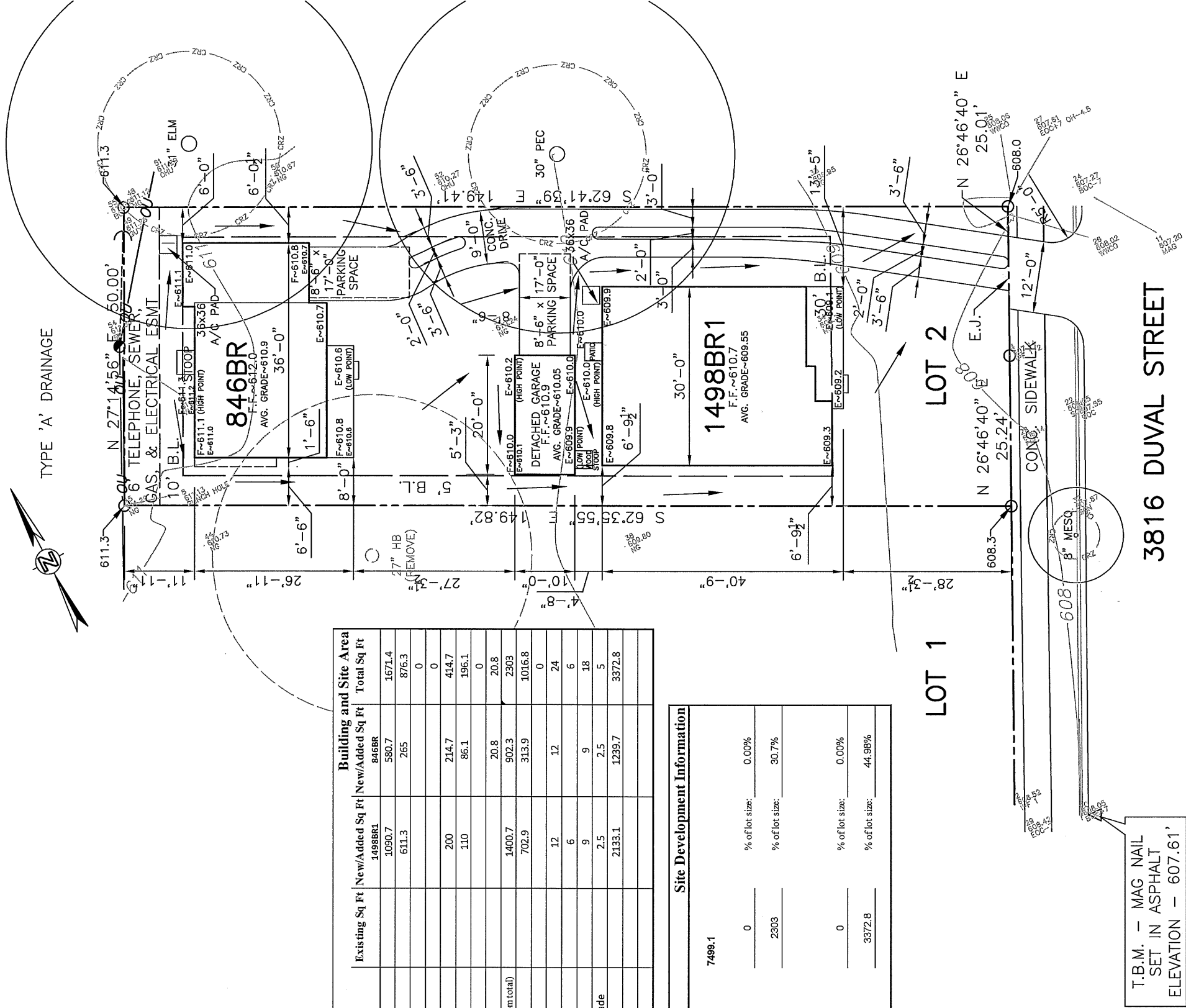


The grades shown on this plot plan for Lot 2, Block X, in Addition SHADOW LAWN, Section XX, Phase/Village XX, Austin, TX, were provided by Lenz & Associates Inc.



Area Description	Building and Site Area		
	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
a.) 1st floor conditioned area		846BR	
b.) 2nd floor conditioned area		580.7	1671.4
c.) 3rd floor conditioned area		611.3	876.3
d.) Basement		265	0
e.) Covered Parking (garage or carport)		214.7	414.7
f.) Covered Patio, Deck, or Porch		86.1	196.1
g.) Balcony		0	0
h.) Other 2nd Floor Cantilever		20.8	20.8
Total Building Coverage (exclude b, c, d, & g from total)		902.3	2303
i.) Driveway		313.9	1016.8
j.) Sidewalks		12	24
k.) Uncovered Wood Deck (counts as 50%)		6	6
m.) A/C pads		9	18
n.) Pool Coping, Retaining Walls) Steps to Grade		2.5	5
Total Site Coverage		1239.7	3372.8
o.) Pool			
p.) Spa			

Site Development Information	
Building Coverage Information	7499.1
Total Lot Square Footage:	
Existing Building Coverage (sq ft):	0
Proposed Building Coverage (sq ft):	2303
Impervious Coverage Information	
Existing Impervious Coverage (sq ft):	0
Proposed Impervious Coverage (sq ft):	3372.8

220030	
REVISIONS	
DATE	SUB/INT DESC
3.10.15	00 SEM PLOT

PAVED STREETS w/ CONC. CURB
SEWER APPROX. 3' BELOW GRADE

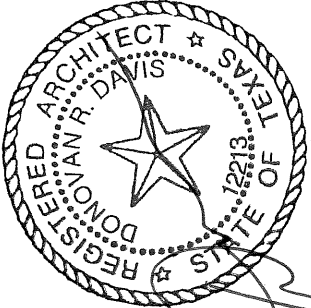
SHADOW LAWN

SECTION -

PLAN: 1498BR1 & 846AR
ADDRESS: 3816 DUVAL STREET

LOT: 2
BLOCK: X
Austin, TX

SCALE: 1" = 20'



MAR 26 2015

DANZE & DAVIS ARCHITECTS, INC.
4701 Spicewood Springs Rd., Suite 200 Austin, Texas 78759
512/343-0714 512/343-0718 (fax) www.danze-davis.com

AUSTIN CITY BUILDERS

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The grades shown on this plot plan for Lot 2, Block X, in
Addition SHADOW LAWN, Section XX, Phase/Village XX,
Austin, TX _____, were provided by Lenz & Associates Inc.

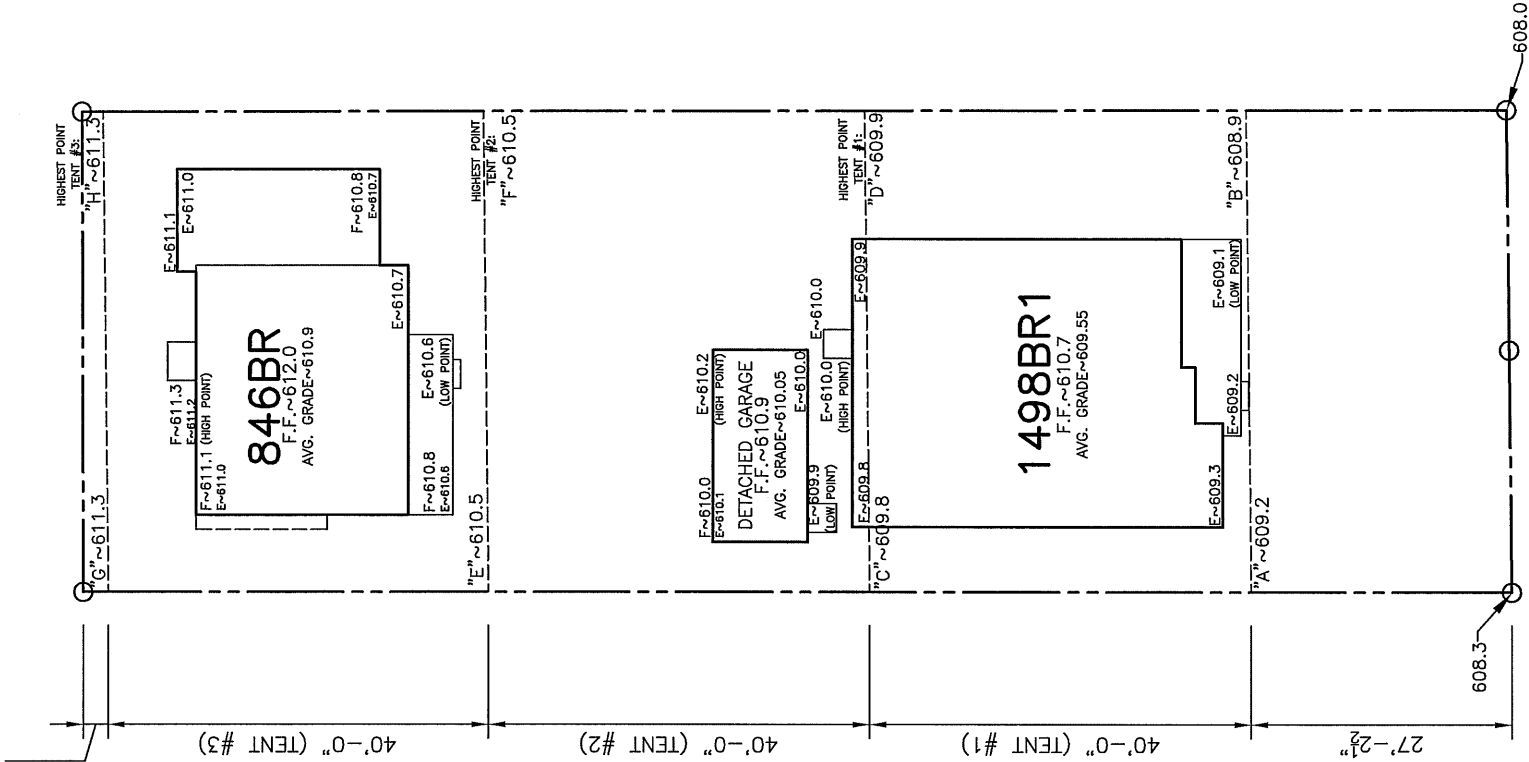
AVERAGE BUILDING HEIGHT BASED ON
LOWER OF NATURAL OR FINISHED
GRADE

846BR:

E~611.2 (HIGH POINT)
+ E~610.6 (LOW POINT)
1221.8 ÷ 2 = 610.9 AVG. GRADE

1498BR1:

E~610.0 (HIGH POINT)
+ E~609.1 (LOW POINT)
1219.1 ÷ 2 = 609.55 AVG. GRADE



3816 DUVAL STREET

SETBACK PLANE EXHIBIT

220030			
REVISIONS			
DATE	SUBINT	DESC	
3.10.15	00	SEM PLOT	

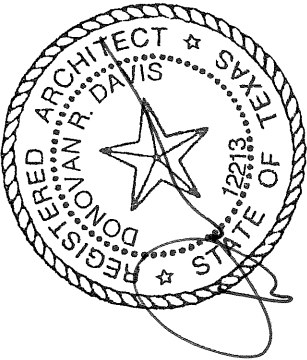
PAVED STREETS w/ CONC. CURB
SEWER APPROX. 3' BELOW GRADE

SHADOW LAWN

SECTION -

SCALE: 1" = 20'

PLAN: 1498BR1 & 846AR
ADDRESS: 3816 DUVAL STREET
LOT: 2
BLOCK: X
Austin, TX



MAR 26 2015



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AUSTIN CITY BUILDERS

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CITY OF AUSTIN VISABILITY

ORDINANCE NO. 20140130-021

AN ORDINANCE AMENDING CITY CODE SECTION 25-12-243 RELATING TO ACCESSIBILITY AND VISABILITY REQUIREMENTS OF THE RESIDENTIAL CODE FOR NEW SINGLE-FAMILY AND DUPLEX CONSTRUCTION.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. City Code Section 25-12-243 (*Local Amendments*) is amended to add a new Section R320, as a local amendment to the Residential Code, to read as follows:

SECTION R320
VISABILITY

R320.1 Applicability. A permit for construction of a new single-family or duplex dwelling with habitable space on the first floor must be designed and constructed as a visitable dwelling in compliance with the requirements of Section R320 (*Visability*). The requirements of this section are limited to new construction and do not apply to remodels or additions.

R320.2 Compliance required at plan review. A permit application that is subject to this section must include detailed plans prepared by a registered design professional or other certified professional demonstrating compliance with all applicable requirements of this section.

R320.3 Visitable bathrooms. A visitable dwelling must be designed and constructed with at least one bathroom group or a half bath on the first floor that meets the following requirements:

- a minimum clear opening of 30 inches is required;
- lateral two-inch by six-inch or larger nominal wood blocking must be installed flush with stud edges of bathroom walls; and
- the centerline of the blocking must be 34 inches from and parallel to the interior floor level, except for the portion of the wall located directly behind the lavatory.

Page 1 of 3

R320.4 Visitable light switches, receptacles, and environmental controls. The first floor of a visitable dwelling must meet the following requirements:

- light switches and environmental controls must be no higher than 48 inches above the interior floor level; and
- outlets and receptacles must be a minimum of 15 inches above the interior floor level, except for floor outlets and receptacles.

R320.5 Visability bathroom route. A bathroom group or half bath designated for visitability under Section R320.3 must be accessible by a route with a minimum clear opening of 32 inches beginning at the visitable entrance designated under Section 320.6 and continuing through the living room, dining room, and kitchen, and be level with ramped or beveled changes at door thresholds.

Exception:
A visitable route is not required through an area located on a split-level or sunken floor, provided an alternative route is available.

R320.6 Visitable dwelling entrance. A dwelling must be accessible by at least one no-step entrance with a beveled threshold of one-half inch or less and a door with a clear width of at least 32 inches. The entrance may be located at the front, rear, or side, or in the garage or carport, of the dwelling.

R320.7 Exterior visitable route. A visitable entrance approved under Section R320.6 must have at least one visitable route with a cross slope of no greater than two percent (1:50) that originates from a garage, driveway, public street, or public sidewalk. A ramp included in an exterior visitable route must comply with the Residential Code.

R320.7.1 Waiver of exterior visitable route provision for certain properties. The requirements of Section R320.7 do not apply to:

- lots with 10% or greater slope prior to development; or
- properties for which compliance cannot be achieved without the use of switchbacks.

PART 2. Section R320.7 and Subsection R320.7.1, as adopted in Part 1 of this ordinance, are effective on July 1, 2015 for new permits applied for on or after that date.

Page 2 of 3

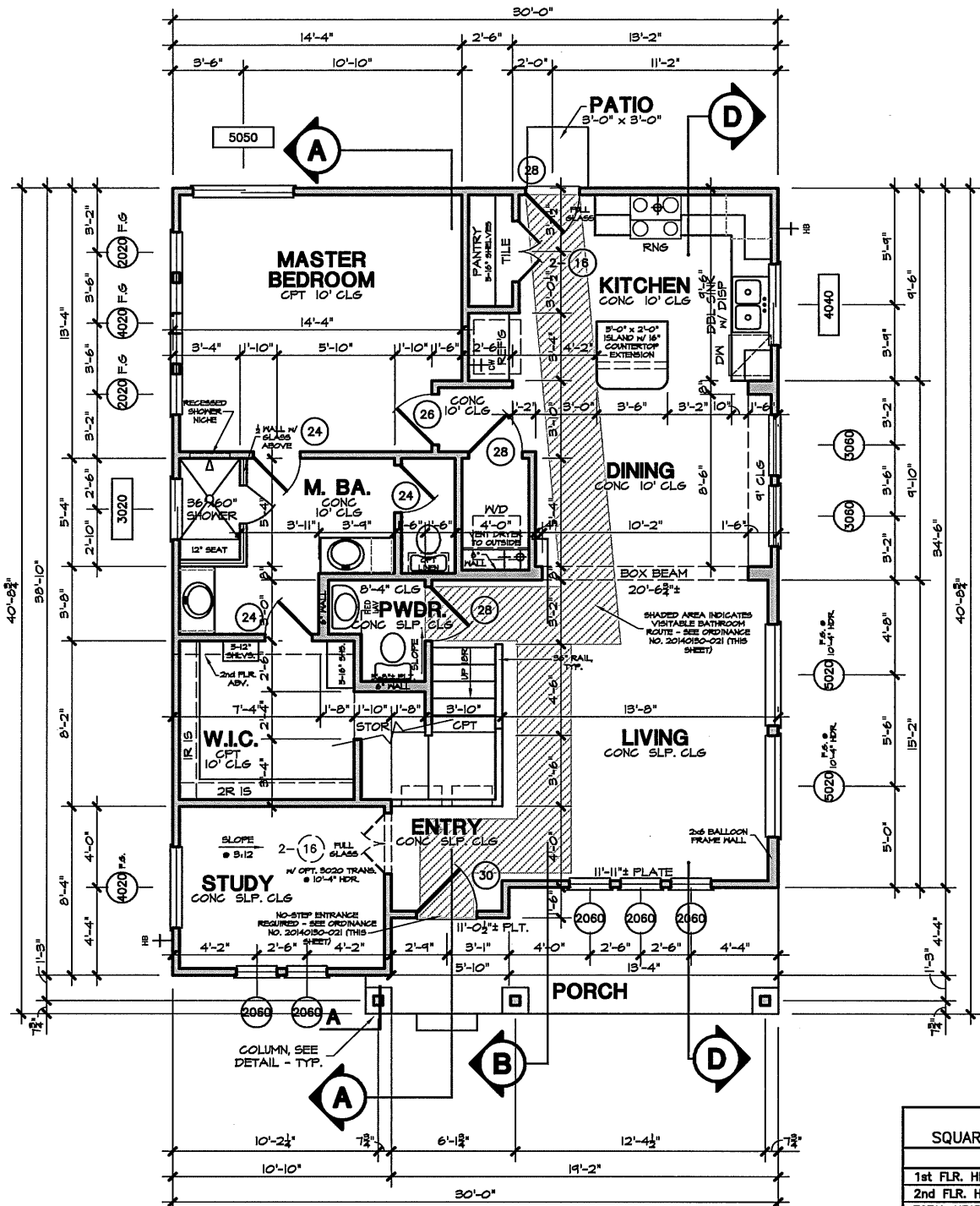
PART 3. This ordinance takes effect on February 10, 2014.

