


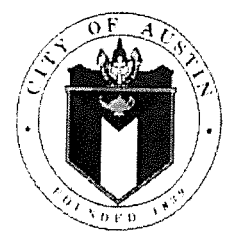


-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

CASE#: C15-2015-0059
Address: 4005 AVENUE D



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 200'

L5
2/5

CITY OF AUSTIN
Board of Adjustment/Sign Review Board
Decision Sheet

DATE: Monday, June 8, 2015

CASE NUMBER: C15-2015-0059

___Y___ Jeff Jack - Chair
___Y___ Michael Von Ohlen 2nd the Motion
___Y___ Melissa Whaley Hawthorne - Vice Chair Motion to PP to July 13, 2015
___Y___ Sallie Burchett
___Y___ Ricardo De Camps
___Y___ Brian King
___Y___ Vincent Harding
___-___ Will Schnier - Alternate
___-___ Stuart Hampton - Alternate

APPLICANT: Lotte Vehko

OWNER: Steven & Susie Roselle

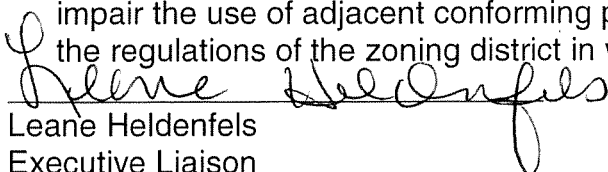
ADDRESS: 4005 AVENUE D

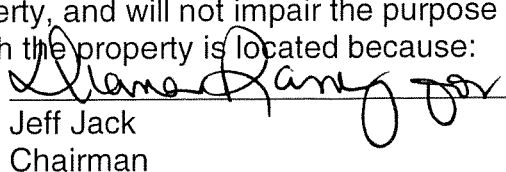
VARIANCE REQUESTED: The applicant has requested variance(s) from Section 25-2-492 (D) (Site Development Regulations) and from NCCD-NP Ordinance 20120112-086, Part 8. Residential District, 1.(Site Development Standards) to increase the building cover from 40% (required) to 70% (requested) in order to enlarge an existing single family home that currently has 68% building coverage in a "SF-3-HD-NCCD-NP", Family Residence – Historic Area – Neighborhood Conservation Combining District - Neighborhood Plan zoning district. (Hyde Park)

BOARD'S DECISION: The public hearing was closed on Board Member Michael Von Ohlen motion to Postpone to June 8, 2015, Board Member Melissa Hawthorne second, NO OBJECTION; POSTPONED TO JUNE 8, 2015; June 8' 2015 The public hearing was closed on Board Member Melissa Hawthorne motion to Postpone to July 13, 2015, Board Member Michael Von Ohlen second on a 7-0 vote; POSTPONED TO JULY 13, 2015.

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:
(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:


Leane Heldenfels
Executive Liaison


Jeff Jack
Chairman

5/3/15

CITY OF AUSTIN
Board of Adjustment/Sign Review Board
Decision Sheet

DATE: Monday, May 11, 2015

CASE NUMBER: C15-2015-0059

☐ Y ☐ Jeff Jack - Chair
☐ Y ☐ Michael Von Ohlen
☐ Y ☐ Melissa Whaley Hawthorne - Vice Chair
☐ Y ☐ Sallie Burchett
☐ - ☐ Ricardo De Camps - (OUT)
☐ Y ☐ Brian King
☐ Y ☐ Vincent Harding

APPLICANT: Lotte Vehko

OWNER: Steven & Susie Roselle

ADDRESS: 4005 AVENUE D

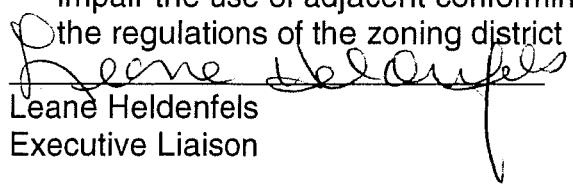
VARIANCE REQUESTED: The applicant has requested variance(s) from Section 25-2-492 (D) (Site Development Regulations) and from NCCD-NP Ordinance 20120112-086, Part 8. Residential District, 1.(Site Development Standards) to increase the building cover from 40% (required) to 70% (requested) in order to enlarge an existing single family home that currently has 68% building coverage in a "SF-3-HD-NCCD-NP", Family Residence – Historic Area – Neighborhood Conservation Combining District - Neighborhood Plan zoning district. (Hyde Park)

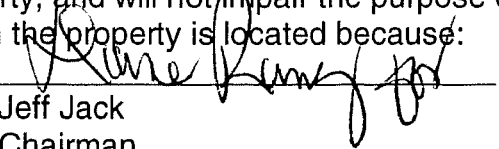
BOARD'S DECISION: The public hearing was closed on Board Member Michael Von Ohlen motion to Postpone to June 8, 2015, Board Member Melissa Hawthorne second, NO OBJECTION; POSTPONED TO JUNE 8, 2015.

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:

(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:


Leane Heldenfels
Executive Liaison


Jeff Jack
Chairman

15
4

CASE# 45-2015-0059
ROW# 11327655
TAX# 0219060403

**CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE**

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 4005 Avenue D, Austin, TX 78751

LEGAL DESCRIPTION: LOT 11-12 BLK 33 HYDE PARK ADDN NO 1

I/We on behalf of myself/ourselves as authorized agent for Steven and Susie Roselle

affirm that on March 9th, 2015, hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below and state what portion of the Land Development Code you are seeking a variance from)

☒ ERECT ☒ ATTACH ☐ COMPLETE ☐ REMODEL ☒ MAINTAIN

Construct an addition to the existing 2-2 house to enlarge it to 3-2, increasing the lot coverage from

68% to 70% (exception to LDC 25-2-492 - Site Development Regulations) in a SF-3-HD-NCCD-NP

district.

(Hyde Park)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

15/5

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

They do not take into account the location of the property within the central city area, where more building density is desired, or the historic status of the property and the area in which it is located (Hyde Park).

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

The topography of the lot is such that rainwater and other runoff from adjoining lots pools in the yard(s) of the subject property.

(b) The hardship is not general to the area in which the property is located because:

This topography is unique to the subject property.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The yard(s) of the subject property have been paved with salvaged vintage brick in order to direct runoff into a sump pump, which routes the water off the lot and into the city drainage system. This prevents water from pooling in the yard(s) of the subject property and causing damage to the foundations of the historic house and other structures, providing habitat for undesirable insects and mold growth, and preventing the owners from being able to use their yard during wet weather. Leaving this drainage system in place will not alter the character of the area because no changes are proposed. It will not impair the purpose of the zoning regulations because the existing drainage system performs the same purpose that limitations on lot coverage are intended to perform (protects ground water quality).

PARKING: (Additional criteria for parking variances only.)

