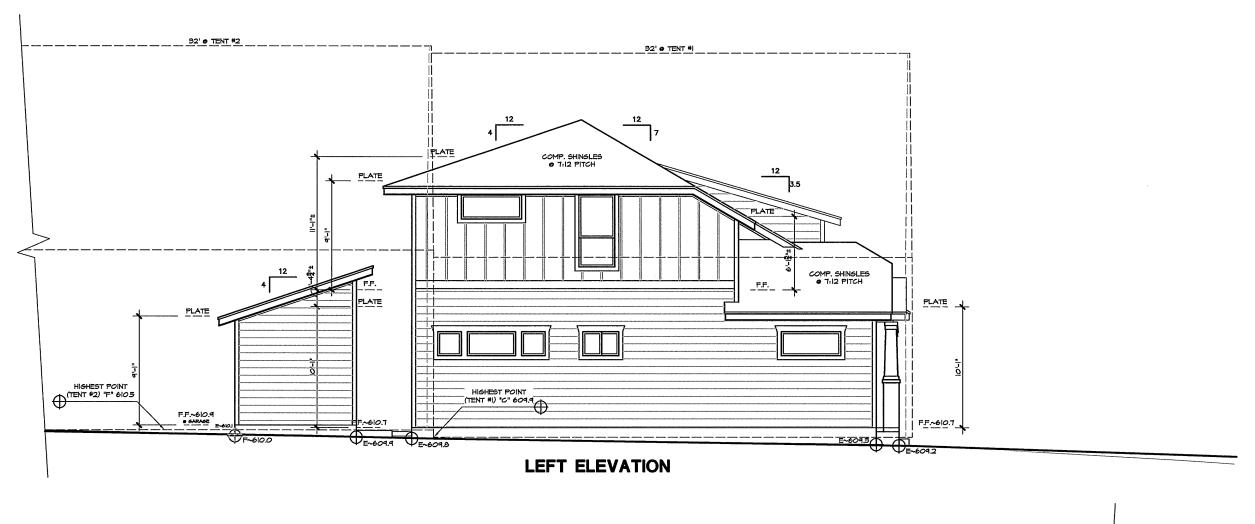


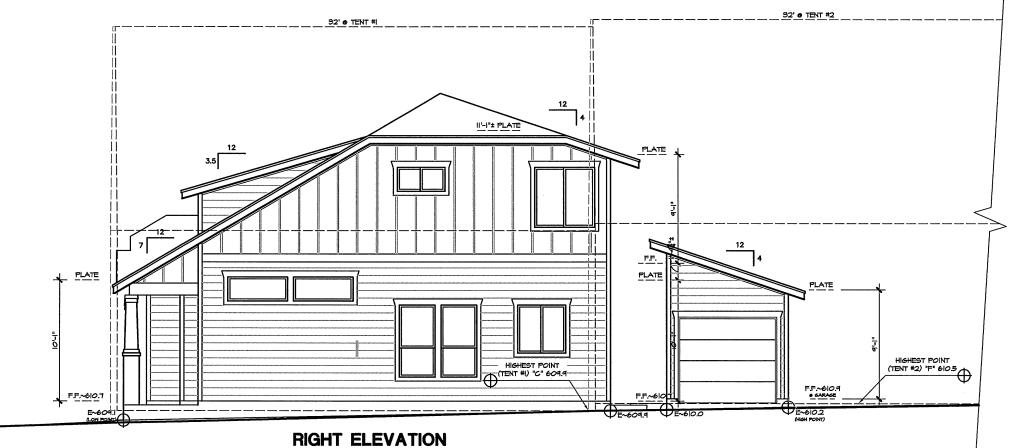
**ALAMO SERIES ALAMO 1879 SETBACK PLAN EXHIBIT** 

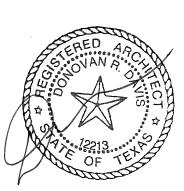
Scale: 1/8"- 1'-0" on 11"x17" Scale: 1/4"- 1'-0" on 24"x36"

3816 DUVAL STREET 1498BR1

JOB =220030 DETACHED GARAGE





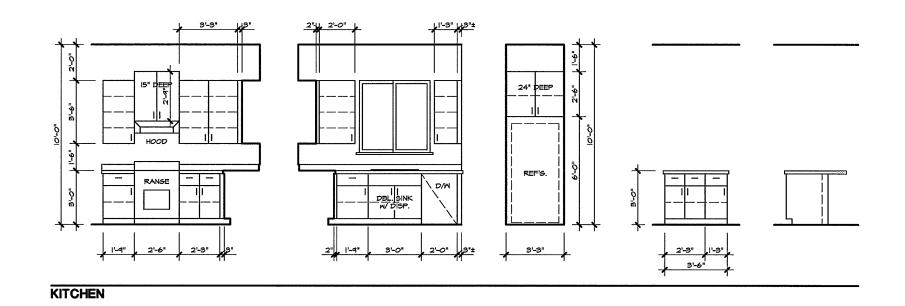


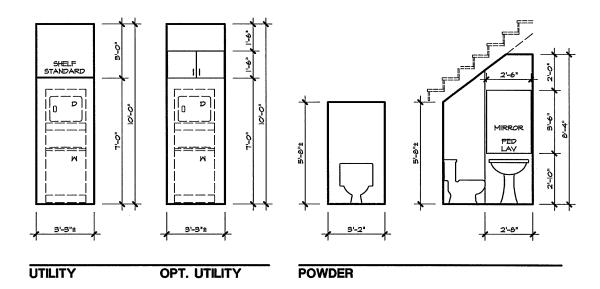
MAR 26 2015

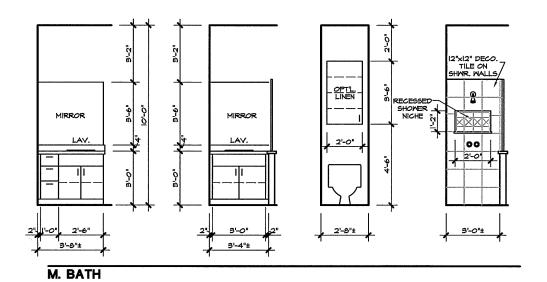
**ALAMO SERIES ALAMO 1879 SETBACK PLAN EXHIBIT** 

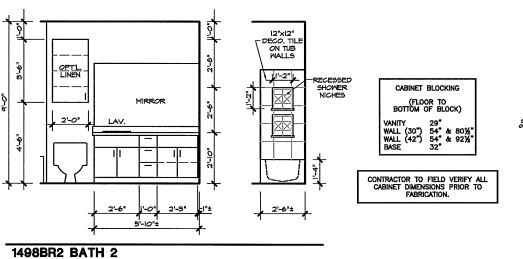
Scale: 1/8"- 1"-0" on 11"x17"
Scale: 1/4"- 1"-0" on 24"x36"

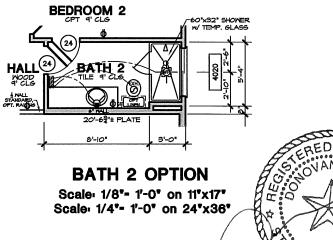
3816 DUVAL STREET 1498BR1
JOB •220030 DETACHED GARAGE











# **CABINET ELEVATIONS**

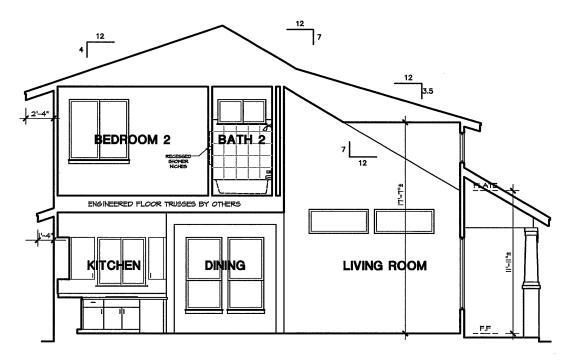
Scale: 3/16"= 1'-0" on 11"x17" Scale: 3/8"= 1'-0" on 24"x36"

> **ALAMO SERIES ALAMO 1879** CABINETS/OPTIONS Scale: AS NOTED

MAR 26 2015

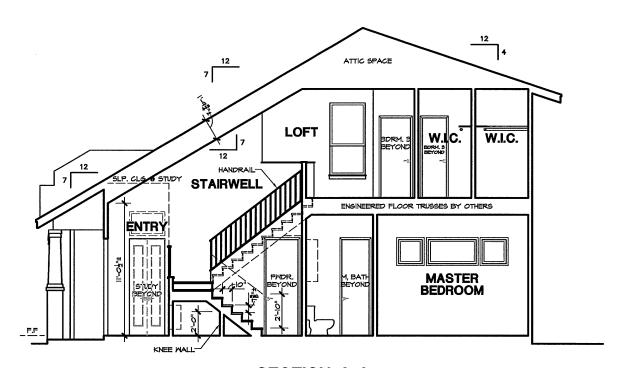
3816 DUVAL STREET 1498BR1

JOB =220030 DETACHED GARAGE



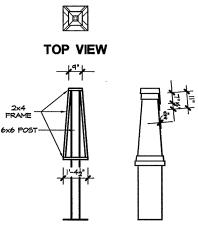
### **SECTION D-D**

Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

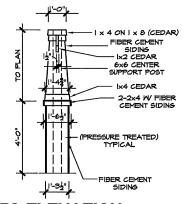


### **SECTION A-A**

Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

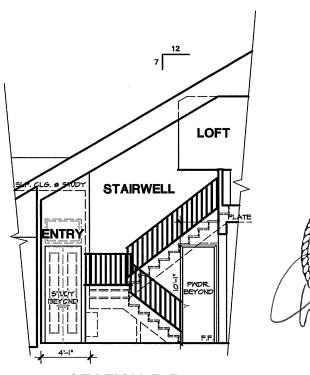


### SECTION A



# **'B' ELEVATION** COLUMN DETAIL Scale: 3/16"- 1'-0" on 11"x17" Scale: 3/8"- 1'-0" on 24"x36"





### **SECTION B-B**

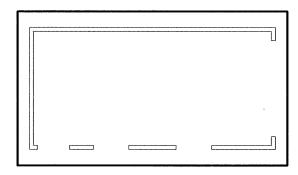
Scale: 1/8"- 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