PASSED AND APPROVED

January 30, 2014

APPROVED: *[Signature]* ATTEST: *[Signature]*
Karen M. Kengels City Attorney Janelle S. Goodall City Clerk

Page 3 of 3



1st FLOOR PLAN

PLAN # 1498		
SQUARE FOOTAGE ELEVATION "B1"		
	FRAME	MASONRY
1st FLR. HEATED AREA	1090.7	1090.7
2nd FLR. HEATED AREA	611.3	611.3
TOTAL HEATED AREA	1702.0	1702.0
GARAGE	N/A	N/A
PORCH	N/A	113.1
TOTAL COVERED AREA	N/A	1815.1
PATIO (UNCOVERED)	4.0	N/A
TOTAL SLAB AREA	1203.8	1203.8

1st FLOOR DOOR HEIGHT - 8'-0"
2nd FLOOR DOOR HEIGHT - 6'-8"

Subchapter F - 'McMansion'				
	New 1498BR1	New 846BR	Exemption 1498BR1	Exemption 846BR
1st Floor:	1090.7	580.7		1671.4
2nd Floor:	611.3	285		876.3
3rd Floor:				0
Basement:				0
Attic:				0
Garage (attached):				0
(detached):	200		200	0
Carport (attached):		214.7		214.7
(detached):				0
Accessory Building(s):				0
(detached):				0
Ceilings over 15':	174.5			174.5
TOTAL GROSS FLOOR AREA: 2722.2				
Total G.F.A. / Total Lot Sq. Ft. 7,499.1 x 100 36.30% Floor-To-Area Ratio (FAR)				

169886 REVISIONS			
DATE	SUB	INT.	DES.
1.27.15	61	KM	NEW ELEV.
3.2.15	62	SEM	NEW VERSION

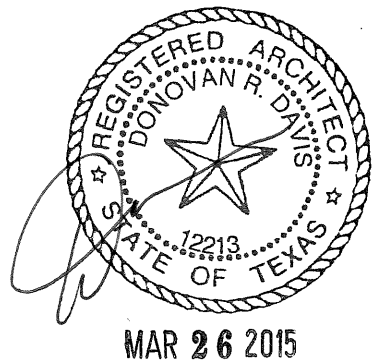
1ST FLOOR CEILING @ 10'-0" HEIGHT U.N.O.
1ST FLR. WDW. HEADERS @ 8'-0" HEIGHT
UNLESS NOTED OTHERWISE

IF APPLICABLE

2ND FLOOR CEILING @ 9'-0" HEIGHT
2ND FLR. WDW. HEADERS @ 8'-0" HEIGHT
UNLESS NOTED OTHERWISE

SEE DETAIL SHEETS FOR CURRENT ADOPTED BUILDING CODES

HEADER SCHEDULE	
FIRST FLOOR	
OPNG.	HEADER SIZE
3" (MAX.)	2-2X10's
8" (MAX.)	2-2X12's
ABOVE 8"	ENG'D. BEAM/SEE PLANS
SECOND FLOOR	
OPNG.	HEADER SIZE
3" (MAX.)	2-2X6's
4" (MAX.)	2-2X8's
5" (MAX.)	2-2X10's
8" (MAX.)	2-2X12's
ABOVE 8"	ENG'D. BEAM/SEE PLANS



ALAMO SERIES
ALAMO 1879
FLOOR PLANS

Scale: 1/8" = 1'-0" on 11"x17"
Scale: 1/4" = 1'-0" on 24"x36"

1498BR1
DETACHED GARAGE

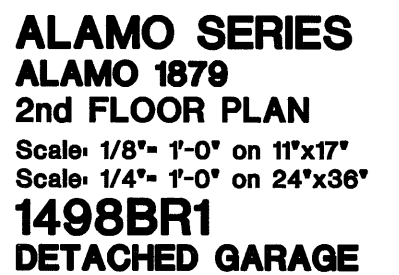
3816 DUVAL STREET
JOB #220030

AUSTIN CITY BUILDERS

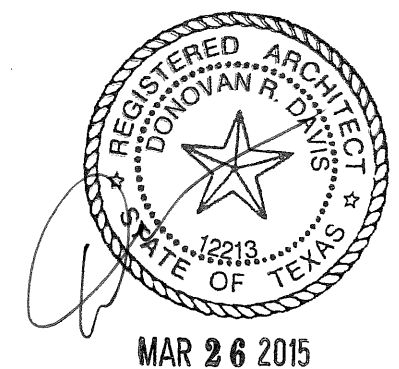
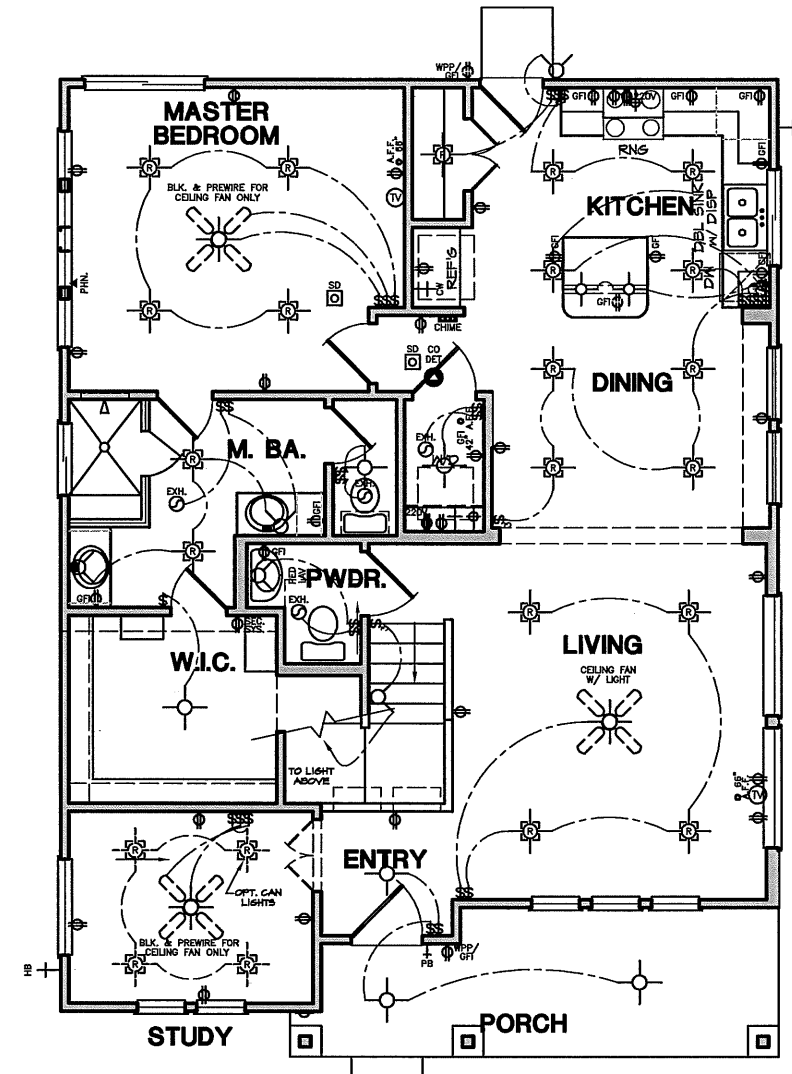
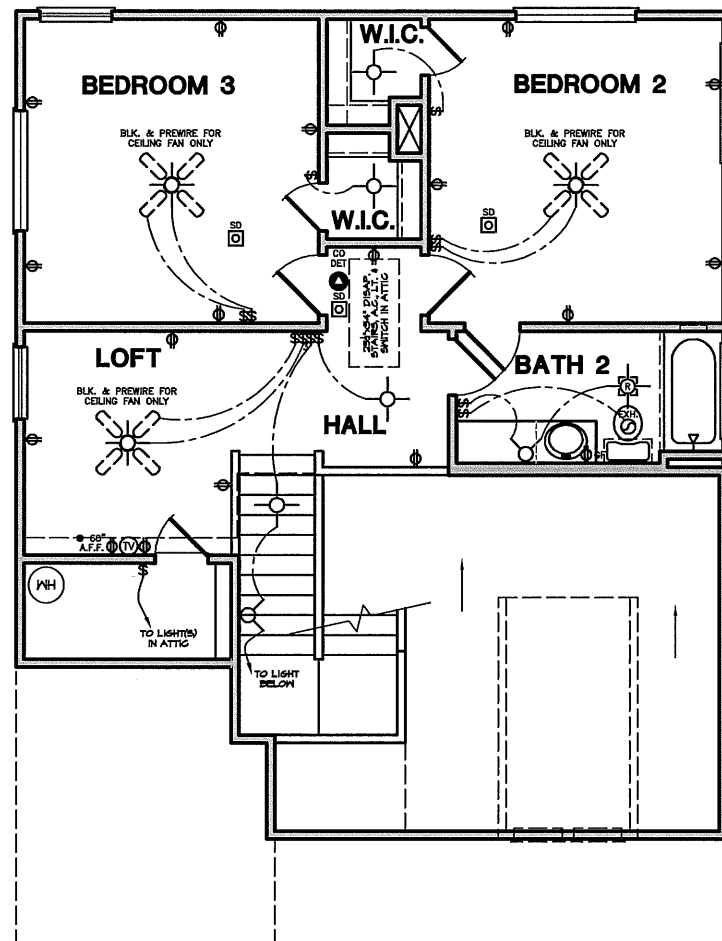
DANZE & DAVIS ARCHITECTS, INC.
4701 Spicewood Springs Rd, Suite 200 Austin, Texas 78759
512/343-0714 512/343-0718 (Fax) www.danze-davis.com

JOB NO.: 161666
DRAWN BY: SEM
CHECKED BY: GWNCF
DATE: 1.22.15
REVISED: 3.24.15 SEM

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3816 DUVAL STREET
JOB #220030



1st FLOOR ELEC.

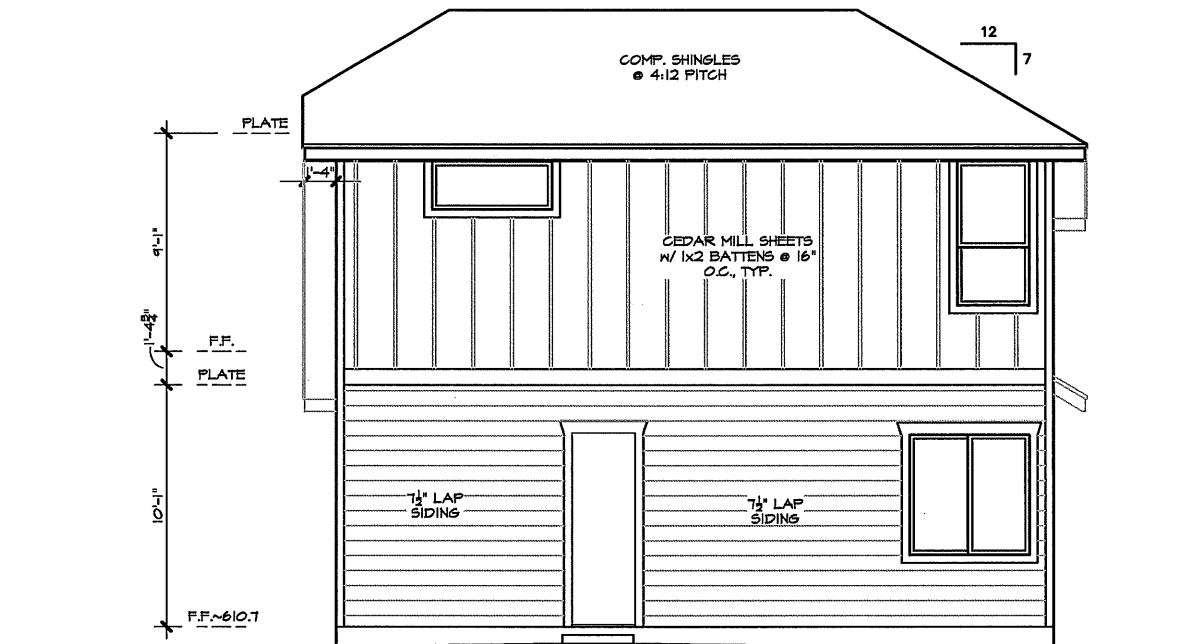
NOTE: ALL WALL-MOUNTED LIGHT FIXTURES TO BE 88" TO CENTER ABOVE FINISHED WALKING SURFACE BELOW FIXTURE U.N.O.
ALL PENDANT LIGHTS TO BE 66" A.F.F., MEASURED FROM BOTTOM OF FIXTURE U.N.O.
T.V. & ADJACENT 110 OUTLET TO BE INSTALLED 60" A.F.F. U.N.O.

ALAMO SERIES
ALAMO 1879
ELECTRICAL PLANS

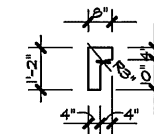
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Scale: 1/4" = 1'-0" on 24"x36"

3816 DUVAL STREET
JOB #220030

1498BR1
DETACHED GARAGE

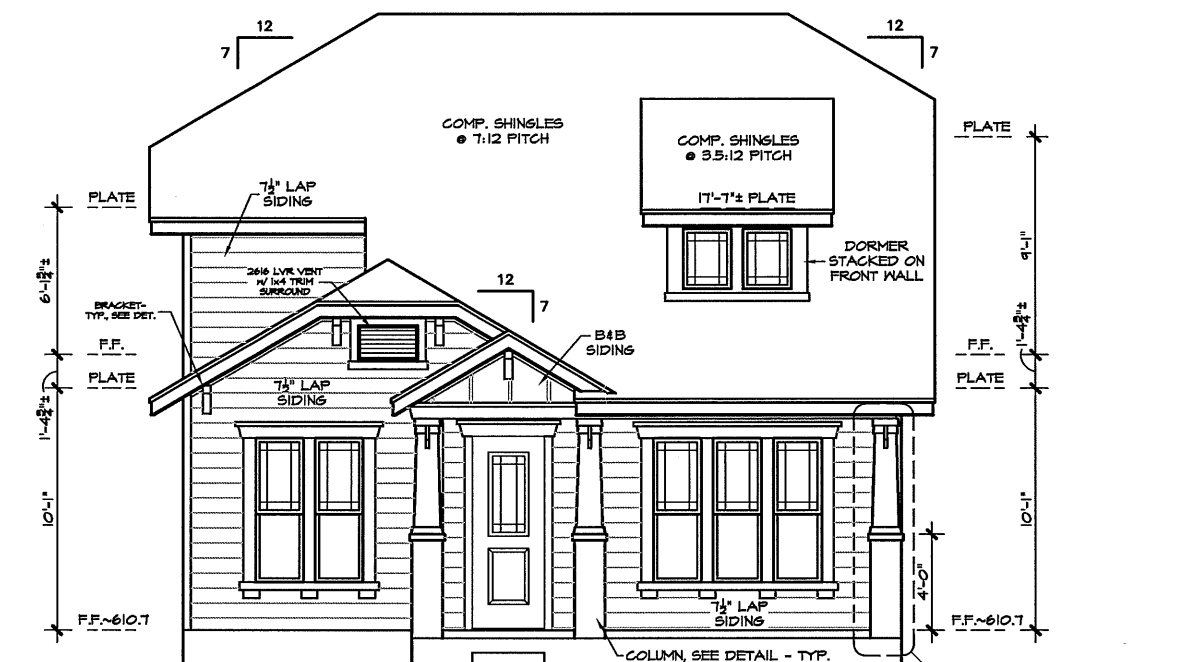


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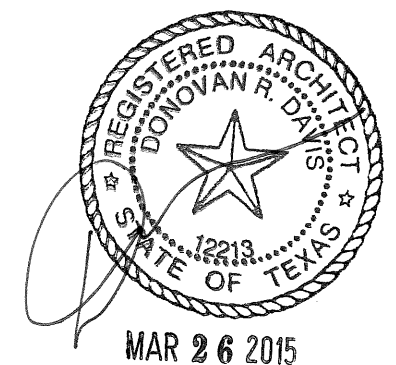


BRACKET DETAIL

Scale: 3/16" = 1'-0" on 11"x17"
Scale: 3/8" = 1'-0" on 24"x36"



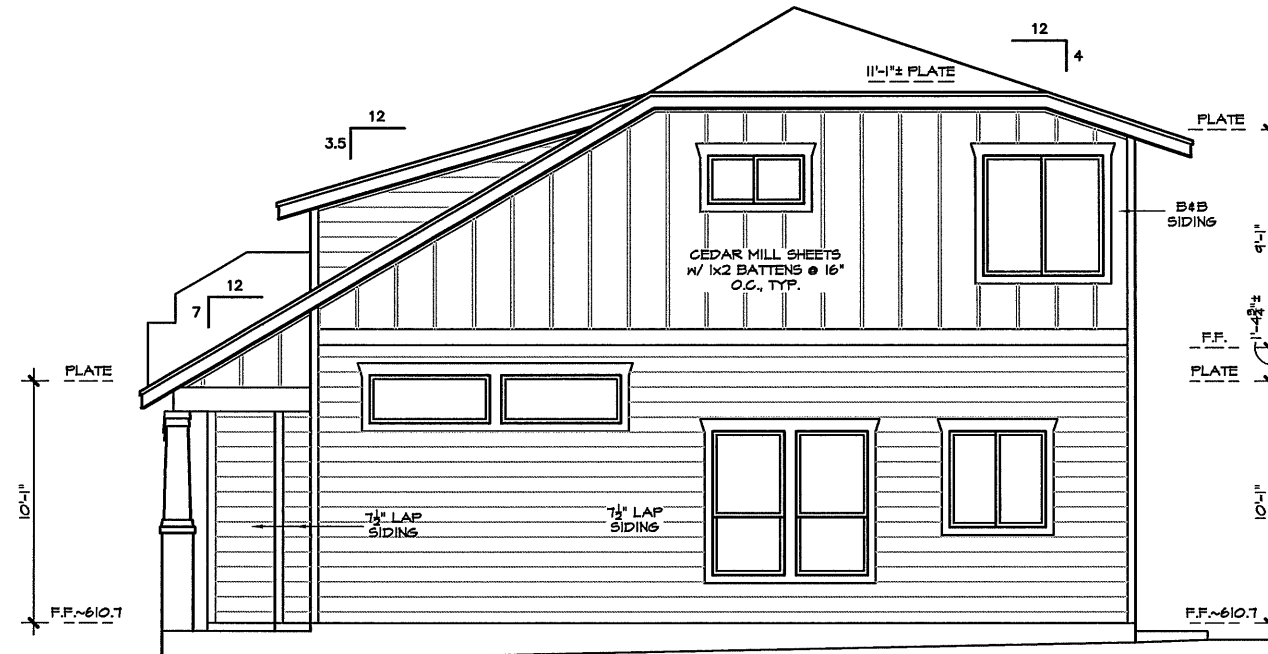
FRONT ELEVATION



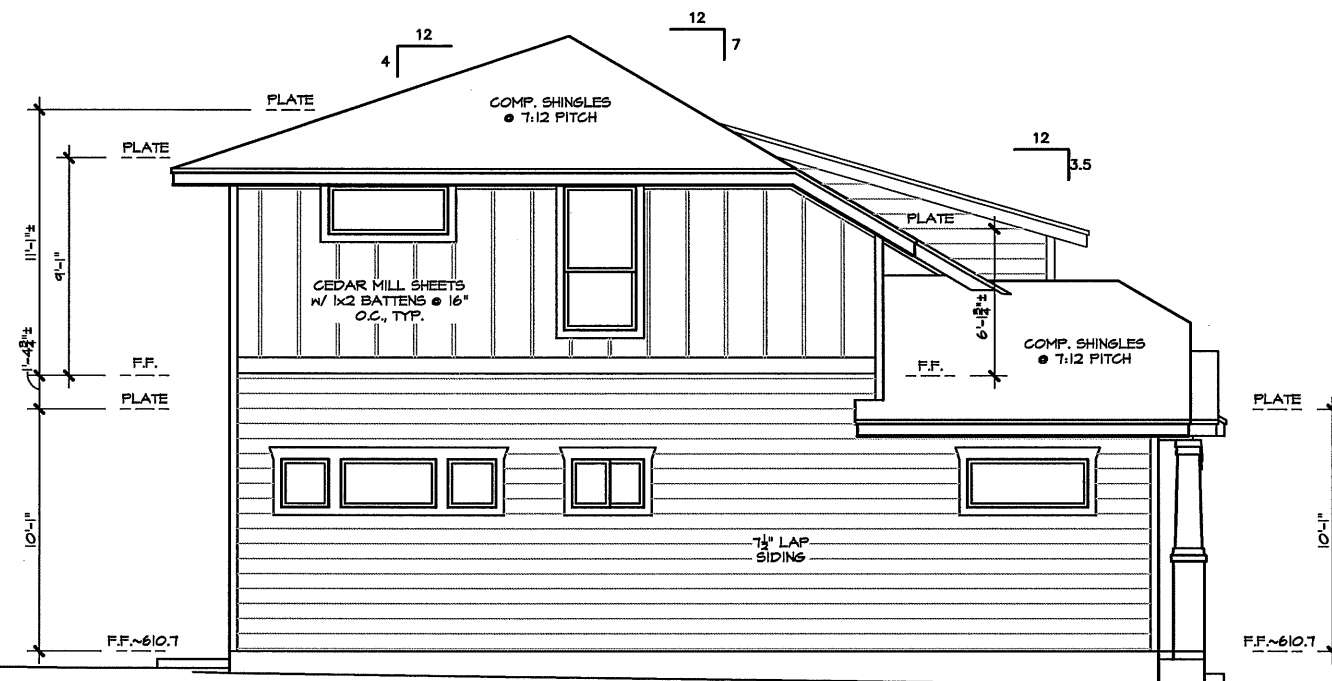
ALAMO SERIES
ALAMO 1879
ELEVATIONS

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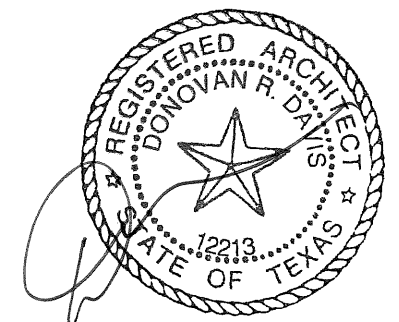
3816 DUVAL STREET
JOB #220030
1498BR1
DETACHED GARAGE



RIGHT ELEVATION



LEFT ELEVATION



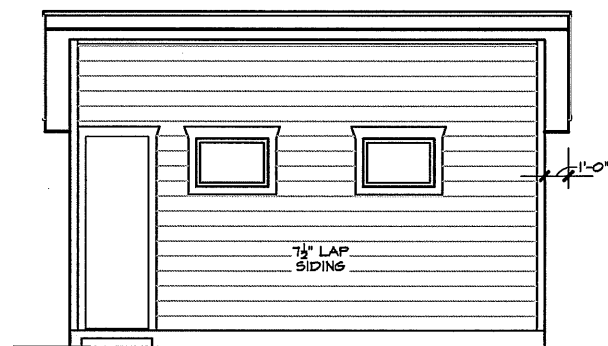
MAR 26 2015

ALAMO SERIES
ALAMO 1879
ELEVATIONS

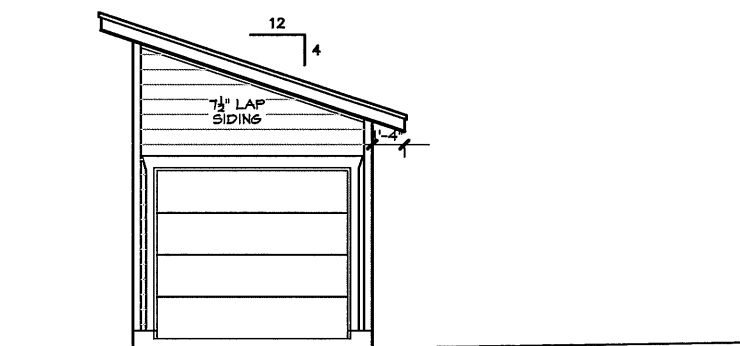
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3816 DUVAL STREET
JOB #220030

