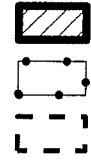



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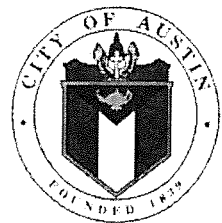


SUBJECT TRACT

PENDING CASE

ZONING BOUNDARY

CASE#: C15-2015-0116
Address: 2005 Tower Drive



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 200'

M16
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CASE # C15-2015-0116
ROW # 11385990
TAX ROLL # 0116030206
TCADV

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 2005 Tower Drive

LEGAL DESCRIPTION: Subdivision – Tarry Town No. 6

Lot(s) 53 pt of 54 Block _____ Outlot _____ Division _____

I Jim Bennett as authorized agent for Atelia Clarkson

_____ affirm that on 5/16/2015 hereby apply for a hearing before the Board of Adjustment for consideration to:

ERECT – ATTACH – COMPLETE – REMODEL – MAINTAIN

An addition to an existing two family dwelling providing a FAR of 0.634:1, providing a vertical tent encroachment of 4' 6" and a horizontal tent encroachment of 5' 6"; and maintaining a side yard setback of 0 ft., and providing an existing impervious cover of 56.51%

in a SF-# NP (zoning district) (West Austin Neighborhood Group)

The Austin Electric Utility Department (Austin Energy) enforces electric easements and the setback requirements set forth in the Austin Utility Code, Electric Criteria Manual and National Electric Safety Code. The Board of Adjustment considers variance to the Land Development Code, and a variance granted by the Board of Adjustment does not waive the requirements enforced by Austin Energy. Please contact Christine Esparza with Austin Energy at 322-6112 before filing your application with the Board of Adjustment if your request is for a reduction in setbacks or height limits.

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of

your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

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VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

The duplex is existing from a previous building permit and certificate of occupancy issued in 1993, prior to the McMansion requirements.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

The code restricts that portion of lot 54 (3172 sq. ft.), that was purchased from the City of Austin, from being included in the computation of the portion of the adjacent 30 ft of lot 54. The size and shape of the remaining portion of lot 54 cannot be developed and for all practical purposes should be consider as a part of this site. The other remaining portion of lot 54 is owned by the City of Austin and is used for flood plain and drainage. Due to inability to construct on the adjoining portion of lot 54 the integrity, purpose and intent of the ordinance will not be lessened by the granting of the variance and no valid public interest would be served by denying the variance.

- (b) The hardship is not general to the area in which the property is located because:

In 1993 the adjacent portion was obtained from the City of Austin and it appears to have been considered as part of lot 53 due to setbacks and other requirements of the time.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The area of character will not change inasmuch as the use of the structure will remain the same and the vacant adjoining portion of lot 54 from appearances will look the same.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with

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respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Jim Bennett Mail Address 11505 Ridge Dr.
City Austin, State Texas, & Zip 78748

Printed : Jim R. Bennett Phone: (512) 282-3079 _____ Date:

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Atelia Clarkson Mail Address 2005 Tower Dr.
Austin, TX 78703

2005 Tower Drive

Clarkson.

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Lot 53 (54)

Site area = 7,744 s.f.

Impervious Cover Allowed @ 45% = 3,485 s.f.

Existing Impervious Cover = 4,376 s.f. = 56.51%

Proposed Impervious Cover - unchanged

Existing FAR = 0.494:1

Proposed FAR = 0.634:1

Existing Tent Encroachments – 11'-6" vertically and horizontally. There are others but this is the largest encroachment.

Proposed Tent Encroachment – to maintain the above. Addition will have a 5'-6" encroachment horizontally and a 4'-6" encroachment vertically.

Existing Setbacks – Portion of house protrudes over property line. This will be removed with new permitted construction after waivers are granted. Portions of existing house have a 0' setback.

Proposed Setbacks – To maintain the above and new construction will have a 0' setback.

Lot 53 and ½ of adjacent lot

Site area = 11,289 s.f.

Impervious Cover Allowed @ 45% = 5,080 s.f.

Existing Impervious Cover = 4,376 s.f. = 45%

Proposed Impervious Cover - unchanged

Existing FAR = 0.339:1

Proposed FAR = 0.435:1

Existing Tent Encroachments – None

Proposed Tent Encroachment – None

Existing Setbacks – No setback encroachments

Proposed Setbacks – No setback encroachments

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List of Waivers –

Waiver 1 – Impervious Cover

To Maintain the existing IC on Lot 53 at 56.51%

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Waiver 2 – FAR

To increase the FAR on Lot 53 to ~~0.435:1~~ 0.634:1

Waiver 3 – Tent Encroachments

To maintain an encroachment up to 11'-6" vertically and horizontally and to have new construction encroachment of 5'-6" horizontally and a 4'-6" vertically.

Waiver 4 – Setbacks

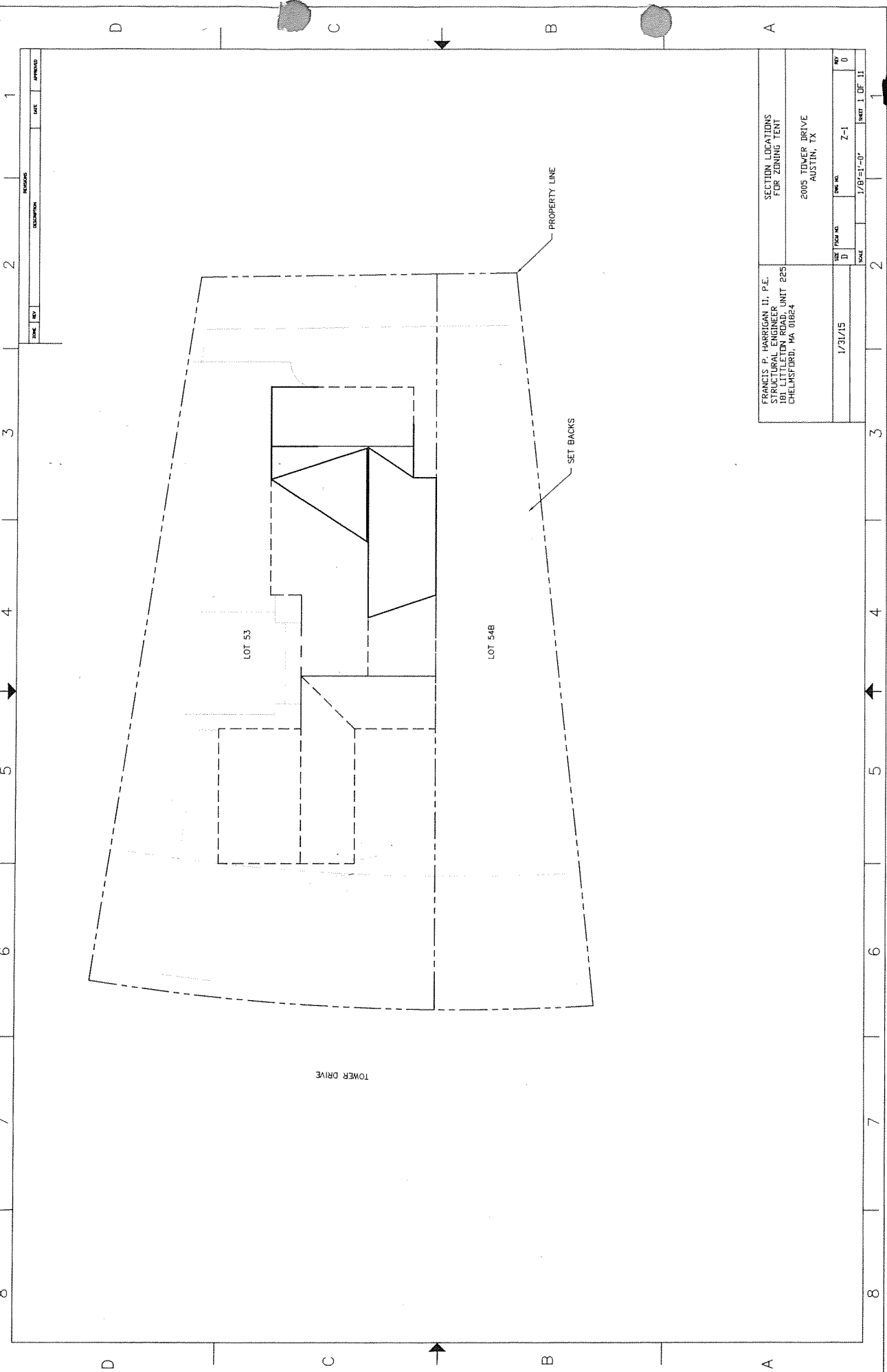
To maintain the setback of 0' and to have new construction at 0' setback.

1/16

USER

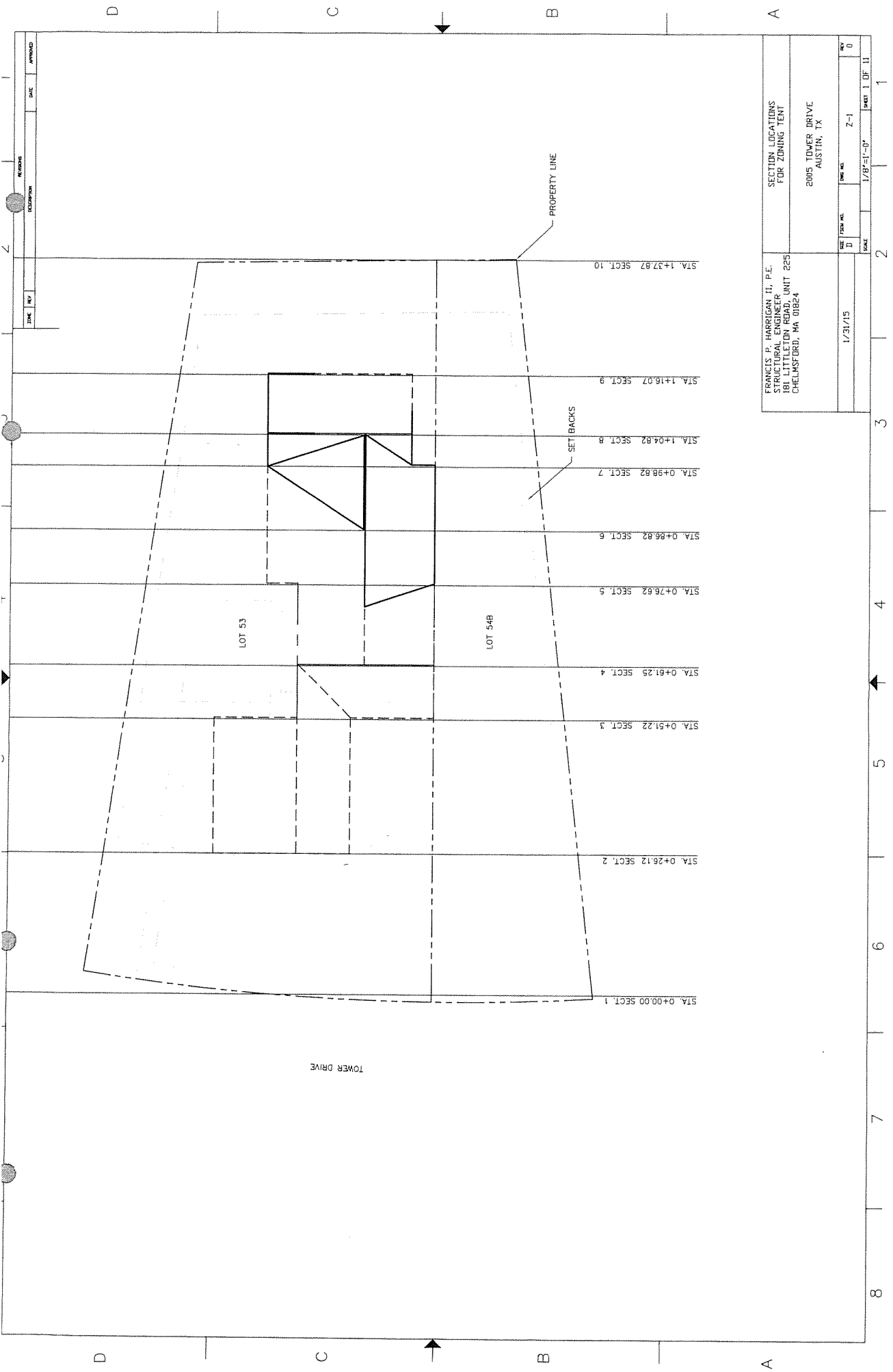
REVDATE

FNAME



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01864		SECTION LOCATIONS FOR ZONING TENT	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
DATE	PROJECT NO.	DWG NO.	REV
1/31/15		Z-1	0
SCALE		1/8"=1'-0"	
		SHEET 1 OF 11	

2/8/13



FRANCIS P. HARRIGAN II, P.E. REGISTERED PROFESSIONAL ENGINEER 181 LITTLETON ROAD CHELMSFORD, MA 01824		SECTION LOCATIONS FOR ZONING TENT	
2005 TOWER DRIVE AUSTIN, TX			
DATE	1/31/15	SCALE	1/8"=1'-0"
REV		DATE	
0		1	

2005 Tower Drive A.00000 [BP]

Folder Property (1) People Info (30) Fee/Charge (1) Process (8) Document File Inspection Req. Comment (2) Clock Attachment Conditions

Folder # Ref.

1946 19960 STS 00 W	19960
1946 B121 WTS 00 W	B121
1982 014637 00 00 BP	82038398
1993 002183 R 0 PR	BP-93-21
1993 007243 00 00 PP	9309027
1993 007243 00 00 MP	9309027
1993 007243 00 00 BP	9309027
1993 007243 00 00 DS	9309027
1993 007243 00 00 EP	9309027
1993 009915 00 00 MP	9309420
1993 009915 00 00 EP	9309420
1993 129168 STS 00 W	129168
1993 G57242 WTS 00 W	G57242
1994 006617 00 00 MP	9407663
1994 006617 00 00 EP	9407663
2000 159646 00 01 IP	BPP-0001
2000 187602 00 01 IP	BPP-0001
2012 015234 000 00 PP	2012-01E
2012 017213 RM 00 PR	2012-017
2012 017217 000 00 BP	2012-017
2013 124650 000 00 EX	2013-124

Gen. Yr. Sequence Sec. Rev. Type

Number 19 98 007243 00 00 BP Building Permit

Status

Property

House Prefix Steel Type Direction Unit Type Unit

Address 2005 TOWER DRIVE

City Austin Postal Code 78703 Roll 0116030206 Property Row ID 251,597

Location Tarrytown No 6 Block Lot 54 Tarrytown No 6 54 Folder Unit

Indicators

Violations Properties Parent Child Due \$00

In Date Jul 23, 1993 Issue/Approval Jul 23, 1993 Expires Aug 3, 1994

Reference File # 9309027

By PIER ADP

Final Date Aug 3, 1994

Sub R-103 Two Family Bldgs

Work New

Name 2005 Tower Drive A.00000

Priority

Description Two Story Duplex w/Att Garage & Carport

Conditions WtBPP#G57242 Ww#129168 Verify Utility in Field/Structure Not Residence/Change To Duplex 3/14/94sr/See Elec Pmt#9407663 Cndl Elec Contractor Per Builder Let in File

Group Permits

Parent ID

Row ID

615228

List View Related View

Show no. of rows on tabs

Copy Create Child

Revise

Issue/Approve

Print

Re-Default

Email

GIS

Summary

Process Activity

Back

Forward

Pull Info From GIS

9/10

J. M. Praxler

2005 Tower Dr.

156

53

Tarrytown #6

Fr. Addn. to Res. for Duplex

63176

3-12-56

\$5,800.

O. L. Hudson

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2/21=

Hiram S. Brown

2005 Tower Drive

156

-

-

53

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Tarrytown #6

Hollow tile residence

28515 12-26-45

\$5,500.00

Day labor

5

16
RECORDED BY
TEXAS PROFESSIONAL TITLE, INC.

SPECIAL WARRANTY DEED

FILM CODE

STATE OF TEXAS \$
COUNTY OF TRAVIS \$

00004998241

DOC. NO:
93082744

DATE: June 16, 1993

8:18 AM 0156

2 4 15.00 INDX
07/21/93

GRANTOR: City of Austin, a Texas municipal corporation

8:18 AM 0156

2 4 5.00 RECH
07/21/93
22.21-CHK#

930827.44-DOC#

GRANTOR'S MAILING ADDRESS :

P.O. Box 1088
Austin, Texas 78767-8839
Attn.: Real Estate Services Division

GRANTEE: C.J. Clarkson and wife, Atelia Clarkson

GRANTEE'S MAILING ADDRESS:

4015 Sierra Drive
Austin, Texas 78731

CONSIDERATION: TEN AND NO/100 DOLLARS (\$10.00) and other valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

PROPERTY (including any improvements):

3127 square feet of land, more or less, out of Lot 54, of Tarry-Town 6, a subdivision in Travis County, Texas according to the map or plat thereof recorded in Book 4, Pages 88-89 of the Plat Records of Travis County, Texas, and being more particularly described by metes and bounds in Exhibit "A" attached hereto and incorporated herein.