> **ALAMO SERIES ALAMO 1879** SECTIONS Scale: AS NOTED

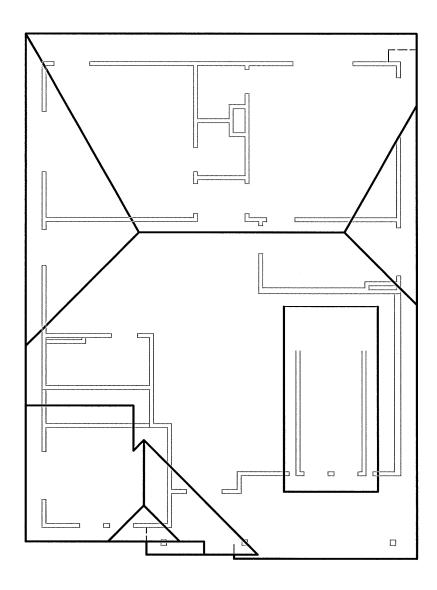
MAR **2 6** 2015

3816 DUVAL STREET 1498BR1

JOB •220030 DETACHED GARAGE



**GARAGE ROOF PLAN** 



**ROOF LAYOUT** 

VENTILATION REQUIREMENTS

PROVIDE VENTILATION AS REQUIRED BY CURRENT ADOPTED INTERNATIONAL RESIDENTIAL CODE. PERFORATED SOFFITS - NOT ALLOWED IN SIDE YARDS WITH LESS THAN 5 FEET FROM SOFFIT TO BUILD LINE OR LESS THAN 10 FEET FROM SOFFIT TO SOFFIT.

BASED ON A 1/300 CALCULATION, AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA SHALL BE PROVIDED BY VENTILATORS LOCATED IN UPPER PORTION OF THE ATTIC OR RAFTER SPACE WITHIN 3 FEET OF THE HIGHEST SPACE OR THE RIDGE. THE BALANCE OF THE REQUIRED VENTILATION SHALL BE PROVIDED BY EAVE OR CORNICE VENTS.

Plan#	Hevation	Roof Area Type	Attic Square footage (square feet)	Free attic area @ 1/300 (square inches)	High Ventilation @ 50% (square inches)	Low Ventilation @ 50% (square inches)
	B1 (DEI')	Upper Roof	1090.70	523.54	261.77	261.77
1498		Lower Roof	103.95	49.90	24.95	24.95
		Garage Roof	210.10	100.85	50.42	50.42

HE	EADER	SCHE	JULE
		T FLOOR	
OP	N'G.	HEADER	SIZE
30	(MAX.)	2-2)	(10's
	(MAX.)		
	NE 86	ENG'D. SEE F	BEAM/
1		SEE F	PLANS'
		ND FLOC	
OP	N'G.	HEADER	SIZE
	(MAX.)	2-2	(6's
40	(MAX.)	2-2)	(8's
	(MAX.)		(10's
	(MAX.)		
ABC	WE BO	ENG'D.	BEAM/
		SEE F	

SEE DETAIL SHEET FOR GENERAL MECHANICAL SYSTEM REQUIREMENTS

FRAMING PLANS TO BE PROVIDED BY OTHERS



MAR 26 2015

**ALAMO SERIES ALAMO 1879 ROOF FRAMING** 

Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

3816 DUVAL STREET 1498BR1
JOB •220030 DETACHED GARAGE

1ST FLOOR CEILING O 9'-0" HEIGHT U.N.O. 1ST FLR. WDW. HEADERS ● 8'-0" HEIGHT UNLESS NOTED OTHERWISE

UNLESS NOTED OTHERWISE

IF APPLICABLE 2ND FLOOR CEILING ● 9'-0" HEIGHT

2ND FLR. WDW. HEADERS ● 8'-0" HEIGHT

HEADE	R SCHEDULE
FIF	RST FLOOR
OPN'G.	HEADER SIZE
3º (MAX. 8º (MAX. ABOVE 8	2-2X12's
	OND FLOOR
OPN'G.	HEADER SIZE
3º(MAX. 4º(MAX. 5º(MAX. 8º(MAX. ABOVE 8	2-2X8's 2-2X10's 2-2X12's

# 10'-0" 3'-2" 2'-8" 4020 KITCHEN BEDROOM 2 CARPORT LIVING BEDROCM 1 PORCH 2660 3'-6" 3'-0" 11'-2" 9'-0" 26'-0" **(B**) 2nd FLOOR PLAN

### 1st FLOOR PLAN

PLAN #	846	
SQUARE FOOTAG	E ELEVATIO	)N "B"
	FRAME	MASONRY
1st FLR. HEATED AREA	580.7	580.7
2nd FLR. HEATED AREA	265.0	265.0
TOTAL HEATED AREA	845.7	845.7
CARPORT	214.7	214.7
PORCH	N/A	86.1
TOTAL COVERED AREA	N/A	1146.5
FLATWORK STOOP	12.0	N/A
TOTAL SLAB AREA	881.5	881.5

1st FLOOR DOOR HEIGHT - 8"-0"
2nd FLOOR DOOR HEIGHT - 6'-8"



MAR 26 2015

### CITY OF AUSTIN VISITABILITY

### ORDINANCE NO. 20140130-021

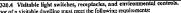
ORDINANCE AMENDING CITY CODE SECTION 25-12-243 RELATING ACCESSIBILITY AND VISITABILITY REQUIREMENTS OF THE SIDENTIAL CODE FOR NEW SINGLE-FAMILY AND DUPLEN STRETCTION.

### BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN

### SECTION R320

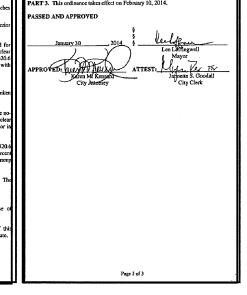
### VISITABILITY

- 1. a minimum clear opening of 30 inches is required;
- the centerline of the blocking must be 34 inches from and parallel to t interior floor level, except for the portion of the wall located directly behi the lavatory.



- outlets and receptacles must be a minimum of 15 inches abo Boor level, except for floor outlets and receptacles.

- 1. lots with 10% or greater slope prior to development; or



3816 DUVAL STREET

# **ALAMO SERIES ALAMO 846** FLOOR PLANS

Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

846AR JOB #220030 1-CAR CARPORT

DUVAL STREET 3816.dwg 3/25/2015 2:13:52 PM

S

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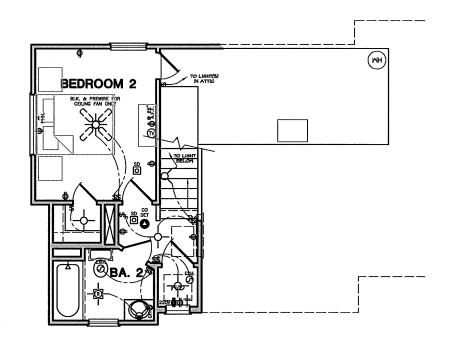
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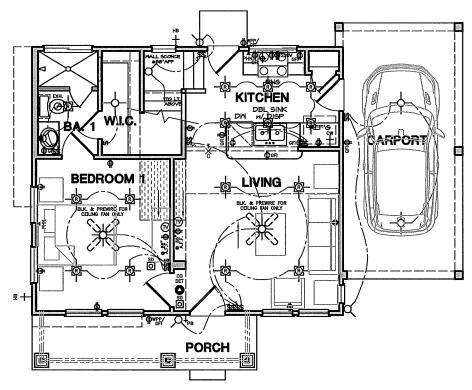
ARCHITI

DAVIS

**DANZE** 4701 Spic 512/343-



2nd FLOOR ELEC.



# 1st FLOOR ELEC.

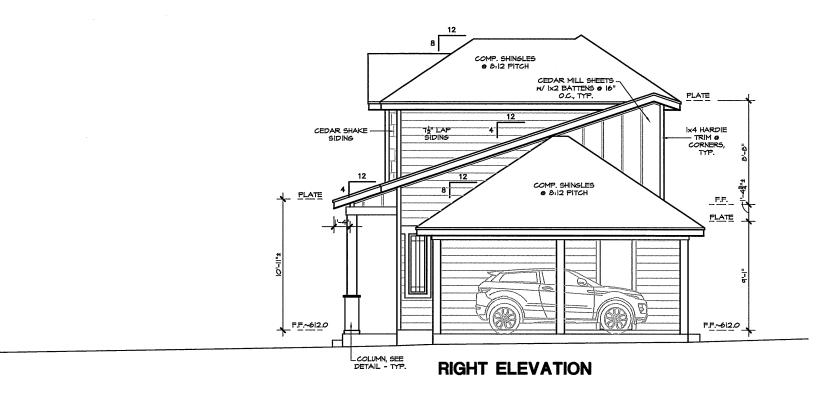
NOTE: ALL WALL—MOUNTED LIGHT FIXTURES TO BE 88" TO CENTER ABOVE FINISHED WALKING SURFACE BELOW FIXTURE U.N.O. T.V. & ADJACENT 110 OUTLET TO BE INSTALLED 60" A.F.F. U.N.O.