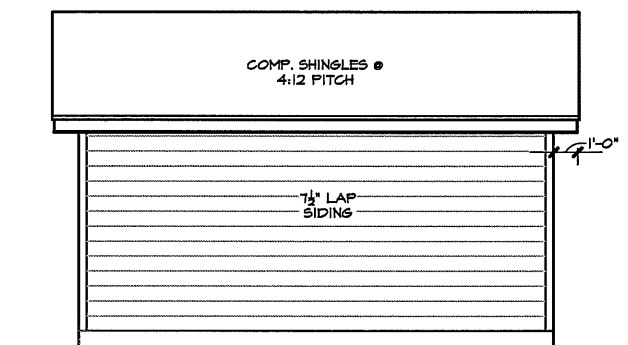
1498BR1
DETACHED GARAGE



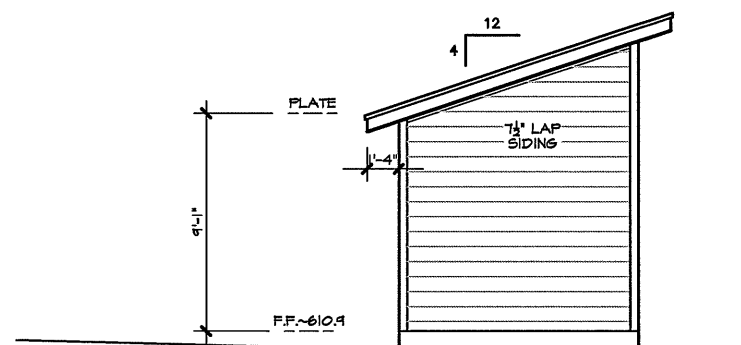
FRONT ELEVATION



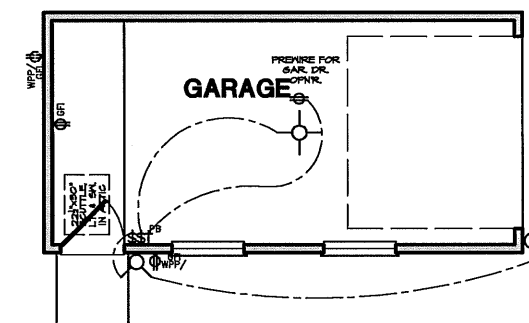
RIGHT ELEVATION



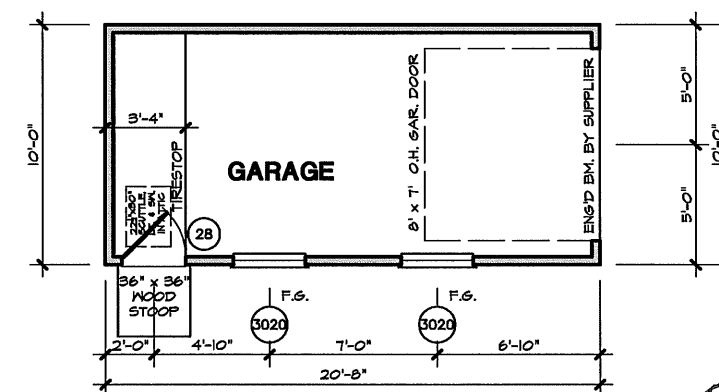
REAR ELEVATION



LEFT ELEVATION

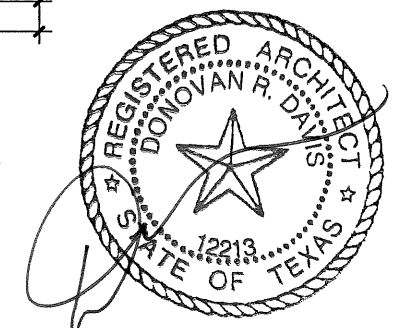


ELECTRICAL PLAN



FLOOR PLAN

SQUARE FOOTAGE DETACHED GARAGE		
	FRAME	MASONRY
GARAGE	200.0	200.0
WOOD STOOP (UNCOVD)	9	N/A

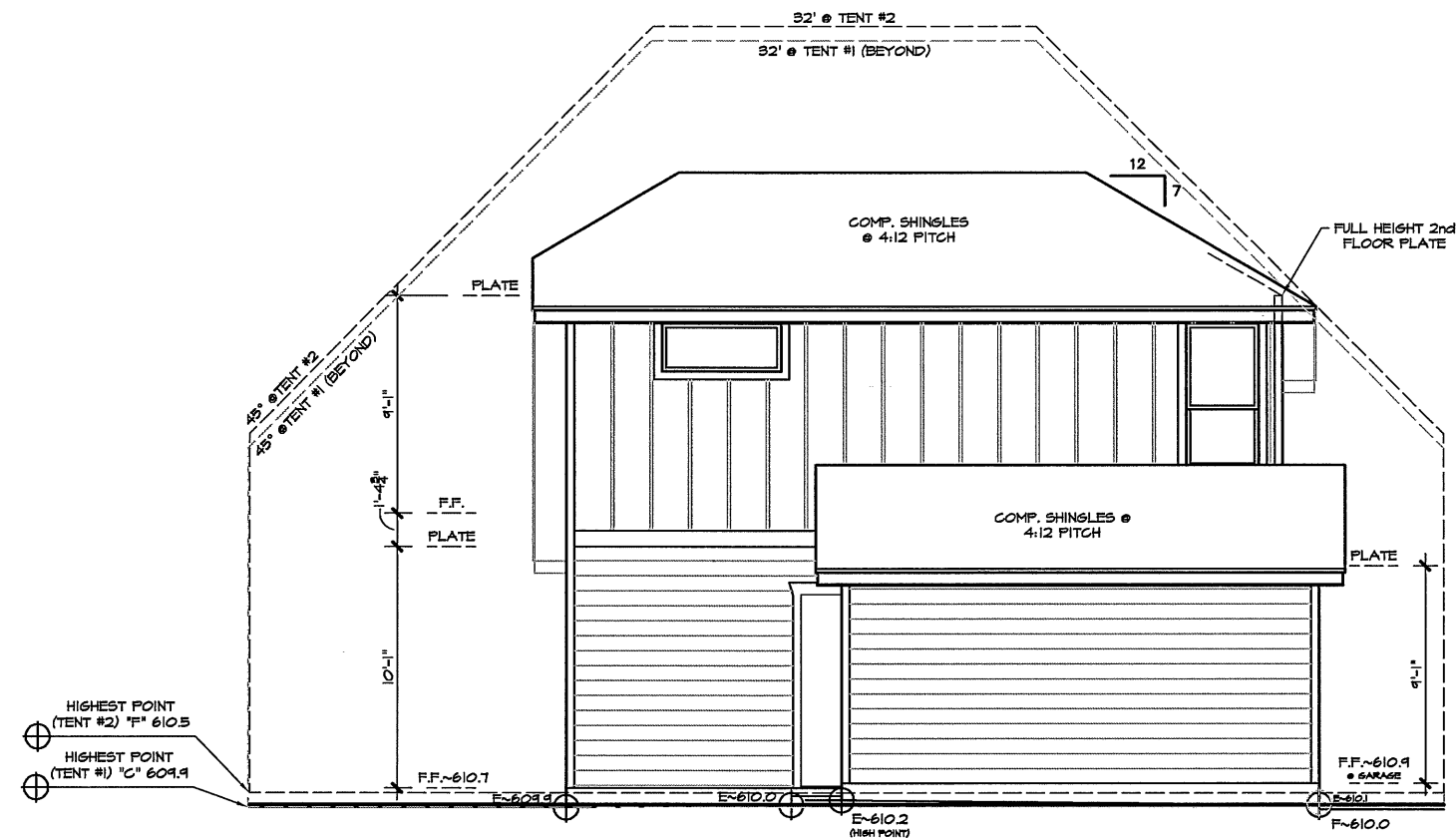


MAR 26 2015

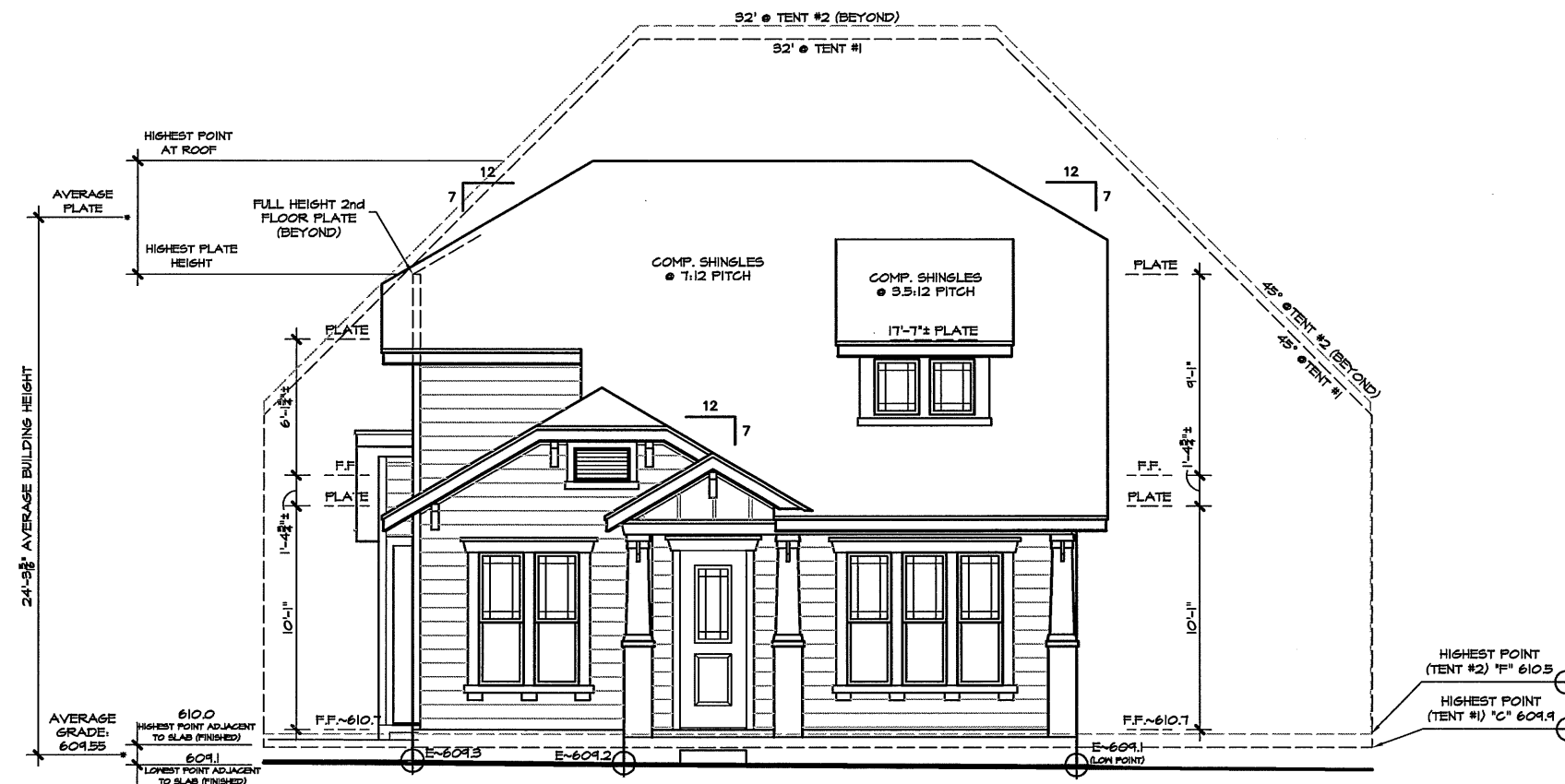
**ALAMO SERIES
DETACHED GARAGE**

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Scale: 1/4" = 1'-0" on 24"x36"

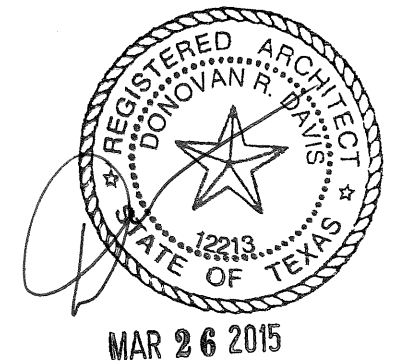
**3816 DUVAL STREET
JOB #220030 DETACHED GARAGE**



REAR ELEVATION



FRONT ELEVATION

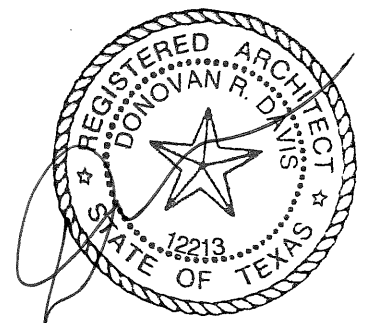
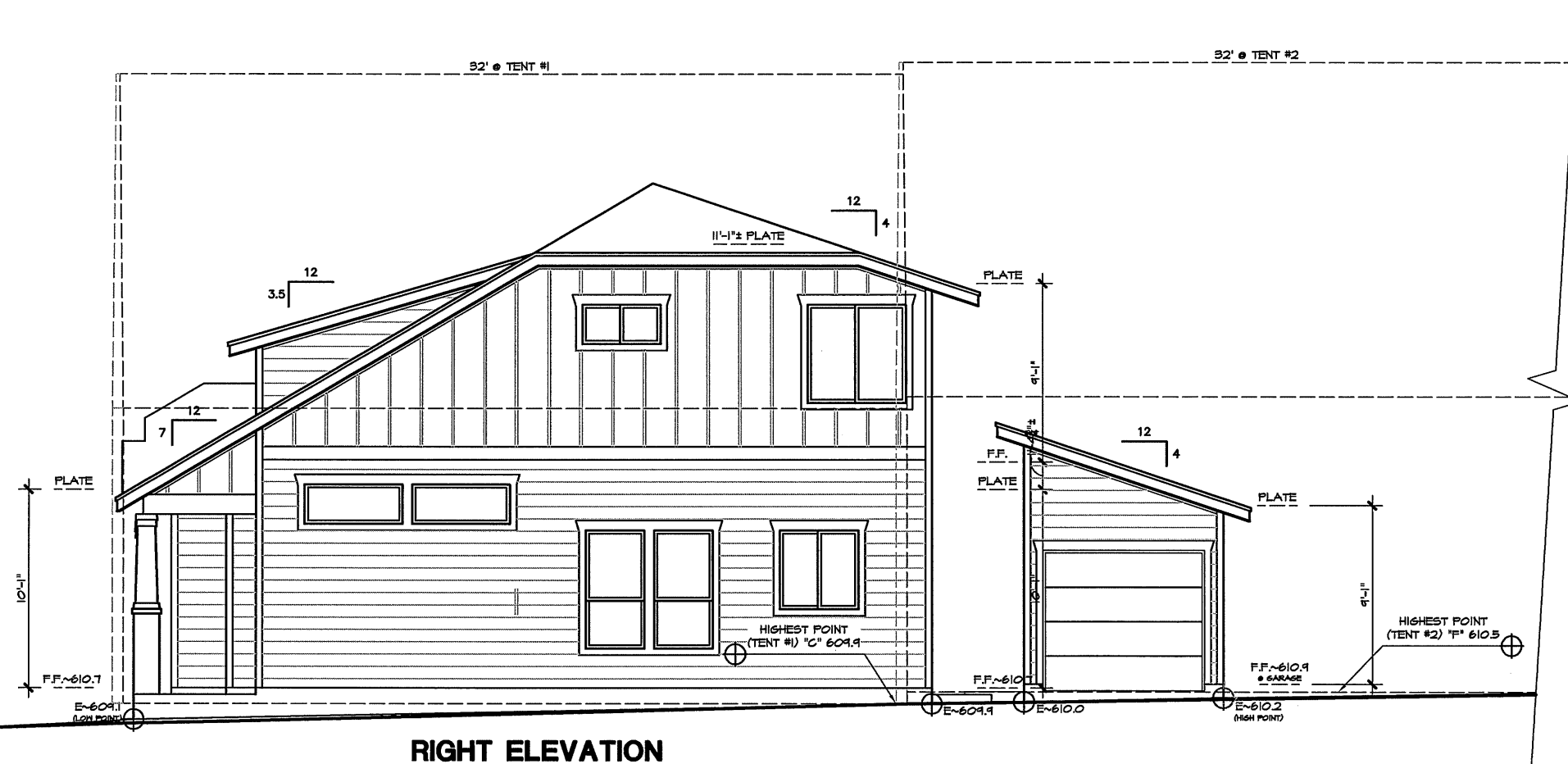
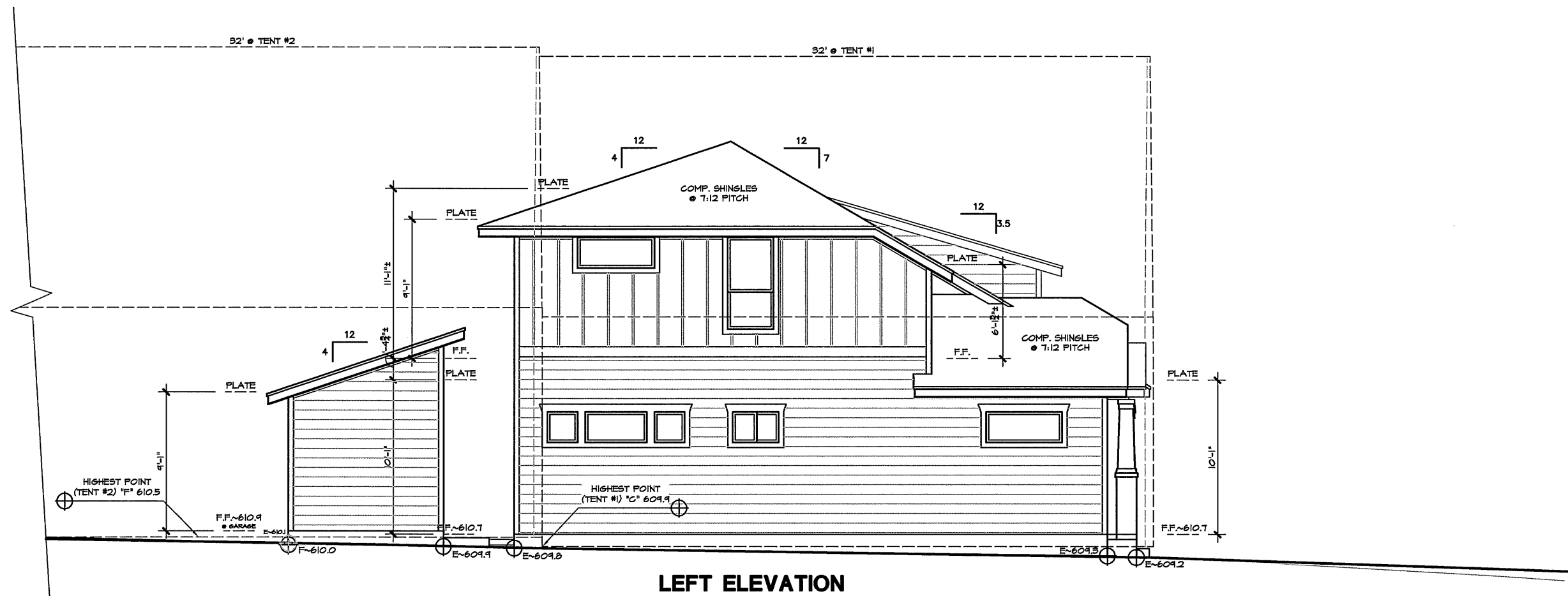


ALAMO SERIES
ALAMO 1879
SETBACK PLAN EXHIBIT

Scale: 1/8" = 1'-0" on 11"x17"
 Scale: 1/4" = 1'-0" on 24"x36"