RESERVATIONS FROM AND EXCEPTIONS TO CONVEYANCE AND WARRANTY:

All restrictions, reservations, easements, mineral interests, conditions and matters of record in Travis County, Texas, other than liens, which affect the property or the use thereof.

All visible and apparent easements, and unrecorded easements which affect the property or the use thereof.

1 of 4

REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS

115260
11982 1268

1-1603-0206

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The restrictions set forth and the easements retained in this instrument.

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Taxes for the current year, and all subsequent years, and taxes for prior years due through change in usage or ownership of the property, payment of which taxes is hereby assumed by Grantee.

Grantor, for the consideration and subject to the reservations from and exceptions to conveyance and warranty, grants, sells, and conveys to Grantee the property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and hold it to Grantee, Grantee's heirs, successors or assigns forever. Grantor binds Grantor and Grantor's successors and assigns to warrant and forever defend all and singular the property to Grantee and Grantee's heirs, successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the reservations from and exceptions to conveyance and warranty expressly stated herein, when the claim is by, through or under the Grantor, but not otherwise.

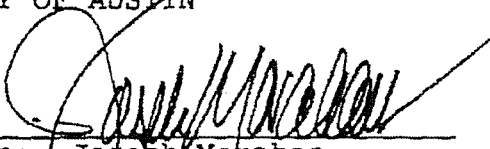
The property is subject to the following restriction, which constitutes a covenant running with the land, and which will be binding on Grantee, their heirs, successors and assigns:

* [NO BUILDING OR OTHER STRUCTURE OR IMPROVEMENT SHALL BE ERECTED, BUILT UPON, OR MOVED ONTO THE PROPERTY WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF AUSTIN.]

Grantor hereby reserves a drainage and public utility easement over, under, above and across the property for the construction, installation, upgrade, maintenance and removal of drainage and public utility facilities, and for all purposes related to such use, and the right of ingress and egress across the property for the use of the drainage and public utility easement.

When the context requires, singular nouns and pronouns, include the plural.

GRANTOR:
CITY OF AUSTIN

By: 
Name: Joseph Morahan
Title: Manager, Real Estate
Services Division

Approved as to form:

Debra C. Gentry
Assistant City Attorney

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CONSENTED AND AGREED TO:

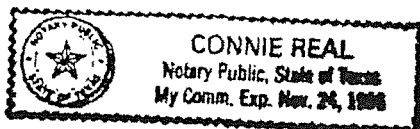
C. J. Clarkson
C. J. Clarkson

Atelia Clarkson
Atelia Clarkson

ACKNOWLEDGMENTS

THE STATE OF TEXAS §
§
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the
16th day of June, 1993, by Joseph Morahan, Manager,
Real Estate Services Division, Department of Public Works and
Transportation of the City of Austin, a Texas municipal
corporation, on behalf of said corporation.



(Seal)

Connie Real

Notary Public in and for the State of
Texas

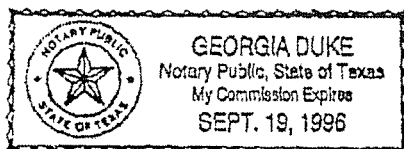
Printed Name of Notary

My commission expires: _____

THE STATE OF TEXAS §
COUNTY OF TRAVIS §

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This instrument was acknowledged before me on the
12th day of ~~June~~ JULY, 1993, by C.J. Clarkson.



(Seal)

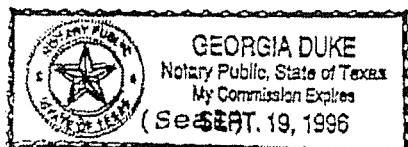
Georgia Duke
Notary Public in and for the State of Texas

Printed Name of Notary

My commission expires: _____

THE STATE OF TEXAS §
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the
12th day of ~~June~~ JULY, 1993, by Atelia Clarkson.



(Seal)

Georgia Duke
Notary Public in and for _____

Printed Name of Notary

My commission expires: _____

AFTER RECORDING, RETURN TO:

City of Austin
Department of Public Works and Transportation
P.O. Box 1088
Austin, Texas 78767-8839
Attention: Connie Real, Real Estate Services Division
File No. P-222

m10
16FIELD NOTES FOR
3127 SQUARE FEET OF LAND

FIELD NOTES FOR 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING OUT OF AND A PART OF THE GEORGE W. SPEAR LEAGUE IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, BEING FURTHER DESCRIBED AS BEING OUT OF AND A PART OF LOT 54 OF "TARRY-TOWN 6", A SUBDIVISION IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, OF RECORD IN PLAT BOOK 4 AT PAGES 88-89 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAID 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS :

Beginning for reference, at an iron pin, found, being the Northeast corner of Lot 55 and the Southeast corner of Lot 56, said lots being out of and a part of "Tarry-Town 6", a subdivision of record in Plat Book 4 at Pages 88-89 of the Plat Records of Travis County, Texas and being located on the West curving R.O.W. line of Tower Drive;

Thence along the Northeast Lot line of the aforementioned Lot 55 and the West R.O.W. line of Tower Drive, being a curve to the right with a radius of 443.69 feet and an arc distance of 65.06 feet whose chord bears S 47°46' E for a distance of 65.00 feet to an iron pin, set, being the Southeast corner of the aforementioned Lot 55 and being the Northeast corner of Lot 54 of the aforementioned subdivision, "Tarry-Town 6";

Thence continuing along the West R.O.W. line of Tower Drive, also being along the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 35.05 feet whose chord bears S 41°18' E for a distance of 35.04 feet to the PLACE OF BEGINNING, being an iron pin, set and being the Northeast corner of Subject Tract;

THENCE continuing along the West R.O.W. line of Tower Drive and the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 30.01 feet whose chord bears S 37°06' E for a distance of 30.00 feet to an iron pin, set, being the Southeast corner of the aforementioned Lot 54, also being the Northeast corner of Lot 53 of the aforementioned subdivision, "Tarry-Town 6" and being the Southeast corner of Subject Tract;

17/10

EXHIBIT "A"
Page 1

FIELD NOTES FOR
3127 SQUARE FEET OF LAND

FIELD NOTES FOR 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING OUT OF AND A PART OF THE GEORGE W. SPEAR LEAGUE IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, BEING FURTHER DESCRIBED AS BEING OUT OF AND A PART OF LOT 54 OF "TARRY-TOWN 6", A SUBDIVISION IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, OF RECORD IN PLAT BOOK 4 AT PAGES 88-89 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAID 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS :

Beginning for reference, at an iron pin found, being the Northeast corner of Lot 55 and the Southeast corner of Lot 56, said lots being out of and a part of "Tarry-Town 6", a subdivision of record in Plat Book 4 at Pages 88-89 of the Plat Records of Travis County, Texas and being located on the West curving R.O.W. line of Tower Drive;

Thence along the Northeast Lot line of the aforementioned Lot 55 and the West R.O.W. line of Tower Drive, being a curve to the right with a radius of 443.69 feet and an arc distance of 65.06 feet whose chord bears S 47° 46' E for a distance of 65.00 feet to an iron pin set, being the Southeast corner of the aforementioned Lot 55 and being the Northeast corner of Lot 54 of the aforementioned subdivision, "Tarry-Town 6";

Thence continuing along the West R.O.W. line of Tower Drive, also being along the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 35.95 feet whose chord bears S 41° 18' E for a distance of 35.04 feet to the PLACE OF BEGINNING, being an iron pin set and being the Northeast corner of Subject Tract;

THENCE continuing along the West R.O.W. line of Tower Drive and the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 30.01 feet whose chord bears S 37° 06' E for a distance of 30.00 feet to an iron pin set, being the Southeast corner of the aforementioned Lot 54, also being the Northeast corner of Lot 53 of the aforementioned subdivision, "Tarry-Town 6" and being the Southeast corner of Subject Tract;

REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS
11982 1273

REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS
12240 1335

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Exhibit "A"

Page 2

THENCE S 55°32' W leaving the West R.O.W. line of Tower Drive and traveling along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 53, for a distance of 137.20 feet to an iron pin set, being the Southwest corner of the aforementioned Lot 53, also being the Northwest corner of the aforementioned Lot 53, also being located on the Northeast lot line of Lot 64 of the aforementioned subdivision, "Tarry-Town 6" and being the Southwest corner of Subject Tract;

THENCE N 35°29' W along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64, for a distance of 15.00 feet to an iron pin set, being the Northwest corner of Subject Tract;

THENCE N 45°21' E leaving the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64 and traveling into and through the aforementioned Lot 54, for a distance of 138.90 feet to the PLACE OF BEGINNING, containing 3127 square feet of land, more or less.

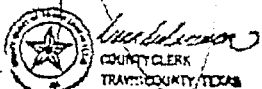
I, L. GORDON STEARNS, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR, DO CERTIFY THAT THE COURSES, DISTANCES AND AREA WERE DETERMINED BY A SURVEY ON THE GROUND AND ARE TRUE AND CORRECT. GIVEN UNDER MY HAND AND SEAL, THIS THE 17TH DAY OF MARCH, 1992 A.D.

L. Gordon Stearns, Jr.

L. GORDON STEARNS, JR.
REGISTERED PROFESSIONAL LAND SURVEYOR / NO. 4649
STEARNS AND ASSOCIATES, INC.
3303 TEDFORD STREET / AUSTIN, TEXAS / 78753
PHONE NUMBER : (512) 836-9532
JOB NUMBER : 10562

STATE OF TEXAS
COUNTY OF TRAVIS
I hereby certify that this instrument was filed for record on the 21st day of July, 1992, at 11:03 A.M., in the County Clerk's Office, Travis County, Texas, and that the same is a true and correct copy of the original as shown to me by the County Clerk of said County, Texas.

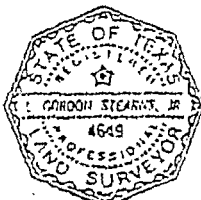
JUL 21 1992



FILED

93 JUL 21 PM 8:01

DANA DE BEAUVILLE
COUNTY CLERK
TRAVIS COUNTY TEXAS



REAL PROPERTY RECORDS
TRAVIS COUNTY TEXAS

1982 1274

RECORDING MEMORANDUM - As the time of recording this instrument was found to be inadequate for the best photographic reproduction, because of illegibility, carbon, or photo copy, displayed paper, etc. All subsequent additional record changes were prepared at the time the instrument was filed and recorded.

REAL PROPERTY RECORDS
TRAVIS COUNTY TEXAS

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THENCE S 55°32' W leaving the West R.O.W. line of Tower Drive and traveling along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 53, for a distance of 139.20 feet to an iron pin, set, being the Southwest corner of the aforementioned Lot 54, also being the Northwest corner of the aforementioned Lot 53, also being located on the Northeast lot line of Lot 64 of the aforementioned subdivision, "Tarry-Town 6" and being the Southwest corner of Subject Tract;

THENCE N 35°29' W along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64, for a distance of 15.00 feet to an iron pin, set, being the Northwest corner of Subject Tract;

THENCE N 49°21' E leaving the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64 and traveling into and through the aforementioned Lot 54, for a distance of 138.90 feet to the PLACE OF BEGINNING, containing 3127 square feet of land, more or less.

I, L. GORDON STEARNS, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR, DO CERTIFY THAT THE COURSES, DISTANCES AND AREA WERE DETERMINED BY A SURVEY ON THE GROUND AND ARE TRUE AND CORRECT. GIVEN UNDER MY HAND AND SEAL, THIS THE 17TH DAY OF MARCH, 1992 A.D.

L. Gordon Stearns, Jr.

L. GORDON STEARNS, JR.
REGISTERED PROFESSIONAL LAND SURVEYOR / NO. 4649
STEARNS AND ASSOCIATES, INC.
1103 TEDFORD STREET / AUSTIN, TEXAS / 78753
PHONE NUMBER : (512) 836-0533
JOB NUMBER : 10582

STATE OF TEXAS

COUNTY OF TRAVIS

I hereby certify that this instrument was filed on the date and at the time stamped hereon by me, and was duly RECORDED, in the Volume and Page of the named RECORDS of Travis County, Texas, on

JUL 21 1993



Lana De Beauvoir
COUNTY CLERK
TRAVIS COUNTY, TEXAS

FILED

93 JUL 21 PM 5:01

DANA DE BEAUVOIR
COUNTY CLERK
TRAVIS COUNTY, TEXAS



REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS

11982 1274

RECORDER'S MEMORANDUM - At the time of recordation this instrument was found to be inadequate for the best photographic reproduction, because of illegibility, carbon or photo copy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.

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26

FILED

94 AUG -1 PM 4:24

DANA DESEAUVOIR
COUNTY CLERK
TRAVIS COUNTY, TEXAS

STATE OF TEXAS COUNTY OF TRAVIS
I hereby certify that this instrument was FILED on
the date and at the time stamped hereon by me, and
was duly RECORDED, in the Volume and Page of the
named RECORDS of Travis County, Texas, on

AUG 1 1994



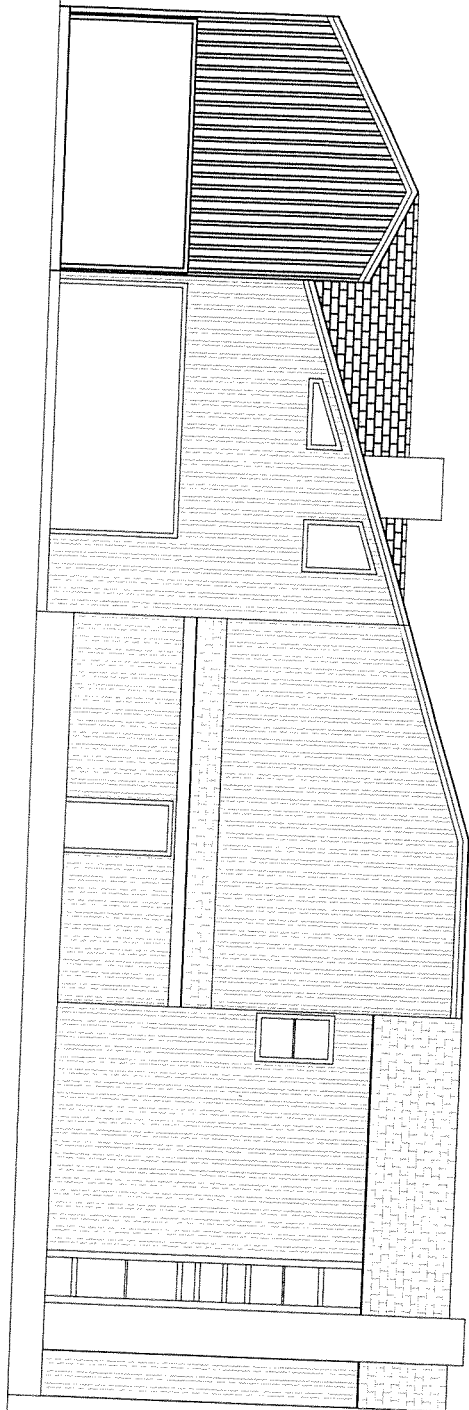
Dana DeSeauvoir
COUNTY CLERK
TRAVIS COUNTY, TEXAS

REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS

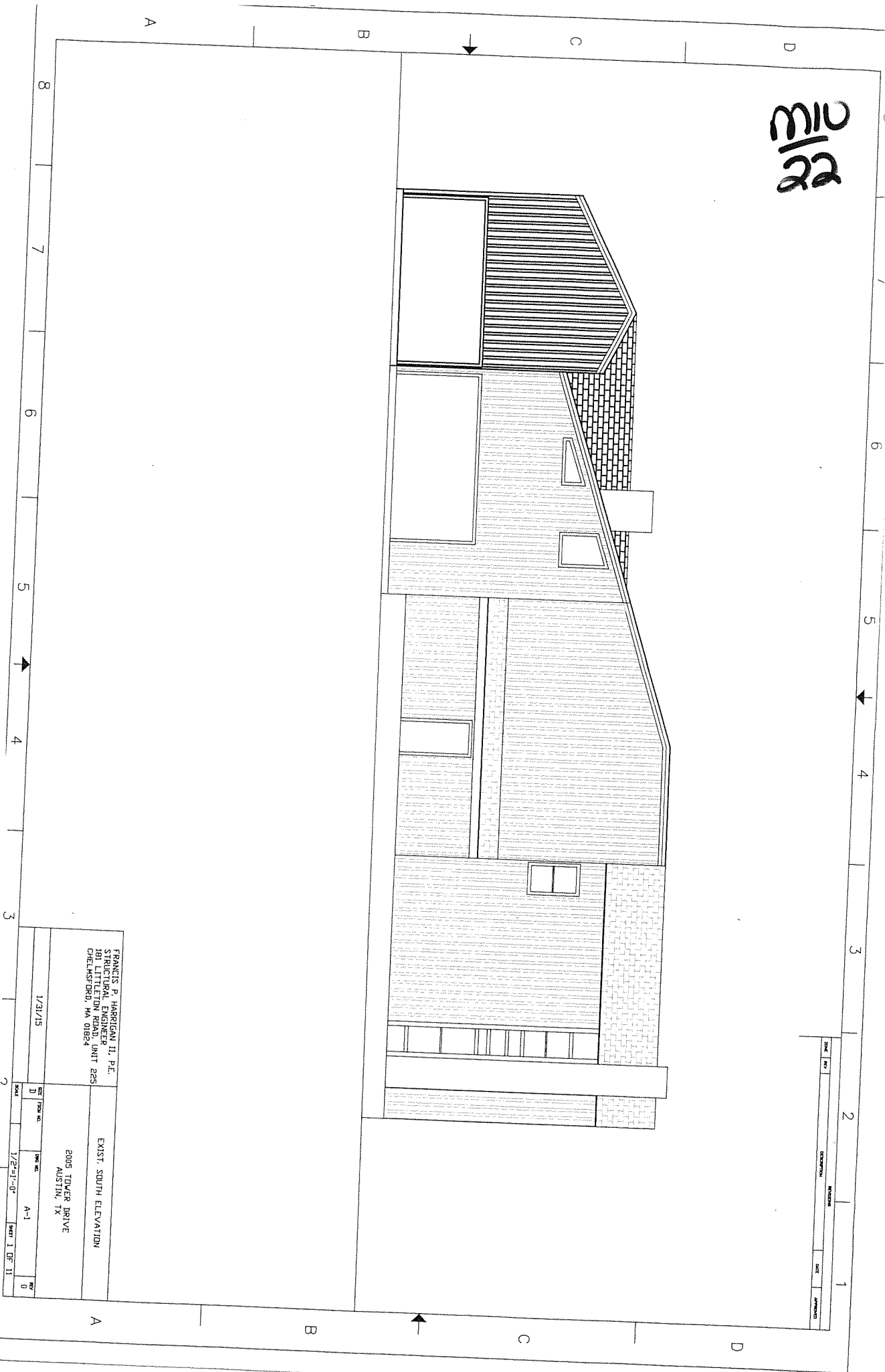
12240 1337

2/2/22

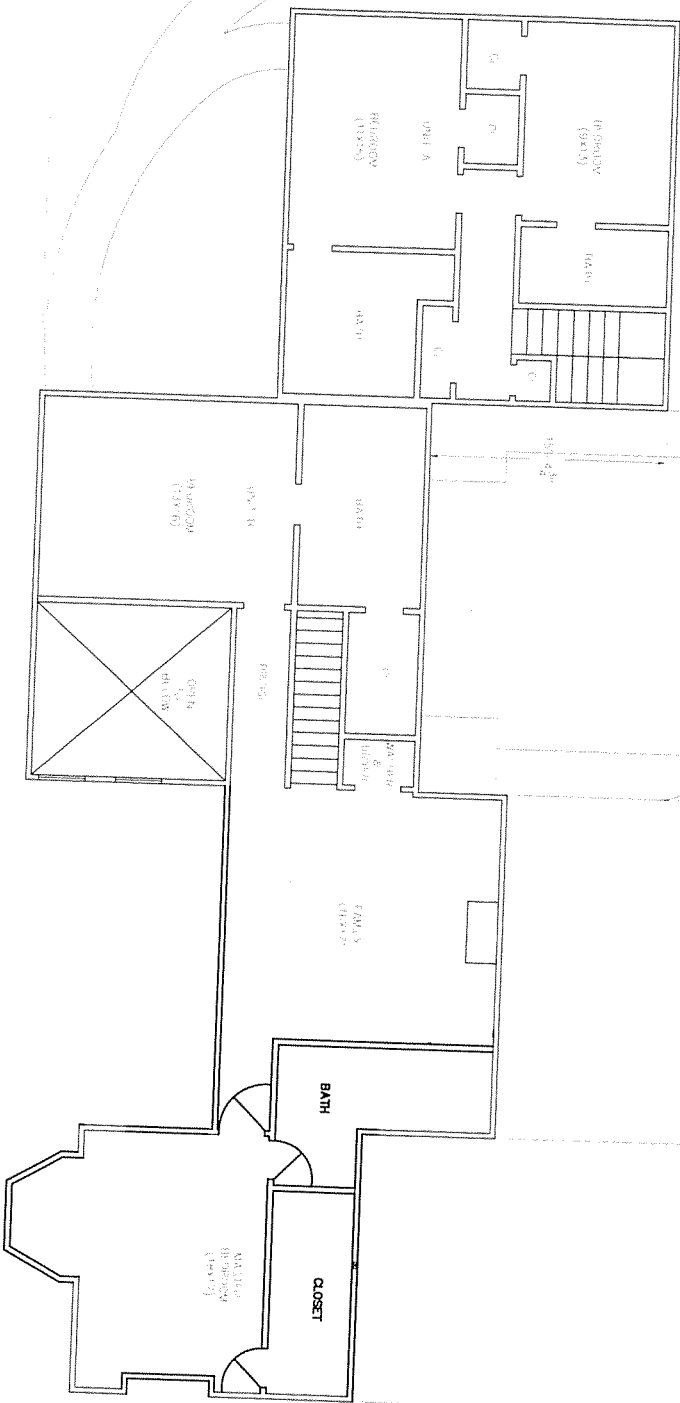
DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 801 LITTLETON ROAD, UNIT 205 GUELDFORD, MA 01824		EXIST. SOUTH ELEVATION	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
DATE	1/31/15	SCALE	1/2" = 1'-0"
REV	0	DATE	1/31/15
BY	A-1	DATE	1/31/15

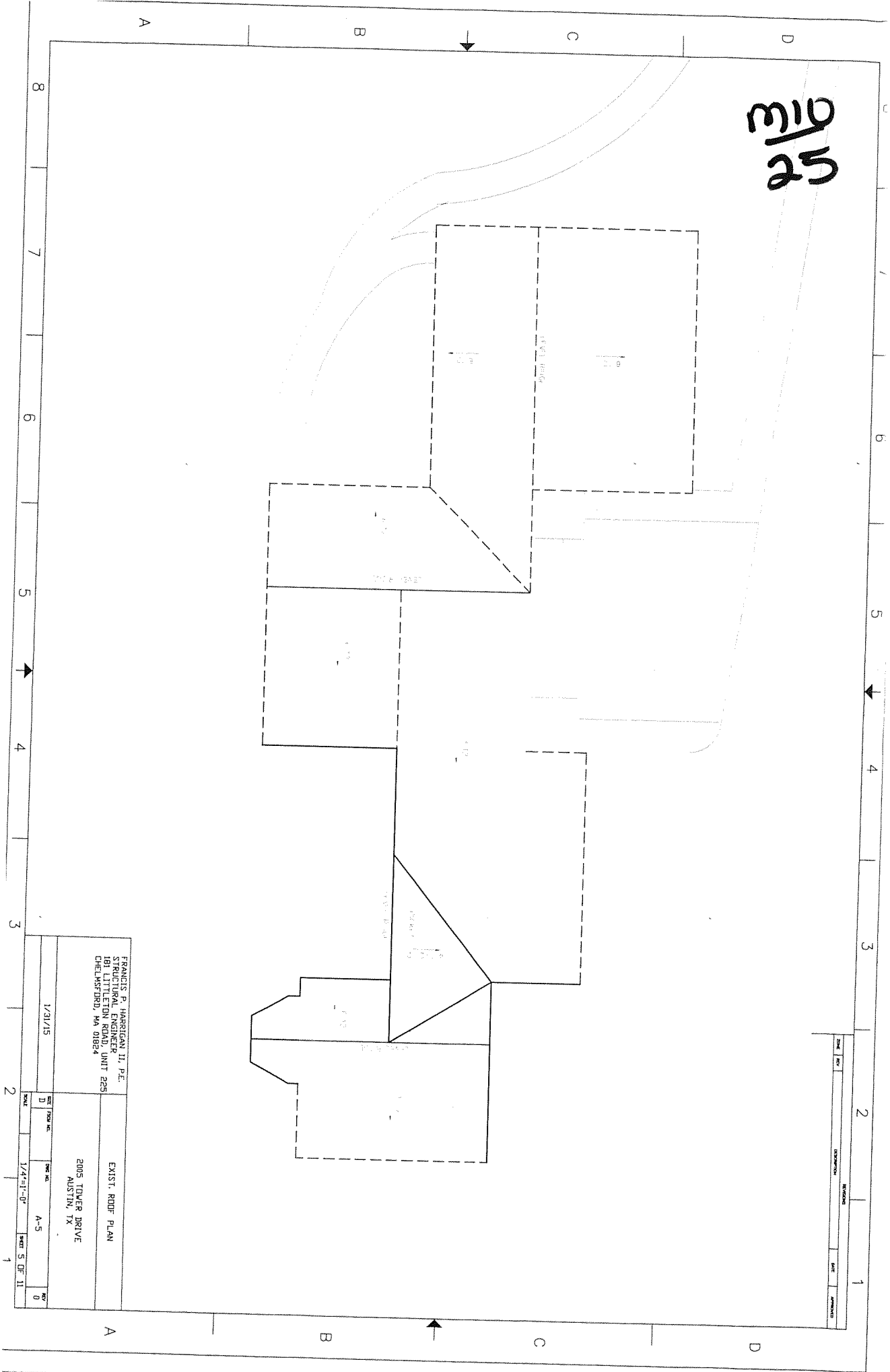


2/5
e/c



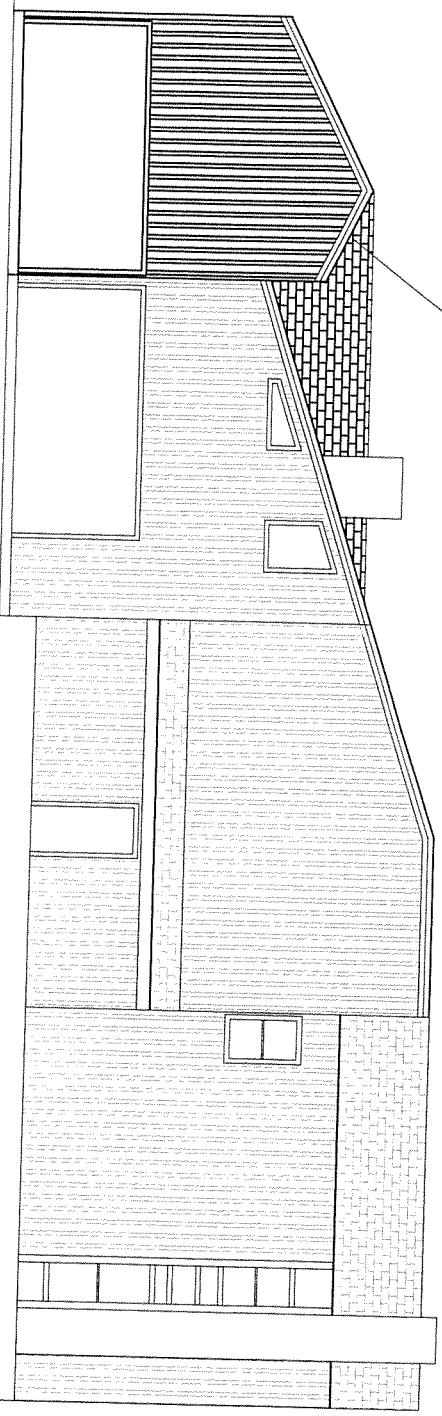
FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 320 LITTLETON ROAD, UNIT 225 CHELSEA, MD, 21024			
EXIST. SECOND FLOOR			
2005 TOWER DRIVE AUSTIN, TX			
1/31/15	Sheet	1/4" = 1'-0"	Sheet 4 OF 11

2/5/16



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824		EXIST. ROOF PLAN	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
DATE	FROM AC.	DATE	AC.
1/31/15		1/4/11-07	A-5
SHEET 5 OF 11			

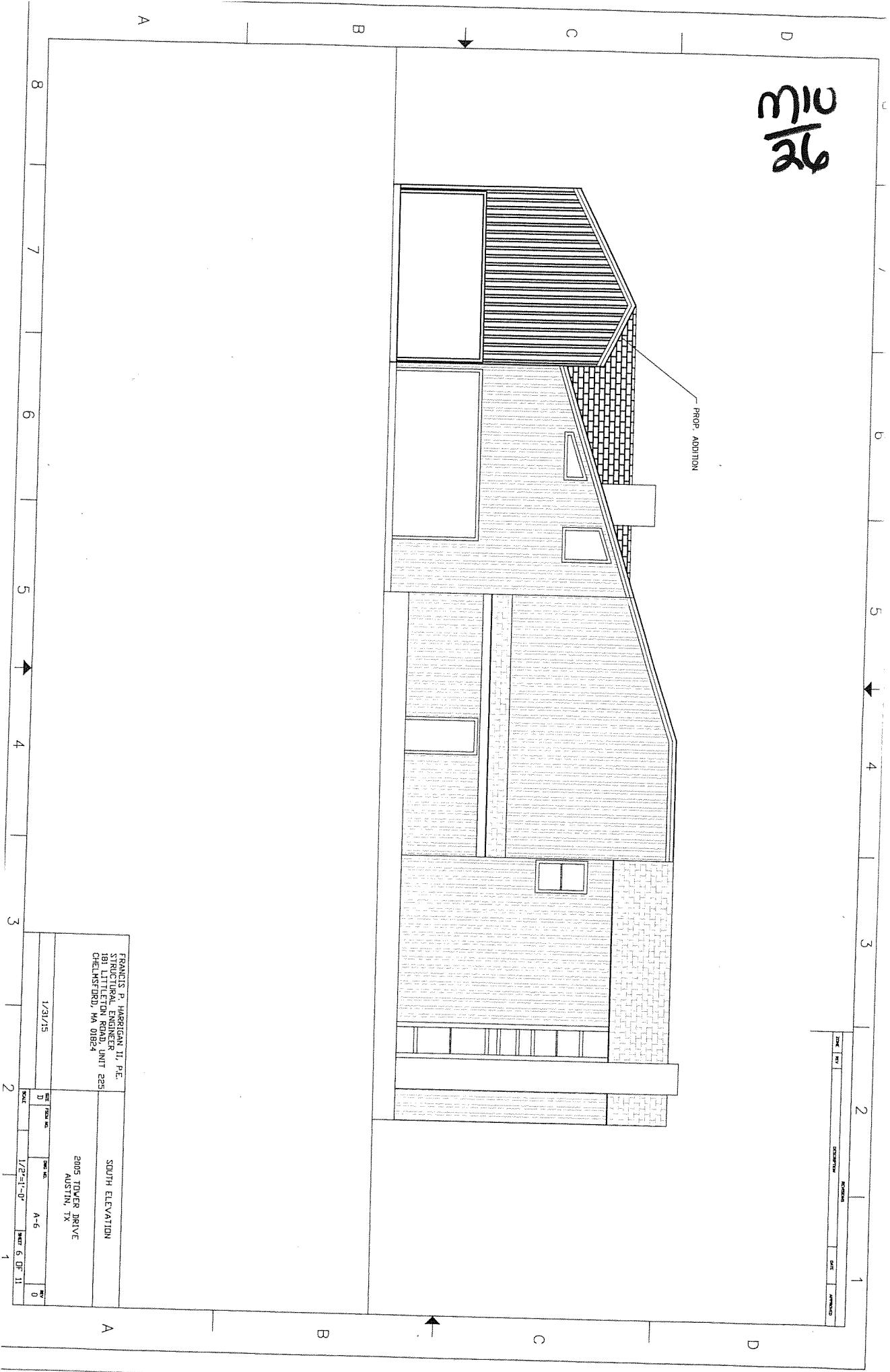
01/26/20



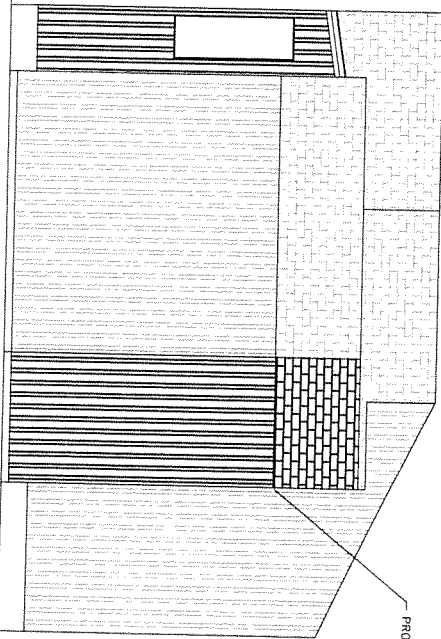
PROP. ADDITION

DATE	REVISION	BY	DATE

FRANCIS P. HARRIS II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		SOUTH ELEVATION 2005 TOWER DRIVE AUSTIN, TX	
1/31/15	REV	1/27-11-07	REV
	D		A-6
	0		0