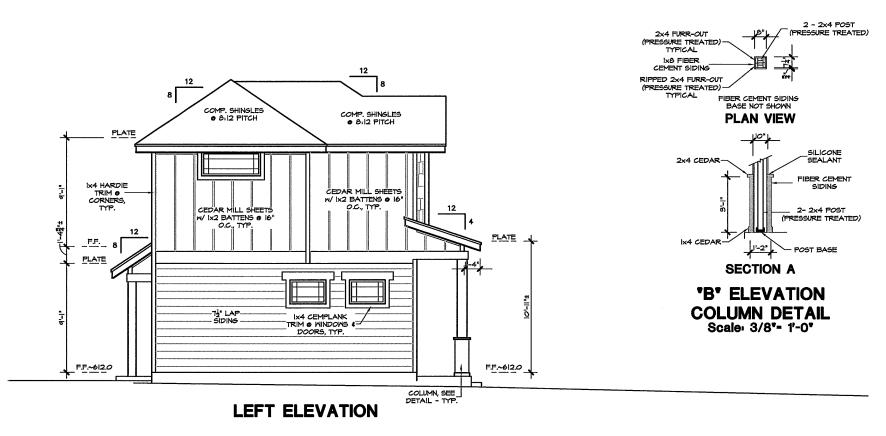


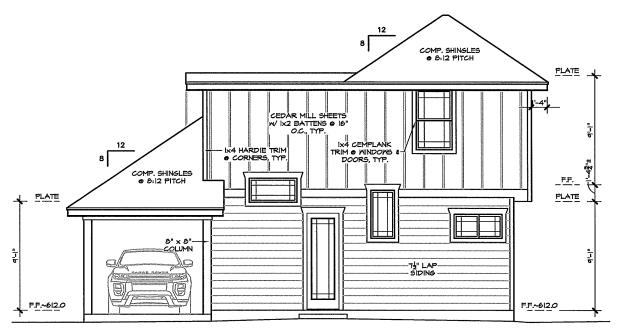
**ALAMO SERIES ALAMO 846 ELECTRICAL PLANS** 

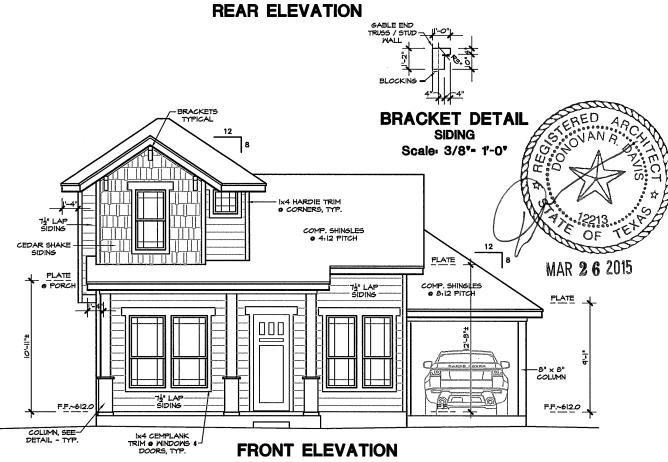
Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

3816 DUVAL STREET 846AR
JOB =220030 1-CAR CARPORT





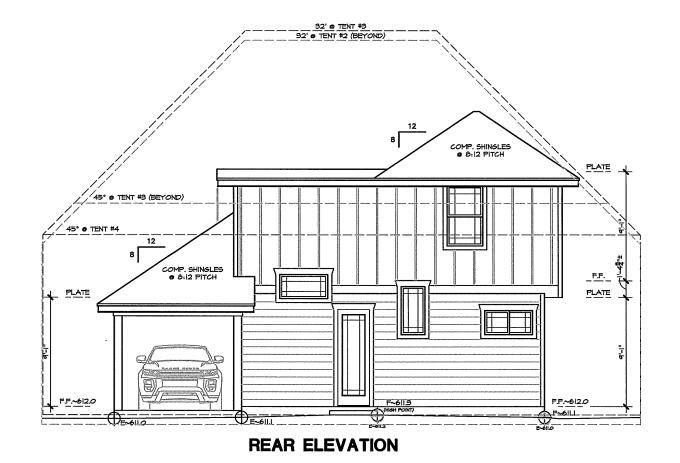


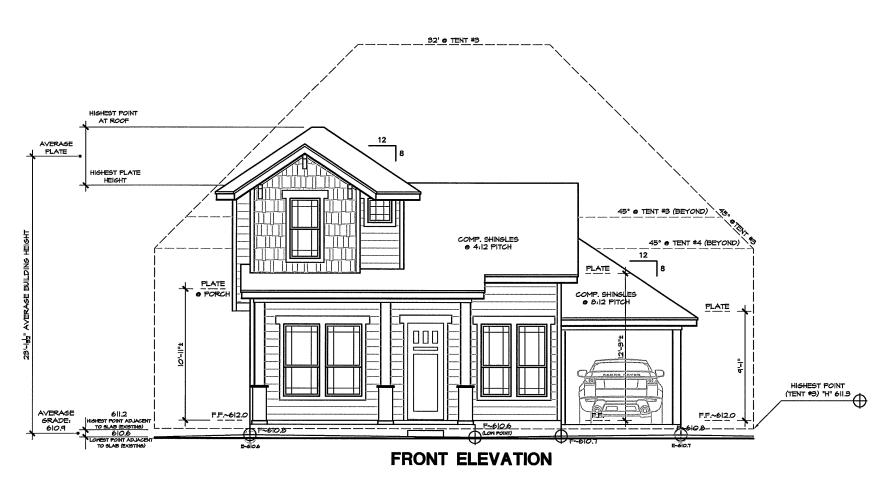


ALAMO SERIES ALAMO 846 ELEVATIONS

Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

3816 DUVAL STREET 846AR
JOB •220030 1-CAR CARPORT

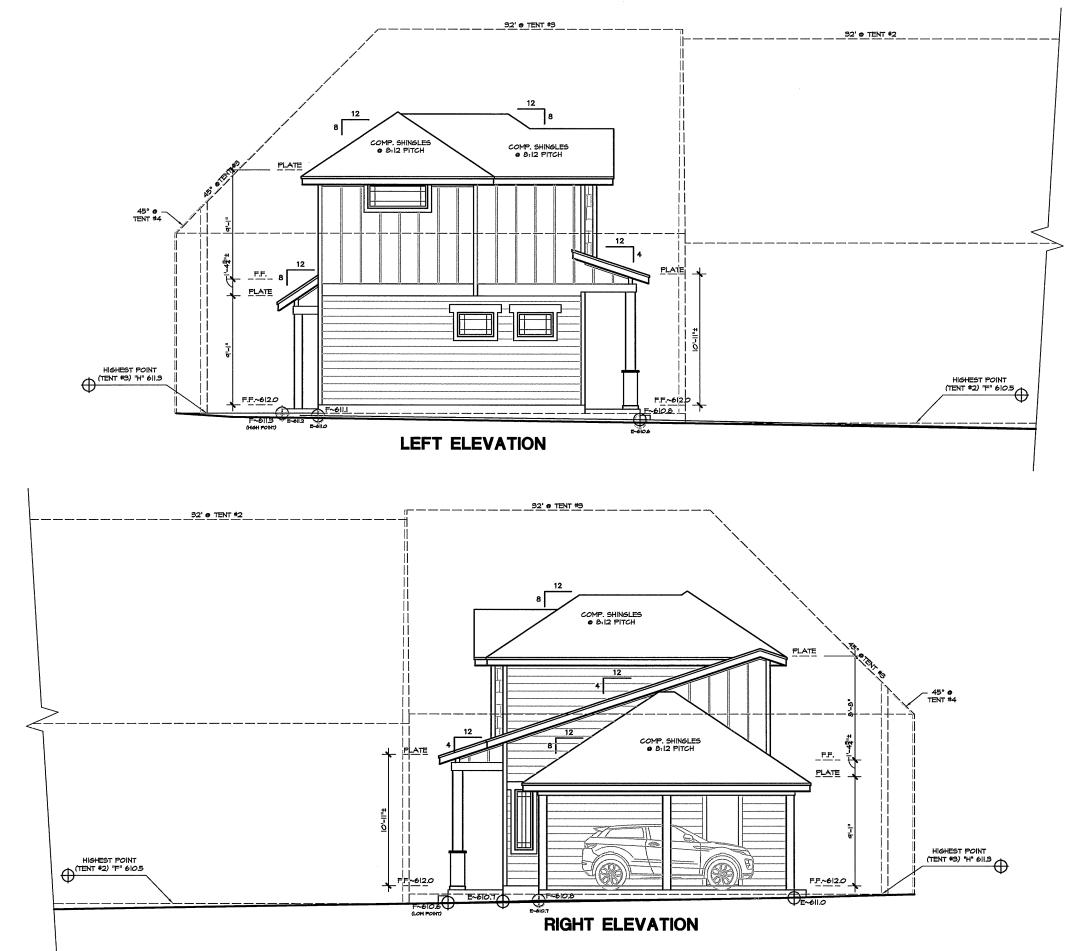






**ALAMO SERIES ALAMO 846** SETBACK PLANE EXHIBIT Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

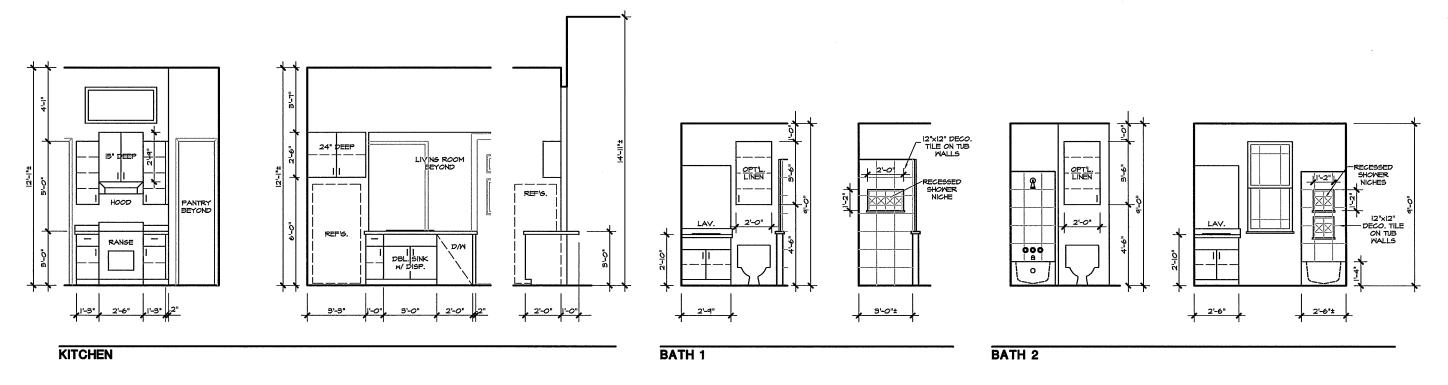
3816 DUVAL STREET 846AR
JOB •220030 1-CAR CARPORT