3816 DUVAL STREET
JOB #220030

1498BR1
DETACHED GARAGE



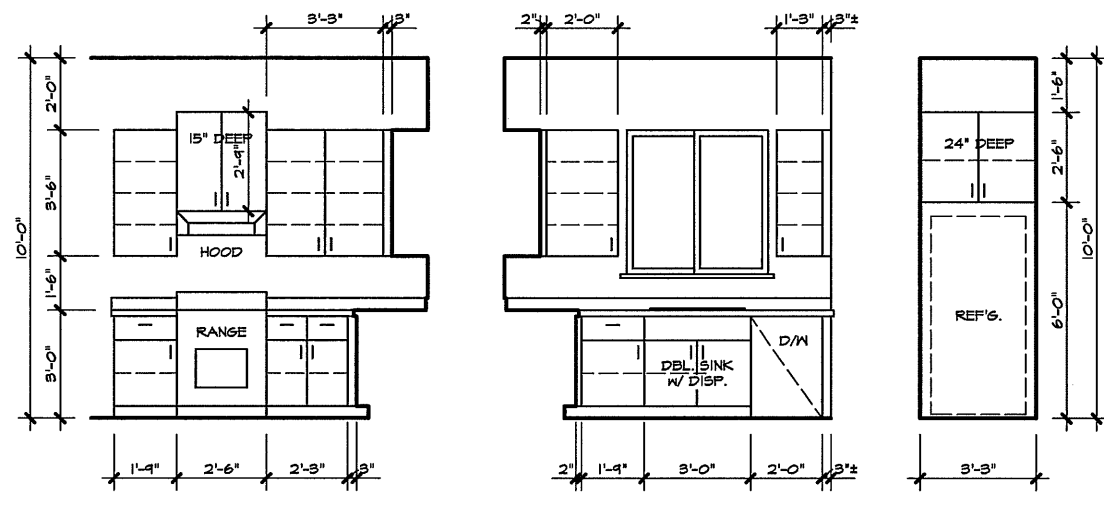
MAR 26 2015

ALAMO SERIES
ALAMO 1879
SETBACK PLAN EXHIBIT

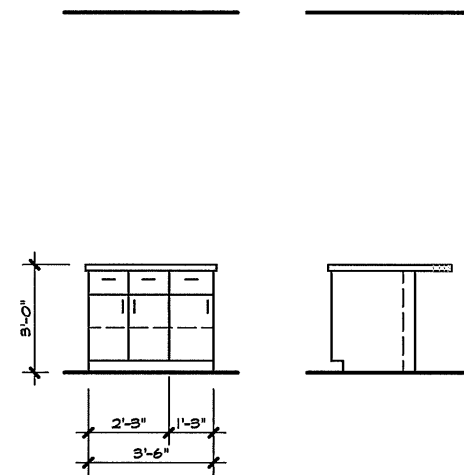
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3816 DUVAL STREET
JOB #220030

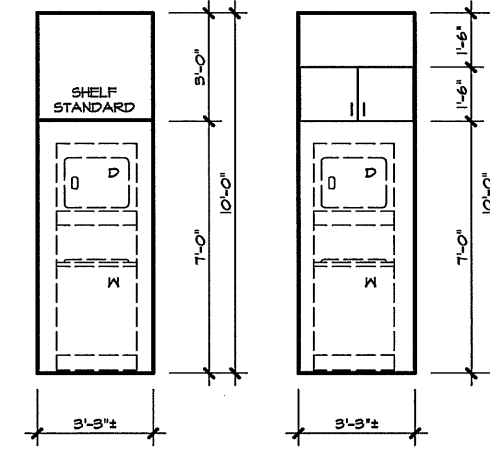
1498BR1
DETACHED GARAGE



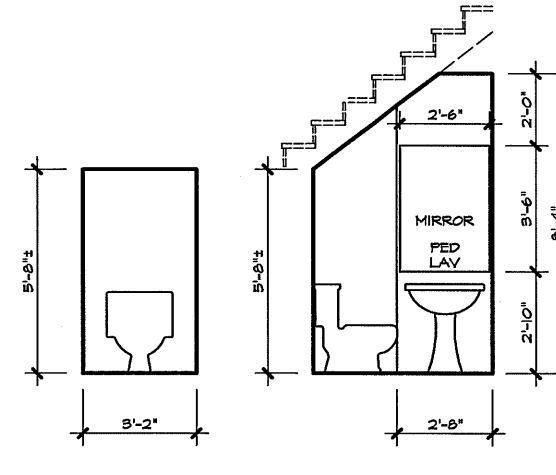
KITCHEN



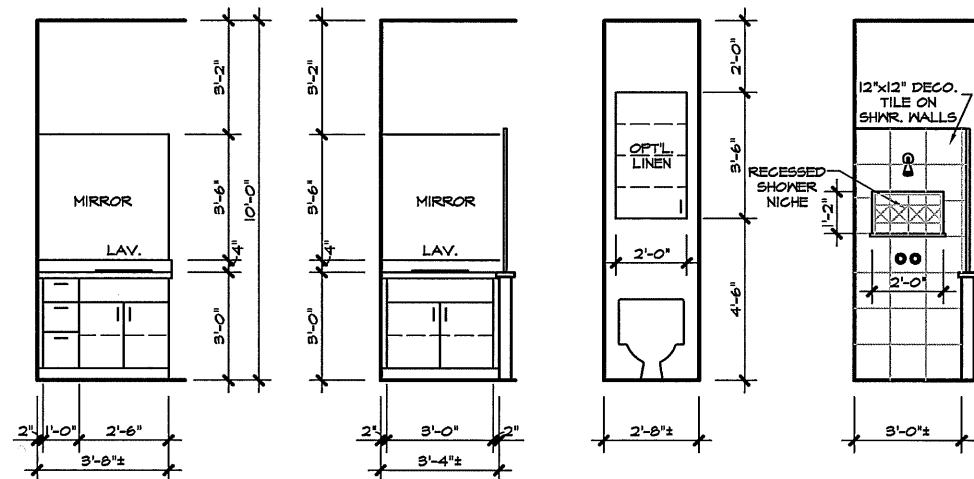
UTILITY



OPT. UTILITY



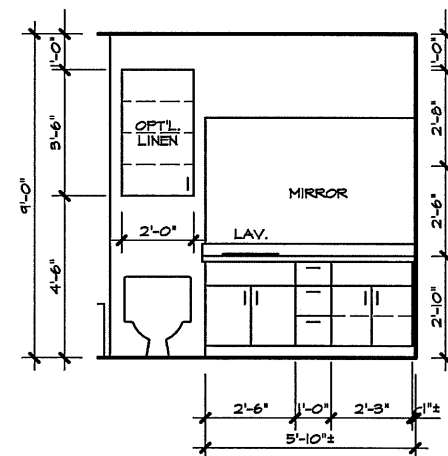
POWDER



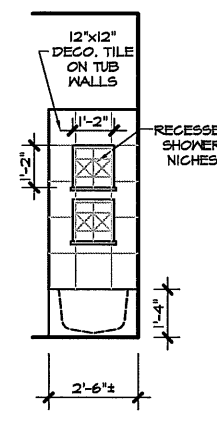
M. BATH

CABINET ELEVATIONS

Scale: 3/16" = 1'-0" on 11"x17"
Scale: 3/8" = 1'-0" on 24"x36"

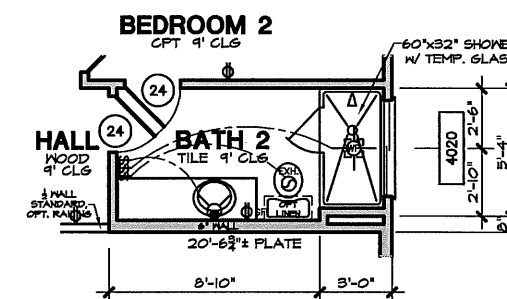


1498BR2 BATH 2



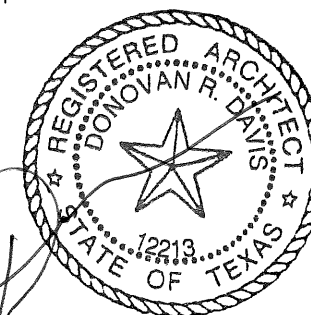
CABINET BLOCKING
(FLOOR TO
BOTTOM OF BLOCK)
VANITY 29"
WALL (30") 54" & 80 1/2"
WALL (42") 54" & 92 1/2"
BASE 32"

CONTRACTOR TO FIELD VERIFY ALL
CABINET DIMENSIONS PRIOR TO
FABRICATION.



BATH 2 OPTION

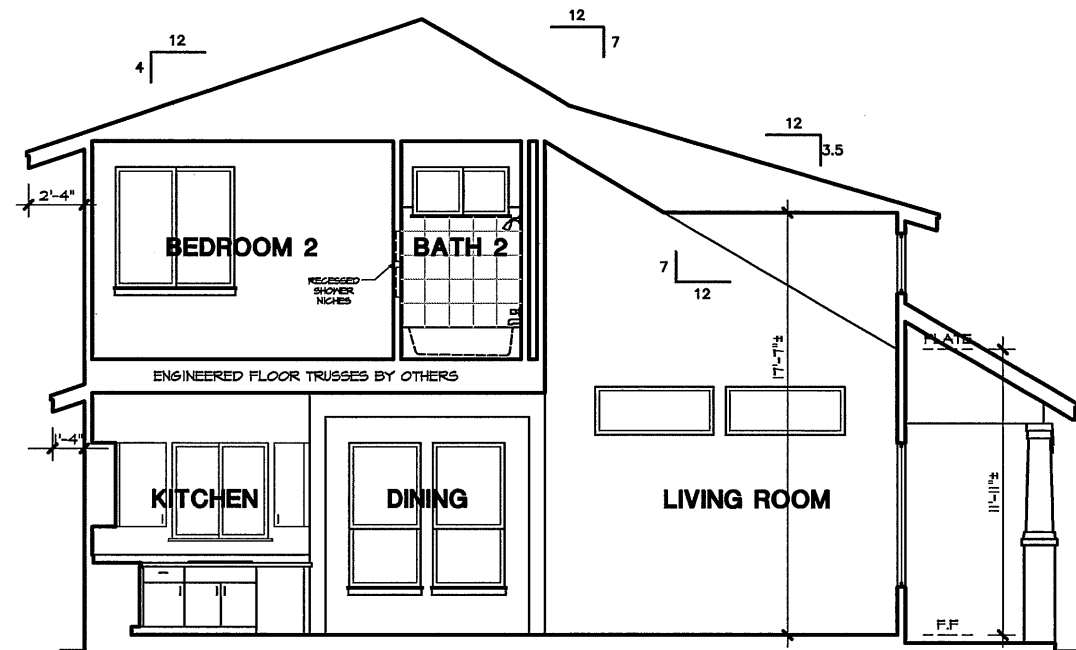
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Scale: 1/4" = 1'-0" on 24"x36"



MAR 26 2015

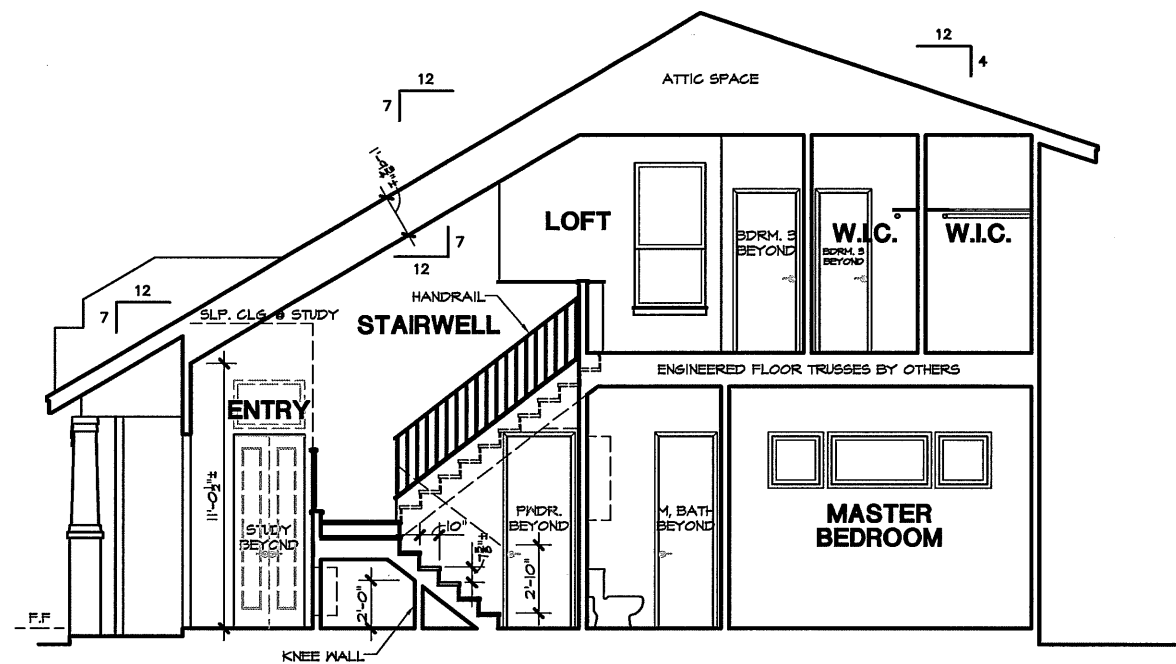
ALAMO SERIES
ALAMO 1879
CABINETS/OPTIONS
Scale: AS NOTED

3816 DUVAL STREET
JOB #220030
1498BR1
DETACHED GARAGE



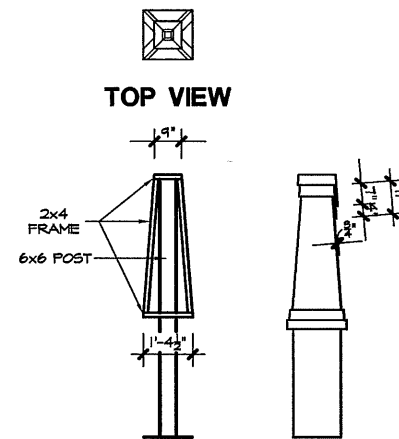
SECTION D-D

Scale: 1/8" = 1'-0" on 11"x17"
Scale: 1/4" = 1'-0" on 24"x36"



SECTION A-A

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Scale: 1/4" = 1'-0" on 24"x36"

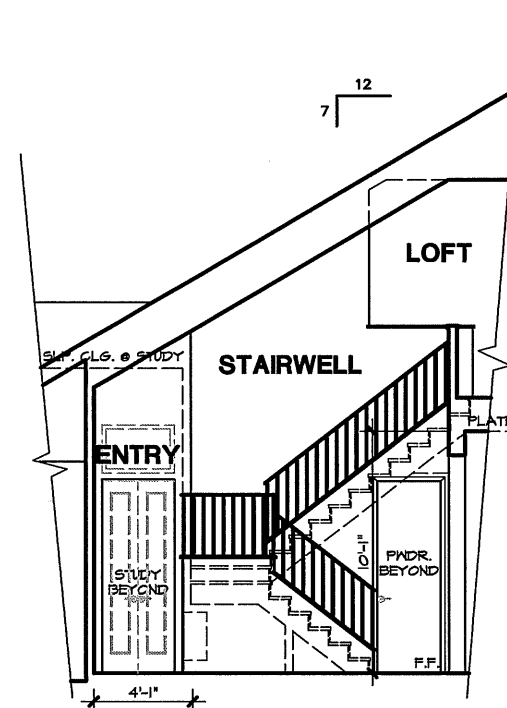
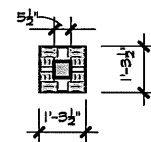


TOP VIEW

SECTION A

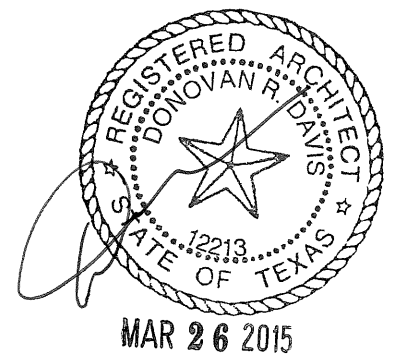
'B' ELEVATION COLUMN DETAIL

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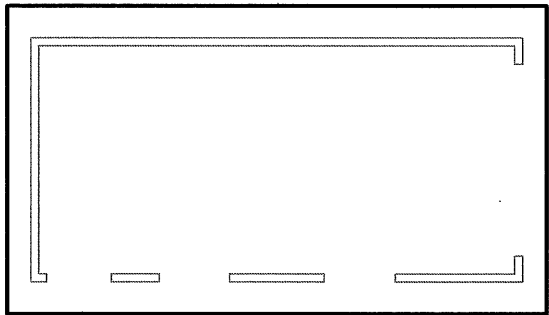


SECTION B-B

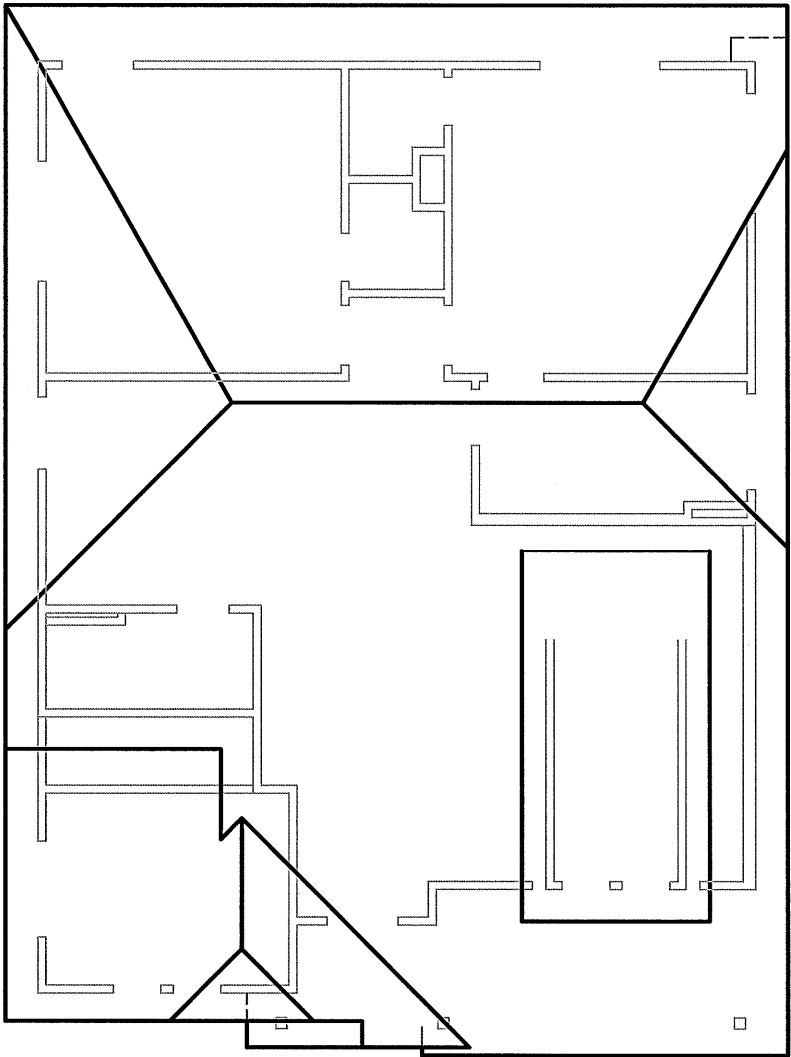
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Scale: 1/4" = 1'-0" on 24"x36"



ALAMO SERIES
ALAMO 1879
SECTIONS
Scale: AS NOTED
3816 DUVAL STREET
JOB #220030
1498BR1
DETACHED GARAGE



GARAGE ROOF PLAN



ROOF LAYOUT

VENTILATION REQUIREMENTS

PROVIDE VENTILATION AS REQUIRED BY CURRENT ADOPTED INTERNATIONAL RESIDENTIAL CODE. PERFORATED SOFFITS - NOT ALLOWED IN SIDE YARDS WITH LESS THAN 5 FEET FROM SOFFIT TO BUILD LINE OR LESS THAN 10 FEET FROM SOFFIT TO SOFFIT.

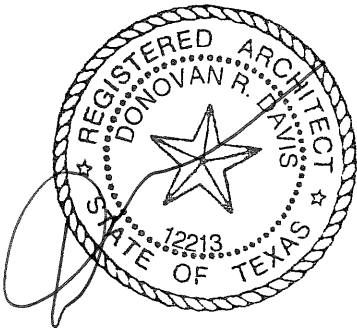
BASED ON A 1/300 CALCULATION, AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA SHALL BE PROVIDED BY VENTILATORS LOCATED IN UPPER PORTION OF THE ATTIC OR RAFTER SPACE WITHIN 3 FEET OF THE HIGHEST SPACE OR THE RIDGE. THE BALANCE OF THE REQUIRED VENTILATION SHALL BE PROVIDED BY EAVE OR CORNICE VENTS.

Plan #	Elevation	Roof Area Type	Attic Square footage (square feet)	Free attic area @ 1/300 (square inches)	High Ventilation @ 50% (square inches)	Low Ventilation @ 50% (square inches)
1498	B1 (DET)	Upper Roof	1090.70	523.54	261.77	261.77
		Lower Roof	103.95	49.90	24.95	24.95
		Garage Roof	210.10	100.85	50.42	50.42

HEADER SCHEDULE	
FIRST FLOOR	
OPN'G.	HEADER SIZE
3" (MAX.)	2-2X10's
8" (MAX.)	2-2X12's
ABOVE 8"	ENG'D. BEAM/ SEE PLANS
SECOND FLOOR	
OPN'G.	HEADER SIZE
3" (MAX.)	2-2X6's
4" (MAX.)	2-2X8's
5" (MAX.)	2-2X10's
8" (MAX.)	2-2X12's
ABOVE 8"	ENG'D. BEAM/ SEE PLANS

SEE DETAIL SHEET FOR GENERAL MECHANICAL SYSTEM REQUIREMENTS

FRAMING PLANS TO BE PROVIDED BY OTHERS



MAR 26 2015

ALAMO SERIES
ALAMO 1879
ROOF FRAMING

Scale: 1/8" = 1'-0" on 11"x17"
Scale: 1/4" = 1'-0" on 24"x36"

3816 DUVAL STREET
JOB #220030
1498BR1
DETACHED GARAGE



CITY OF AUSTIN VISITABILITY

ORDINANCE NO. 20140130-021

AN ORDINANCE AMENDING CITY CODE SECTION 25-12-243 RELATING TO ACCESSIBILITY AND VISITABILITY REQUIREMENTS OF THE RESIDENTIAL CODE FOR NEW SINGLE-FAMILY AND DUPLEX CONSTRUCTION.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

SECTION R320

VISITABILITY

R320.1 Applicability. A permit for construction of a new single-family or duplex dwelling with habitable space on the first floor must be designed and constructed as a visitable dwelling in compliance with the requirements of Section R320 (*Visitability*). The requirements of this section are limited to new construction and do not apply to remodels or additions.