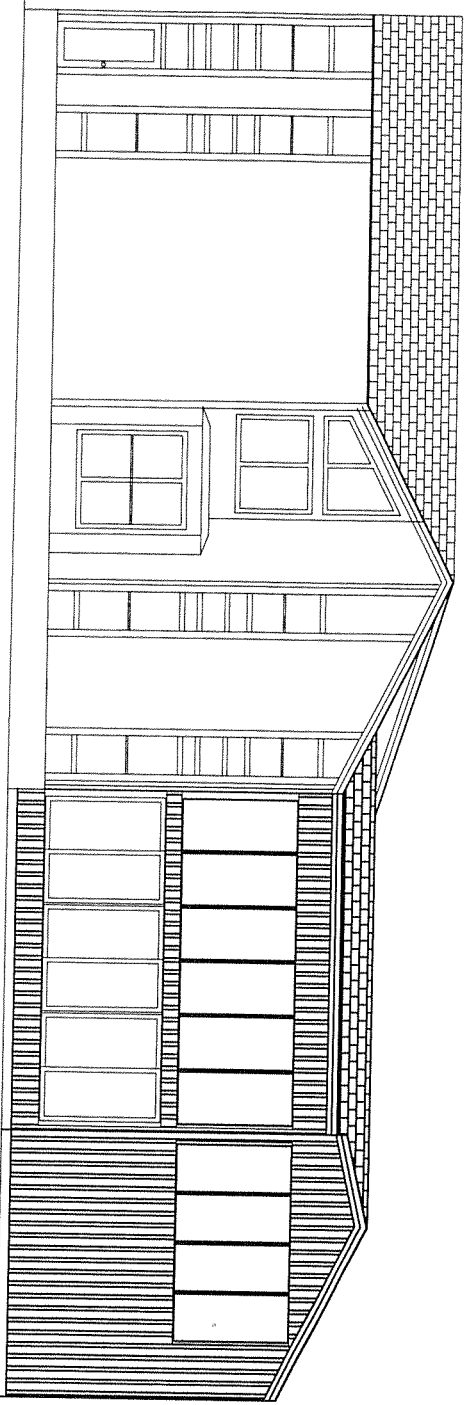
2/18



PROPOSED ADDITION

FRANCIS P. HARRIS II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD CHELSEA, MA 01824		WEST ELEVATION	
1/31/15	2005 TOWER DRIVE AUSTIN, TX	1/2"=1'-0"	7' 0" 11'
1/2"=1'-0"	7' 0" 11'	1/2"=1'-0"	7' 0" 11'

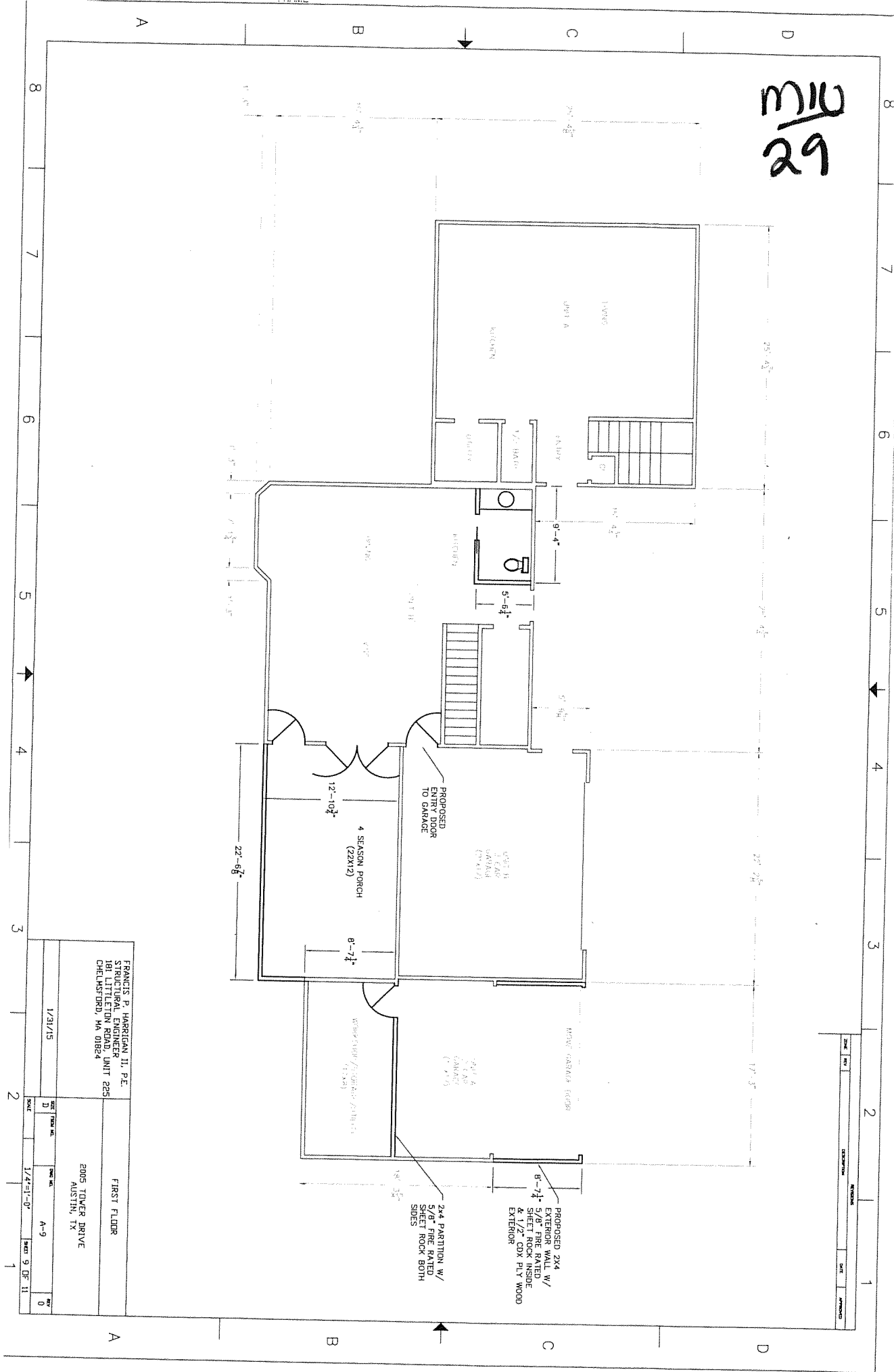
0/8
C/E



NOT FOR CONSTRUCTION

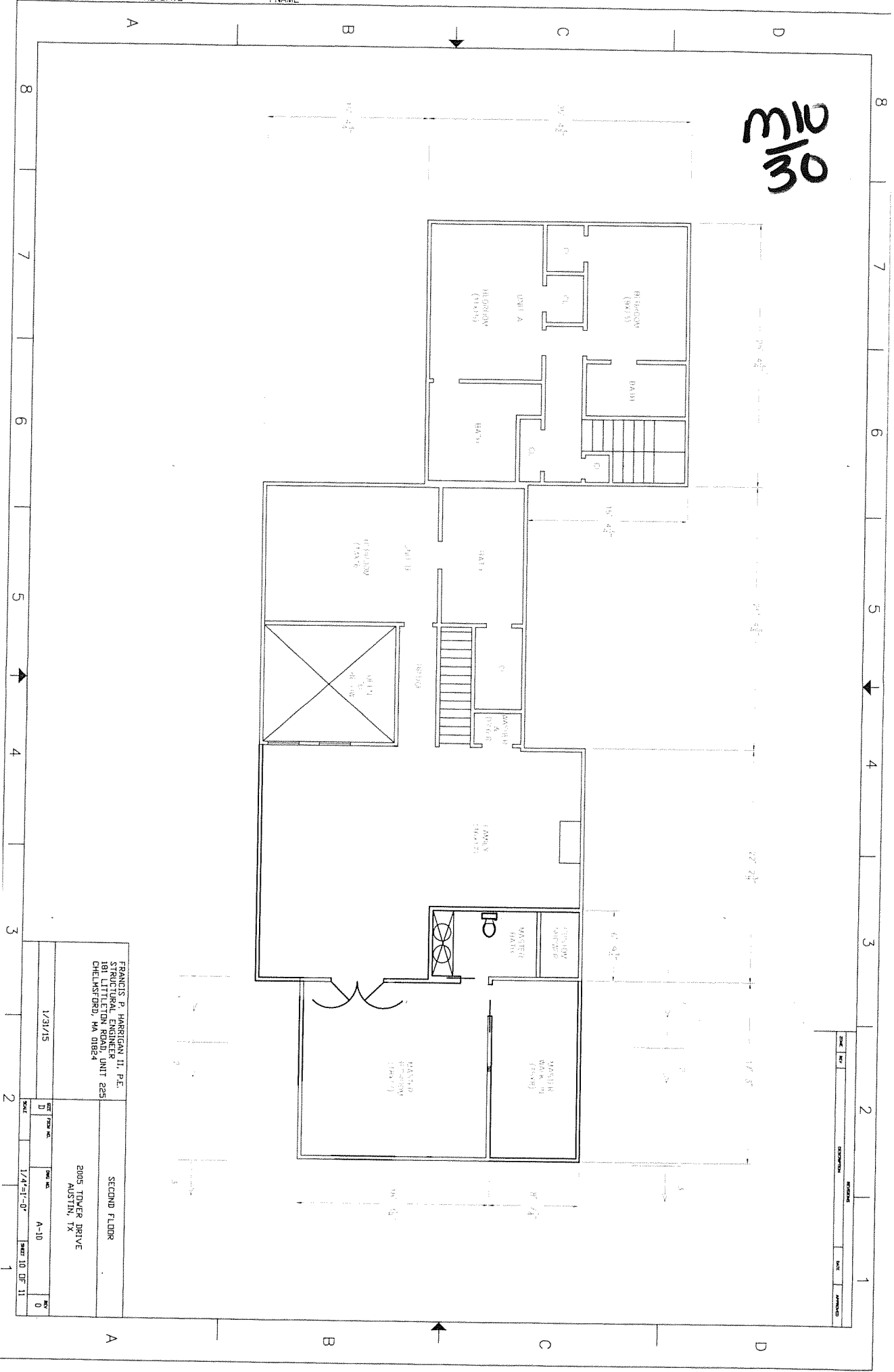
FRANCIS A. HARRISON II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01924		NORTH ELEVATION	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
DATE	BY	DATE	BY
1/31/15	D	1/21/15	A-B
SHEET B OF 11		0	

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29



FRANCIS P. HARRIS II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		FIRST FLOOR	
1/31/15	DATE	1/4/15-07	REV 9 OF 11
D	DESIGNER	A-9	REV 0
2005 TOWER DRIVE AUSTIN, TX			

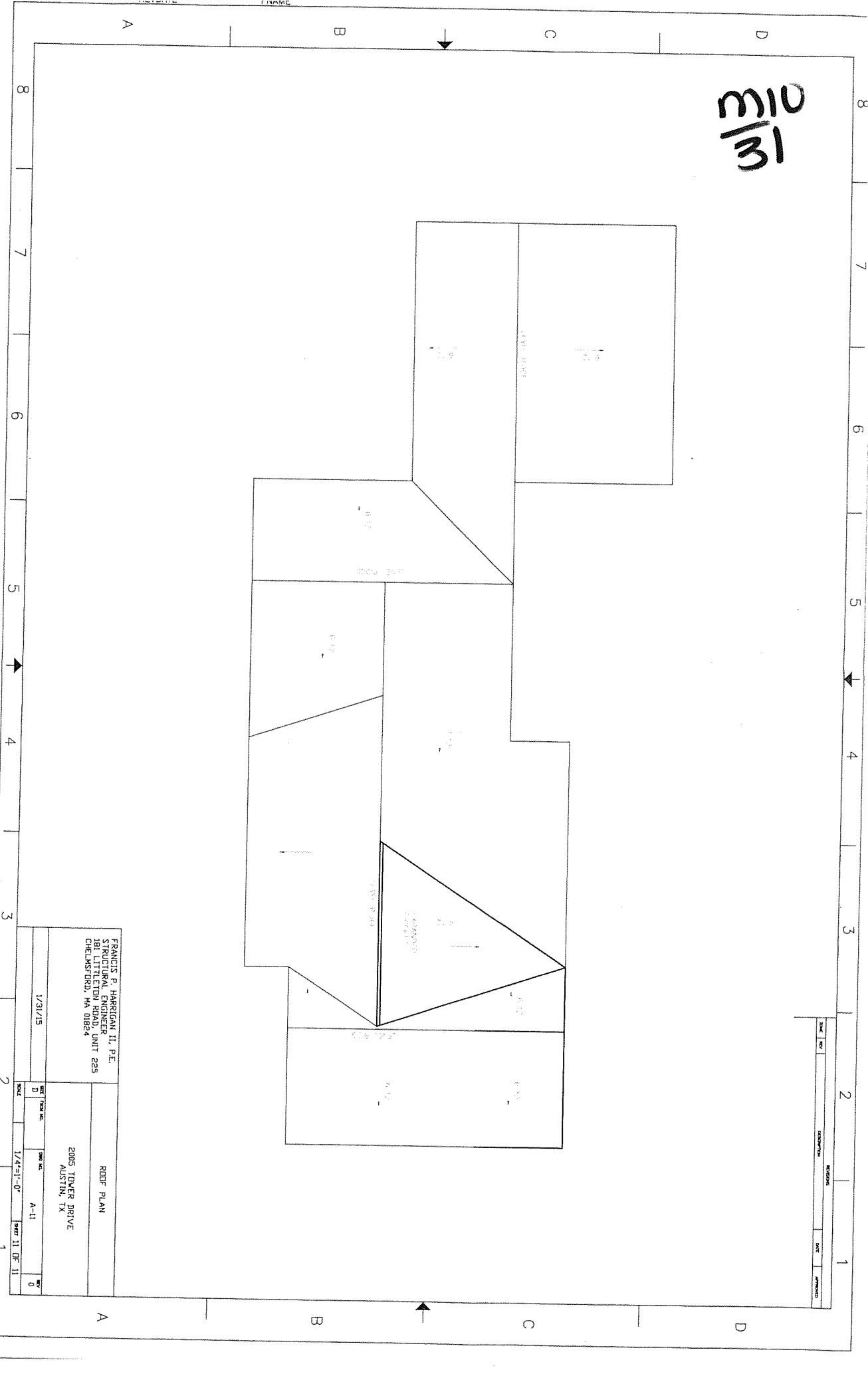
3/10
3/30



FRANCIS P. HARRIS II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824		SECOND FLOOR	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
D	1/31/15	A-10	REV 0