5/5

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because: (Not Applicable)
2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because: (Not Applicable)
3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because: (Not Applicable)
4. The variance will run with the use or uses to which it pertains and shall not run with the site because: (Not Applicable)

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed [Signature] Mail Address 110 E 37th #108

City, State & Zip Austin, TX 78705

Printed Name Lotte Vehko Phone 512-708-0703 Date March 9, 2015

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed [Signature] Mail Address 4005 Avenue D

City, State & Zip Austin, TX 78751

Printed Name Steven Roselle Phone 512-452-8456 Date 3/9/15

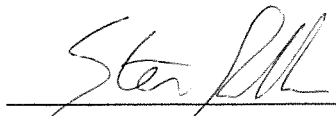
LS
1/1

March 9, 2015

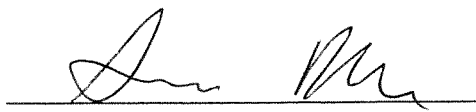
City of Austin
Residential Building Review
505 Barton Springs Road
Austin, Texas

To whom it may concern:

This is to certify that we, the owners of 4005 Avenue D,
Austin, Texas, authorize Lotte Vehko of Vehko Architecture
to act as our agent with the city of Austin regarding the
construction project "Roselle Residence" (Vehko
Architecture project number 14-1006).



Steve Roselle



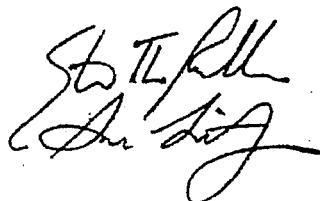
Susie Roselle

3/9/15

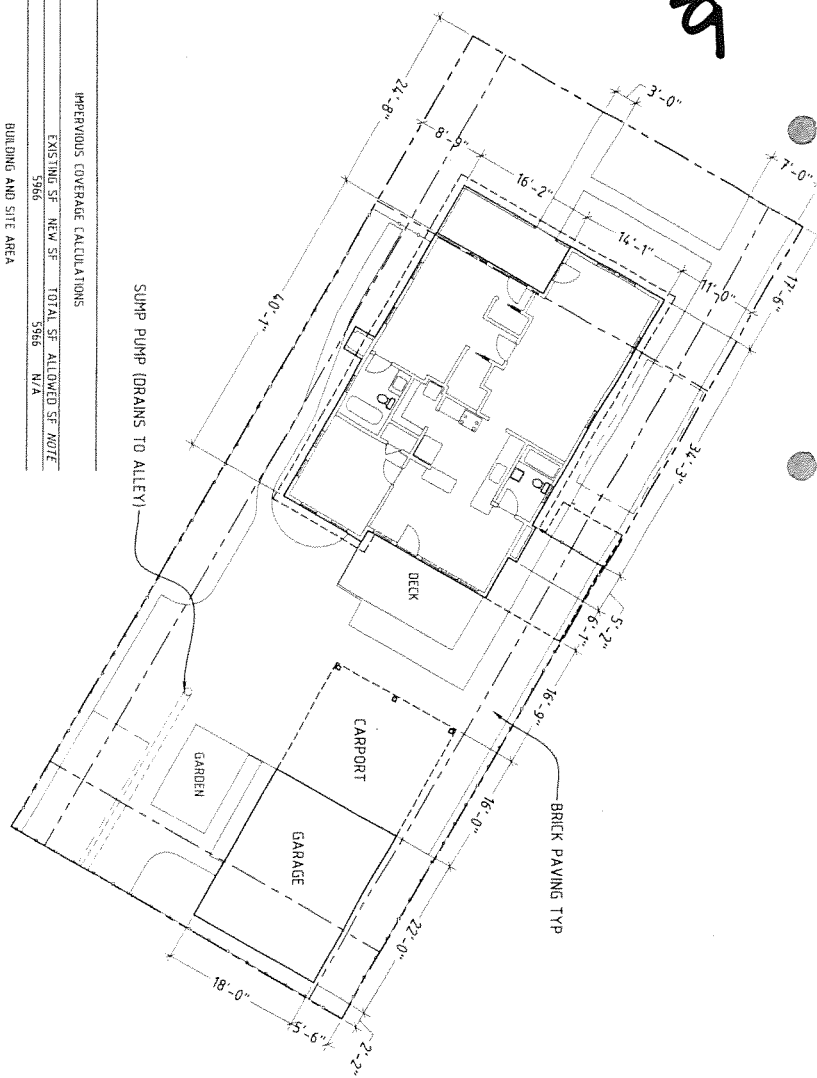
Date

$$\frac{L5}{8}$$

PPO POWER POLE
 -ET- OVERHEAD ELEC./TELE. LINE
 -#- WOOD FENCE
 GMI GAS METER
 WMO WATER METER

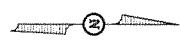


5509



SUMP PUMP (DRAINS TO ALLEY)

1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



IMPERVIOUS COVERAGE CALCULATIONS			
LOT SIZE	EXISTING SF	NEW SF	TOTAL SF ALLOWED SF NOTE
	5966		5966 N/A
BUILDING AND SITE AREA			
1ST FLOOR GROSS AREA	1791	287	1578
COVERED FRONT PORCH	117	0	117
NORTH CARPORT	163	-163	0
DETACHED GARAGE	395	0	395
REAR CARPORT	288	-288	0
TOTAL BUILDING COVERAGE	2254	-164	2090
2090			2386
FRONT DRIVE & WALKWAY	420	81	501
REAR YARD BRICK PAVING	1350	221	1571
A/C UNITS	9	0	9
TOTAL SITE COVERAGE	4033	144	4177
6162			2685
			4502
FLOOR TO AREA RATIO			
1ST FLOOR GROSS AREA (HOUSE)	EXISTING SF	NEW SF	TOTAL ALLOWED SF
DETACHED GARAGE	1791	287	1578
	395	0	0
TOTAL GROSS FLOOR AREA	1686	287	1578
F.A.R.	0.78	0.26	0.40
PARKING CALCULATION			
REQD FOR SF RESIDENCE	2.00	1.50 SF EXHIBIT B68 LOT 25-2-2-33.7	
SUBTOTAL	2.00	2 "NEW" REFERS TO BRICK PAVING PREVIOUSLY	
REDUCTION PER LOT 25-2-4-78	0.80	COVERED BY DETACHED CARPORT'S	
SUBTOTAL	1.60		
TOTAL PARKING SPACES REQD	2		

NOTES:

ROSELLE RESIDENCE
4005 AVENUE D
AUSTIN, TEXAS

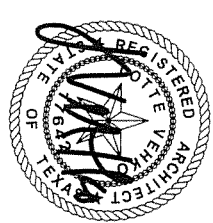
LIST OF DRAWINGS

- A0.1 -- EXISTING SITE PLAN & TITLE SHEET
- A1.1 -- NEW SITE PLAN
- A1.2 -- SITE PLAN DETAILS
- A2.1 -- DEMOLITION PLAN
- A3.1 -- 1ST FLOOR PLAN
- A3.2 -- ROOF PLAN
- A4.1 -- REFLECTED CG PLAN
- A5.1 -- EXTERIOR ELEVATIONS
- A5.2 -- EXTERIOR ELEVATIONS
- A5.3 -- EXTERIOR ELEVATIONS
- A5.4 -- EXTERIOR ELEVATION
- A7.1 -- INTERIOR ELEVATIONS
- A7.2 -- INTERIOR ELEVATIONS

PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 11-12 BLK 33
HYDE PARK ADDN NO 1
TAX PROPERTY ID NUMBER: 214757
ZONING: SF-3-HO-NCCD-NP
ZONING OVERLAYS: HYDE PARK
NATIONAL REGISTER HISTORIC
DISTRICT, HYDE PARK NEIGHBORHOOD
PLANNING AREA, RESIDENTIAL DESIGN
STANDARDS
ADOPTED NEIGHBORHOOD PLAN TOOLS:
SMALL LOT AMNESTY INFILL

COMMON ABBREVIATIONS:
AFF ABOVE FINISHED FLOOR
CL CENTER LINE
SIM SIMILAR
ETR EXISTING TO REMAIN
TYP TYPICAL
EQ EQUAL - DIVIDE
EQ AVAILABLE SPACE
EQUALLY

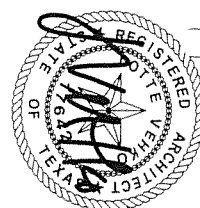
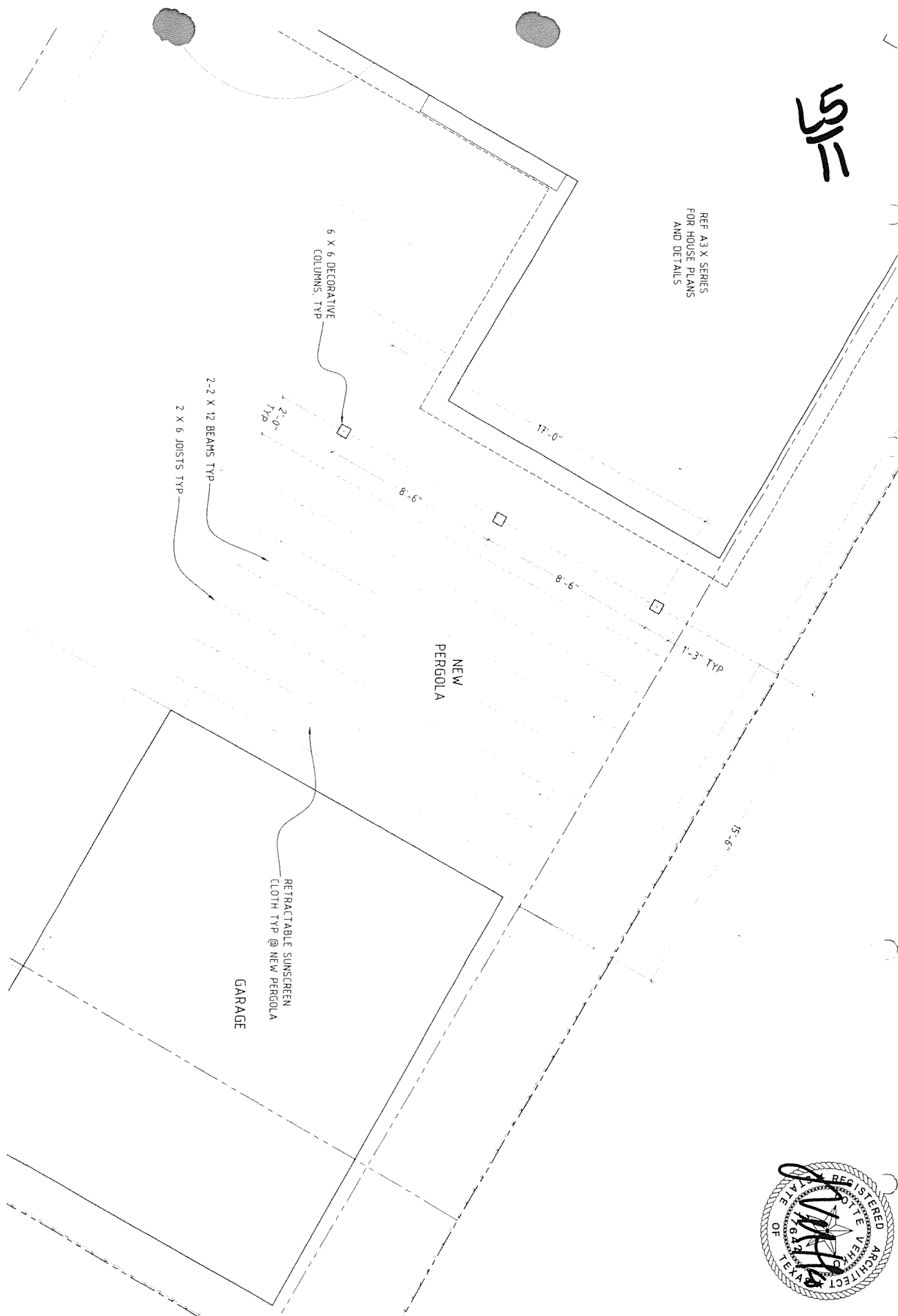



Vehko Architecture
512.458.9791
vehko@stbcglobal.net

TITLE SHEET	ROSELLE RESIDENCE 4005 Avenue D Austin, Texas	PROJECT NUMBER: 14-1006
DRAWING SCALE: AS NOTED	DATE: 09 MAR 2015	REVISIONS
PERMITTING / CONSTRUCTION DRAWING		