R320.2 Compliance required at plan review. A permit application that is subject to this section must include detailed plans prepared by a registered design professional or other certified professional demonstrating compliance with all applicable requirements of this section.

R320.3 Visible bathrooms. A visitable dwelling must be designed and constructed with at least one bathroom group or a half bath on the first floor that meets the following requirements:

1. a minimum clear opening of 30 inches is required;
2. lateral two-inch by six-inch or larger nominal wood blocking must be installed flush with stud edges of bathroom walls; and
3. the centerline of the blocking must be 34 inches from and parallel to the interior floor level, except for the portion of the wall located directly behind the lavatory.

Page 1 of 3

R320.4 Visitable light switches, receptacles, and environmental controls. The first floor of a visitable dwelling must meet the following requirements:

1. light switches and environmental controls must be no higher than 48 inches above the interior floor level; and
2. outlets and receptacles must be a minimum of 15 inches above the interior floor level, except for floor outlets and receptacles.

R320.5 **Visitability bathroom route.** A bathroom group or half bath designated for visitability under Section R320.3 must be accessible by a route with a minimum clear opening of 32 inches beginning at the visitable entrance designated under Section 320.6 and continuing through the living room, dining room, and kitchen, and be level with ramped or beveled changes at door thresholds.

Exception:

A visitable route is not required through an area located on a split-level or sunken floor, provided an alternative route is available.

R320.6 Visible dwelling entrance. A dwelling must be accessible by at least one no-step entrance with a beveled threshold of one-half inch or less and a door with a clear width of at least 32 inches. The entrance may be located at the front, rear, or side, or in the garage or carport, of the dwelling.

R320.7 Exterior visible route. A visible entrance approved under Section R320.1 must have at least one visible route with a cross slope of no greater than two percent (1:50) that originates from a garage, driveway, public street, or public sidewalk. A ramp included in an exterior visible route must comply with the Residential Code.

R320.7.1 Waiver of exterior visitable route provision for certain properties: The requirements of Section R320.7 do not apply to:

1. lots with 10% or greater slope prior to development; or
2. properties for which compliance cannot be achieved without the use of switchbacks.


PART 2. Section R320.7 and Subsection R320.7.1, as adopted in Part 1 of this ordinance, are effective on July 1, 2015 for new permits applied for on or after that date.


Page 2 of 3

PART 3. This ordinance takes effect on February 10, 2014.

PASSED AND APPROVED

January 30, 2014

APPROVED:  Karen M. Kenesed
City Attorney

ATTEST:  Janette S. Goodall
City Clerk

Page 3 of 3

SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE JOB SITE. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS RELATED TO THE PROJECT CONSTRUCTION.

169800			
REVISIONS			
DATE	SUB	INT.	DES.
12.16.14	10	SEM	NEW ELEVAT
2.3.15	11	SEM	CARPO VERSIO

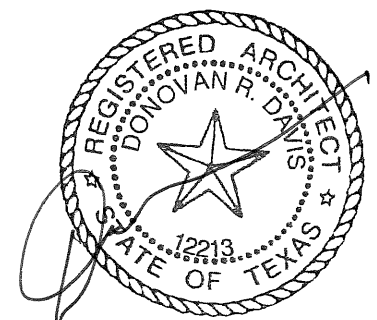
1ST FLOOR CEILING @ 9'-0" HEIGHT U.N.O.
1ST FLR. WDW. HEADERS @ 8'-0" HEIGHT
UNLESS NOTED OTHERWISE

IF APPLICABLE
2ND FLOOR CEILING @ 9'-0" HEIGHT
2ND FLR. WDW. HEADERS @ 8'-0" HEIGHT
UNLESS NOTED OTHERWISE

SEE DETAIL SHEETS FOR CURRENT ADOPTED
BUILDING CODES

HEADER SCHEDULE	
FIRST FLOOR	
OPN'G.	HEADER SIZE
3° (MAX.)	2-2X10's
8° (MAX.)	2-2X12's
ABOVE 8°	ENG'D. BEAM/ SEE PLANS

SECOND FLOOR	
OPN'G.	HEADER SIZE
3° (MAX.)	2-2X6's
4° (MAX.)	2-2X8's
5° (MAX.)	2-2X10's
8° (MAX.)	2-2X12's
ABOVE 8°	ENG'D. BEAM/ SEE PLANS



MAR 26 2015

ALAMO SERIES

ALAMO 846

FLOOR PLANS

Scale: 1/8" = 1'-0" on 11"x17"
Scale: 1/4" = 1'-0" on 24"x36"

846AR

1-CAR CARPORT

3816 DUVAL STREET
JOB #220030

DUVAL STREET 3816.dwg 3/25/2015 2:13:52 PM

AUSTIN

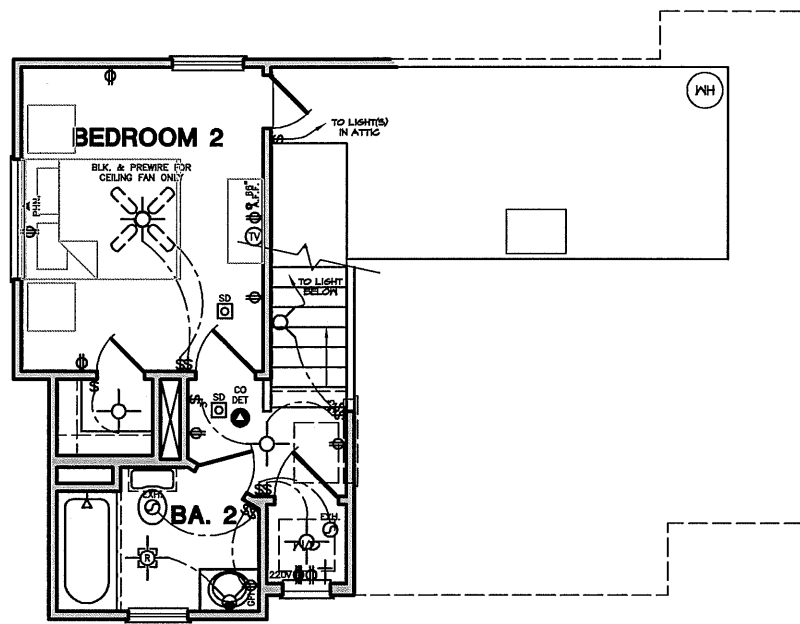
AUSTIN CITY BUILDERS

DANZE & DAVIS ARCHITECTS, INC.
4701 Spicewood Springs Rd, Suite 200 Austin, Texas 78759
512/343-0714 512/343-0718 (Fax) www.danze-davis.com

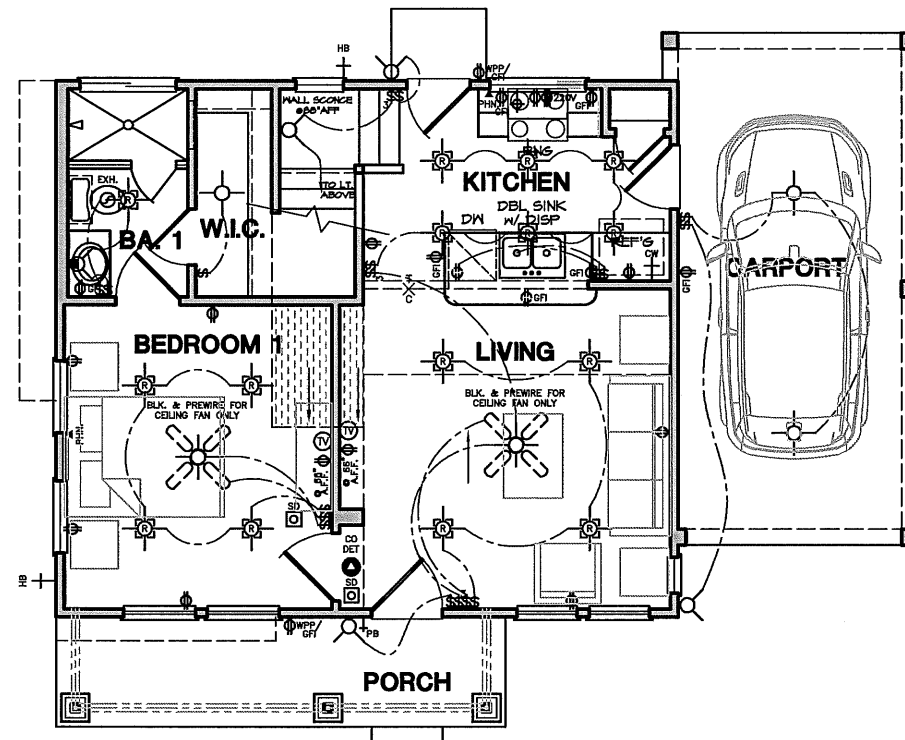


JOB NO.: 104200
DRAWN BY: SEM
CHECKED BY: GWM
DATE: 1.6.13
REVISED: 6.10.14 SEM
COPYRIGHT 2013 DANZE & DAVIS ARCHITECTS

3. DAVIS PROMISES AND THE BROTHERS AND THE PRODIGAL SON



2nd FLOOR ELEC.

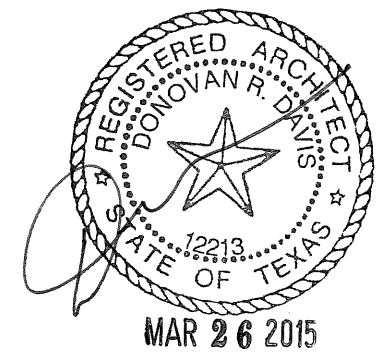


1st FLOOR ELEC.

NOTE: ALL WALL-MOUNTED LIGHT FIXTURES TO BE 88" TO CENTER ABOVE FINISHED WALKING SURFACE BELOW FIXTURE U.N.O.

ALL PENDANT LIGHTS TO BE 66" A.F.F., MEASURED FROM BOTTOM OF FIXTURE U.N.O.

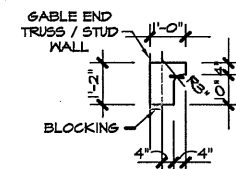
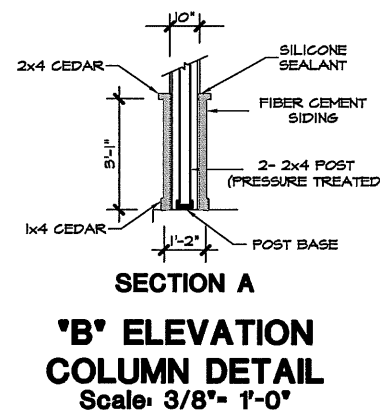
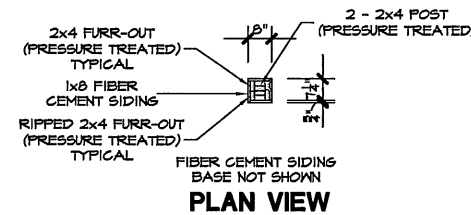
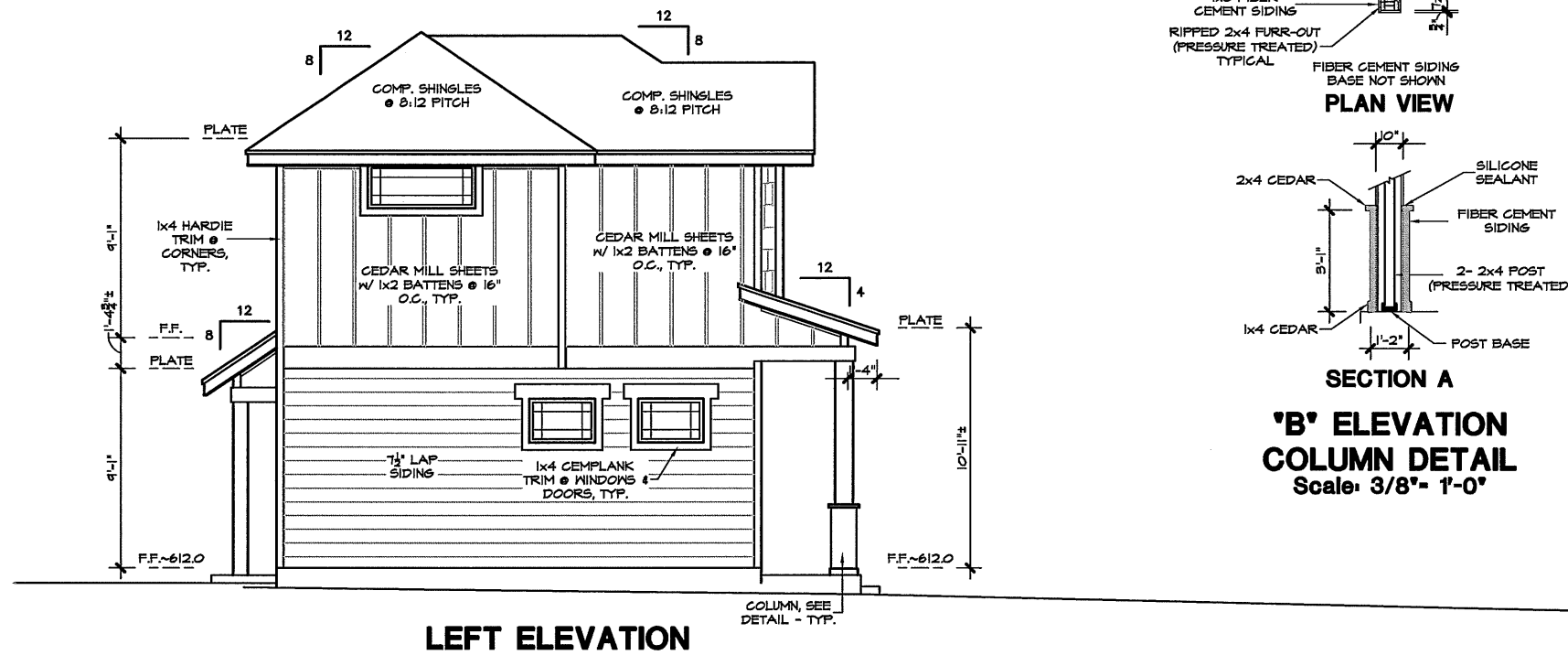
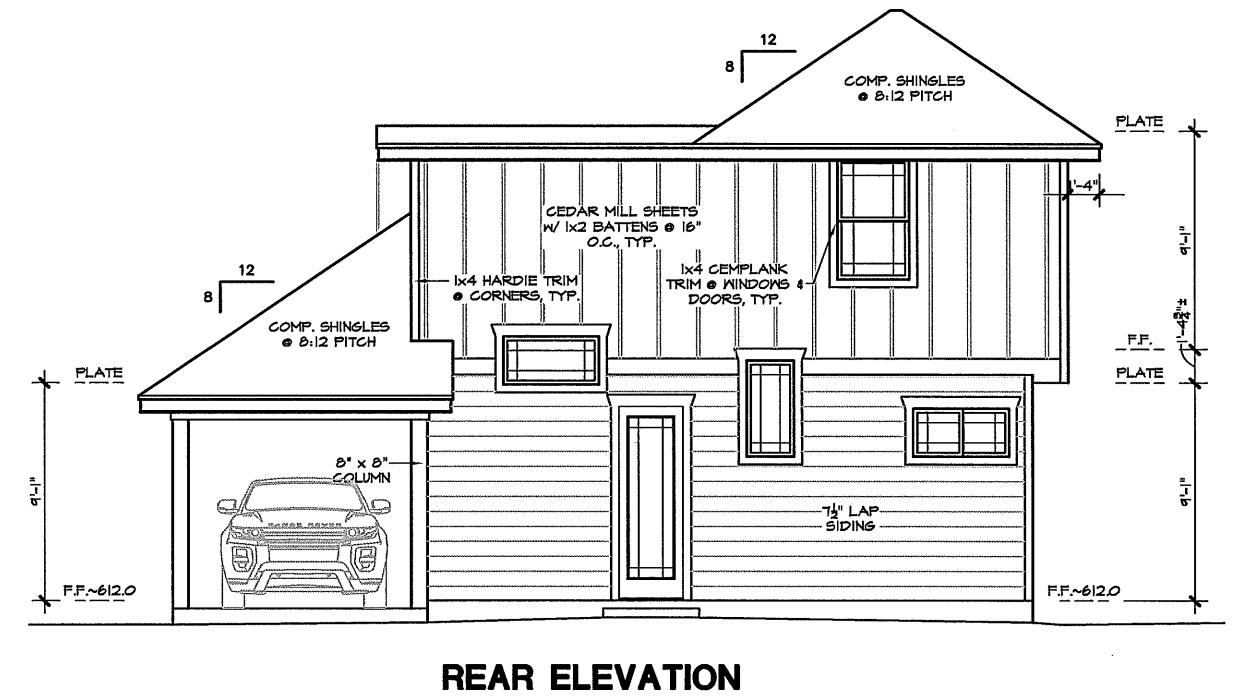
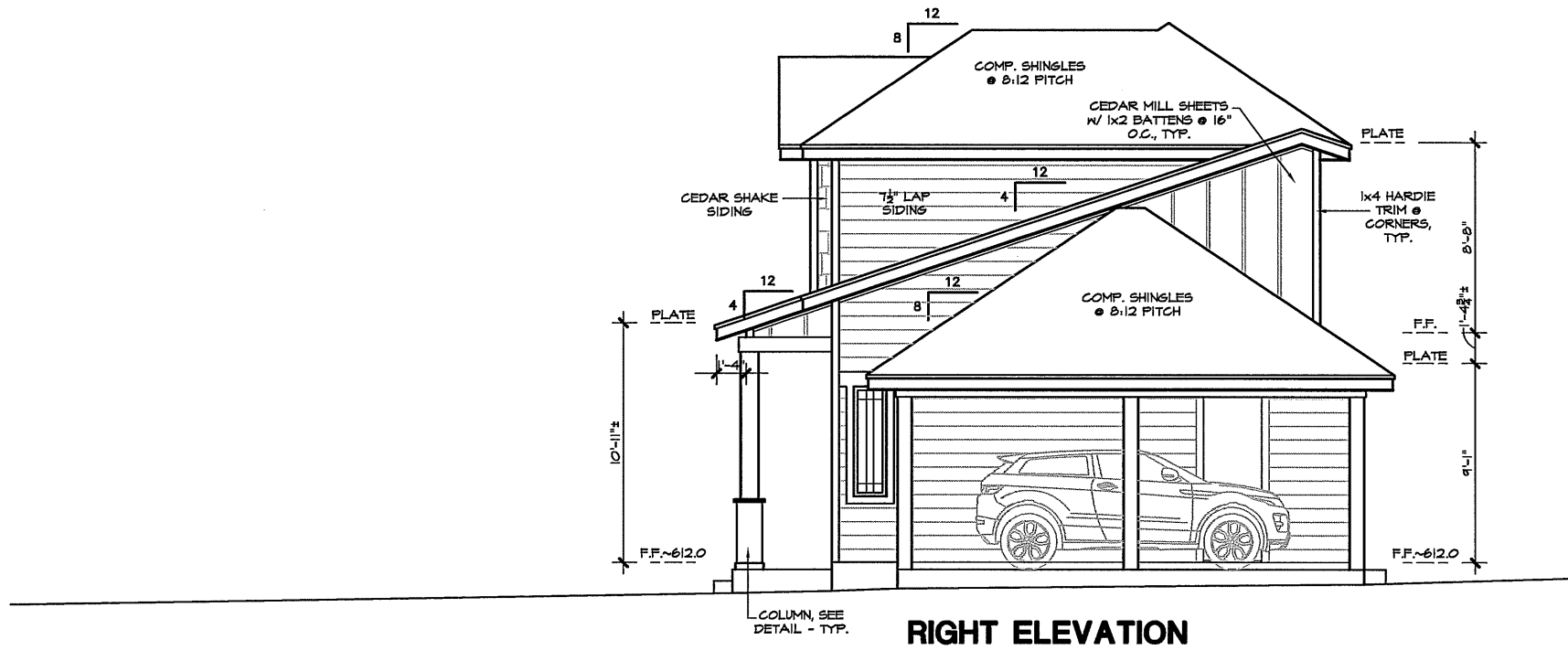
T.V. & ADJACENT 110 OUTLET TO BE INSTALLED 60" A.F.F. U.N.O.