DATE	BY	REVISION	DATE	BY

REVENUE				
DATE	NO.	DESCRIPTION	DATE	AMOUNT



RD0F PLAN

2005 TOWER DRIVE
AUSTIN, TX

A-11	Page 11 of 11
------	---------------

312
3/2

TOWER DRIVE

STA. 0+00.00 SECT. 1

STA. 0+26.12 SECT. 2

STA. 0+51.22 SECT. 3

STA. 0+61.25 SECT. 4

STA. 0+76.62 SECT. 5

STA. 0+86.82 SECT. 6

STA. 0+98.82 SECT. 7

STA. 1+04.82 SECT. 8

STA. 1+16.07 SECT. 9

STA. 1+37.87 SECT. 10

LOT 54B

LOT 53

SET BACKS

PROPERTY LINE

FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

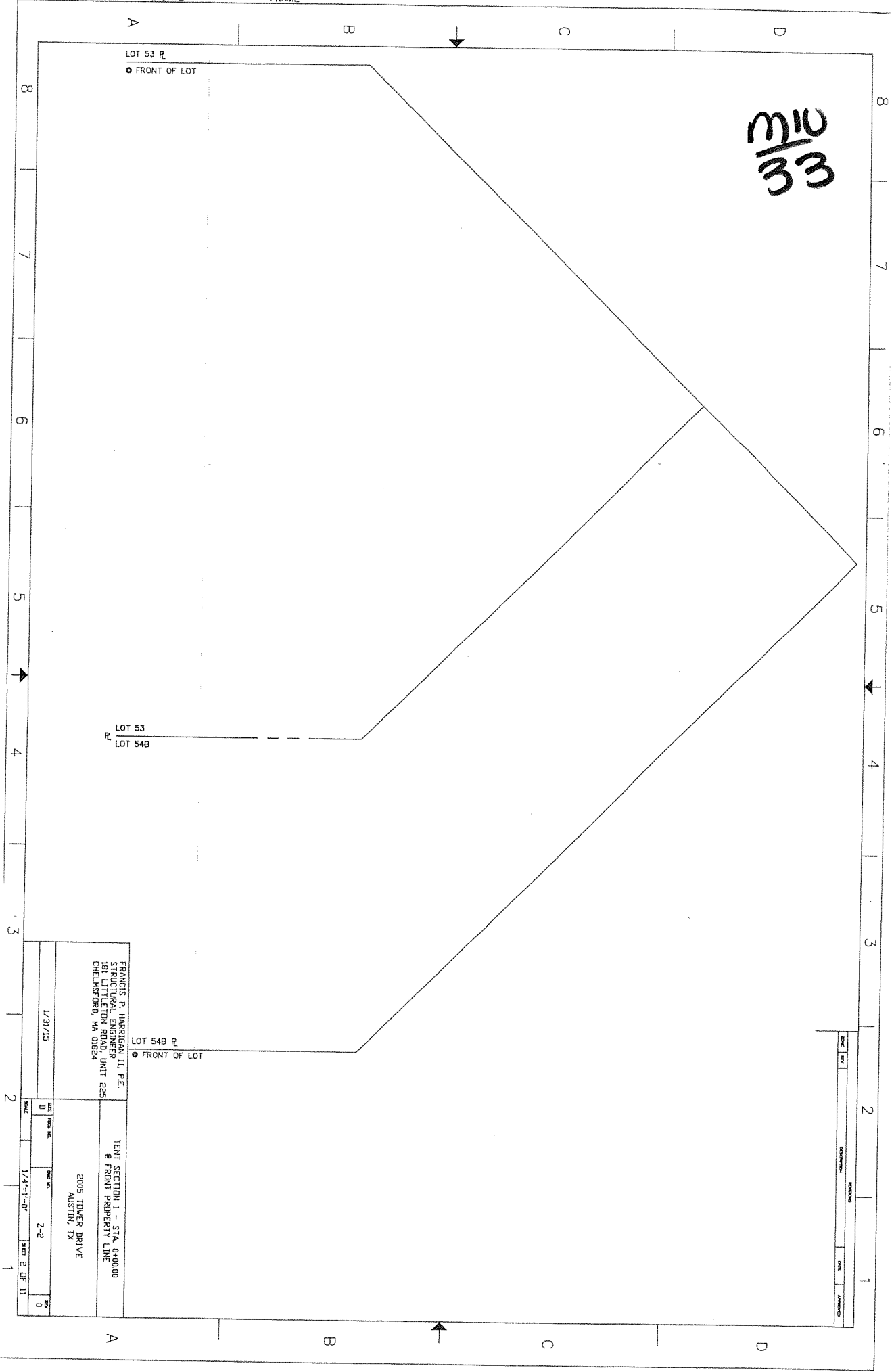
SECTION LOCATIONS
FOR ZONING TENT
2005 TOWER DRIVE
AUSTIN, TX

1/21/15

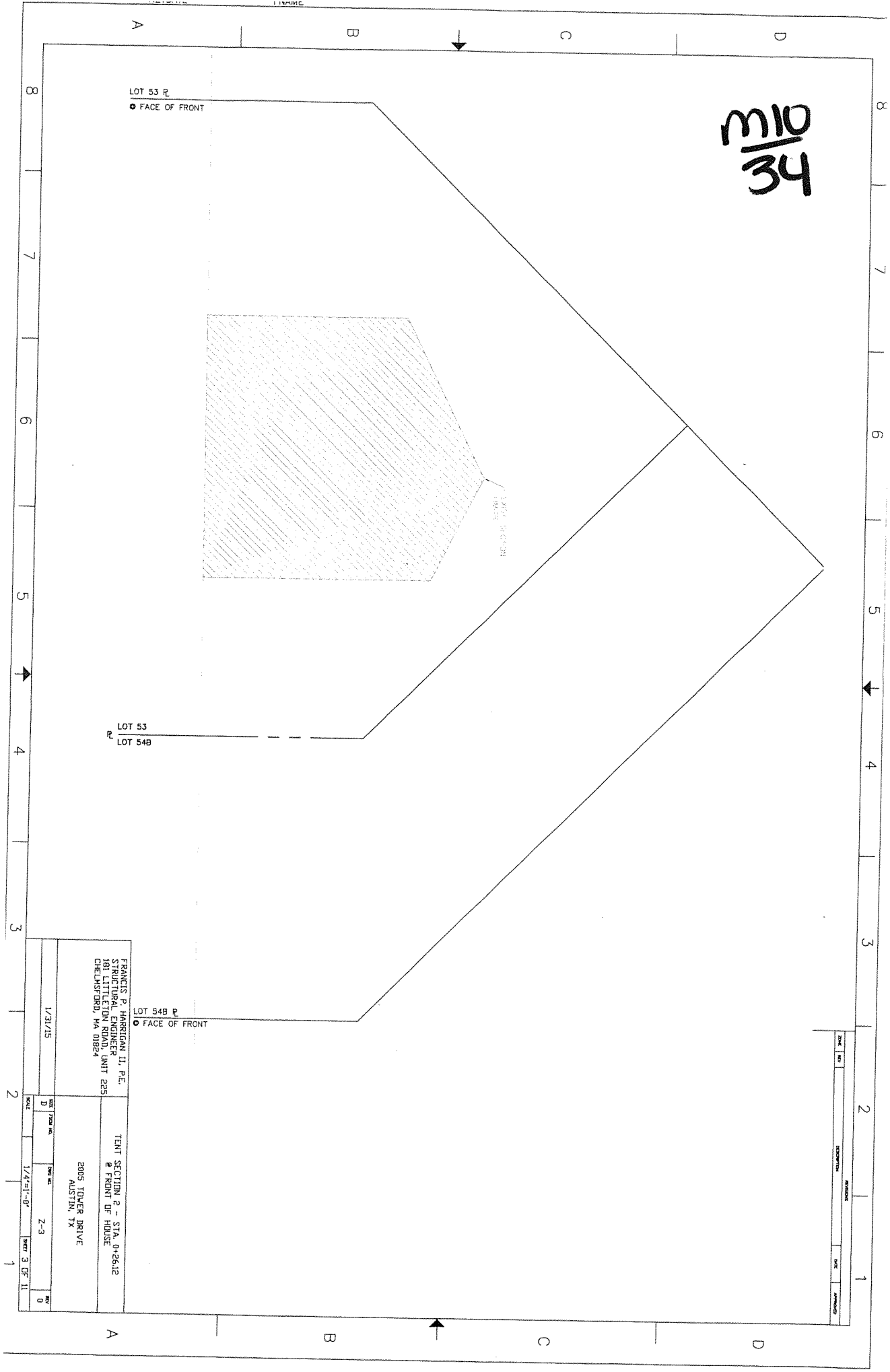
DATE	1/21/15
BY	1/21/15
CHECKED	1/21/15
APPROVED	1/21/15

ZONE	REV	DESCRIPTION	DATE	APPROVED

310
33



310
34



LOT 53 R
● FACE OF FRONT

LOT 53
R LOT 54B

LOT 54B R
● FACE OF FRONT

FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

TENT SECTION 2 - STA. 0+26.12
& FRONT OF HOUSE
2005 TOWER DRIVE
AUSTIN, TX

1/31/15	REV	0
D	FROM A.S.	2-3
SCALE	1/4"=1'-0"	SHEET 3 OF 11

DATE	REVISION	APPROVED

mic
35

LOT 53 P
SECTION 3

LOT 53
LOT 54B

LOT 54B P
FACE OF FRONT

FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELSEA, MA 01824

TENT SECTION 3 - STA 0+51.22

2005 TOWER DRIVE
AUSTIN, TX

1/31/15

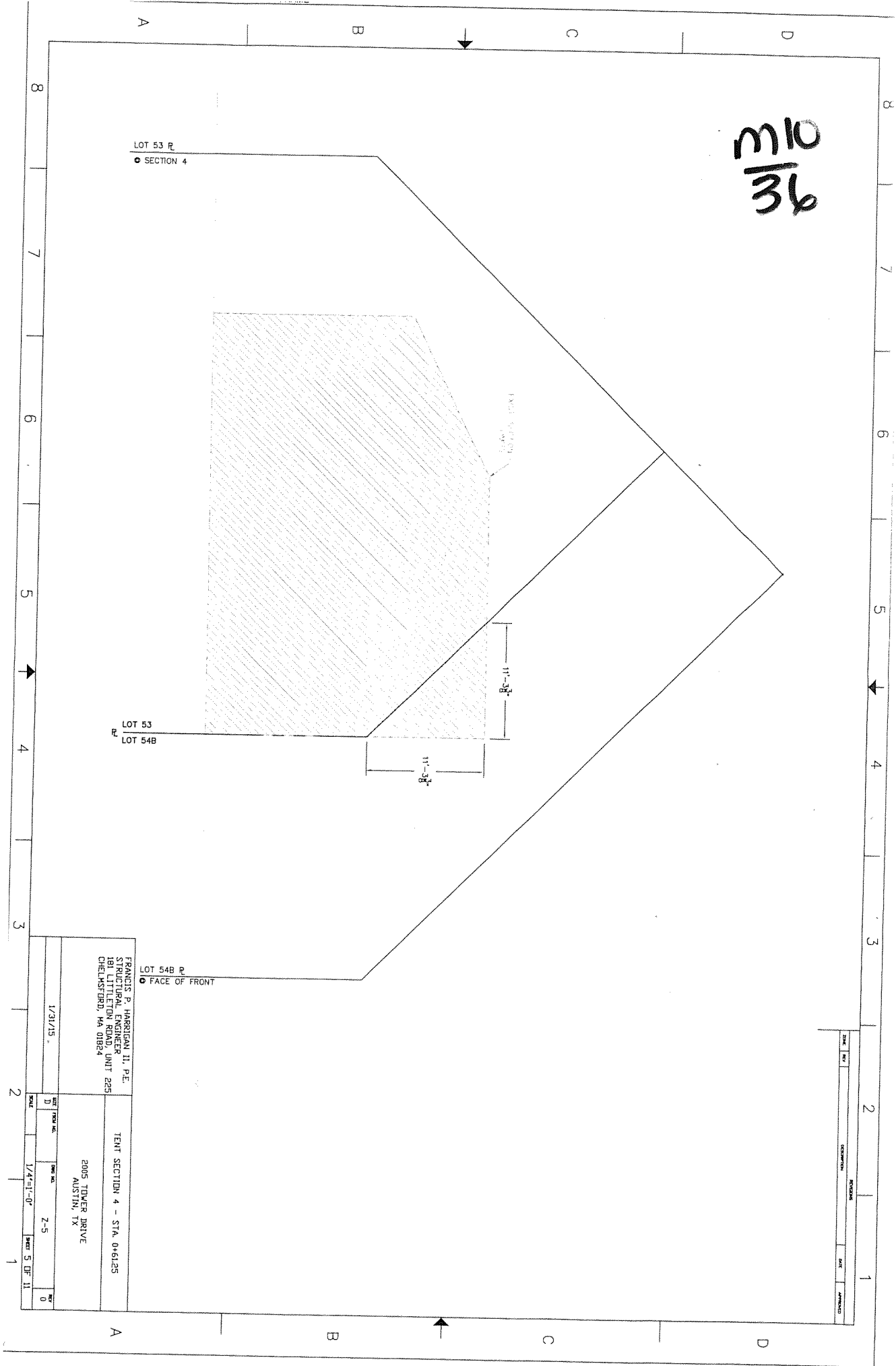
REV	DATE	BY	CHKD
0			

1/4"=1'-0"

SECT 4 OF 11

DATE	REV	DESCRIPTION	DATE	APPROVED

310
36



LOT 53 R
SECTION 4

LOT 53
LOT 54B

LOT 54B P
FACE OF FRONT

FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELSEA, MA 01824

2005 TOWER DRIVE
AUSTIN, TX

TENT SECTION 4 - STA. 0+61.25

1/31/15		Z-5		1/4 1/4 1/4 0'		1	
1	2	3	4	5	6	7	8

DATE	REV	REVISION	DATE	APPROVED

Handwritten: **M10 37**

LOT 53 R
SECTION 5

LOT 53
LOT 54B

LOT 54B R
FACE OF FRONT

Francis P. Harrigan II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELSEA, MA 01824

TENT SECTION 5 - STA 0+76.62

2005 TOWER DRIVE
AUSTIN, TX

1/31/15

DATE

1/4"-1"=0'