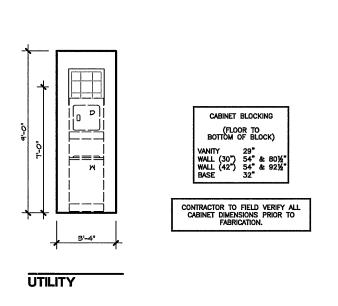




**ALAMO SERIES ALAMO 846 SETBACK PLANE EXHIBIT** Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

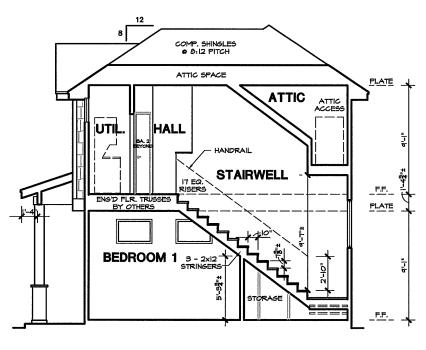
3816 DUVAL STREET 846AR
JOB =220030 1-CAR CARPORT





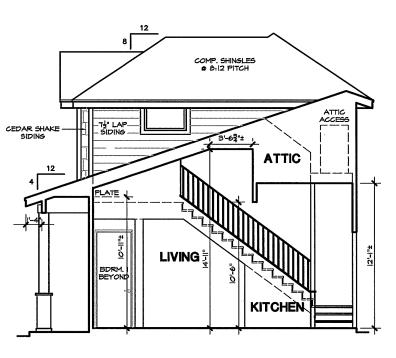
### **CABINET ELEVATIONS**

Scale: 3/16"- 1'-0" on 11"x17" Scale: 3/8"= 1'-0" on 24"x36"



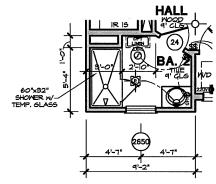
# 846AR SECTION A-A

Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"- 1'-0" on 24"x36"



# 846AR SECTION B-B

Scale: 1/8"- 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"



# **BATH 2 OPTION**

Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

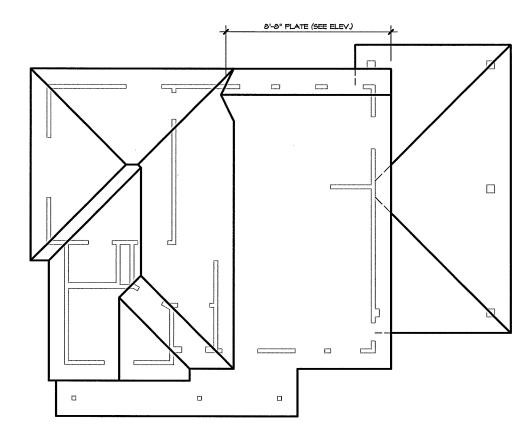


MAR 26 2015

**ALAMO SERIES ALAMO 846** CABS/SECTIONS Scale: AS NOTED

3816 DUVAL STREET 846AR

JOB #220030 1-CAR CARPORT



HEADER SCHEDULE		
OPN'G. HEADER SIZE 30 (MAX.) 2-2X10's 80 (MAX.) 2-2X12's ABOVE 80 ENG'D. BEAM, SECOND FLOOR OPN'G. HEADER SIZE 30 (MAX.) 2-2X8's 50 (MAX.) 2-2X8's 80 (MAX.) 2-2X10's 80 (MAX.) 2-2X10's 80 (MAX.) 8-2X12's 80 (MAX.) 8-2X12'S 80 (MAX.) 8-2X12'S 80 (MAX.) 8-8MARDYE 80 ENG'D. BEAM	HEADER	SCHEDULE
3° (MAX.) 2-2X10's 8° (MAX.) 2-2X12's ABOVE 8° ENG'D. BEAM, SEE PLANS SECOND FLOOR OPN'G.   HEADER SIZE 3° (MAX.) 2-2X6's 4° (MAX.) 2-2X16's 8° (MAX.) 2-2X10's 8° (MAX.) 2-2X12's ABOVE 8° ENG'D. BEAM,		T FLOOR
8° (MAX.) 2-2X12's ABOVE 8° ENG'D. BEAM, SEE PLANS  SECOND FLOOR OPN'G.   HEADER SIZE 3° (MAX.) 2-2X6's 4° (MAX.) 2-2X16's 8° (MAX.) 2-2X12's ABOVE 8° ENG'D. BEAM,	OPN'G.	HEADER SIZE
8° (MAX.) 2-2X12's ABOVE 8° ENG'D. BEAM, SEE PLANS  SECOND FLOOR OPN'G.   HEADER SIZE 3° (MAX.) 2-2X8's 4° (MAX.) 2-2X10's 8° (MAX.) 2-2X12's ABOVE 8° ENG'D. BEAM	3º (MAX.)	2-2X10's
SEC PLANS'  SECOND FLOOR  OPN'G.   HEADER SIZE  3º (MAX.) 2-2X6's  4º (MAX.) 2-2X10's  8º (MAX.) 2-2X10's  Rº (MAX.) BEAMARDVE 8º ENG'D. BEAM	1 8º(MAX.)	2-2X12's
SECOND FLOOR OPN'G.   HEADER SIZE 3° (MAX.) 2-2X6's 4° (MAX.) 2-2X8's 5° (MAX.) 2-2X10's 8° (MAX.) 2-2X12's ABOVE 8° ENG'D. BEAM	ABOVE 80	ENG'D. BEAM
OPN'G.   HEADER SIZE  3° (MAX.) 2-2X6's  4° (MAX.) 2-2X8's  5° (MAX.) 2-2X10's  8° (MAX.) 2-2X12's  ABOVE 8° ENG'D. BEAM.		
3°(MAX.) 2-2X6's 4°(MAX.) 2-2X8's 5°(MAX.) 2-2X10's 8°(MAX.) 2-2X12's ABOVE 8° ENG'D. BEAMA		ND FLOOR
4° (MAX.) 2-2X8's 5° (MAX.) 2-2X10's 8° (MAX.) 2-2X12's ABOVE 8° ENG'D. BEAM	OPN'G.	HEADER SIZE
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8° (MAX.) 2-2X12's ABOVE 8° ENG'D, BEAM	4º (MAX.)	2-2X8's
ABOVE 80 ENG'D, BEAM	5º (MAX.)	2-2X10's
ABOVE 8° ENG'D. BEAM, SEE PLANS	8º(MAX.)	
SEE PLANS	ABOVE 80	ENG'D. BEAM
		SEE PLANS

SEE DETAIL SHEET FOR GENERAL MECHANICAL SYSTEM REQUIREMENTS

ENGINEERED FRAMING PLANS TO BE PROVIDED BY OTHERS

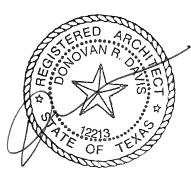
## **ROOF LAYOUT**

VENTILATION REQUIREMENTS

PROVIDE VENTILATION AS REQUIRED BY CURRENT ADOPTED INTERNATIONAL RESIDENTIAL CODE. PERFORATED SOFFITS - NOT ALLOWED IN SIDE YARDS WITH LESS THAN 5 FEET FROM SOFFIT TO BUILD LINE OR LESS THAN 10 FEET FROM SOFFIT TO SOFFIT.

BASED ON A 1/300 CALCULATION, AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA SHALL BE PROVIDED BY VENTILATORS LOCATED IN UPPER PORTION OF THE ATTIC OR RAFTER SPACE MITHIN 3 FEET OF THE RIGHEST SPACE OR THE RIDGE. THE BALANCE OF THE REGUIRED VENTILATION SHALL BE PROVIDED BY EAVE OR CORNICE VENTS.

Plan#	Elevation	Roof Area Type	Attic Square footage (square feet)	Free attic area @ 1/300 (square inches)	Fligh Ventilation  @ 50% (square inches)	Low Ventillation @ 50% (square inches)
		Lower Roof	302.70	145.30	72.65	72.65
846	A	Upper Roof	307.40	147.55	73.78	73.78
		Garage Roof	235.30	112.94	56.47	56.47



MAR 26 2015

**ALAMO SERIES ALAMO 846 ROOF LAYOUT** 

Scale: 1/8"= 1'-0" on 11"x17" Scale: 1/4"= 1'-0" on 24"x36"

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JOB =220030 1-CAR CARPORT

### PLEASE REFER TO ORDINANCE \*'S 20130606-055 & 20130606-093 FOR COMPLETE LIST OF REQUIREMENTS

### ORDINANCE NO. 20130606-055

AN ORDINANCE REPEALING AND REPLACING ARTICLE 11: OF CITY CODE CHAPTER 25-12 TO ADOPT THE 2012 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS AND LOCAL AMENDMENTS

### BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN

PART 1. Article 11 of Chapter 25-12 (Residential Code) is repealed and a new Article. 11 is adopted to read as follows:

ARTICLE 11. RESIDENTIAL CODE

### § 25-12-241 RESIDENTIAL CODE

- (A) The International Residential Code for One- and Two-Family Dwellings, 2012 Edition, published by the International Code Council, Inc. (2012 International Residenti Code) is adopted and incorporated into this section with the deletions and amendments it ions (B) and (C) and Section 25-12-243 (Local Amendments to the Inte
- (B) The following provisions of the 2012 International Residential Code are deleted. All subsections contained within a deleted section or subsection are also deleted, even if not specifically listed below.