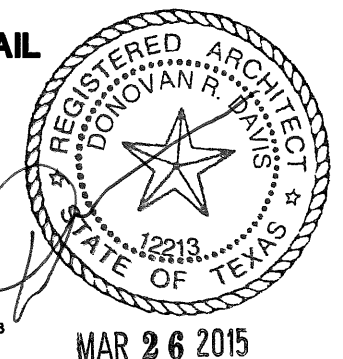
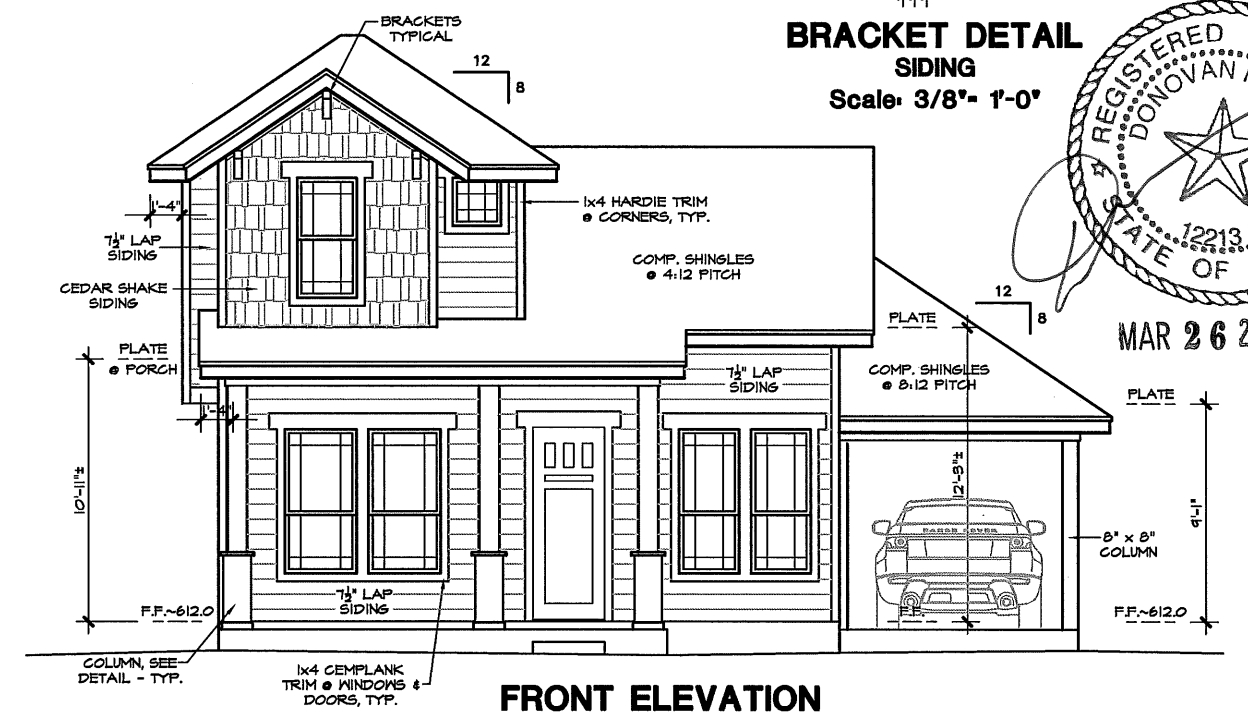
ALAMO SERIES
ALAMO 846
ELECTRICAL PLANS
 Scale: 1/8" = 1'-0" on 11"x17"
 Scale: 1/4" = 1'-0" on 24"x36"

3816 DUVAL STREET
JOB #220030

846AR
1-CAR CARPORT

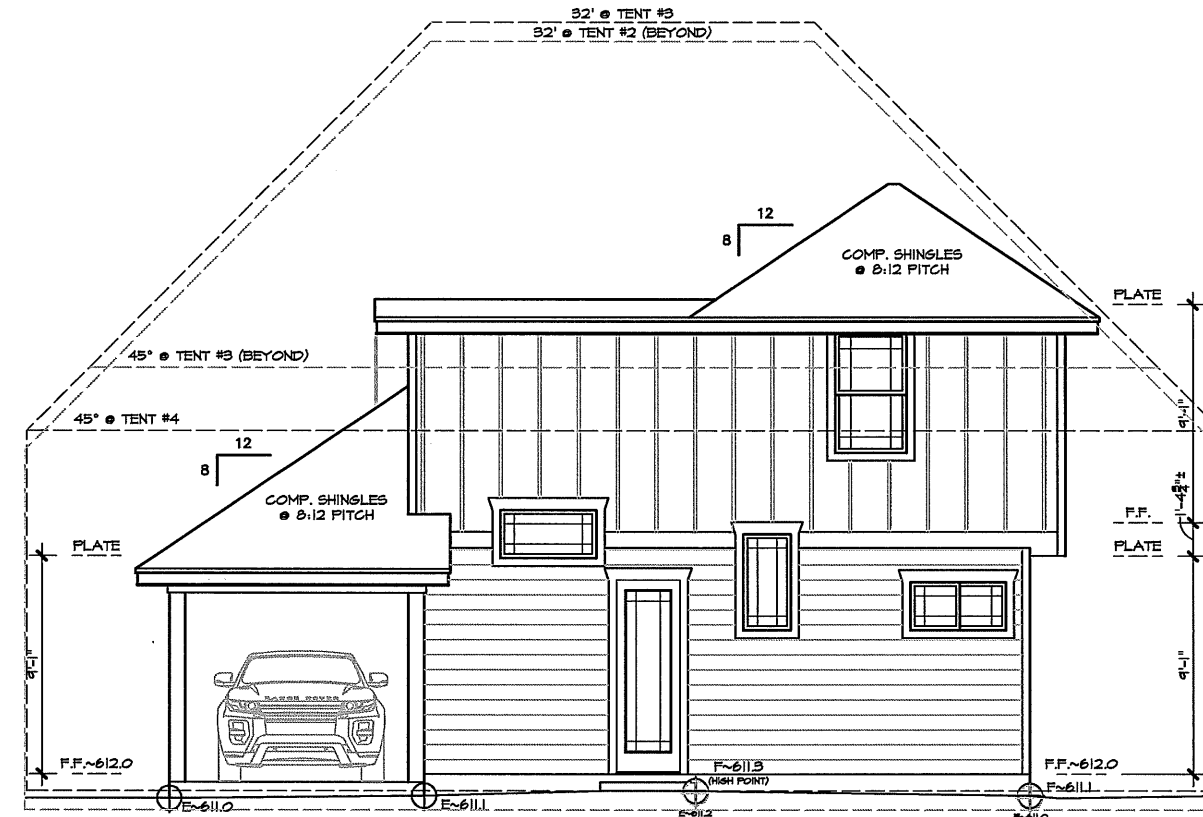


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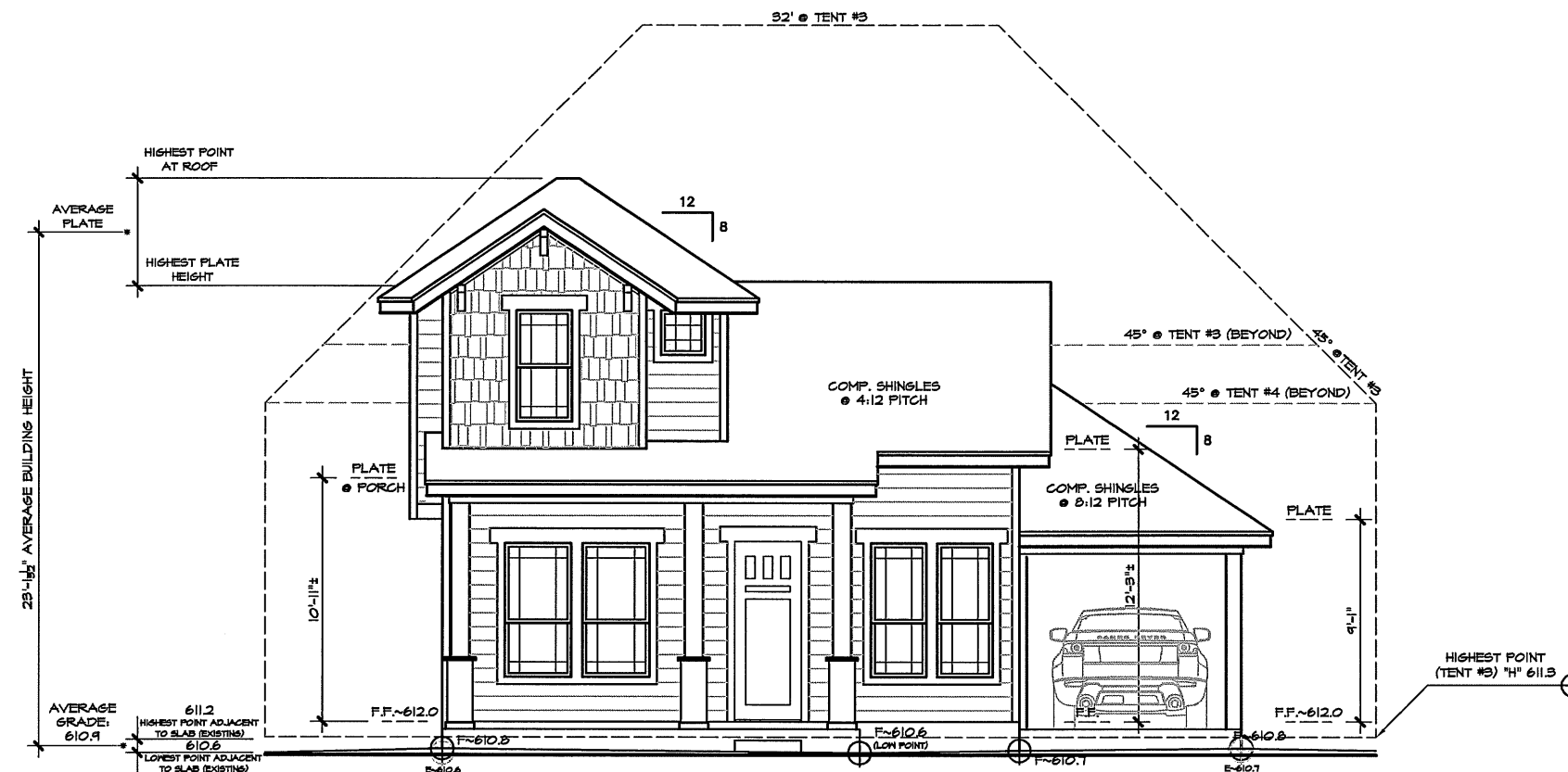


**ALAMO SERIES
ALAMO 846
ELEVATIONS**
Scale: 1/8" = 1'-0" on 11"x17"
Scale: 1/4" = 1'-0" on 24"x36"
**846AR
1-CAR CARPORT**

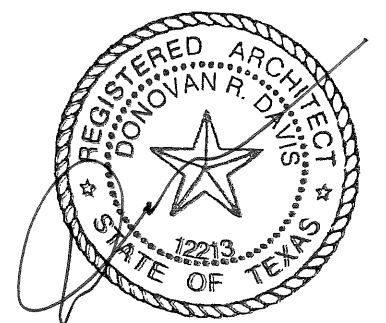
**3816 DUVAL STREET
JOB #220030**



REAR ELEVATION



FRONT ELEVATION



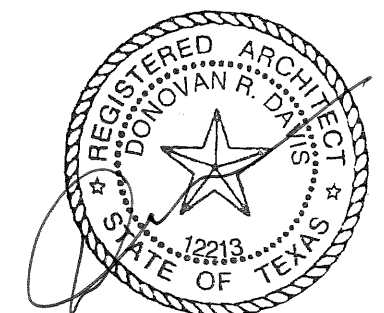
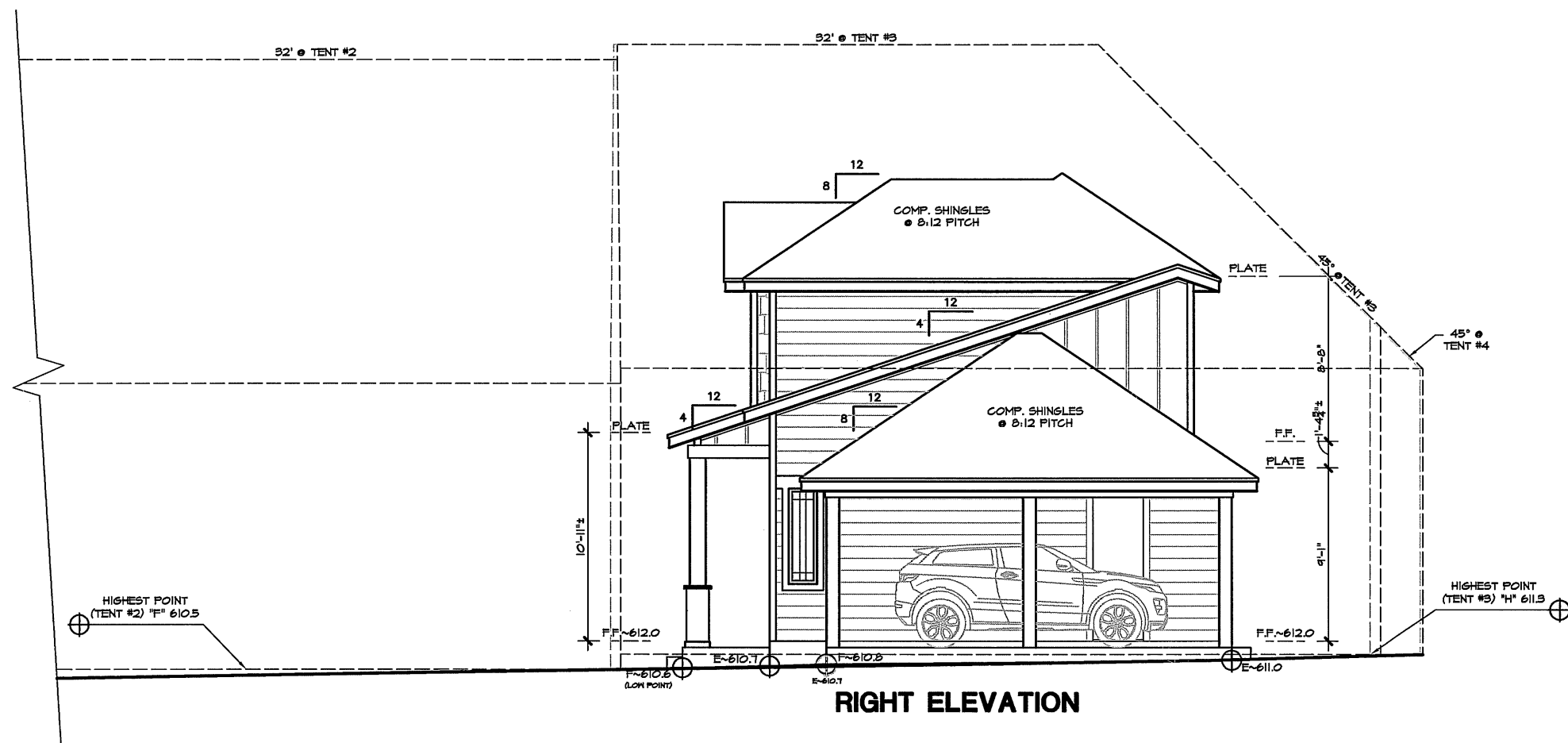
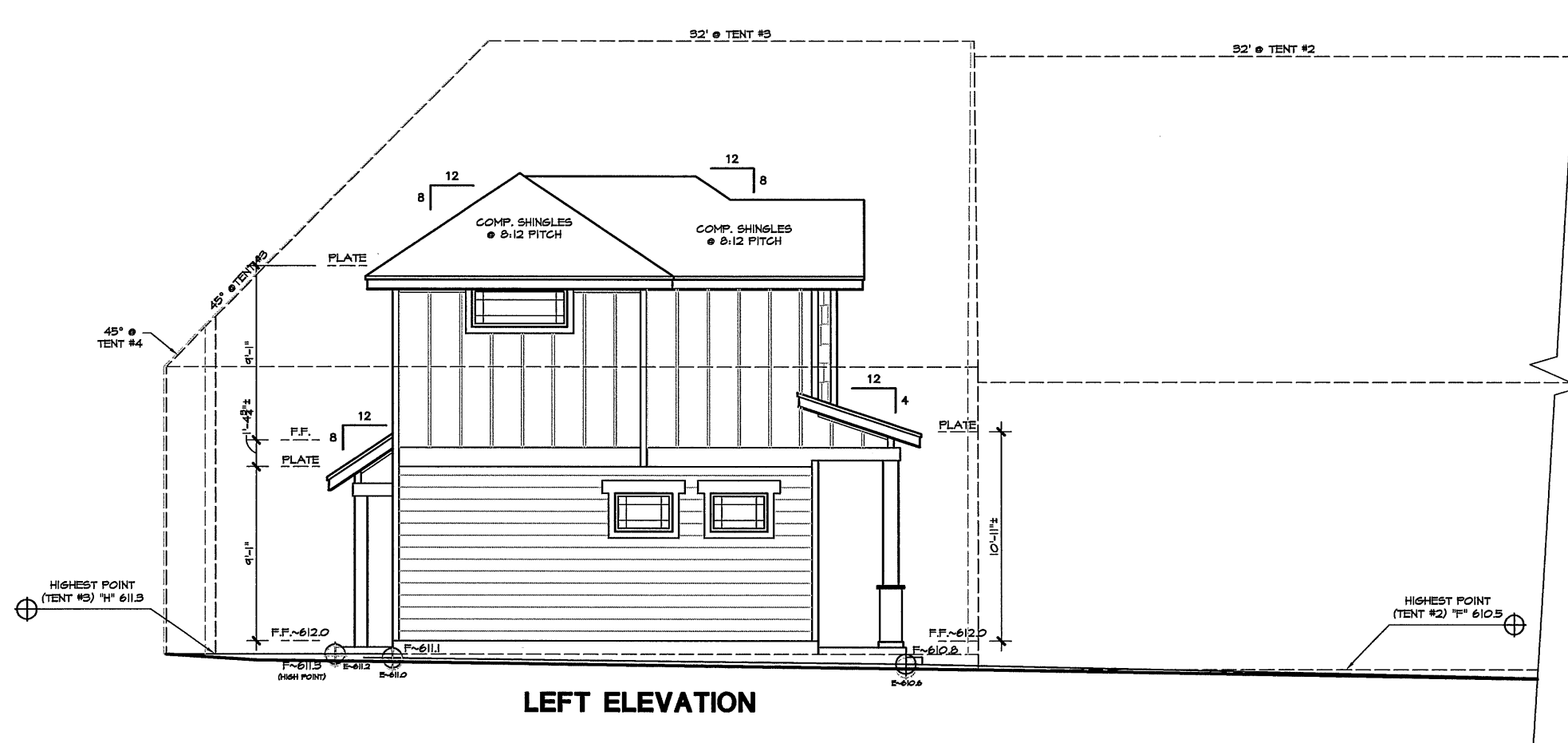
MAR 26 2015

ALAMO SERIES
ALAMO 846
SETBACK PLANE EXHIBIT

Scale: 1/8" = 1'-0" on 11"x17"
 Scale: 1/4" = 1'-0" on 24"x36"

3816 DUVAL STREET
JOB #220030

846AR
1-CAR CARPORT

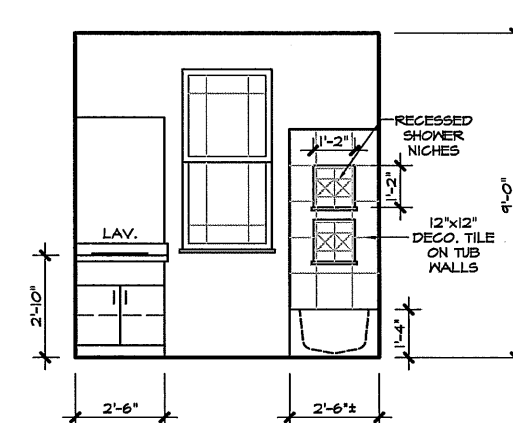
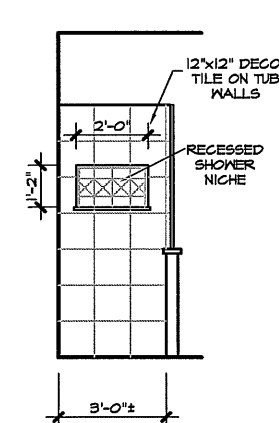


MAR 26 2015

ALAMO SERIES
ALAMO 846
SETBACK PLANE EXHIBIT
 Scale: 1/8" = 1'-0" on 11"x17"
 Scale: 1/4" = 1'-0" on 24"x36"

3816 DUVAL STREET
JOB #220030

846AR
1-CAR CARPORT



CONTRACTOR TO FIELD VERIFY ALL
CABINET DIMENSIONS PRIOR TO
FABRICATION.