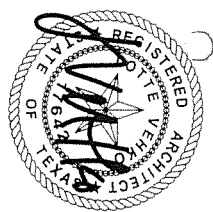
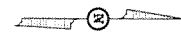
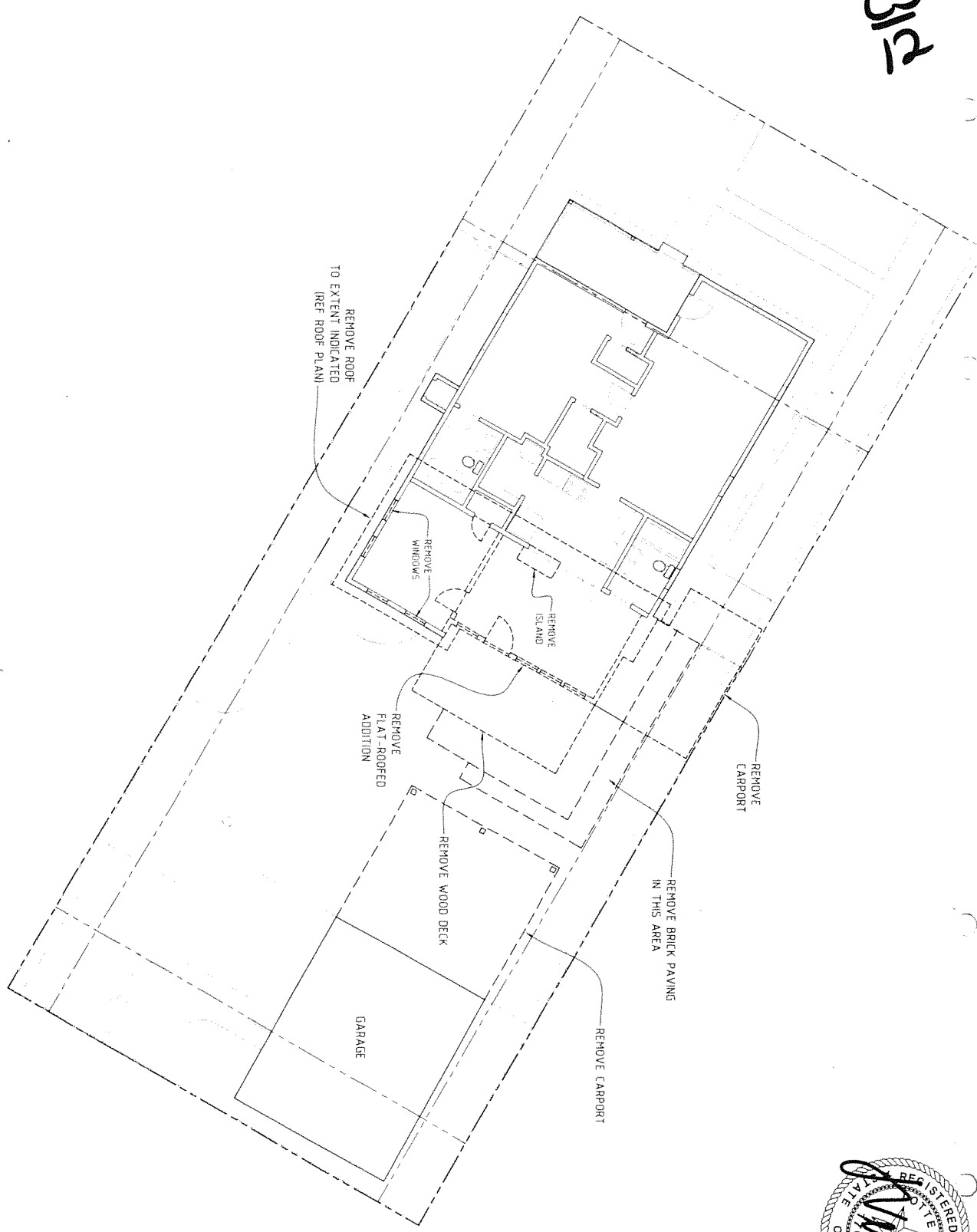
512


REF A3 X SERIES
FOR HOUSE PLANS
AND DETAILS



A1.2	SITE PLAN DETAIL		ROSELLE RESIDENCE 4005 Avenue D Austin, Texas		Vehko Architecture  512.458.9791 vehko@sbcglobal.net	
	DRAWING SCALE 1/4" = 1'-0"		DATE: 09 MAR 2015			PROJECT NUMBER: 14-1006
	PERMITTING / CONSTRUCTION DRAWING		REVISIONS			

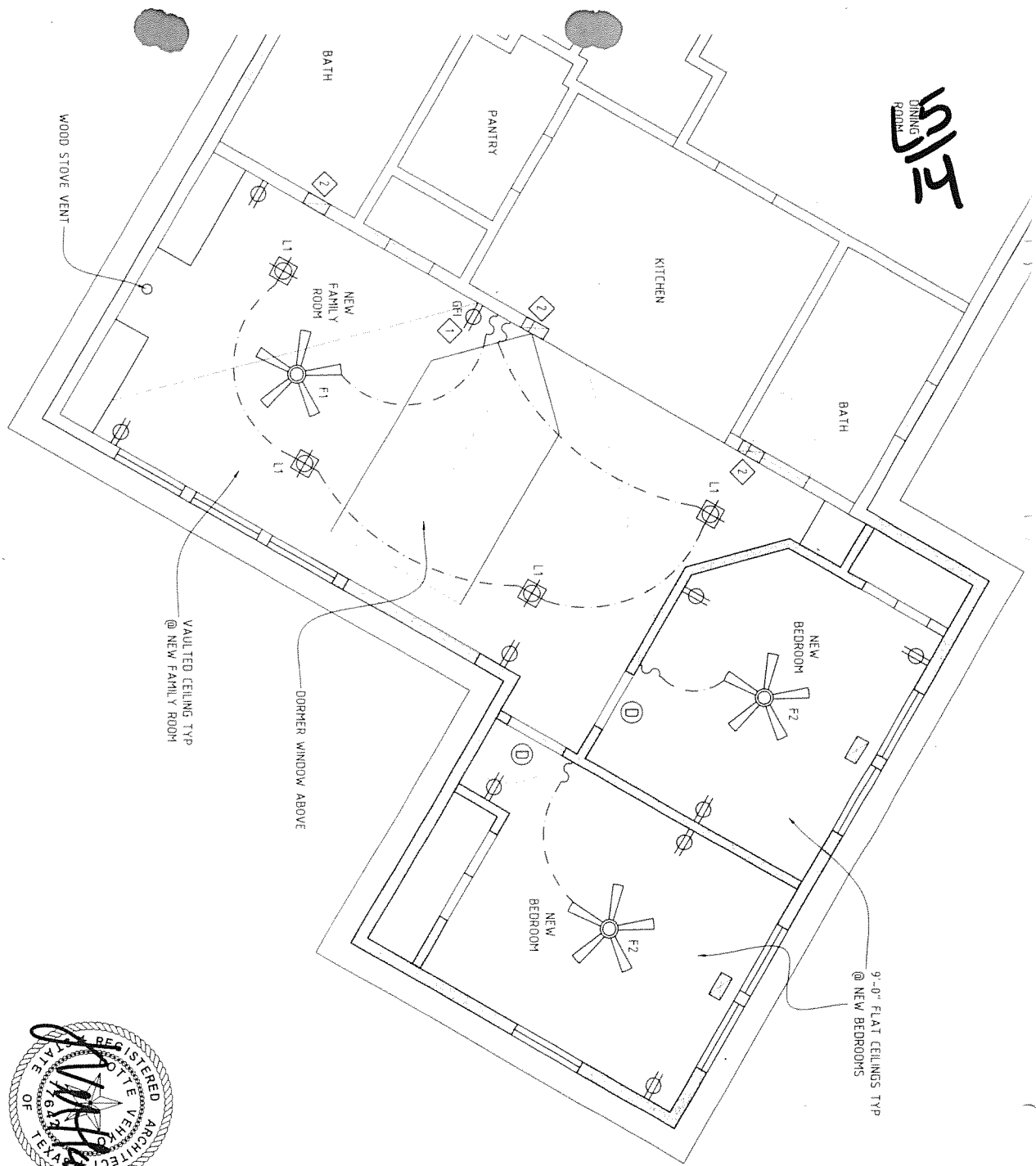
5/12



A2.1	DEMOLITION PLAN		ROSELLE RESIDENCE 4005 Avenue D Austin, Texas		 Vehko Architecture 512.458.9791 vehko@sbcglobal.net	
	DRAWING SCALE 1" = 10'-0"		DATE 09 MAR 2015			PROJECT NUMBER 14-1006
	PERMITTING / CONSTRUCTION DRAWING		REVISIONS			