Section R101.2	Section R109.1.3	Part IX
Section R103	Section R110.3	Part VI
Section R104.4	Section R112	Part VII
Section R105.2	Table R301.2 (1)	Part VIII
Section R105.3.1.1	Section R301.2.4	
Section R105.3.2	Section R314	
Section R105.5	Section R315	
Section R106.1.3	Section R320	
Section R106.4	Section R322	
Section R109.1.1	Section M2201.6	

- (C) The definitions of "Building, Existing" and "Height, Building" in Section R202 (Definitions) of the 2012 International Residential Code are deleted.
- (D) The city clerk shall file a copy of the 2012 International Residential Code with the official ordinances of the City.

ORDINANCE NO. 20130604-093

AN ORDINANCE REPEALING AND REPLACING ARTICLE 6 OF CITY CODE

CHAPTER 25-12 TO ADOPT THE 2012 UNIFORM PLUMBING CODE AND

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. City Code Chapter 25-12 is amended to repeal Article 6 (Plumbing Code) and

ARTICLE 6, PLUMBING CODE.

(A) The Uniform Plumbing Code, 2012 edition, published by the Internation Association of Plumbing and Mechanical Officials (2012 Uniform Plumbin Code) is adopted and incorporated into this section, including all appendiors except Appendiors F, H and L, with declinions and amondments in Subsection (B) of this section and Section 25-12-153 (Local Amendments to the Exercise Code Code (1997).

Table 103.4

Table 603.2

403.3

422.2

501.0

50355

704.3

712.0

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909.0

Page I of 19

deleted, even if not specifically listed below. 103.1.1

The following provisions of the 2012 Uniform Plumbing Code are deleted

one contained within a deleted section or subsection are also

319.0

403.4

508.4

603.2

710.2

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Table 422.1

\$25-12-151 PLUMBING CODE.

103.4

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608.2

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807.4

Table 501.1

(Climatic and Geographic Design Criteria) shall be designed and constructed in accordance with Section R322 (Flood-Resistant Construction).

Exception: Buildings and structures located in whole or in part in identified 25floodplain as established by future conditions floodplain models and maps year floodplam as established by lattice constructed as stipulated in the Section R322(Flood-

### SECTION R314 SMOKE ALARMS

R314.1 Smoke detection and notification. All'smoke alarms shall be listed and labeled in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

R314.2 Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72.

Exception: Where smoke alarms are provided meeting the requirements of Section

R314.3 Location. Smoke alarms shall be installed in the following locations:

- 1. In each sleeping room;
- 2. Outside each separate sleeping area in the immediate vicinity of the bedrooms;
- 3. On each additional story of the dwelling, including basements and habitable attics, but
- 4. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level, provided that the lower level is less than one full story

R314.3.1 Alterations, repairs and additions. When alterations, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created in

501.4 Residential Water Heating. Residential Buildings, as defined by the Energy

Code, having existing or planned natural gas service or equivalent district gas service

Residential Buildings, as defined by the Energy Code and not having natural gas service

or equivalent district gas service located within the adjacent right-of-way, may install electric resistance water heaters having a minimum efficiency of 93% in conjunction with

electric resistance water nearers naving a minimum efficiency of 93% in conjunction with a preprogrammed water heater timer in lieu of gas fired water heating. The timer shall be preprogrammed to turn the water heater off between the hours of 3:00PM and 7:00PM from June 1 to September 30 and from 12:00AM to 4:00AM throughout the year. The

timer shall have a readily accessible override, as defined by the building official, capable of restoring power to the water heater for one hour when activated.

shall be controlled by a pre-programmed timer.

Electric resistance water heater that is secondary to a primary system where

the primary system is documented to provide at least 75% of the hot water from June 1 to September 30 and at least 50% of the hot water from October

1 to May 31. The secondary electric resistance water heater in such a system

Heat pump water heaters where electric resistance is the secondary means of

Existing residential buildings where the furnace and water heater are housed

in a common interior mechanical room. Electric resistance water heaters installed in these buildings shall be controlled by a pre-programmed timer.

Electric resistance water heaters with a rated requirement of 3000, watts or

508.4 Appliances in Attics, Above Cellings and Under-Floor Spaces. Storage type water heaters exceeding a capacity of 17 gallons shall not be installed in an attic or above

a ceiling unless accessible through a vertical door opening located in an occupied space on the same floor level. An attic or under-floor space in which an appliance is installed

shall be accessible through an opening and passageway not less than as large as the largest component of the appliance, and not less than 22 inches by 30 inches (559 mm by 762 mm).

508.4.1 Length of Passageway. Where the height of the passageway is less than 6 fe (1829 mm), the distance from the passageway access to the appliance shall not exceed 2 feet (6096 mm) measured along the centerline of the passageway. [NFPA 54:9.5.1.1]

508.4.2 Width of Passageway. The passageway shall be unobstructed and shall have solid flooring not less than 24 inches (610 mm) wide from the entrance opening to the

located within the adjacent right-of-way, shall not use electric resistance as the primary

existing dwellings, the individual dwelling unit shall be equipped with smoke alarm

- Work involving the exterior surfaces of shoellings, such as the replace roofing or siding, or the addition or replacement of windows or doors, or the addition of a porch or dock, are exempt from the requirements of this section.
- Installation, alteration or repairs of plumbing or mechanical systems requires
  the installation of smoke alarms, which may be allowed to be solely battery powered
  and located outside each separate sleeping area in the immediate vicinity of the

R314.4 Power source, Smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overamment protection.

- Smoke alarms shall be permitted to be battery operated when installed in buildings without commercial power.
- 2. Hard withing of smoke alarms in existing areas shall not be required where the 2. I hard wring or smoke autims in extending areas statu not be required where it attends or repairs do not result in the removal of interior wall or ceiting fluish exposing the structure, unless there is an aria, crawl space or becement availab which could provide access for hard wiving without the removal of interior finishes.

R314.5 Interconnection. Where more than one smoke alarm is required to be installed whith an individual dwelling unit in accordance with Section R314.3, the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit. Physical interconnection of mode slarms thall not be entired where listed wireless alarms are installed and all alarms sound upon activat

Exception: Interconnection of smoke alarms in existing areas shall not be Exceptions: Interconnection of smoke alarms in existing areas shall not be requised where alterations or repairs do not result in removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space or basement available which could provide access for interconnection without the removal of interior finishes, each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fixed appliances are installed and in hard the provided of the control of the control

398.4.5 Work Platform. A level working platform not less than 30 inches (762 mm) by 30 inches (762 mm) shall be provided in front of the service side of the appliance, [NFPA

508.4.4 Lighting and Comvenience Outlet. A permanent 120-volt recepticle outlet and a lighting fixture shall be installed near the appliance. The switch controlling the lighting

601.1.1 Water System Connection Required. The water system of every house or building shall be reparately and independently connected to a state-licensed public public water system if any part of the lot or tract that contains the house or building is within 100 feet in builzonfal distance (measured on the closest practicable access rotte).

within 100 feet in harizontal distance (measured on the closest practicable access rottle of the public water system. Connection to the public water system is not required if any

(i) The property owner has received a written denial of service from the owner or governing body of the public water system.

(2) The property owner has received a written determination from the water utility that it is not feasible for the building to be connected to the potable

601.1.2 If a state licensed public potable water system is unavailable within the full purpose jurisdiction of the City of Austin, then any alternative source used for potable water shall be installed per the provisions of this code.

601.2 Identification of a Potable and Nompatable Water System. On sites where potable water and nonpotable water systems are installed, each system shall be Bearly identified in accordance with Section 601.2.1 through Section 601.2.4.

601.2.2 Color and information. Each system shall be identified with a colored gipe

coll. 2.2 Codes and information. Each system shall be identified with a colored pipe or sleeve and coded with paints, warps, and materials compatible with the piping, Except as required in Section 501.2.2.1, neopotable water systems shall have a yellow background-with black uppercase lettering, with the words "CAUTION; NONPOTABLE WATER, DO NOT DERINK" Each acceptable system shall be identified to designate the liquid being conveyed, and the direction of normal flow shall be clearly shown. For above ground installations the minimum size of the letters and length of the color field shall comply with Table 501.2.2. The background color and the required information shall be

601.2.1 Potable Water. Green background with white lettering.

The property is served by an existing private potable water system and the water utility has determined that the private potable water system may continue to be used based on factors such as the type of facility served, the

age, condition, and capacity of the private potable water system, and the availability of records regarding the system, changes to the system, or the

ixture shall be located at the entrance to the passageway. [NFPA 54:9:5,3]

### MONOXIDE ALARMS

315.1 Carbon monoxide alarms. Carbon monoxide alarms shall be installed in new buildings in accordance with Sections 315.1.1 through 315.1.7 Carbon monoxide alarms shall be installed in existing buildings in accordance with Section 315.1.8

315.1.1 Where required. Carbon monoxide alarms shall be provided in dwellings in the ocations specified in 315.1.2 where any of the conditions in Sections 315.1.1.1 through 315.1.1.3 exist.

315.1.1.1 Fuel-burning appliances and fuel burning fireplaces. Carbon monoxide alarms shall be provided in dwelling units that contain a fuel-burning appliance or a fuel burning fireplace.

315.1.1.2 Forced air furnaces. Carbon monoxide alarms shall be provided in dwelling units served by a fuel-burning, forced air furnace. 315.1.1.3 Garages. Carbon monoxide alarms shall be provided in dwelling unit

### Exceptions:

- Carbon monoxide alarms shall not be required if there are no communicating openings between the garage and the dwelling unit; or
- b. Carbon monoxides alarms shall not be required in dwelling unit's locate

315.1.2 Locations. Where required by Section 315.1.1, carbon monoxide alarms shall be nstalled in the locations specified in Sections 315.1.2.1.