CABINET ELEVATIONS

Scale: 3/16"= 1'-0" on 11"x17"
Scale: 3/8"= 1'-0" on 24"x36"



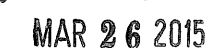
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Scale: 1/8" = 1'-0" on 11"x17"
Scale: 1/4" = 1'-0" on 24"x36"



Scale: 1/8" = 1'-0" on 11"x17"
Scale: 1/4" = 1'-0" on 24"x36"



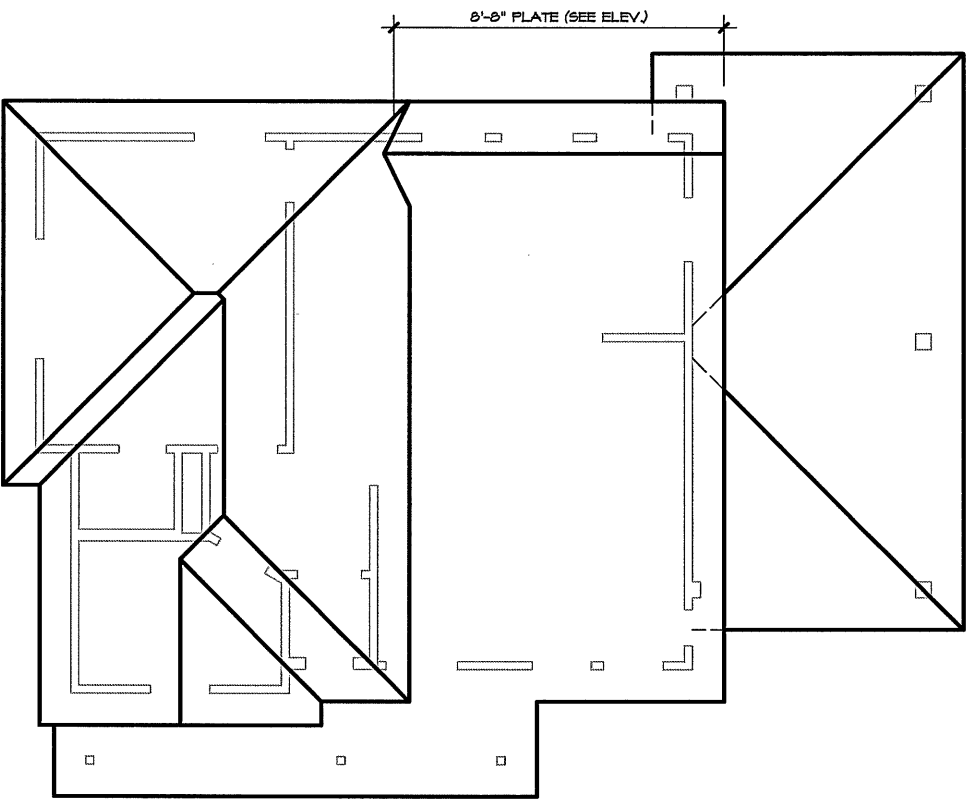
ALAMO SERIES
ALAMO 846

CABS/SECTIONS
Scale: AS NOTED

3816 DUVAL STREET
JOB #220030

846AR

1-CAR CARPORT



HEADER SCHEDULE	
FIRST FLOOR	
OPN'G.	HEADER SIZE
3° (MAX.)	2-2X10's
8° (MAX.)	2-2X12's
ABOVE 8°	ENG'D. BEAM/ SEE PLANS
SECOND FLOOR	
OPN'G.	HEADER SIZE
3° (MAX.)	2-2X6's
4° (MAX.)	2-2X8's
5° (MAX.)	2-2X10's
8° (MAX.)	2-2X12's
ABOVE 8°	ENG'D. BEAM/ SEE PLANS

SEE DETAIL SHEET FOR GENERAL
MECHANICAL SYSTEM REQUIREMENTS

ENGINEERED FRAMING PLANS TO BE
PROVIDED BY OTHERS

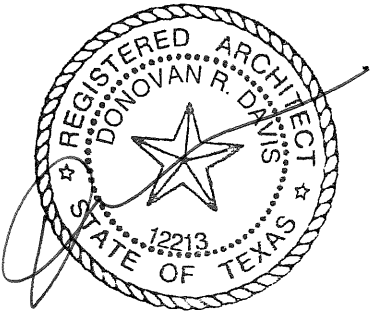
ROOF LAYOUT

VENTILATION REQUIREMENTS

PROVIDE VENTILATION AS REQUIRED BY CURRENT ADOPTED INTERNATIONAL RESIDENTIAL CODE. PERFORATED SOFFITS - NOT ALLOWED IN SIDE YARDS WITH LESS THAN 5 FEET FROM SOFFIT TO BUILD LINE OR LESS THAN 10 FEET FROM SOFFIT TO SOFFIT.

BASED ON A 1/300 CALCULATION, AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA SHALL BE PROVIDED BY VENTILATORS LOCATED IN UPPER PORTION OF THE ATTIC OR RAFTER SPACE WITHIN 3 FEET OF THE HIGHEST SPACE OR THE RIDGE. THE BALANCE OF THE REQUIRED VENTILATION SHALL BE PROVIDED BY EAVE OR CORNICE VENTS.

Plan #	Elevation	Roof Area Type	Attic Square footage (square feet)	Free attic area @ 1/300 (square inches)	High Ventilation @ 50% (square inches)	Low Ventilation @ 50% (square inches)
846	A	Lower Roof	302.70	145.30	72.65	72.65
		Upper Roof	307.40	147.55	73.78	73.78
		Garage Roof	235.30	112.94	56.47	56.47



MAR 26 2015

ALAMO SERIES
ALAMO 846
ROOF LAYOUT

Scale: 1/8" = 1'-0" on 11"x17"
Scale: 1/4" = 1'-0" on 24"x36"

3816 DUVAL STREET
JOB #220030

846AR
1-CAR CARPORT

PLEASE REFER TO ORDINANCE #'S 20130606-055 & 20130606-093 FOR COMPLETE LIST OF REQUIREMENTS

ORDINANCE NO. 20130606-055

AN ORDINANCE REPEALING AND REPLACING ARTICLE 11 OF CITY CODE CHAPTER 25-12 TO ADOPT THE 2012 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS AND LOCAL AMENDMENTS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. Article 11 of Chapter 25-12 (*Residential Code*) is repealed and a new Article, 11 is adopted to read as follows:

ARTICLE 11. RESIDENTIAL CODE

§ 25-12-241 RESIDENTIAL CODE.

(A) The International Residential Code for One- and Two-Family Dwellings, 2012 Edition, published by the International Code Council, Inc. (2012 International Residential Code) is adopted and incorporated into this section with the deletions and amendments in Subsections (B) and (C) and Section 25-12-243 (*Local Amendments to the International Code*).

(B) The following provisions of the 2012 International Residential Code are deleted. All subsections contained within a deleted section or subsection are also deleted, even if not specifically listed below.

Section R101.2	Section R109.1.3	Part IX
Section R103	Section R110.3	Part VI
Section R104.4	Section R112	Part VII
Section R105.2	Table R301.2 (1)	Part VIII
Section R105.3.1.1	Section R301.2.4	
Section R105.3.2	Section R314	
Section R105.5	Section R315	
Section R106.1.3	Section R320	
Section R106.4	Section R322	
Section R109.1.1	Section M2201.6	

(C) The definitions of "Building, Existing" and "Height, Building" in Section R202 (*Definitions*) of the 2012 International Residential Code are deleted.

(D) The city clerk shall file a copy of the 2012 International Residential Code with the official ordinances of the City.

Page 1 of 32

ORDINANCE NO. 20130606-093

AN ORDINANCE REPEALING AND REPLACING ARTICLE 6 OF CITY CODE CHAPTER 25-12 TO ADOPT THE 2012 UNIFORM PLUMBING CODE AND LOCAL AMENDMENTS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. City Code Chapter 25-12 is amended to repeal Article 6 (*Plumbing Code*) and replace it with a new Article 6 to read as follows:

ARTICLE 6. PLUMBING CODE

§ 25-12-151 PLUMBING CODE.

(A) The Uniform Plumbing Code, 2012 edition, published by the International Association of Plumbing and Mechanical Officials (2012 Uniform Plumbing Code) is adopted and incorporated into this section, including all appendices except Appendices F, H and L, with deletions and amendments in Subsection (B) of this section and Section 25-12-153 (*Local Amendments to the Plumbing Code*).

(B) The following provisions of the 2012 Uniform Plumbing Code are deleted. All subsections contained within a deleted section or subsection are also deleted, even if not specifically listed below.

102.3	103.1.1	103.3.3
103.4	Table 103.4	319.0
403.2	403.3	403.4
415.2	422.2	Table 422.1
Table 501.1	501.0	508.4
601.2	Table 603.2	603.2
603.4.2	603.5.6	603.5.12
608.2	704.3	710.2
710.3	712.0	713.4
723.0	801.3	804.1
807.4	909.0	

Page 1 of 16

Sections R302.1, R302.5.1, R302.6, R312.1, R312.1.1, R312.14, R312.2, R312.2.1, R312.2.2, R315.1, R315.2, R602, M1402.1, M1402.2, M1402.3, M1502.4.4, M1502.4.4.1, M1502.4.4.2
Tables R302.1(1), R302.1(2), R302.6
Excerpted from the 2012 International Residential Code, Copyright 2012.

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Sections M1305.1.3, M1305.1.3.1
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(Climatic and Geographic Design Criteria) shall be designed and constructed in accordance with Section R322 (*Flood-Resistant Construction*).

Exception: Buildings and structures located in whole or in part in identified 25-year floodplain as established by future conditions floodplain models and maps shall be designed and constructed as stipulated in the Section R322 (*Flood-Resistant Construction*).

SECTION R314 SMOKE ALARMS

R314.1 Smoke detection and notification. All smoke alarms shall be listed and labeled in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

R314.2 Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72.

Exception: Where smoke alarms are provided meeting the requirements of Section R314.4.

R314.3 Location. Smoke alarms shall be installed in the following locations:

1. In each sleeping room;
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms;
3. On each additional story of the dwelling, including basements and habitable attics, but not including crawl spaces and uninhabitable attics; and
4. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level, provided that the lower level is less than one full story below the upper level.

R314.3.1 Alterations, repairs and additions. When alterations, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created in

Page 16 of 32

existing dwellings, the individual dwelling unit shall be equipped with smoke alarms located as required for new dwellings.

Exceptions:

1. Work involving the exterior surfaces of dwellings, such as the replacement of roofing or siding, or the addition or replacement of windows or doors, or the addition of a porch or deck, are exempt from the requirements of this section.

2. Installation, alteration or repairs of plumbing or mechanical systems requires the installation of smoke alarms, which may be allowed to be solely battery powered and located outside each separate sleeping area in the immediate vicinity of the bedrooms.

R314.4 Power source. Smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.

Exceptions:

1. Smoke alarms shall be permitted to be battery operated when installed in buildings without commercial power.

2. Hard wiring of smoke alarms in existing areas shall not be required where the alterations or repairs do not result in the removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space or basement available which could provide access for hard wiring without the removal of interior finishes.

R314.5 Interconnection. Where more than one smoke alarm is required to be installed within an individual dwelling unit in accordance with Section R314.3, the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit. Physical interconnection of smoke alarms shall not be required where listed wireless alarms are installed and all alarms sound upon activation of one alarm.

Exception: Interconnection of smoke alarms in existing areas shall not be required where alterations or repairs do not result in removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space or basement available which could provide access for interconnection without the removal of interior finishes. Each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

Page 17 of 32

SECTION R315 CARBON MONOXIDE ALARMS

315.1 Carbon monoxide alarms. Carbon monoxide alarms shall be installed in new buildings in accordance with Sections 315.1.1 through 315.1.7. Carbon monoxide alarms shall be installed in existing buildings in accordance with Section 315.1.8.

315.1.1 Where required. Carbon monoxide alarms shall be provided in dwellings in the locations specified in 315.1.2 where any of the conditions in Sections 315.1.1.1 through 315.1.1.3 exist.

315.1.1.1 Fuel-burning appliances and fuel burning fireplaces. Carbon monoxide alarms shall be provided in dwelling units that contain a fuel-burning appliance or a fuel burning fireplace.

315.1.1.2 Forced air furnaces. Carbon monoxide alarms shall be provided in dwelling units served by a fuel-burning, forced air furnace.

315.1.1.3 Garages. Carbon monoxide alarms shall be provided in dwelling units with attached garages.

Exceptions:

a. Carbon monoxide alarms shall not be required if there are no communicating openings between the garage and the dwelling unit; or

b. Carbon monoxide alarms shall not be required in dwelling units located more than one story above or below a garage.

315.1.2 Locations. Where required by Section 315.1.1, carbon monoxide alarms shall be installed in the locations specified in Sections 315.1.2.1.

315.1.2.1 Dwelling units. Carbon monoxide alarms shall be installed in dwelling units outside of each separate sleeping area in the immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.

315.1.3 Power source. Carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than that required for overcurrent protection.

Exception: Where installed in buildings without commercial power, battery powered carbon monoxide alarms shall be an acceptable alternative.

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315.1.4 Listings. Carbon monoxide alarms shall be listed in accordance with UL 2034.

315.1.5 Combination alarms. Combination carbon monoxide/smoke alarms shall be an acceptable alternative to carbon monoxide alarms. Combination carbon monoxide/smoke alarms shall be listed in accordance with UL 2034 and UL 217.

315.1.6 Carbon monoxide detection systems. Carbon monoxide detection systems shall be an acceptable alternative to carbon monoxide alarms and shall comply with Sections 315.1.6.1 through 315.1.6.3.

315.1.6.1 General. Carbon monoxide detection systems shall comply with NFPA 720. Carbon monoxide detectors shall be listed in accordance with UL 2075.

315.1.6.2 Locations. Carbon monoxide detectors shall be installed in the locations specified in Section 315.1.2. These locations supersede the locations specified in NFPA 720.

315.1.6.3 Combination detectors. Combination carbon monoxide/smoke detectors installed in carbon monoxide detection systems shall be an acceptable alternative to carbon monoxide detectors, provided they are listed in accordance with UL 2075 and UL 268.

315.1.7 Maintenance. Carbon monoxide alarms and carbon monoxide detection systems shall be maintained in accordance with NFPA 720. Carbon monoxide alarms and carbon monoxide detectors that become inoperable or begin producing end-of-life signals shall be replaced.

315.1.8 Carbon monoxide alarms. Where work requiring a building permit, or work performed on a fuel gas system, gas appliance or gas fixture in an existing dwelling or dwelling unit shall be provided with carbon monoxide alarms in accordance with Section 315.1, except that the carbon monoxide alarms shall be allowed to be solely battery powered.

Exception: Work involving the exterior surfaces of dwellings, such as the replacement of roofing or siding, or the addition or replacement of windows or doors, or the addition of a porch or deck, are exempt from the requirements of this section.

SECTION R320 ACCESSIBILITY

R320.1 Accessible bathrooms within dwelling units. If a water closet room or bathroom is provided on the first story of a dwelling unit, the water closet room or bathroom must have a minimum clear opening of at least 30 inches (762 mm).

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"R315.1 CARBON MONOXIDE ALARMS. FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES."

"R315.1 CARBON MONOXIDE DETECTION SYSTEMS. CARBON MONOXIDE DETECTION SYSTEMS THAT INCLUDE CARBON MONOXIDE DETECTORS AND AN AUDIBLE NOTIFICATION APPLIANCE, INSTALLED IN ACCORDANCE WITH THIS SECTION FOR CARBON MONOXIDE ALARMS AND NFPA 720, SHALL BE PERMITTED. THE CARBON MONOXIDE DETECTION SHALL BE LISTED AS COMPLYING WITH UL 2075. WHERE A HOUSEHOLD CARBON MONOXIDE DETECTION SYSTEM IS INSTALLED, IT SHALL BECOME A PERMANENT FEATURE OF THE OCCUPANCY, OWNED BY THE HOMEOWNER AND SHALL BE MONITORED BY AN APPROVED SUPERVISING STATION. EXCEPTION: WHERE CARBON MONOXIDE ALARMS ARE INSTALLED MEETING THE REQUIREMENTS OF SECTION R315.1, COMPLIANCE WITH SECTION 315.2 IS NOT REQUIRED."

SECTION R602
WOOD WALL FRAMING
REFER TO THIS SECTION OF THE 2012 IRC
MORE OPTIONS PROVIDED FOR BUILDERS AND DESIGNERS TO PROVIDE ADEQUATE WALL BRACING FOR HOUSES.

CENTRAL FURNACES "M1402.1 GENERAL OIL-FIRED CENTRAL FURNACES SHALL CONFORM TO ANSI/UL 727. ELECTRIC FURNACES SHALL CONFORM TO UL 1995."

"M1402.2 CLEARANCES. CLEARANCES SHALL BE PROVIDED IN ACCORDANCE WITH THE LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS."

"M1402.3 COMBUSTION AIR. COMBUSTION AIR SHALL BE SUPPLIED IN ACCORDANCE WITH CHAPTER 17. COMBUSTION AIR OPENINGS SHALL BE UNOBSTRUCTED FOR A DISTANCE OF NOT LESS THAN 6 INCHES IN FRONT OF THE OPENINGS."

"M1502.4.4 DUCT LENGTH. THE MAXIMUM ALLOWABLE EXHAUST DUCT LENGTH SHALL BE DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTION M1502.4.4.1 OR M1502.4.4.2."

"M1502.4.4.1 SPECIFIED LENGTH. THE MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE 35 FEET FROM THE CONNECTION TO THE TRANSITION DUCT FROM THE DRYER TO THE OUTLET TERMINAL WHERE FITTINGS ARE USED. THE MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE REDUCED IN ACCORDANCE WITH TABLE M1502.4.4.1. THE MAXIMUM LENGTH OF THE EXHAUST DUCT DOES NOT INCLUDE THE TRANSITION DUCT."

"M1502.4.4.2 MANUFACTURER'S INSTRUCTIONS. THE SIZE AND MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE DETERMINED BY THE DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE CODE OFFICIAL SHALL BE PROVIDED WITH A COPY OF THE INSTALLATION INSTRUCTIONS FOR THE MAKE AND MODEL OF THE DRYER AT THE CONCEALMENT INSPECTION. IN THE ABSENCE OF FITTING EQUIVALENT LENGTH CALCULATIONS FROM THE CLOTHES DRYER MANUFACTURER, TABLE M1502.4.4.1 SHALL BE USED."

THESE PLANS ARE TO COMPLY WITH THE FOLLOWING CODES:
2012 INTERNATIONAL RESIDENTIAL CODE,
2012 INTERNATIONAL ENERGY CONSERVATION CODE,
2012 INTERNATIONAL PLUMBING CODE,
2012 INTERNATIONAL MECHANICAL CODE,
2011 NATIONAL ELECTRICAL CODE,
2012 INTERNATIONAL FUEL GAS CODE,
2012 INTERNATIONAL FIRE CODE.

THE LENGTH OF HOT WATER PIPING ALLOWED WITHOUT A MEANS OF MAINTAINING THE TEMPERATURE HAS BEEN REDUCED FROM 100 FEET TO 50 FEET AND PIPING INSULATION WILL BE REQUIRED - 2012 INTERNATIONAL PLUMBING CODE (IPC) AND 2012 INTERNATIONAL FUEL GAS CODE (IFGC)

CONSULT LOCAL BUILDING OFFICIAL FOR REQUIREMENTS REGARDING FIRE RATINGS.

"R302.1 EXTERIOR WALLS. CONSTRUCTION, PROJECTIONS, OPENINGS AND PENETRATIONS OF EXTERIOR WALLS OF DWELLINGS AND ACCESSORY BUILDINGS SHALL COMPLY WITH TABLE R302.1(1); OR DWELLINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION P2904 SHALL COMPLY WITH TABLE R302.1(2)."
EXCEPTIONS: SEE CODE

"R302.5.1 OPENING PROTECTION. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 1/2 INCHES IN THICKNESS, SOLID OR HONEY-COMB-CORE STEEL DOORS NOT LESS THAN 1 1/2 INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE."

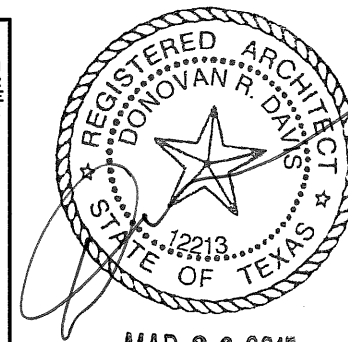
"R302.6 DWELLING/GARAGE FIRE SEPARATION. THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. THIS PROVISION DOES NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL."

"R312.1 GUARDS. GUARDS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.1.1 THROUGH R312.1.4."

"R312.2 WINDOW FALL PROTECTION. WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2."