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 512.458.9791
 vehko@sbcglobal.net

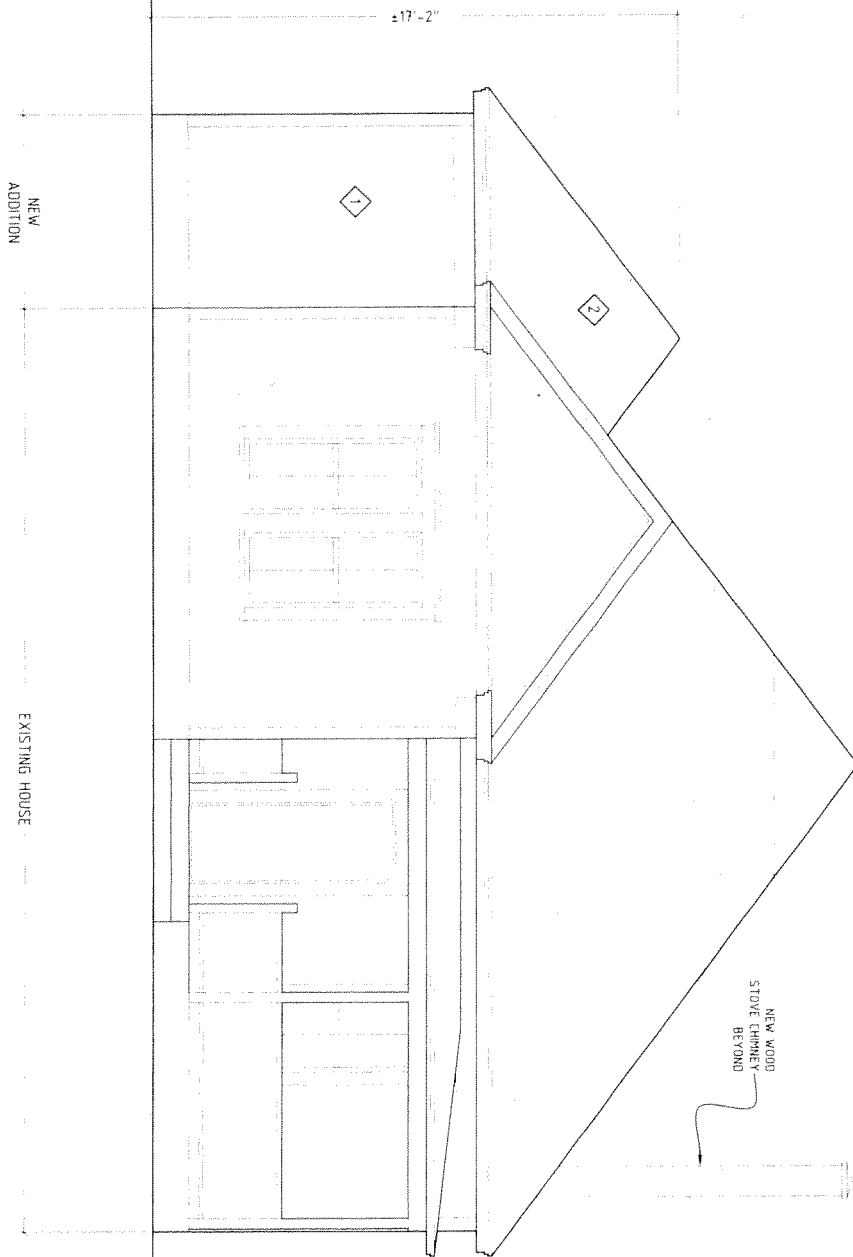
$$\frac{5}{13}$$

FIXTURE SCHEDULE NOTE: ALL FIXTURES ARE AS SELECTED BY OWNER		
L1	RECESSED FLUORESCENT DOWNLIGHT	
F1	54" CEILING FAN	
F2	48" CEILING FAN	
LEGEND		
Ø	ELECTRICAL OUTLET MOUNTED 12" A.F.F.	
Ø ^{GF1}	OUTLET ON GROUND FAULT INTERRUPT CIRCUIT	
⌋	LIGHT SWITCH MOUNTED 54" A.F.F.	
⌋ ₂	LIGHT SWITCH ON DIMMER	
⌋ ₃	THREE-WAY SWITCH	
Ⓢ	TELEPHONE / CABLE OUTLET	
Ⓣ	THERMOSTAT	
Ⓢ	SMOKE DETECTOR	
□	HVAC SUPPLY	
KEYED NOTES		
NOTE: NOT ALL KEYS ARE USED ON ALL SHEETS, AND NOTE NUMBERS MAY VARY FROM SHEET TO SHEET		
1	OUTLET MOUNTED ABOVE COUNTER TOP	
2	A/C SUPPLY GRILLE MOUNTED HIGH UP IN WALL -- REF. INTERIOR ELEVATIONS	
REFLECTED CEILING PLAN DRAWING SCALE: 1/4" = 1'-0" PERMITTING / CONSTRUCTION DRAWING		
ROSELLE RESIDENCE 4005 Avenue D Austin, Texas DATE: 09 MAR 2015 PROJECT NUMBER: 14-1006		
REVISIONS VEHKO ARCHITECTURE 512.458.9791 vehko@sbcglobal.net		

A4.1

5/15



- KEYED NOTES**
- NOTE: NOT ALL KEYS ARE USED ON ALL SHEETS, AND NOTE NUMBERS MAY VARY FROM SHEET TO SHEET
 - 1 PAINTED LAPPED SIDING TO MATCH EXISTING HOUSE
 - 2 METAL ROOFING TO MATCH EXISTING HOUSE
 - 3 MATCH SHINGLE / TRIM / SIDING DETAILS FROM EXISTING GABLES