SCALE

6 OF 11

0

1

2

3

4

5

6

7

8

A

B

C

D

1

2

3

4

5

6

7

8

A

B

C

D

LOT 53 R
SECTION 5

$\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$

R. LOT 53
 LOT 54B

LOT 54B R
● FACE OF FRONT

FRANCIS P. HARRIGAN
STRUCTURAL ENGINEER
181 LITTLETON ROAD,
CHELMSFORD, MA 01824

TENT SECTION 5 - STA 0+76.62

2005 TOWER DRIVE
AUSTIN, TX

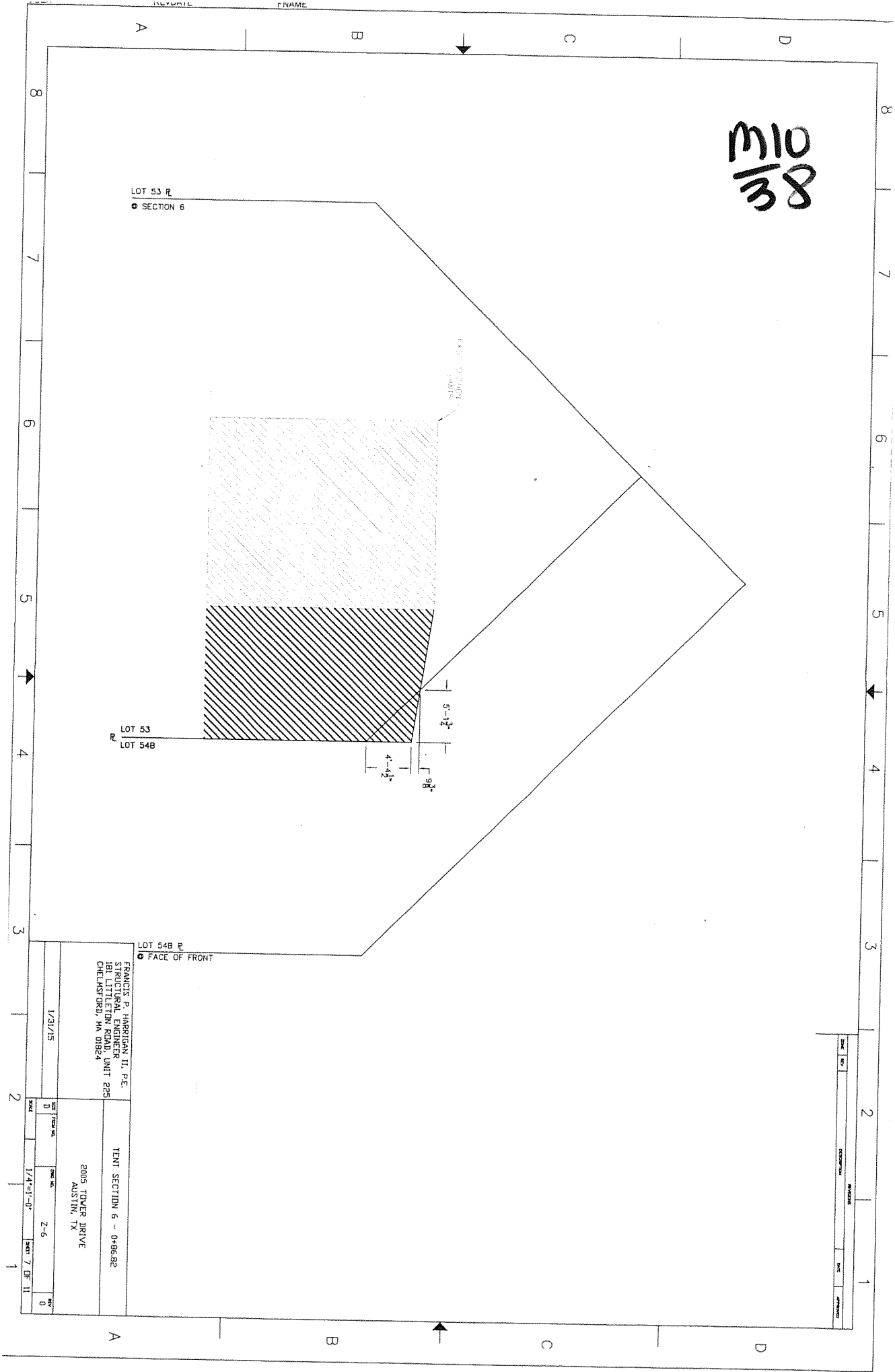
1/31/15

DATE	ISSUE NO.	ORIG. NO.	
D		Z-6	
SCALE	1/4"=1'-0"		SHEET 6 OF 11

9-2

OF 11

M10
38



FRANCIS P. HARGREAV II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

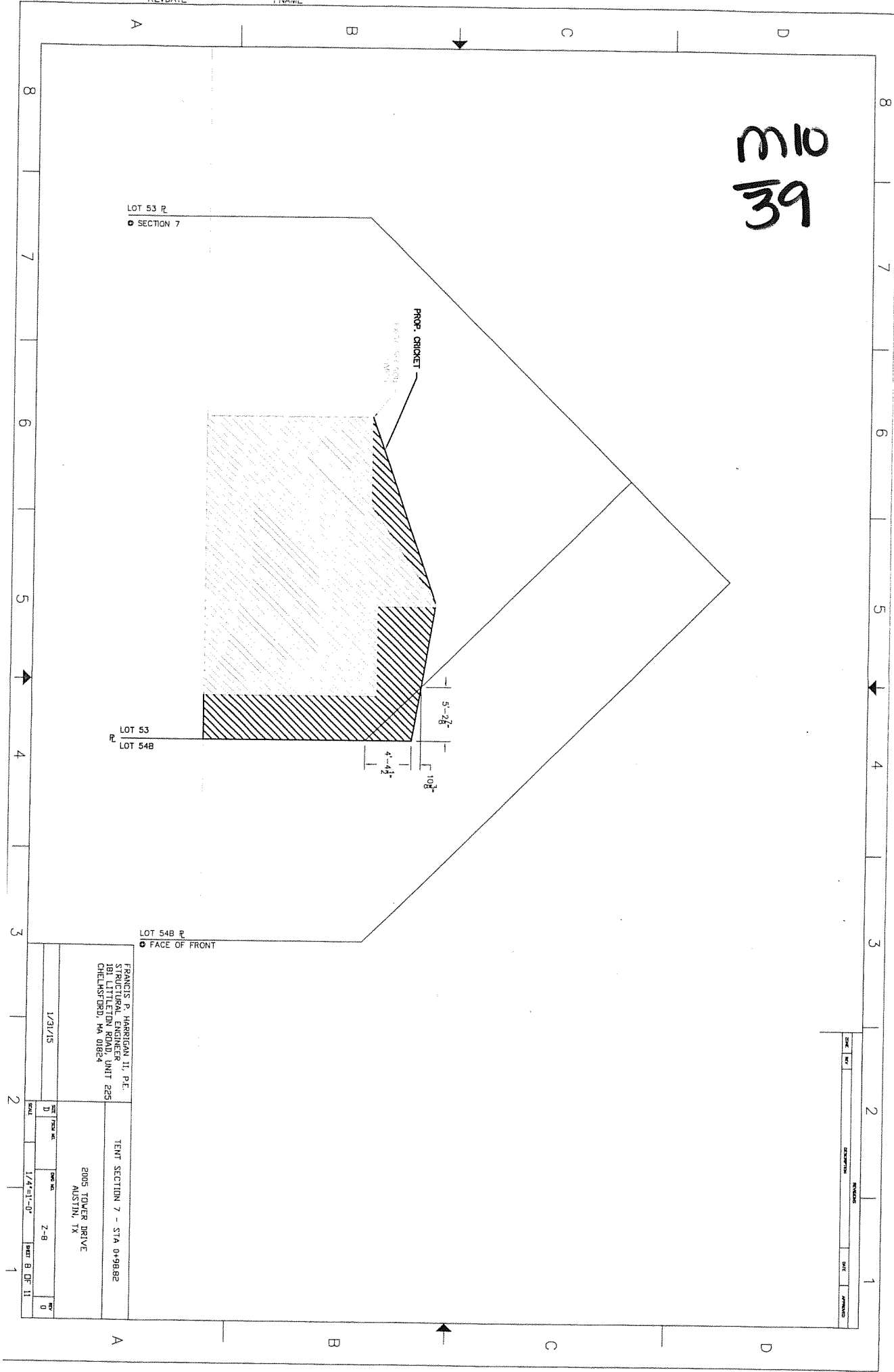
TENT SECTION 6 - 048682

2005 TOWER DRIVE
AUSTIN, TX

1/21/15	1/4"=1'-0"	7 OF 11
D	1/4"=1'-0"	7 OF 11
1/4"=1'-0"	7 OF 11	0

DATE	REV	DESCRIPTION	BY	APPVED

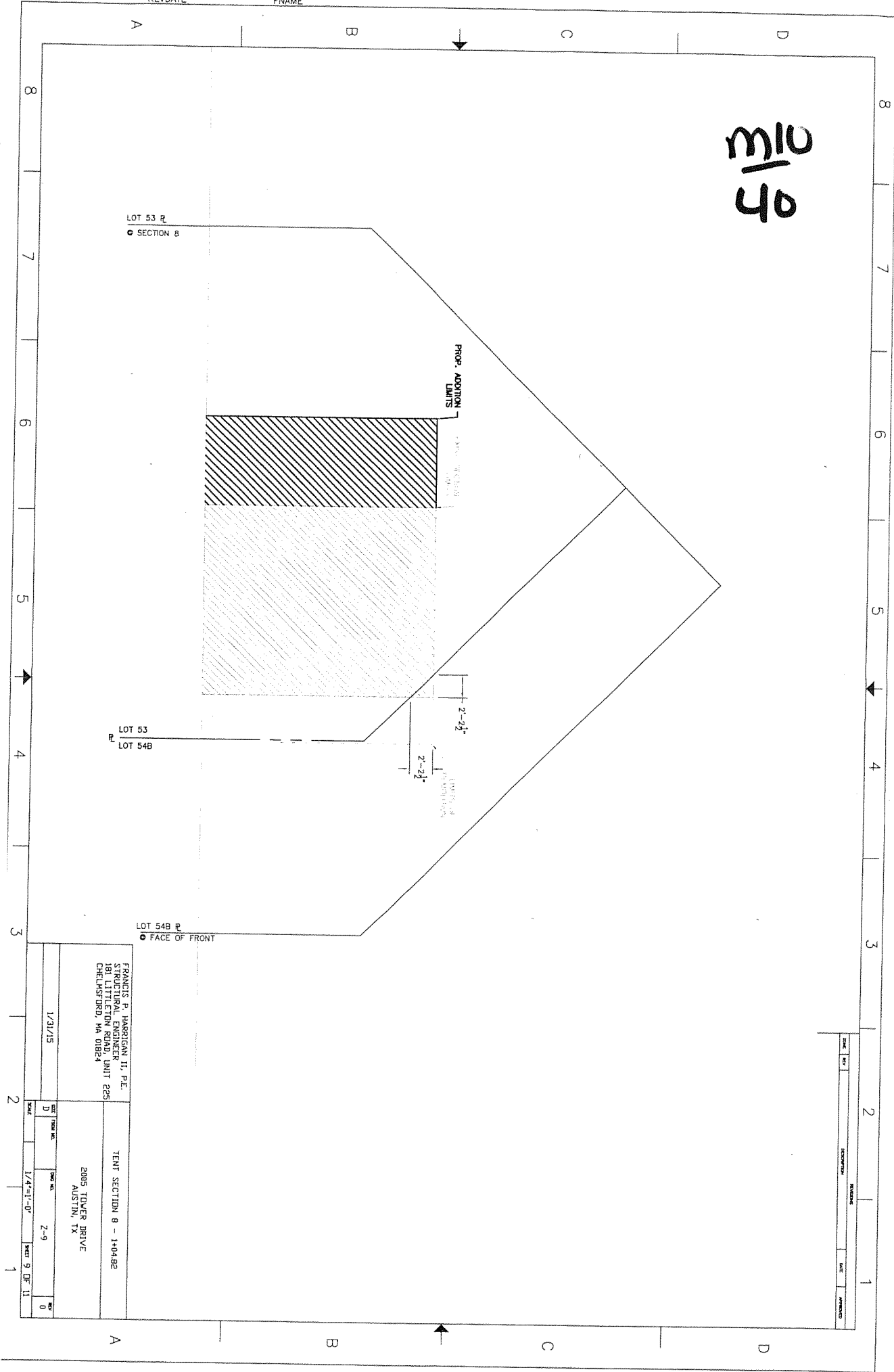
m10
39



FRANCIS P. HARRIS, II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 226 CHELMSFORD, MA 01824			
TENT SECTION 7 - STA 0+98.82			
2005 TOWER DRIVE AUSTIN, TX			
1/31/15	1/4"=1'-0"	2'-8"	Sheet 8 of 11

DATE	BY	REVISION	DATE	APPROVED

01/15



LOT 53 R
SECTION 8

PROP. ADDITION
LIMITS

LOT 53
LOT 54B

LOT 54B R
FACE OF FRONT

FRANCIS D. HARGREAV II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

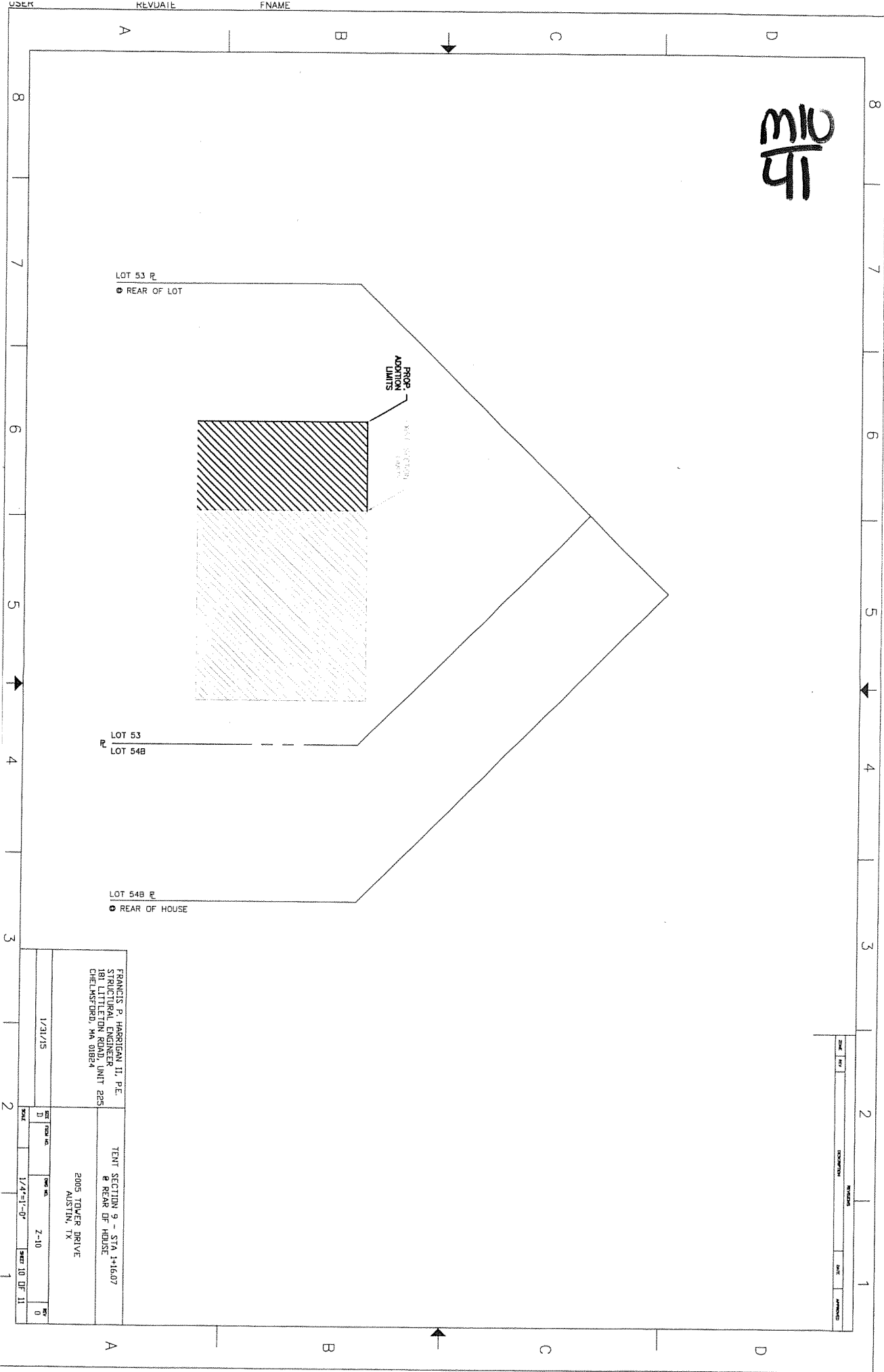
TENT SECTION 8 - 1+04.82

2005 TOWER DRIVE
AUSTIN, TX

1/31/15

DATE	REV	DESCRIPTION	DATE	APPROVED
1/31/15	1	1/4"=1'-0"	SECTION 9 OF 11	

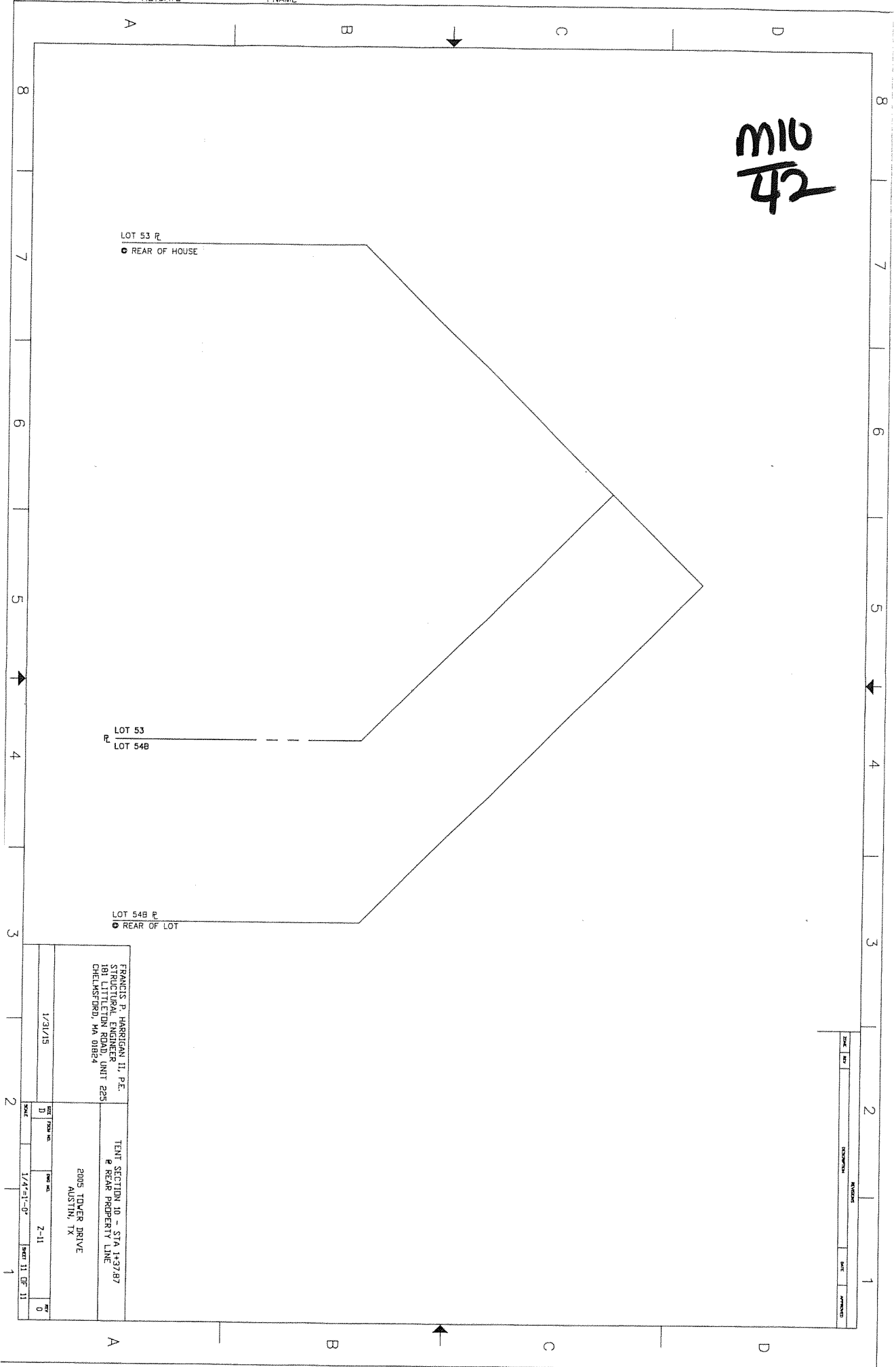
310
45



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824				TENT SECTION 9 - STA 1+16.07 B REAR OF HOUSE 2005 TOWER DRIVE AUSTIN, TX			
1/31/15	DATE	1/4/11-07	DATE	Z-10	DATE	10 OF 11	REV
1	NO.	1	NO.	1	NO.	1	NO.