"R312.2.1 WINDOW SILLS. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4-INCH-DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24 INCHES OF THE FINISHED FLOOR."
EXCEPTIONS:

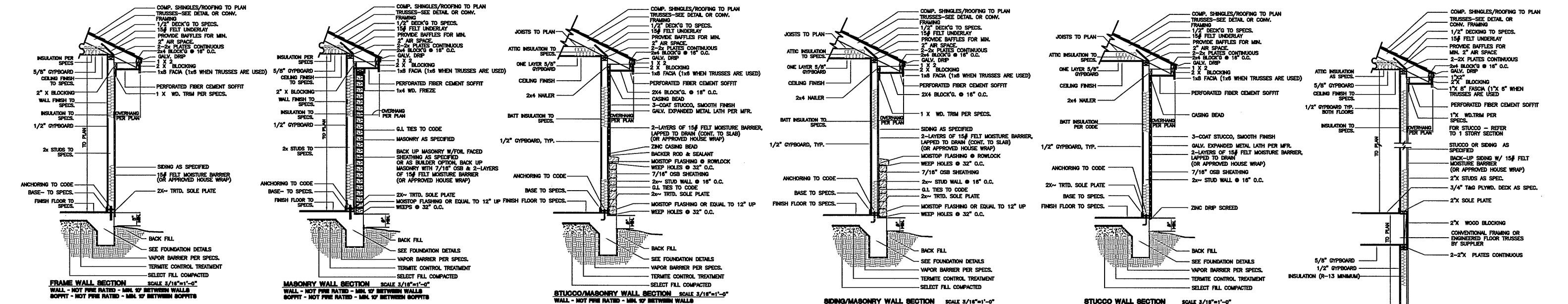
1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
3. WINDOWS THAT ARE PROVIDED WITH WINDOW CONTROL DEVICES THAT COMPLY WITH SECTION R312.1.1."



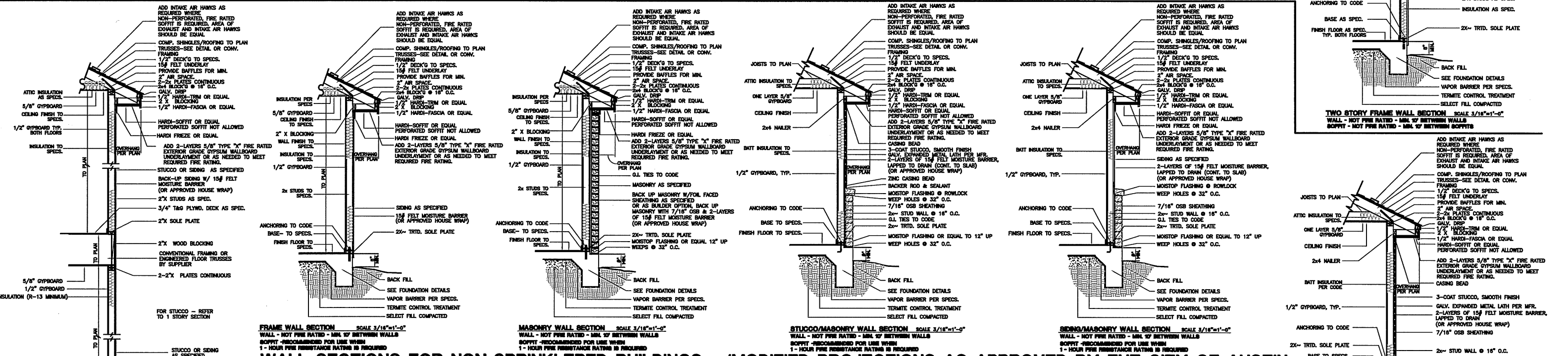
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STANDARD WALL SECTIONS FOR NON-SPRINKLERED BUILDINGS FIRE SEPARATION DISTANCES CALLED OUT ARE FOR NON-SPRINKLERED BUILDINGS. THESE DISTANCES MAY BE REDUCED FOR BUILDINGS WITH APPROVED FIRE SPRINKLERS - SEE TABLE R302.1(2) **FOR EXTERIOR WALLS REQUIRING 1-HOUR FIRE RATINGS REFER TO SEPARATE ASTM E 119 OR UL 263 RATED ASSEMBLIES**



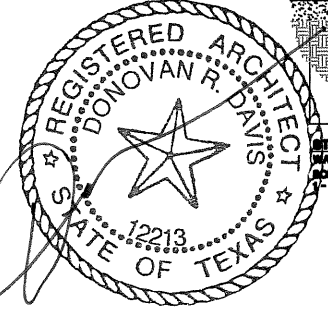
WALL SECTIONS FOR NON-SPRINKLERED BUILDINGS w/MODIFIED PROJECTIONS AS APPROVED BY THE CITY OF AUSTIN SEE IRC 2012 TABLE R302.1(1) FOR SIDE YARD PROJECTION REQUIREMENTS FIRE SEPARATION DISTANCES CALLED OUT ARE FOR NON-SPRINKLERED BUILDINGS. THESE DISTANCES MAY BE REDUCED FOR BUILDINGS WITH APPROVED FIRE SPRINKLERS - SEE TABLE R302.1(2) **FOR EXTERIOR WALLS REQUIRING 1-HOUR FIRE RATINGS REFER TO SEPARATE ASTM E 119 OR UL 263 RATED ASSEMBLIES**

TABLE R302.1(1)
EXTERIOR WALLS

EXTERIOR WALL ELEMENT	FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E 119 or UL 263 with exposure from both sides
	Not fire-resistance rated	0 hours
Projections	Fire-resistance rated	1 hour on the underside
	Not fire-resistance rated	0 hours
Openings in walls	Not allowed	N/A
	25% maximum of wall area	0 hours
Penetrations	All	Comply with Section R302.4
	None required	5 feet

TABLE R302.1(2)
EXTERIOR WALLS—DWELLINGS WITH FIRE SPRINKLERS

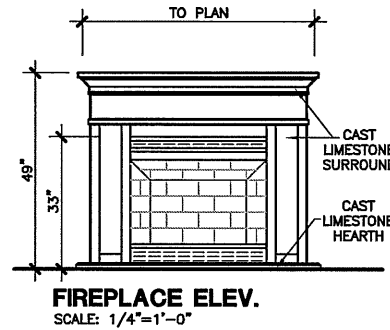
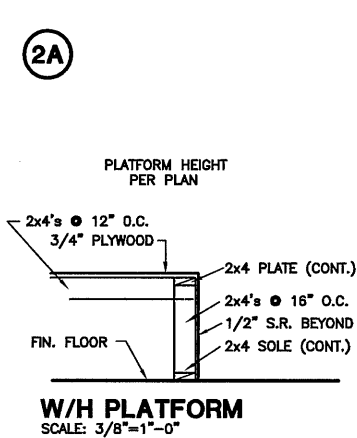
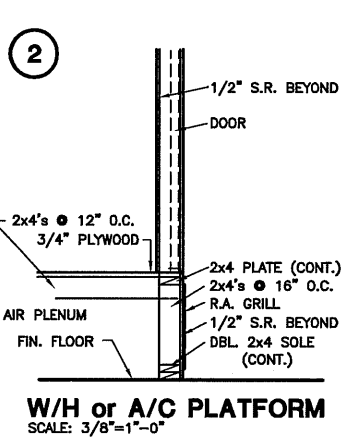
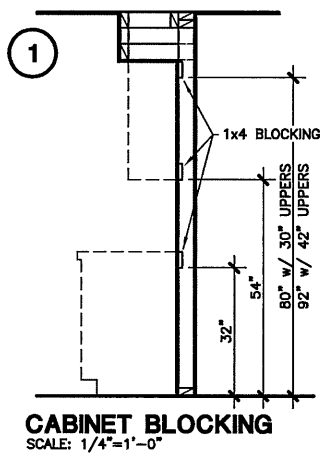
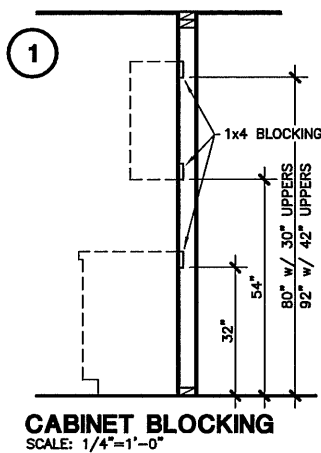
EXTERIOR WALL ELEMENT	FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E 119 or UL 263 with exposure from the outside
	Not fire-resistance rated	0 hours
Projections	Fire-resistance rated	1 hour on the underside
	Not fire-resistance rated	0 hours
Openings in walls	Not allowed	N/A
	Unlimited	0 hours
Penetrations	All	Comply with Section R302.4
	None required	3 feet



For SI: 1 foot = 304.8 mm.
 N/A = Not Applicable.
 Sections R302.1, R302.5.1, R302.6, R312.1, R312.1.1, R312.14, R312.2, R312.2.1, R312.2.2, R315.1, R315.2, R602, M1402.1, M1402.2, M1402.3, M1502.4.4, M1502.4.4.1, M1502.4.4.2
 Tables R302.1(1), R302.1(2), R302.6
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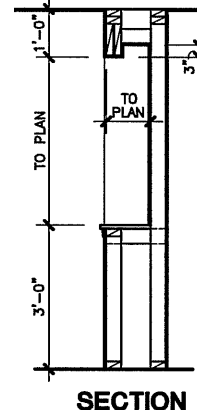
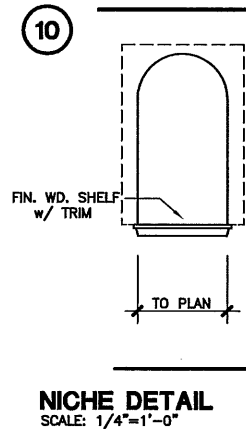
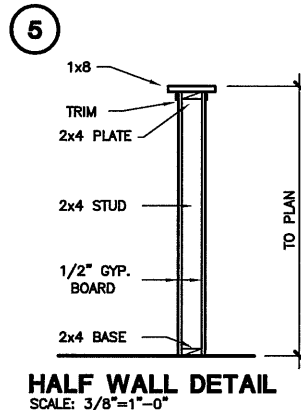
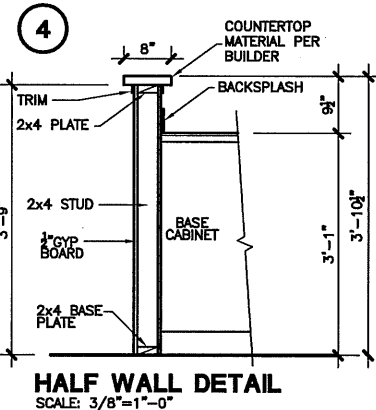
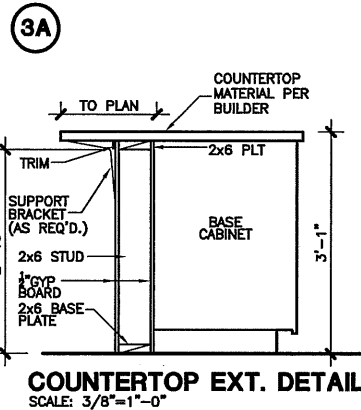
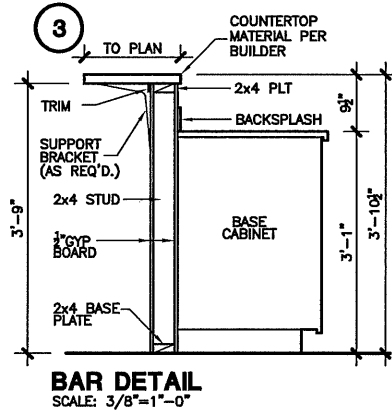
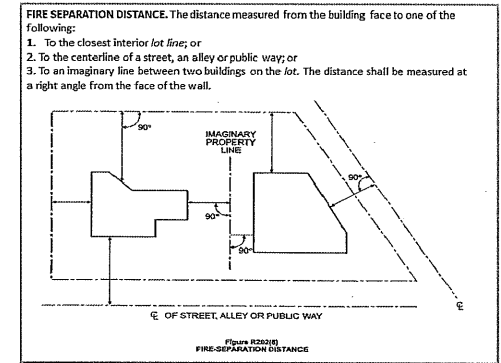
For SI: 1 foot = 304.8 mm.
 N/A = Not Applicable
 a. For residential subdivisions where all dwellings are equipped throughout with an automatic sprinkler systems installed in accordance with Section P2904, the fire separation distance for nonrated exterior walls and rated projections shall be permitted to be reduced to 0 feet, and unlimited unprotected openings and penetrations shall be permitted, where the adjoining lot provides an open setback yard that is 6 feet or more in width on the opposite side of the property line.

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GENERAL NOTES:
NO CHANGES SHALL BE MADE WITHOUT APPROVAL FROM PLAN REVIEW.
MIN. R-15 INSULATION UNDER FLOOR OVER GARAGE AREA.
GLASS IN SHOWER DOORS TO BE SAFETY GLASS.
GLASS IN DOORS TO BE SAFETY GLASS IF GREATER THAN 8 IN. DIAMETER OR WITHIN 2 FT. OF DOOR OPENING.
GLASS IN FULL WINDOWS AT TUBS/SHWRS. & WITHIN 60\"/>

GENERAL NOTES:
2012 INTERNATIONAL RESIDENTIAL CODE ANALYSIS
ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GYPSUM BOARD AS PER SECTION R302.7.
AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SOLID-SWINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32\"/>



EXTERIOR WALL ELEMENT	FIRE-RESISTANCE RATING	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E 119 or UL 263 with exposure from both sides	< 5 feet
	Not fire-resistance rated	0 hours	≥ 5 feet
Projections	Fire-resistance rated	1 hour on the underside	≥ 2 feet to < 5 feet
	Not fire-resistance rated	0 hours	≥ 5 feet
Openings in walls	Not allowed	N/A	< 3 feet
	25% maximum of wall area	0 hours	3 feet
	Unlimited	0 hours	5 feet
Penetrations	All	Comply with Section R302.4	< 5 feet
		None required	5 feet

For SI: 1 foot = 304.8 mm.
N/A = Not Applicable.

EXTERIOR WALL ELEMENT	FIRE-RESISTANCE RATING	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E 119 or UL 263 with exposure from the outside	0 feet
	Not fire-resistance rated	0 hours	3 feet*
Projections	Fire-resistance rated	1 hour on the underside	2 feet*
	Not fire-resistance rated	0 hours	3 feet
Openings in walls	Not allowed	N/A	< 3 feet
	Unlimited	0 hours	3 feet*
Penetrations	All	Comply with Section R302.4	< 3 feet
		None required	3 feet*

For SI: 1 foot = 304.8 mm.
N/A = Not Applicable.

a. For residential subdivisions where all dwellings are equipped throughout with an automatic sprinkler systems installed in accordance with Section P2904, the fire separation distance for nonrated exterior walls and rated projections shall be permitted to be reduced to 0 feet, and unlimited unprotected openings and penetrations shall be permitted, where the adjoining lot provides an open setback yard that is 6 feet or more in width on the opposite side of the property line.

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

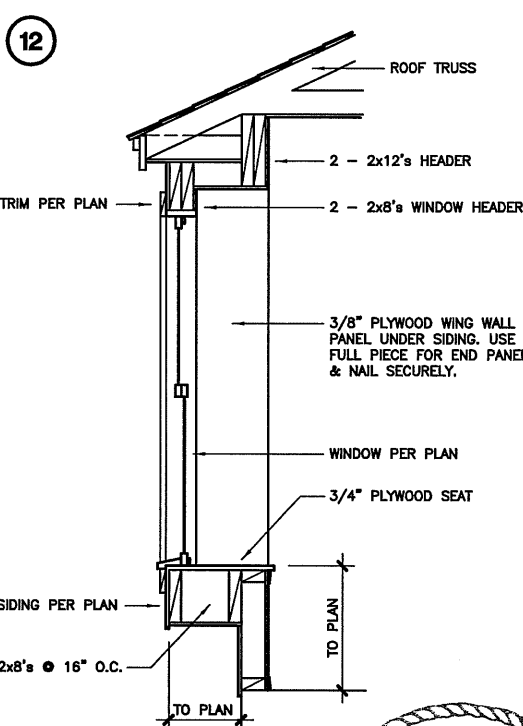
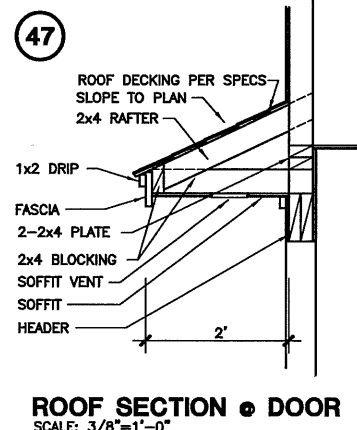
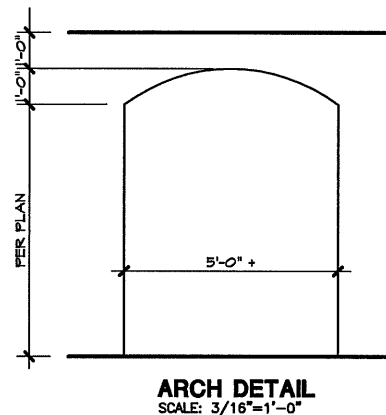
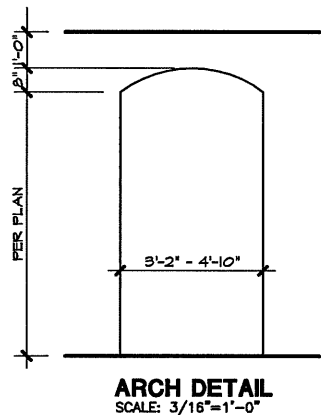
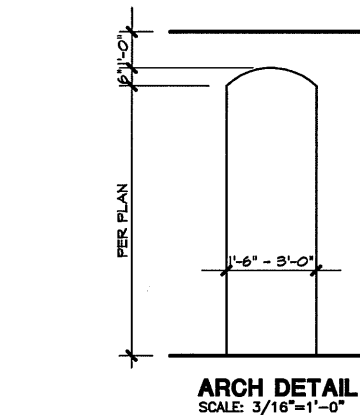
For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

2012 INTERNATIONAL RESIDENTIAL CODE*

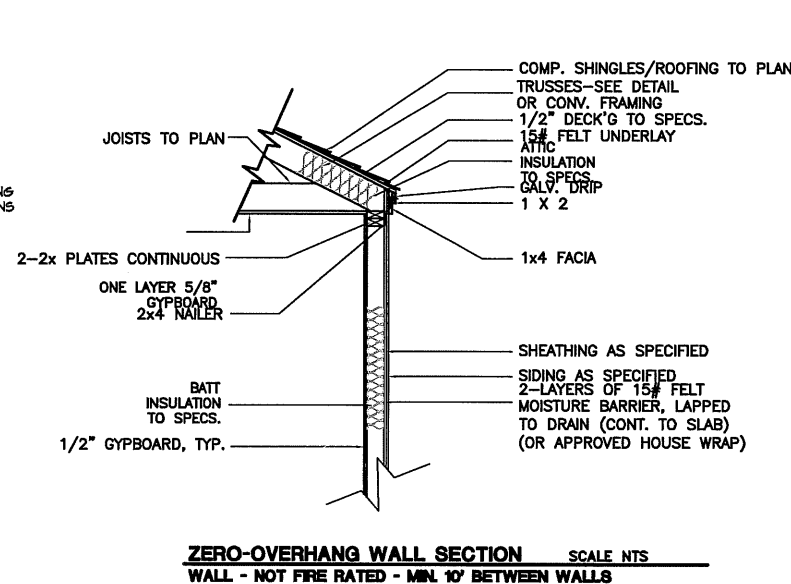
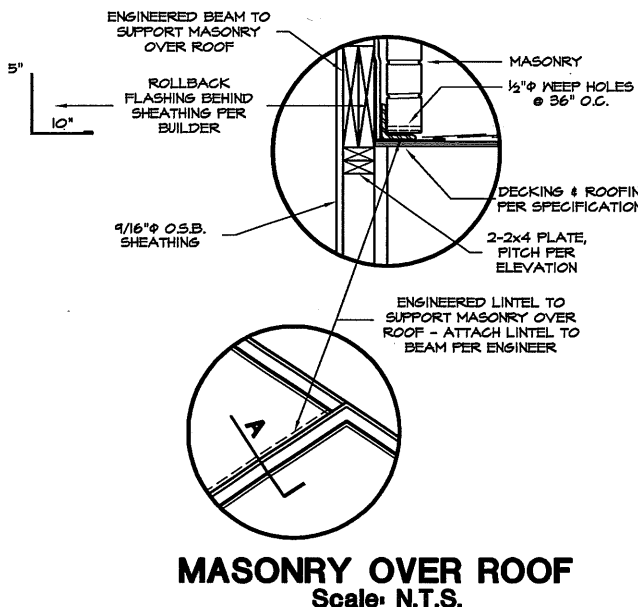
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Sections R302.1, R302.5.1, R302.6, R312.1, R312.1.1, R312.14, R312.2, R312.2.1, R312.2.2, R315.1, R315.2, R602, M1402.1, M1402.2, M1402.3, M1502.4.4, M1502.4.4.1, M1502.4.4.2
Tables R302.1(1), R302.1(2), R302.6
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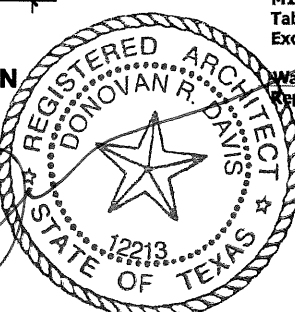
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WINDOW SEAT SECTION
SCALE: 3/8"=1'-0"
SEE IRC 2012 TABLE R302.1(1) FOR SIDE YARD PROJECTION REQUIREMENTS



ZERO-OVERHANG WALL SECTION SCALE NTS
WALL - NOT FIRE RATED - MIN. 10' BETWEEN WALLS



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