315.1.2.1 Dwelling units. Carbon monoxide alarms shall be installed in dwelling units outside of each separate sleeping area in the immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its

315.1.3 Power source. Carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be

Exception: Where installed in buildings without commercial power, battery nowered carbon monoxide alarms shall be an accentable alterna

indicated every 20 feet (6096 mm) but not less than once per room, and shall be visible

from the floor level. For below ground installations the minimum size of the letters and length of the color field shall comply with Table 601.2.2. The background color and the required information for underground piping shall be indicated every 5 feet. Exception: Reclaimed water piping must have it's background color continuous along the entire length of the piping for both aboveground and underground

601.2.2.1 Alternate (Auxiliary) Water Sources. Alternate water source systems sha have a purple (Pantone color No. 512, 522C, or equivalent) background with uppercase lettering and shall be field or factory marked as follows:

- (1) Gray water systems shall be marked in accordance with this section with the words "CAUTION: CAUTION: NONPOTABLE GRAY WATER, DO NOT DRINK" in yellow letters (Pantone 108 or equivalent).
- (2) Reclaimed (recycled) water systems shall be marked in accordance with this section with the words: "CAUTION: NONPOTABLE RECLAIMED (RECYCLED) WATER, DO NOT DRINK" in black letters.
- (3) On-site treated water systems shall be marked in accordance with this section with the words: "CAUTION: ON-SITE TREATED NONPOTABLE WATER, DO NOT DRINK" in yellow letters (Pantone 108 or equivalent). (4) Rainwater catchment systems shall be marked in accordance with this section with the words: "CAUTION: NONPOTABLE RAINWATER WATER, DO NOT DRINK" in yellow letters (Pantone 108 or equivalent).
- (5) Other On-site Nonpotable Water systems shall be marked in accordance with this section with the words: "CAUTION; NONPOTABLE WATER DO NOT DRINK" in yellow letters (Pantone 108 or equivalent).

601.2.3 Fixtures. Where vacuum breakers or backflow preventers are installed with fixtures listed in Table 1401.1, identification of the discharge side shall be permi

601.2.4 Outlets. Each outlet on the nonpotable water line that is used for specia purposes shall be posted with black uppercase lettering as follows: "CAUTION; NONPOTABLE WATER, DO NOT DRINK". 315.1.4 Listings. Carbon monoxide alarms shall be listed in accordance with UL 2034

315.1.5 Combination alarms. Combination carbon monoxide/smoke alarms shall be a acceptable alternative to carbon monoxide alarms. Combination carbon mon-alarms shall be listed in accordance with UL 2034 and UL 217.

315.1.6 Carbon monoxide detection systems. Carbon monoxide detection systems shall eptable alternative to carbon monoxide alarms and shall comply with Sections

315.1.6.1 General. Carbon monoxide detection systems shall comply with NFPA 720. Carbon monoxide detectors shall be listed in accordance with UL 2075.

315.1.6.2 Locations. Carbon monoxide detectors shall be installed in the locati specified in Section 315.1.2. These locations supersede the locations specified in NFPA 720.

315.1.6.3 Combination detectors. Combination carbon monoxide/smoke-detectors installed in carbon monoxide detection-systems shall be an acceptable alternative to carbon monoxide detectors, provided they are listed in accordance

315.1.7 Maintenance. Carbon monoxide alarms and carbon monoxide detection systems thall be maintained in accordance with NFPA 720. Carbon monoxide alarms and carbon onoxide detectors that become inoperable or begin producing end of life signals shall

315.1.8 Carbon monoxide alarms. Where work requiring a building permit, or work performed on a fuel gas system, gas appliance or gas fixture in an existing abselting or distelling unit shall be provided with carbon monoxide alarms in accordance with Section 315.1, except that the carbon monoxide alarms shall be allowed to be solely battery.

Execution: Work involving the exterior surfaces of deadlings, such as the replacement of roofing or sixing, or the addition or replacement of windows or doors, or the addition of a porch or deck, are exempt from the requirements of this

### SECTION B320

R329.1 Accessible bethrooms within dwelling units. If a water closer room or bathroom is provided on the first story of a dwelling unit, the water closer room or bathroom must have a minimum clear opening of at least 30 inches (762 mm).

2012 ENERGY CODES AND REQUIRE CERTIFICATION OF COMPLIANCE BY FINAL

(17 GAL. MAX. W.H., SEE ORD.#

### GENERAL MECHANICAL SYSTEM

MING L3 Appliances in attics Affice MINO.1.3 Appliances thattics./AERS
containingappliances shall be provided with a
opening and a clear and unobstructed
passessewsy large enough to allow removal of and not more than 20 feet (6096 mm) long way shall have continuous solid flooring in secondance with Chanter Snot Jessthan 24

nd removed through the required one eway shall be not more than 50 feet (15

MI305.I 3.I Electrical requirements. A writing ire controlled by a switch located at the outlet shall be installed at or near the appliance location in accordance with Chapter 39.

JDT COMMUNITIES RESERVES THE RIGHT TO CHANGE PLANS, SPECIFICATIONS, AND PRICES WITHOUT NOTICE.

ResChecks ARE REQUIRED TO BE PER THE

NOTE: HVAC AND/OR WATER HEATER TO BE LOCATED IN ATTIC

the leceast ambience but not less than 30 inches measure dalone the centerline of the passaseway from the opening to the appliance. The passase (762 mm) wide shall be presentations all sides of the appliance where access is required. The nimum of 20 inches by 30 inches (508 rum b 762 mm), and large enough to allow removal of

1. The passageway and level service space are not required where the appliance can be serviced 2. where the passageway is unobstructed and n less than 6 feet (1829 mm) high and 22 inches (559 mm) wide for its entire length, the

required passageway opening and a receptacle

TR-3.15.1 CARBON MONOXIDE ALARMS. FOR THE STATE OF THE PROPERTY OF THE BEDROOMS IN OWNERS AREA IN THE BEDROOMS IN THE BEDROOMS IN THE IMMEDIATE OPPOLITION OF THE BEDROOMS IN THE STATE OPPOLITIONS WITHIN WHICH, POEL—FIRED APPLÂNCES ARE INSTALLED AND IN DWELLING UNITS—THAT

WHICH FUEL-FIRED APPLIANCES ARE INSTALED AND IN DWELLING UNITS—THAT HAVE ATTACHED GARAGES.

"R315.2 CARBON MONE DE TECTION SYSTEMS. CARBON MONE DE TECTION SYSTEMS THAT INCLUDE COMPLICATION APPLIANCES, INSTALE BEAND, UNITS THE CARBON MONEY OF THE COUPLING THE CARBON MONEY OF THE COUPLING OF THE COUPLING OWNED BY THE HOMEY OF THE COUPLING OWNED BY THE HOMEY OF THE COUPLING OWNED BY THE HOMEY OF THE CARBON MONEY OF THE HOMEY OF THE COUPLING STATION.

EXCEPTION: WHERE CARBON MONEY AND SHALL BE MONITORED BY AN APPROVED SUPERVISING STATION.

EXCEPTION: WHERE CARBON MONEY HE REQUIREMENTS OF SECTION R315. A COMPLIANCE WITH SECTION 315.2 IS NOT REQUIREMENTS OF SECTION R315. A COMPLIANCE WITH SECTION 315.2 IS NOT REQUIREMENTS OF SECTION R315. A COMPLIANCE WITH SECTION 315.2 IS NOT REQUIREMENTS OF SECTION R315.

REQUIRED."

WOOD WALL FRAMING REFER TO THIS SECTION OF THE 2012 IRC IORE OPTIONS PROVIDED FOR RUILDERS AN

DESIGNERS TO PROVIDE ADEQUATE WALL BRACING FOR HOUSES.

CENTRAL FURNACES "M1402.1 GENERAL OIL-FIRED CENTRAL FURNACES SHALL CONFORM TO ANSI/UL 727. ELECTRIC FURNACES SHALL CONFORM TO UL 1995.

M1402.2 CLEARANCES CLEARANCES SHALL BE PROVIDED IN ACCORDANCE WITH THE LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS."

M1402.3 COMBUSTION AIR. COMBUSTION AIR SHALL BE SUPPLIED IN ACCORDANCE WITH CHAPTER 17. COMBUSTION AIR OPENINGS HALL BE UNOBSTRUCTED FOR A DISTANCE THE OPENINGS."

M1502.4.4 DUCT LENGTH. THE MAXIMUM LLOWABLE EXHAUST DUCT LENGTH SHALL BI DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTION M1502.4.4.1 OR M1502.4.4.2."

"M1502.4.4.1 SPECIFIED LENGTH, THE MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE 35 FEET FROM THE CONNECTION TO THE TRANSITION DUCT FROM THE DRYGE TO THE OUTLET TERMINAL WHERE FITTINGS ARE USED, THE MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE REDUCED IN ACCORDANCE WITH TABLE M1502.4.4.1. THE MAXIMUM LENGTH OF THE EXHAUST DUCT DOES NOT INCLUDE THE TRANSITION DUCT."

M1502.4.4.2 MANUFACTURER'S M1902.4.4.2 MANIFACTURER'S
INSTRUCTIONS. THE SIZE AND MAXIMUM
LENGTH OF THE EXHAUST DUCT SHALL BE
DETERMINED BY THE DRYER
MANUFACTURER'S INSTALLATION
INSTRUCTIONS. THE CODE OFFICIAL SHALL

BE PROVIDED WITH A COPY OF THE NSTALLATION INSTRUCTIONS FOR THE MAKE INSIALIATION INSTRUCTIONS FOR THE MAKE AND MODEL OF THE DRYER AT THE CONCEALMENT INSPECTION. IN THE ABSENCE OF FITTING EQUIVALENT LENGTH CALCULATIONS FROM THE CLOTHES DRYER MANUFACTURER, TABLE M1502.4.4.1 SHALL BE USED."

THESE PLANS ARE TO COMPLY WITH THE THESE PLANS ARE TO COMPLY WITH THE FOLLOWING CODES:

2012 INTERNATIONAL RESIDENTIAL CODE, 2012 INTERNATIONAL PLERGY CONSERVATION CODE, 2012 INTERNATIONAL PLUMBING CODE, 2012 INTERNATIONAL MECHANICAL CODE, 2011 INTERNATIONAL FLECTRICAL CODE, 2012 INTERNATIONAL FUEL GAS CODE, 2012 INTERNATIONAL FUEL GAS CODE, 2012 INTERNATIONAL FUEL GAS CODE, 2012 INTERNATIONAL FIRE CODE.