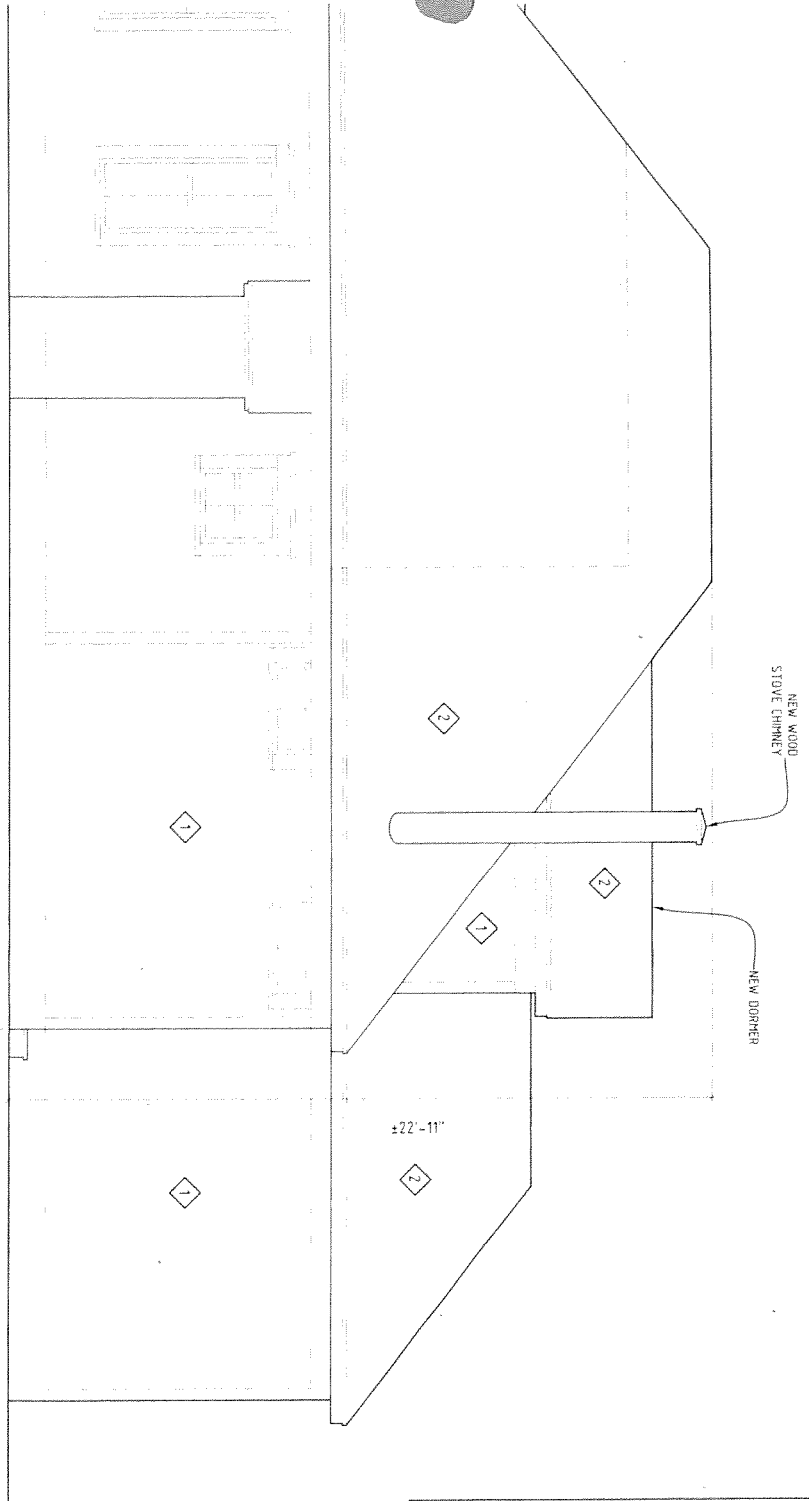


A5.1	EXTERIOR ELEVATION -- WEST		ROSELLE RESIDENCE 4005 Avenue D Austin, Texas	
	DRAWING SCALE: 1/4" = 1'-0"	DATE: 09 MAR 2015	PROJECT NUMBER: 14-1006	
	PERMITTING / CONSTRUCTION DRAWING		REVISIONS	

5/16

EXISTING HOUSE

NEW ADDITION



NEW WOOD STOVE CHIMNEY

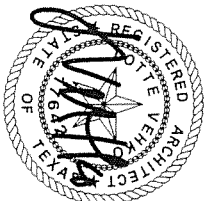
NEW DORMER

±22'-11"

KEYED NOTES

NOTE: NOT ALL KEYS ARE USED ON ALL SHEETS. AND NOTE NUMBERS MAY VARY FROM SHEET TO SHEET.

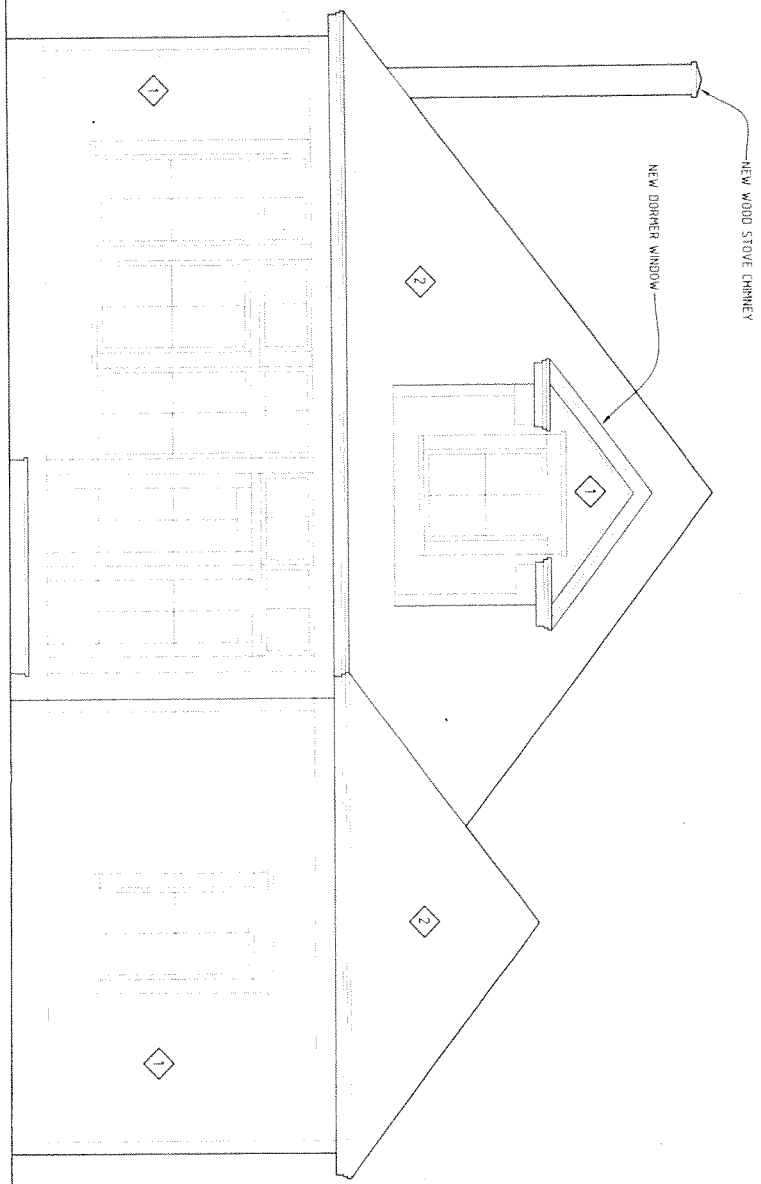
- 1 PAINTED LAPPED SIDING TO MATCH EXISTING HOUSE
- 2 METAL ROOFING TO MATCH EXISTING HOUSE
- 3 MATCH SHINGLE / TRIM / SIDING DETAILS FROM EXISTING GABLES