DATE	REV	DESCRIPTION	DATE	APPROVED

mlc
42



FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

TENT SECTION 10 - STA 1+37.87
R REAR PROPERTY LINE

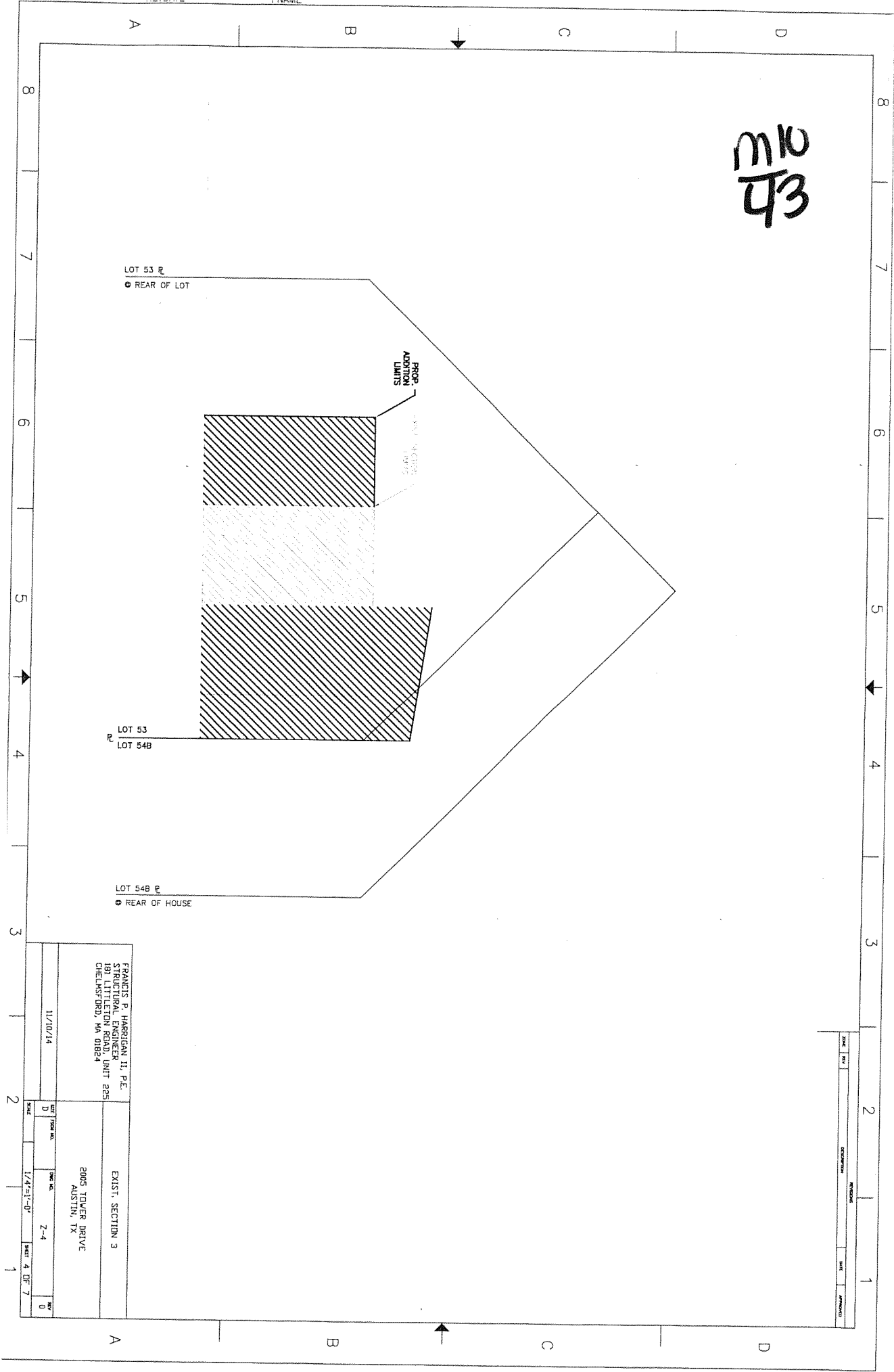
2005 TOWER DRIVE
AUSTIN, TX

1/31/15

DATE	FROM	TO	BY	REV
1/31/15	D	1/4"=1'-0"	Z-11	0
			Sheet 11 OF 11	

DATE	BY	DESCRIPTION	REVISION	DATE	BY	DESCRIPTION

ml
43



FRANCIS P. HARRINGTON II, P.E. REGISTERED PROFESSIONAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824		EXIST. SECTION 3	
2005 TOWER DRIVE AUSTIN, TX		Z-4	
11/10/14	1/4"=1'-0"	Sheet 4 OF 7	1

DATE	REV	DESCRIPTION	DATE	APPROVAL

MEMBERS			
NAME	IN	DATE	APPROVED
FURNITURE			

LOT 54B R
 • FACE OF FRONT

FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

PROP. SECTION 1

2005 TOWER DRIVE
AUSTIN, TX

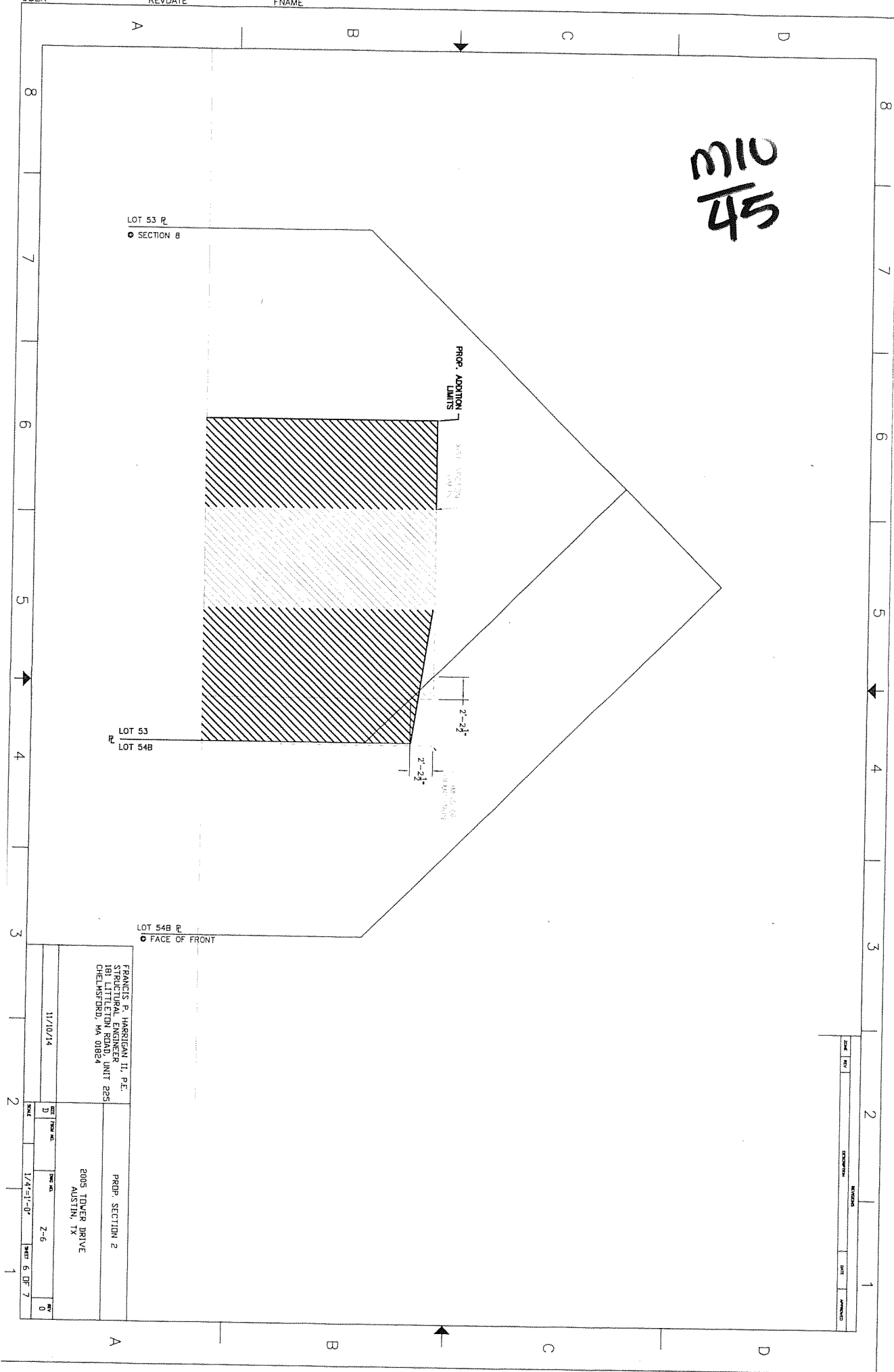
11/10/14

三、

$$1/4' = 1' - 0''$$

sum 5 DF 7

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45



LOT 53 R
SECTION 8

PROP. ADDITION
LIMITS

2'-2 1/2"

2'-2 1/2"

2'-2 1/2"

LOT 53
LOT 54B

LOT 54B R
FACE OF FRONT

FRANCIS B. HARRISON II, P.E.
STRUTHER & ASSOCIATES
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

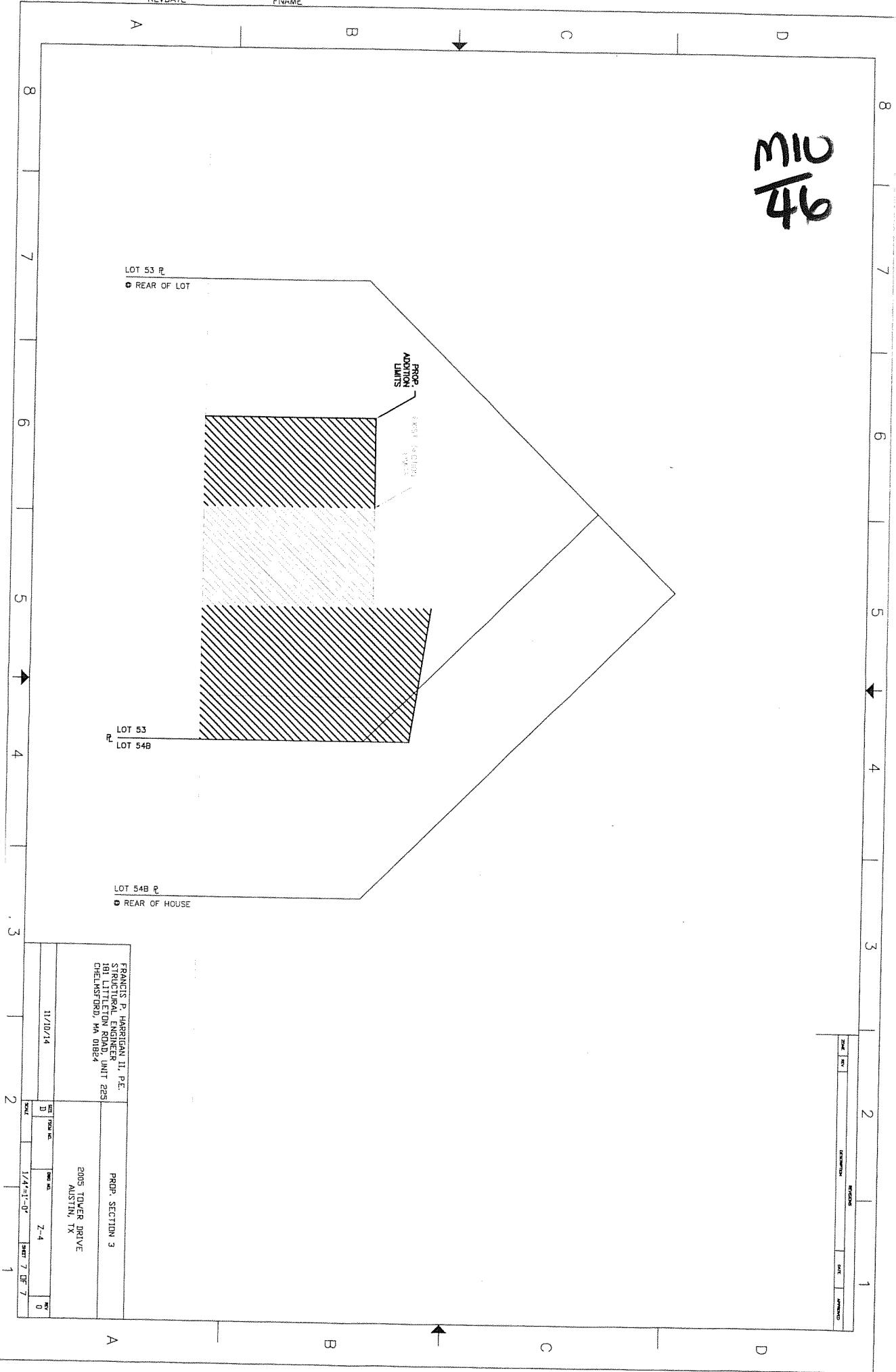
PROP. SECTION 2
2005 TOWER DRIVE
AUSTIN, TX

11/10/14

DATE	REVISION	BY	APP'D
11/10/14	1		

DATE	REVISION	BY	APP'D
11/10/14	1		

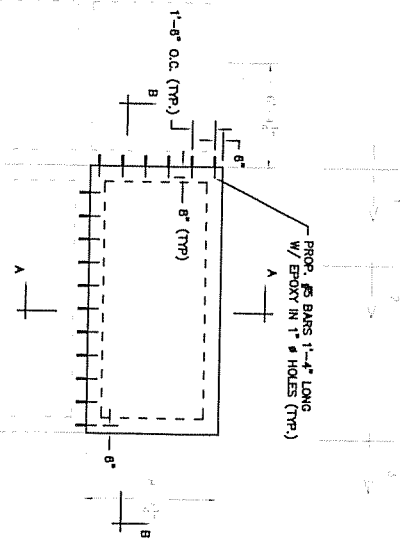
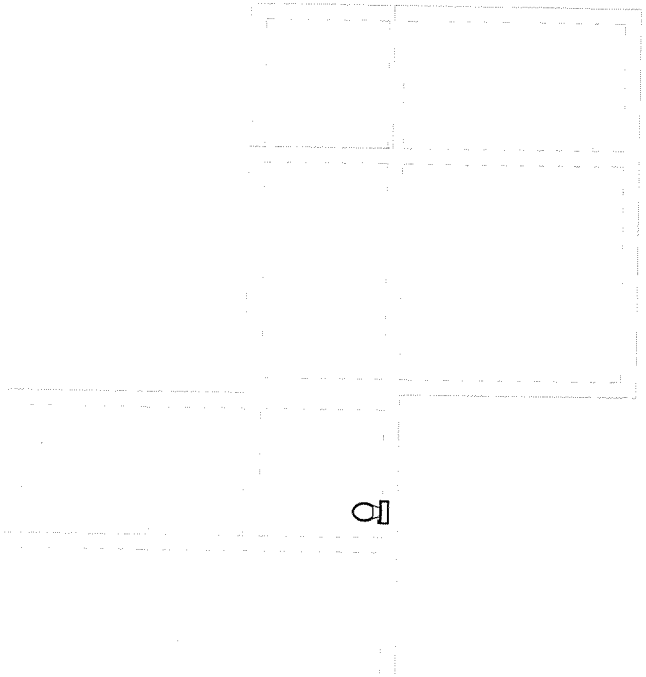
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46



DATE	BY	REVISION	DATE	BY

FRANCIS P. HARRIS, II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		PROP. SECTION 3 2005 TOWER DRIVE AUSTIN, TX	
11/10/14	11/10/14	1/4" = 1'-0"	SHEET 7 OF 7

3/15/15



PROP. #5 BARS 1'-4" LONG
W/ EPOXY IN 1" HOLES (TYP.)

1'-0" O.C. (TYP.)

8" (TYP.)