THE LENGTH OF HOT WATER PIPING ALLOWED WITHOUT A MEANS OF MAINTAINING THE TEMPERATURE HAS BEEN REDUCED FROM 100 FEET TO 5 OF FEET AND PIPING INSULATION WILL BE REQUIRED — 2012 INTERNATIONAL PLUMBING CODE (IPC) AND 2012 INTERNATIONAL FUEL GAS CODE (IFGC)

CONSULT LOCAL BUILDING OFFICIAL

JOB **=220030** 

Sections R302.1, R302.5.1, R302.6, R312.1, R312.1.1, R312.14, R312.2, R312.2.1, R312.2.2, R315.1, R315.2, R602, M1402.1, M1402.2, M1402.3, M1502.4.4, M1502.4.4.1, M1502.4.4.2 Tables R302.1(1), R302.1(2), R302.6 Excerpted from the 2012 International Residential Code, Copyright 2012.

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Sections M1305.1.3, M1305.1.3.1 Excerpted from the 2012 International Residential Code, Copyright 2012,

Washington, D.C.: International Code Council. Reproduced with permission. All rights reserved. www.ICCSAFE.org "R302.1 EXTERIOR WALLS. CONSTRUCTION, PROJECTIONS, OPENINGS AND PENETRATIONS OF EXTERIOR WALLS OF DWELLINGS AND ACCESSORY BUILDINGS SHALL COMPLY WITH TABLE R302.1(1); OR DWELLINGS EQUIPPED HROUGHOUT WITH AN AUTOMATIC SPRINKLE! SYSTEM INSTALLED IN ACCORDANCE WITH SECTION P2904 SHALL COMPLY WITH TABLE R302.1(2)." EXCEPTIONS: SEE CODE

R302.5.1 OPENING PROTECTION, OPENINGS R302.5.1 OPENING PROTECTION, OPENING FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1% INCHES IN THICKNESS, SOLID OR HONEY-COMB-CORE STEEL DOORS NOT LESS THAN 1% INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED

WITH A SELE-CLOSING DEVICE."

"R302.6 DWELLING/GARAGE FIRE SEPARATION. THE GÁRAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6 OPENINGS IN GARAGE WALLS SHALL COMPLY
WITH SECTION R302.5. THIS PROVISION DOES
NOT APPLY TO GARAGE WALLS THAT ARE
PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL"

"R312.1 GUARDS, GUARDS SHALL BE R312.1.1 THROUGH R312.1.4."

"R312.2 WINDOW FALL PROTECTION, WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2." "R312.2.1 WINDOW SILLS. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF AL-INCH-DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24 INCHES OF THE FINISHED FLOOR

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OPENINGS ARE LOCATED WITHIN 24 INCHES
OF THE FINISHED FLOOR.
SUCEPTIONS:

1. WINDOWS WHOSE OPENINGS WILL NOT
ALLOW A 4-INCH-DIAMETER SPHERE TO
PASS THROUGH THE OPENING WHEN THE
OPENING IS IN ITS LARGEST OPENED

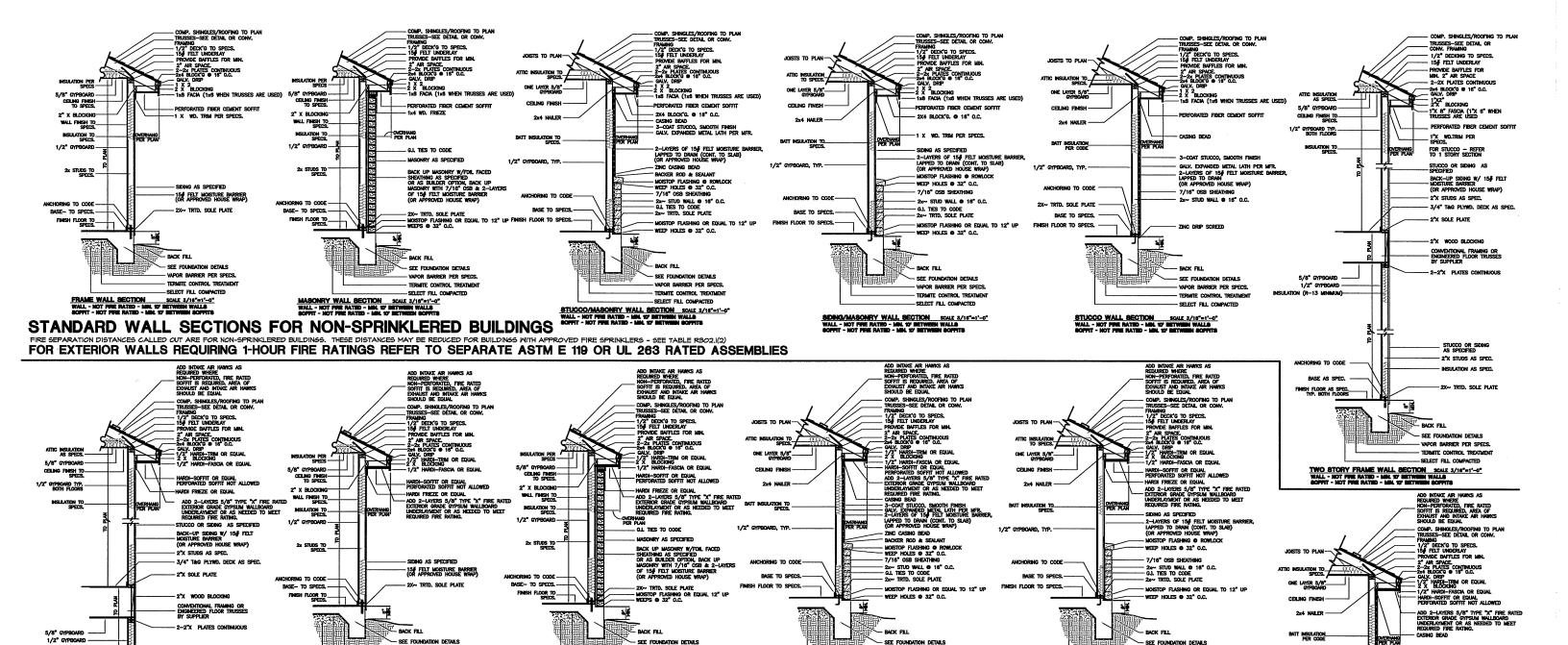
POSITION.
2. OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.

3. WINDOWS THAT ARE PROVIDED WITH WINDOW CONTROL DEVICES THAT COMPLY WITH SECTION R312.1.1."

FERED 12213. OF MAR 26 2015

3816 DUVAL STREET

**DETAILS** Scale: AS NOTED



FOR STUCCO - REFER TO 1 STORY SECTION FRAME WALL SECTION SCALE 3/16"=1"-0"
WALL - NOT PINE PATED - MIN. 10" BETWEEN WALLS IOPPIT -RECOMMENDED FOR USE WHEN I - HOUR PIRE RESISTANCE RATING IS REQUIRED WALL SECTIONS FOR NON-SPRINKLERED BUILDINGS W/MODIFIED PROJECTIONS AS APPROVED BY THE CITY OF AUSTIN, SECTIONS AS APPROVED BY THE CITY OF AUSTIN, SECTION AS A PROPERTY OF AUSTI 2"Y STUDS AS SPEC. INSULATION AS SPEC

BACK FILL

TWO STORY FRAME WALL SECTION SCALE 3/16"=1'-0"
WALL - NOT FRE RATED - NEW 37' SETWING WALLS

- SEE FOUNDATION DETAILS VAPOR BARRIER PER SPECS.

- TERMITE CONTROL TREATMENT

BASE AS SPEC.

FOR EXTERIOR WALLS REQUIRING 1-HOUR FIRE RATINGS REFER TO SEPARATE ASTM E 119 OR UL 263 RATED ASSEMBLIES TABLE R302.1(1) EXTERIOR WALLS

- TERMITE CONTROL TREATMENT

EXTERIOR WALL ELEMENT		MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	I hour—tested in accordance with ASTM E 119 or UL 263 with exposure from both sides	< 5 feet
	Not fire-resistance rated	0 hours	≥ 5 feet
Projections	Fire-resistance rated	1 hour on the underside	≥ 2 feet to < 5 feet
	Not fire-resistance rated	0 hours	≥ 5 feet
Openings in walls	Not allowed	N/A	< 3 feet
	25% maximum of wall area	0 hours	3 feet
	Unlimited	0 hours	5 feet
Penetrations	All	Comply with Section R302.4	< 5 feet
		None required	5 feet

For SI: 1 foot = 304.8 mm N/A = Not Applicable

Sections R302.1, R302.5.1, R302.6, R312.1, R312.1.1, R312.14, R312.2, R312.2.1, R312.2.2, R315.1, R315.2, R602, M1402.1, M1402.2, M1402.3, M1502.4.4, M1502.4.4.1, M1502.4.4.2

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	EXTERIOR WALLS-	DWELLINGS WITH FIRE SPRINKLERS	
EXTERIOR WALL ELEMENT		MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E 119 or UL 263 with exposure from the outside	0 feet
	Not fire-resistance rated	0 hours	3 feet*
Projections -	Fire-resistance rated	1 hour on the underside	2 feet <sup>a</sup>
riojections	Not fire-resistance rated	0 hours	3 feet
O	Not allowed	N/A	< 3 feet
Openings in walls	Unlimited	0 hours	3 feet <sup>a</sup>
Penetrations	All	Comply with Section R302.4	< 3 feet
reneirauoris	All	None required	3 feet <sup>a</sup>

- VAPOR BARRIER PER SPECS.

- TERMITE CONTROL TREATMEN

- SELECT FILL COMPACTED

STUCCO/MASONFY WALL SECTION SCALE 3/16"+1'-0"
WALL - NOT PRIE RATED - MIN. 10" BETWEEN WALLS

For SI: 1 foot = 304.8 mm. N/A = Not Applicable

- VAPOR BARRIER PER SPECS.