A5.2	EXTERIOR ELEVATION -- SOUTH		ROSELLE RESIDENCE 4005 Avenue D Austin, Texas	
	DRAWING SCALE: 1/4" = 1'-0"	DATE: 09 MAR 2015	PROJECT NUMBER: 14-1006	
	PERMITTING / CONSTRUCTION DRAWING		REVISIONS	

Vehko Architecture
 512.458.9791
 vehko@sbcglobal.net


5/5



KEYED NOTES

- NOTE: NOT ALL KEYS ARE USED ON ALL SHEETS, AND NOTE NUMBERS MAY VARY FROM SHEET TO SHEET
- 1 PAINTED LAPPED SIDING TO MATCH EXISTING HOUSE
 - 2 METAL ROOFING TO MATCH EXISTING HOUSE
 - 3 MATCH SHINGLE / TRIM / SIDING DETAILS FROM EXISTING GABLES



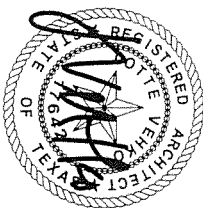
A5.3	EXTERIOR ELEVATION -- EAST		ROSELLE RESIDENCE 4005 Avenue D Austin, Texas		<div>Vekko Architecture</div> <div> 512.458.9791 vekko@sbcglobal.net</div>	
	DRAWING SCALE 1/4" = 1'-0"		DATE: 09 MAR 2015			PROJECT NUMBER: 14-1006
	PERMITTING / CONSTRUCTION DRAWING		REVISIONS			


15/18

NEW ADDITION

EXISTING HOUSE

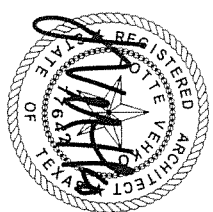
- KEYED NOTES**
- NOTE NOT ALL KEYS ARE USED ON ALL SHEETS, AND NOTE NUMBERS MAY VARY FROM SHEET TO SHEET
 - 1 PAINTED LAPPED SIDING TO MATCH EXISTING HOUSE
 - 2 METAL ROOFING TO MATCH EXISTING HOUSE
 - 3 MATCH SHINGLE / TRIM / SIDING DETAILS FROM EXISTING GABLES



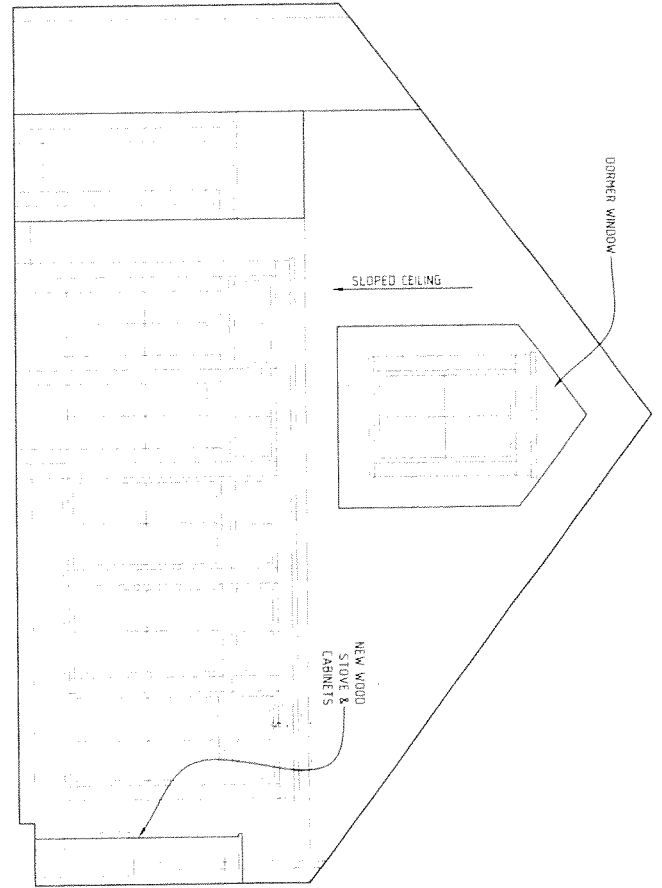
A5.4	EXTERIOR ELEVATION -- NORTH		ROSELLE RESIDENCE 4005 Avenue D Austin, Texas		 Vehko Architecture 512.458.9791 vehko@sbcglobal.net	
	DRAWING SCALE 1/4" = 1'-0"		DATE 09 MAR 2015			PROJECT NUMBER: 14-1006
	PERMITTING / CONSTRUCTION DRAWING		REVISIONS			


Vehko Architecture
 512.458.9791
 vehko@sbcglobal.net

5/20



1 FAMILY ROOM EAST
SCALE 1/4" = 1'-0"



A7.2	INTERIOR ELEVATIONS		ROSELLE RESIDENCE	4005 Avenue D	Austin, Texas	 Vehko Architectur 512.458.97 vehko@sbcglobal.i
	DRAWING SCALE AS NOTED		DATE 09 MAR 2015		PROJECT NUMBER 14-1006	
	PERMITTING / CONSTRUCTION DRAWING		REVISIONS			

view of back yard from house



LS
21

view of house from back yard



View of back yard from house (detail)