TERMITE CONTROL TREATMEN

MASONRY WALL SECTION SCALE 3/16"=1'-0"
WALL - NOT PIRE RATED - MIN, 10" BETWEEN WALLS

BOTTIT -RECOMMENDED FOR USE WHEN I - HOUR PIRE RESISTANCE RATING IS REC

aED - BACK FILL - SEE FOUNDATION DETAILS VAPOR BARRIER PER SPECS - TERMITE CONTROL TREATMEN STUCCO WALL SECTION SCALE 5/16"=1'-0"
WALL - NOT PINE RATED - MR. 10" RETWEEN WALLS .*[2*213... OF TE

1/2" GYPBOARD, TYP. -

BASE TO SPECS.

MAR 26 2015

- VAPOR BARRIER PER SPECS

SIDING/MASONRY WALL SECTION SCALE 3/16"=1'-0"
WALL - NOT FRE RATED - MM. 10" RETWISH WALLS
SOFFT -RECOMMENDED FOR USE WHEN
I - HOUR FRE RESERVANCE RATING IS REQUIRED

CONSULT LOCAL BUILDING OFFICIAL

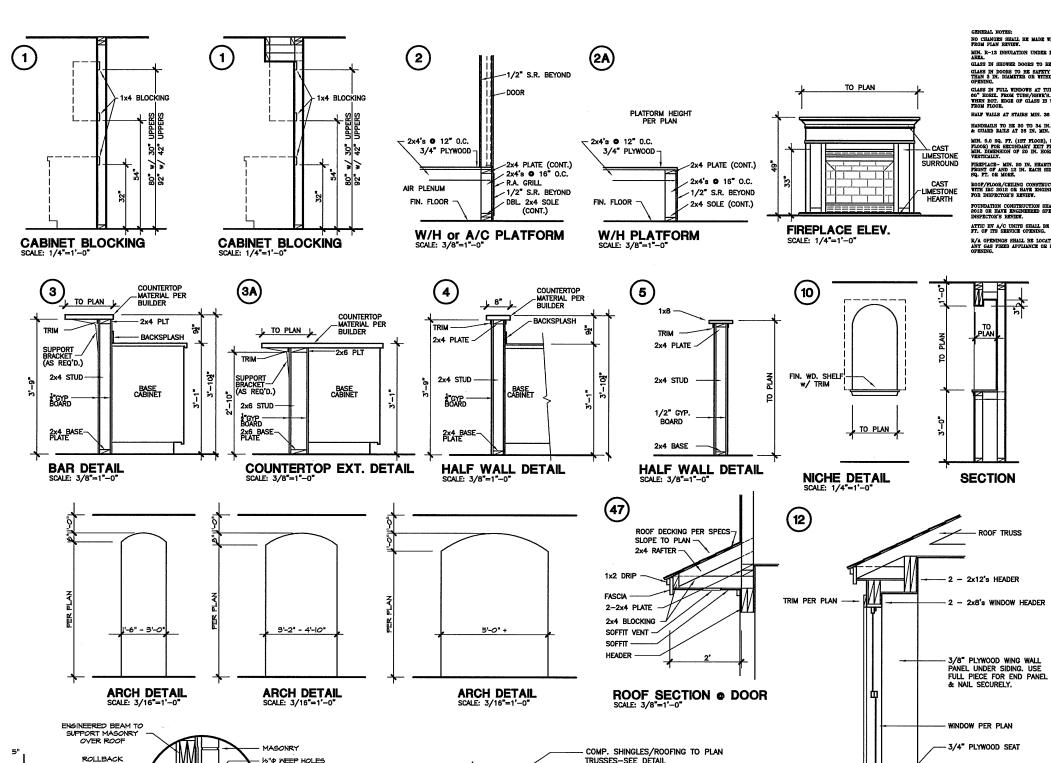
3-COAT STUCCO, SMOOTH FINISH

GALV. EXPANDED METAL LATH PER MFR. 2-LAYER OF 15# FELT MOSTURE BARRIER, LAPPED TO DRWN (OR APPROVED HOUSE WRAP)

3816 DUVAL STREET JOB **=**220030

**DETAILS** Scale: AS NOTED

a. For residential subdivisions where all dwellings are equipped throughout with an automatic sprinkler systems installed in accordance with Section P2904, the fire separation distance for nonrated exterior walls and rated projections shall be permitted to be reduced to 0 feet, and unlimited unprotected openings and penetrations shall be permitted, where the adjoining lot provides an open setback yard that is 6 feet or more in width on the opposite side of the property line



ZERO-OVERHANG WALL SECTION

WALL - NOT FIRE RATED - MINL 10' BETWEEN WALLS

SCALE NTS

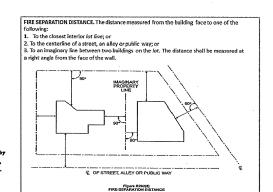
TRUSSES—SEE DETAIL OR CONV. FRAMING 1/2" DECK'G TO SPECS. 15# FELT UNDERLAY JOISTS TO PLAN NSULATION GALV. DRIP DECKING & ROOFING PER SPECIFICATIONS 9/16"4 O.S.B. SHEATHING 2-2x4 PLATE PITCH PER ELEVATION 2-2x PLATES CONTINUOUS 1x4 FACIA ONE LAYER 5/8" ENGINEERED LINTEL TO SUPPORT MASONRY OVER ROOF - ATTACH LINTEL TO BEAM PER ENGINEER 2X4 NAILER SHEATHING AS SPECIFIED SIDING AS SPECIFIED 2-LAYERS OF 15# FELT MOISTURE BARRIER, LAPPED TO DRAIN (CONT. TO SLAB) 1/2" GYPBOARD, TYP. (OR APPROVED HOUSE WRAP) NO CHANGES SHALL HE MADE WITHOUT APPROVAL FROM PLAN REVIEW. HASS IN SHOWER DOORS TO HE SAFETY GLASS.

GLASS IN DOORS TO BE SAFETY GLASS IF GREATES THAN 3 IN. DIAMETER OR WITHIN 2 FT. OF DOOR

HALF VALLS AT STAIRS MIN. 36 IN. HIGH.

HANDRAILS TO BE 30 TO 34 IN. ABOVE STAIR NOSE & GUARD BAILS AT 35 IN. MIN.

ATTIC HV A/C UNITS SHALL BE LOCATED WITHIN 20 FT. OF ITS SERVICE OPENING. R/A OPENINGS SHALL BE LOCATED MIN. 10 FT. FROM ANY GAS FIRED APPLIANCE OR ITS ENCLOSURE'S



### TABLE R302.1(1)

EXTERIOR WALL ELEMENT		MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	I hour—tested in accordance with ASTM E 119 or UL, 263 with exposure from both sides	< 5 feet
	Not fire-resistance rated	0 hours	≥ 5 feet
Projections	Fire-resistance rated	I hour on the underside	≥ 2 feet to < 5 feet
	Not fire-resistance rated	0.hours	≥5 feet
Openings in walls	Not allowed	N/A	< 3 feet
	25% maximum of wall area	0 hours	3 feet
	Unlimited	0 hours	5 feet
Penetrations	Aii	Comply with Section R302.4	< 5 feet
		None required	5 feet

For SE: 1 foot = 304.8 mm. N/A = Not Applicable.

TABLE R302.1(2)
EXTERIOR WALLS—DWELLINGS WITH FIRE SPRINKLERS

EXTERIOR WALLS	-DWELLINGS WITH LIKE SPRINKERKS	
R WALL ELEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Fire-resistance rated	1 hour—tested in accordance with ASTM E 119 or UL 263 with exposure from the outside	0 feet
Not fire-resistance rated	0 hours	3 feet <sup>a</sup>
Fire-resistance rated	1 hour on the underside	2 feet <sup>3</sup>
Not fire-resistance rated	0 hours	3 feet
Not allowed	N/A	< 3 feet
Unlimited	0 hours	3 feet <sup>a</sup>
Ali	Comply with Section R302.4	< 3 feet
	None required	3 feet <sup>a</sup>
	R WALL ELEMENT  Fire-resistance rated  Not fire-resistance rated  Fire-resistance rated  Not fire-resistance rated  Not allowed  Unlimited	Fire-resistance rated  Not fire-resistance rated  O hours  Not allowed  N/A  Unlimited  O hours  Comply with Section R302.4

For SI: 1 foot = 304.8 mm. N/A = Not Applicable

a. For residential subdivisions where all dwellings are equipped throughout with an automatic sprinkler systems installed in accordance with Section P2904, the fire separation distance for nonrated exterior walls and rated projections shall be permitted to be reduced to 0 feet, and unlimited unprotected openings and penetrations shall be permitted, where the adjoining lot provides an open setback yard that is 6 feet or more in width on the opposite side of the property line.

### TABLE R302.6

DWELLING/GARAGE SEPARATION				
MATERIAL				
Not less than ${}^{1}\!I_{2}$ -inch gypsum board or equivalent applied to the garage side				
Not less than 1/8-inch Type X gypsum board or equivalent				
Not less than <sup>1</sup> / <sub>2</sub> -inch gypsum board or equivalent				
Not less than $\frac{1}{2}$ -inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area				

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

SIDING PER PLAN

2x8's 0 16" O.C.

TO PLAN

WINDOW SEAT SECTION

SCALE: 3/8"=1"-0"
SEE IRC 2012 TABLE R302.1(1) FOR SIDE YARD PROJECTION REQUIREMENTS

ERED

2012 INTERNATIONAL RESIDENTIAL CODE\*

Sections R302.1, R302.5.1, R302.6, R312.1, R312.1.1, R312.14, R312.2, R312.2.1, R312.2.2, R315.1, R315.2, R602, M1402.1, M1402.2, M1402.3, M1502.4.4, M1502.4.4.1, M1502.4.4.2 Tables R302.1(1), R302.1(2), R302.6

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3816 DUVAL STREET

CONSULT LOCAL BUILDING OFFICIAL FOR REQUIREMENTS REGARDING FIRE RATINGS.

**DETAILS** Scale: AS NOTED

OF JOB **•220030** MAR 26 2015

**MASONRY OVER ROOF** 

Scale: N.T.S.