55
22

Sump drain inlet



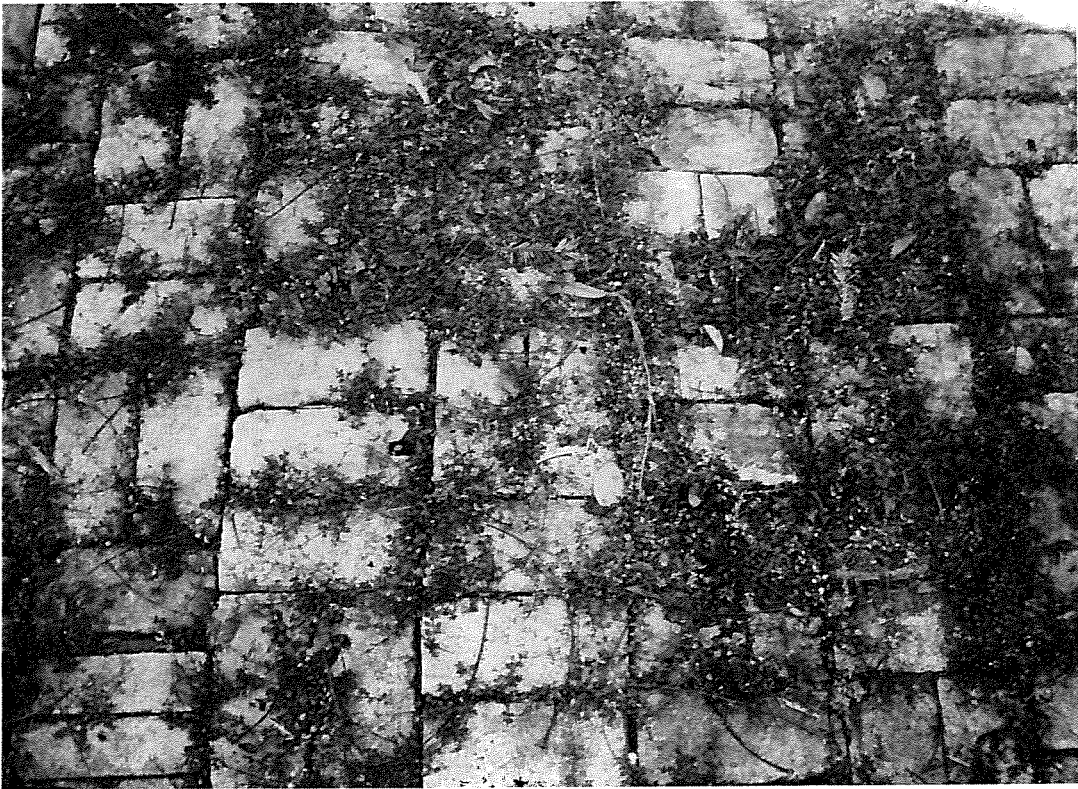
Back yard during heavy rain

LS
23



spring plant growth between bricks

LS
24

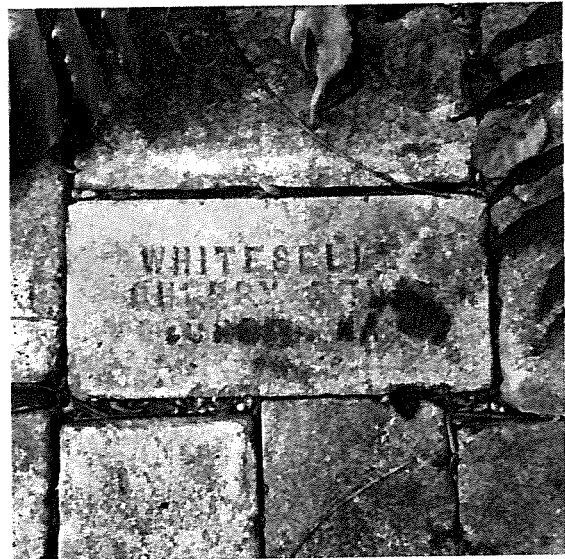


Historic brick details



Historic brick details

LS
25



5/2



Roselle Residence | 4005 Avenue D | 25 Apr 2015 | historic brick detail

5/2

Roselle Residence | 4005 Avenue D | 25 Apr 2015 | sump drain



5/28



Roselle Residence | 4005 Avenue D | 25 Apr 2015 | Historic brick detail

5529



Ros

Residence | 4005 Avenue D | Dallas, TX 75215

ick detail

5/30



Rosell, Pacific 4005 Avenue D | 25 Apr 2011 historic brick detail

5/31



Roselle Residence | 4005 Avenue | 25 Apr 2015 | historic brick detail

5/15/15



Roselle Residence | 4005 Avenue D | 25 Apr 2015 | Historic brick detail

5/3/15

PUBLIC HEARING INFORMATION

Although applicants and/or their agents are expected to attend a public hearing, **you are not required to attend**. However, if you do attend, you have the opportunity to speak FOR or AGAINST the proposed application. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice will be sent.

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For additional information on the City of Austin's land development process, visit our web site: www.austintexas.gov/development.

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Case Number: C15-2015-0059, 4005 Avenue D

Contact: Leane Heldenfels, 512-974-2202, leane.heldenfels@austintexas.gov

Public Hearing: Board of Adjustment, May 11th, 2015

BARBARA L. GREGORY

Your Name (please print)

4006 AVE. D AUSTIN TX 78751

Your address(es) affected by this application

Barbara L. Gregory

Signature

5-27-14

Date

Daytime Telephone: _____

Comments: _____

☒ I am in favor
☐ I object

Note: all comments received will become part of the public record of this case

If you use this form to comment, it may be returned to:

City of Austin-Planning & Development Review Department/ 1st Floor

Leane Heldenfels

P. O. Box 1088

Austin, TX 78767-1088

Or fax to (512) 974-6305

Or scan and email to leane.heldenfels@austintexas.gov

5/15

PUBLIC HEARING INFORMATION

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Case Number: C15-2015-0059, 4005 Avenue D

Contact: Leane Heldenfels, 512-974-2202, leana.heldenfels@austintexas.gov

Public Hearing: Board of Adjustment, May 11th, 2015

Your Name (please print)

Susan Simmer

☒ I am in favor
☐ I object

Your address(es) affected by this application

4007 Avenue D

78751

Signature

Date

Daytime Telephone: 512-423-2722

Comments:

Please note permits for this plan as soon as possible.

Note: all comments received will become part of the public record of this case

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Leane Heldenfels

P. O. Box 1088

Austin, TX 78767-1088

Or fax to (512) 974-6305

Or scan and email to leana.heldenfels@austintexas.gov

5/25

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Case Number: C15-2015-0059, 4005 Avenue D

Contact: Leane Heldenfels, 512-974-2202, leana.heldenfels@austintexas.gov

Public Hearing: Board of Adjustment, May 11th, 2015

Camilla Figueiredo

Your Name (please print)

4008 Ave. D 78751

Your address(es) affected by this application

[Signature]

Signature

Date

Daytime Telephone: 512-453-1992

5/24/15

☒ I am in favor
☐ I object

Comments: *most backyards on this*

*block of Ave. D flood w/ rains
making the bricks that Steven
I have have inherited w/ their
house a logical solution over
though it passes the inspection
I would cover driveway. We want
this sweet family to stay on
Ave. D.*

Note: all comments received will become part of the public record of this case

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Leane Heldenfels

P. O. Box 1088

Austin, TX 78767-1088

Or fax to (512) 974-6305

Or scan and email to leana.heldenfels@austintexas.gov

L5
36

From: "[REDACTED]"
Subject: BOA case for 4005 Avenue D Austin Texas 78751
Date: Tue, May 12, 2015 9:48 am
To: "LeaneHeldenfels" <leane.heldenfels@austintexas.gov>, "[REDACTED]"
[REDACTED]

Hello Leane,

The applicant and the architect met the Hyde Park NA Development Review Committee on May 7, 2015 and discussed their project.
The DRC did not oppose the project and I recommended that when the BOA notice is mailed to the official HPNA receiver, they would mark "not oppose".

Sorry, this activity must have crossed in the mail. I will look in the BOA case backup to see if anything was sent back.

However, the project does not cause any concern and there is no reason why the variance should not be granted.

David Conner, HPNA DRC Chair

Attachments:

untitled-[1].plain	
Size:	0.6 k
Type:	text/plain

556 PUBLIC HEARING INFORMATION

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Contact: Leane Heldenfels, 512-974-2202, leane.heldenfels@austintexas.gov

Public Hearing: Board of Adjustment, May 11th, 2015

Your Name (please print)

Maxfield Marchlewski

☒ I am in favor
☐ I object

Your address(es) affected by this application

303 W. 40th St

Signature

Date

Daytime Telephone:

Comments:

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