8"

FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

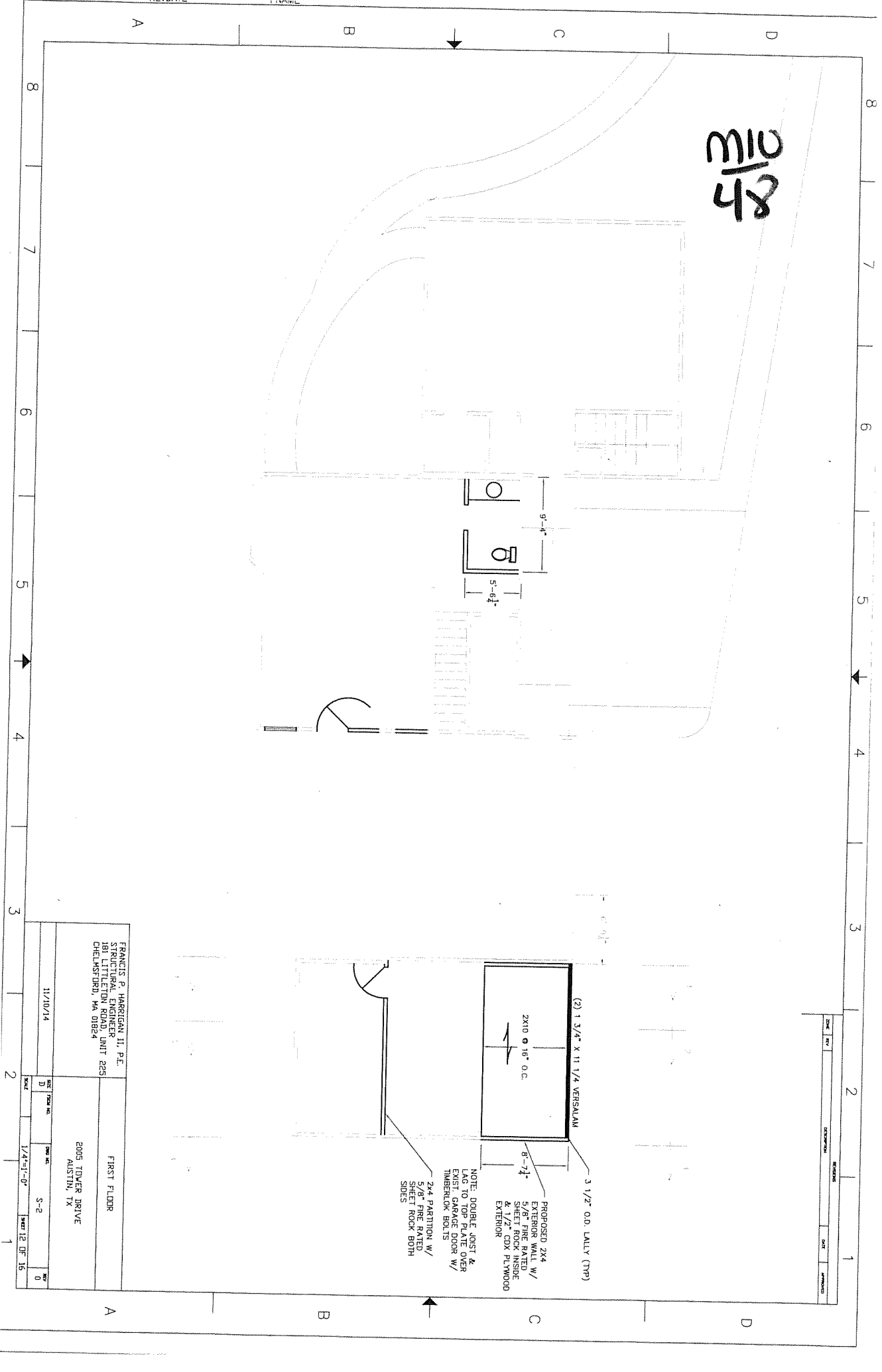
FOUNDATION
2005 TIGER DRIVE
AUSTIN, TX

11/10/14

REV	DATE	BY	CHKD	APP'D
1	11/10/14	1/4"	S-1	16

DATE	REV	DESCRIPTION	DATE	APP'D
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01/18/10

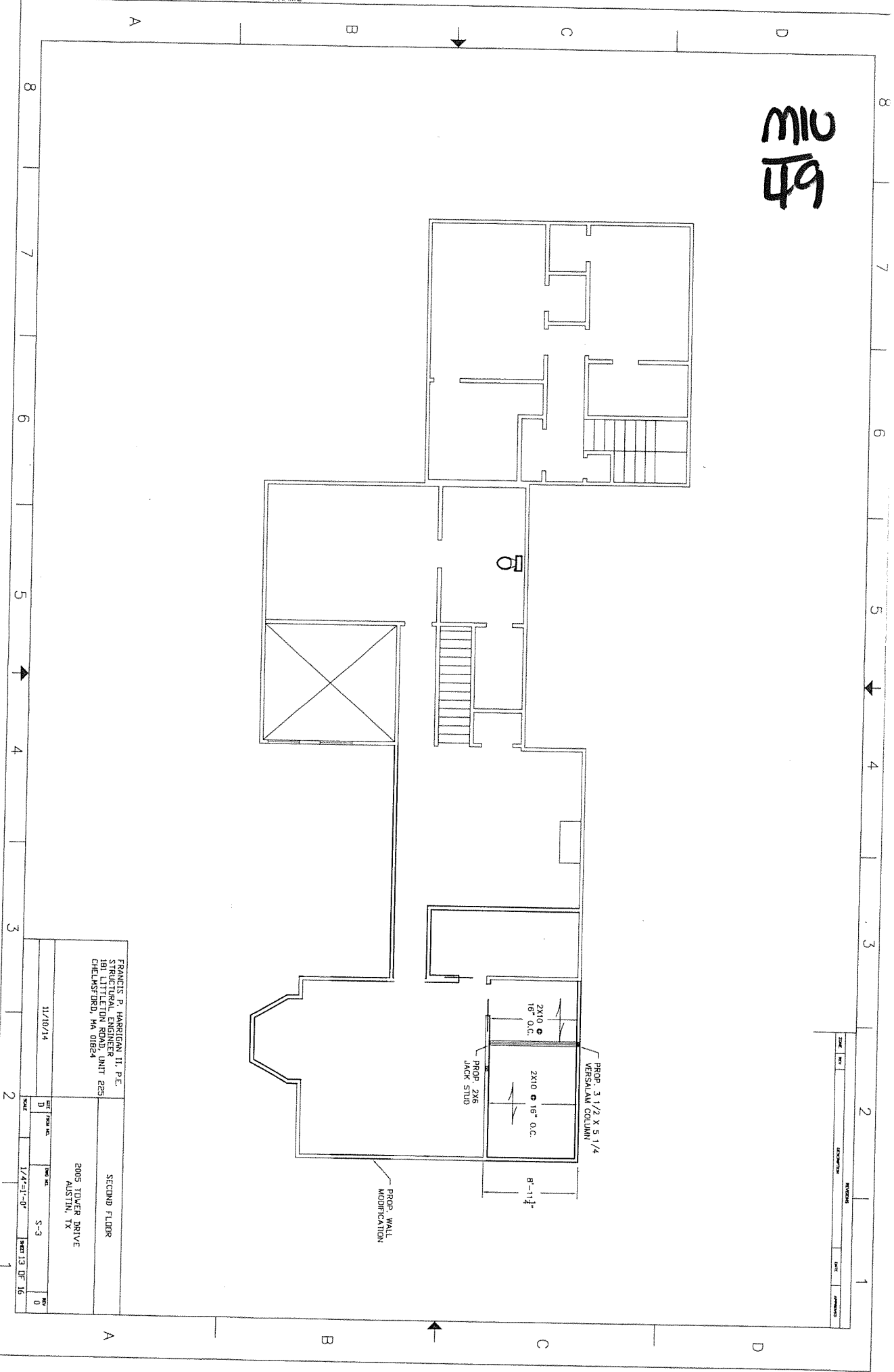


FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

2005 TOWER DRIVE
AUSTIN, TX

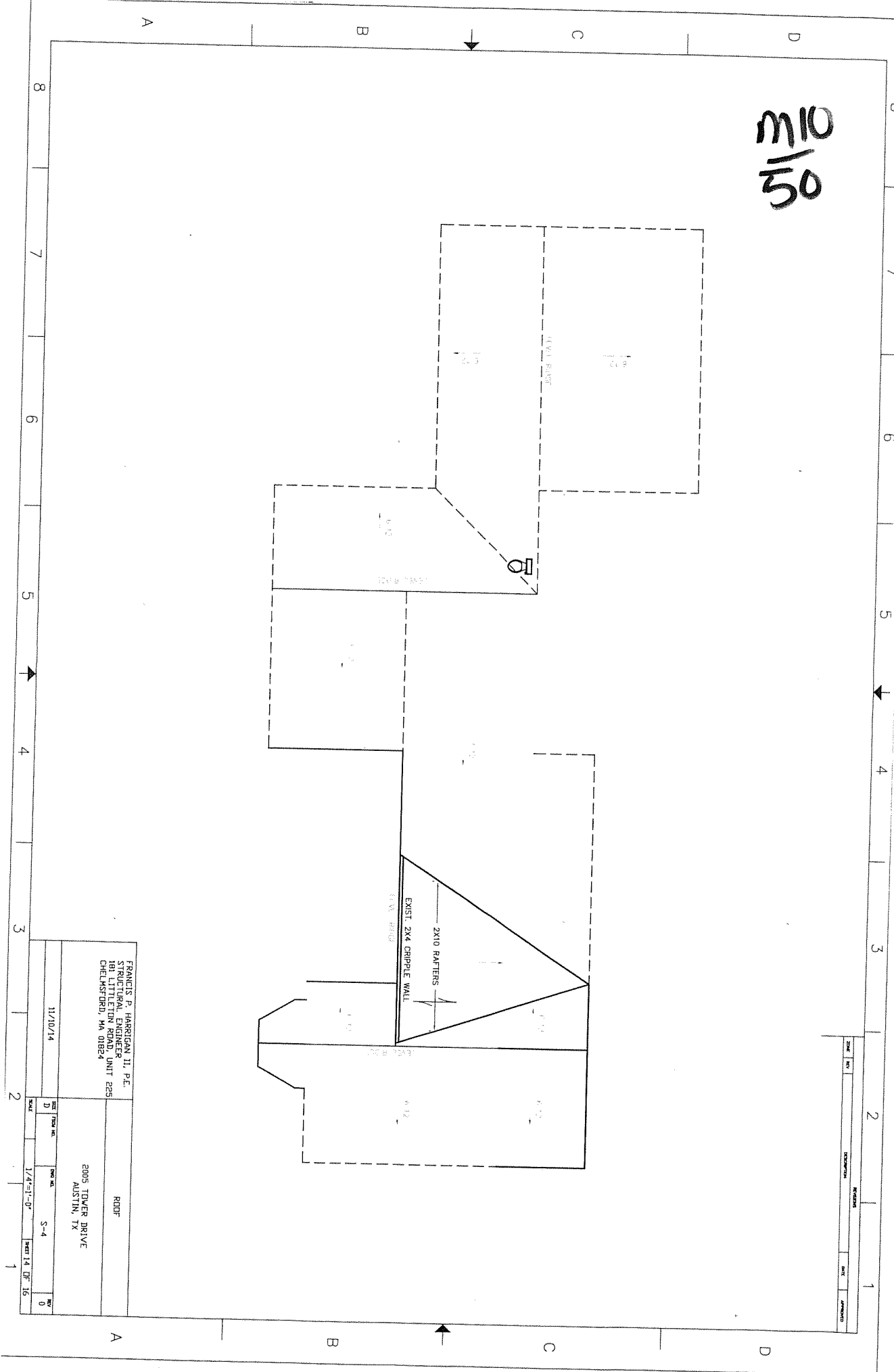
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	11/10/14	1/4" = 1'-0"	S-2
2			
3			
4			
5			
6			
7			
8			

49
m10



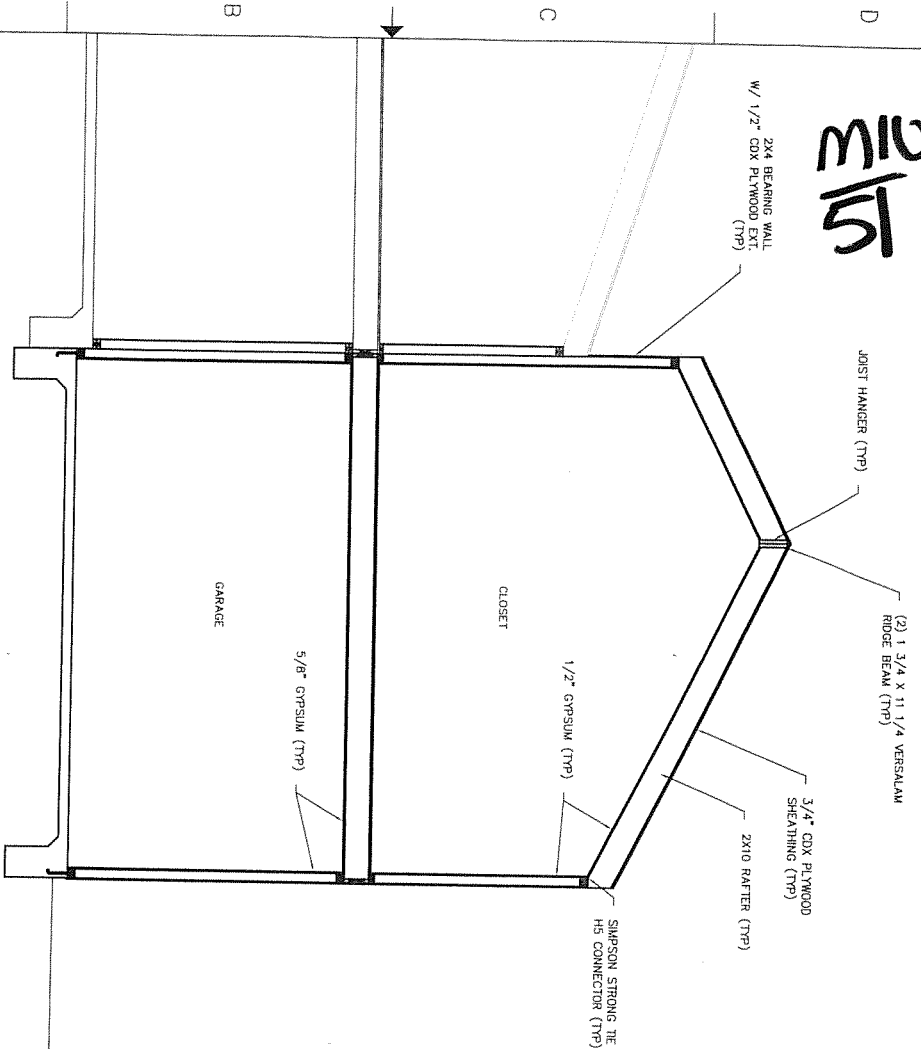
FRANCIS D. HARRISON II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824				SECOND FLOOR			
11/10/14				2005 TOWER DRIVE AUSTIN, TX			
DATE	11/10/14	BY	FDH	SCALE	1/4" = 1'-0"	REVISION	13 OF 16
DATE		BY		SCALE		REVISION	

310
5/10



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		ROOF	
11/10/14		2005 TOWER DRIVE AUSTIN, TX	
DATE	11/10/14	SCALE	1/4"=1'-0"
BY	D	REV	S-4
CHKD		DATE	11/10/14
APP'D		DATE	11/10/14

01/15



2x4 BEARING WALL
W/ 1/2" CDX PLYWOOD EXT.
(TYP)

JOIST HANGER (TYP)

(2) 1 3/4" x 11 1/4" VERSALAM
RIDGE BEAM (TYP)

3/4" CDX PLYWOOD
SHEATHING (TYP)

2x10 RAFTER (TYP)

SIMPSON STRONG TIE
H5 CONNECTOR (TYP)

1/2" GYPSUM (TYP)

CLOSET

5/8" GYPSUM (TYP)

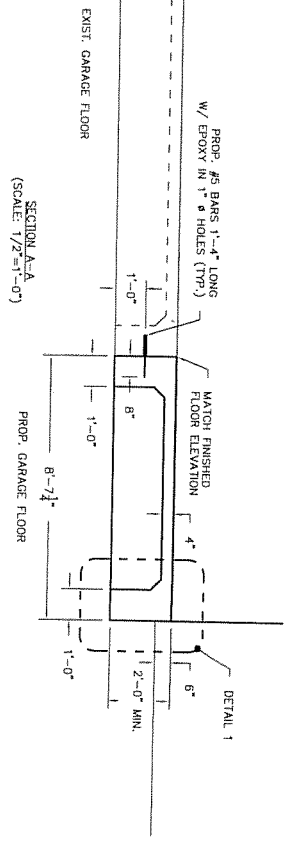
GARAGE

- STRUCTURAL NOTES:
1. ALL DIMENSIONAL LUMBER SHALL BE NO. 2 SPRUCE-PINE-FIR OR BETTER.
 2. ALL RAFTERS SHALL BE CONNECTED TO RIDGE BEAM WITH JOIST HANGERS PER MANUFACTURER'S RECOMMENDATIONS.
 3. ALL JOIST HANGERS SHALL BE CONNECTED TO TOP WALL PLATE WITH SIMPSON STRONGTIE H5 CONNECTORS.
 4. ENGINEERED LUMBER BEAM SECTIONS SHALL BE ROISE-CASCADE VERSALAM EQ 3100.
 5. ENGINEERED LUMBER COLUMNS AND POSTS SHALL BE ROISE-CASCADE VERSALAM 15.
 6. GYPSUM SHALL BE F/G-9000 PSI.
 7. REBAR SHALL BE F/G-60KSI.
 8. ANCHOR BOLTS SHALL BE ASTM A307.

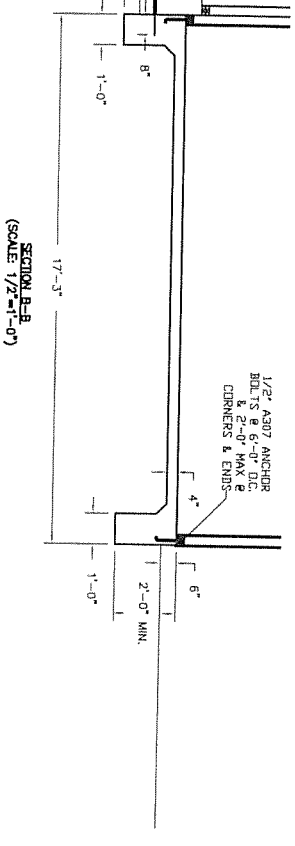
DATE	BY	REVISION	DATE	BY

FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 2500 LUTHER LUTHER ROAD, UNIT 225 CHELMSTERD, MA 01824		TYPICAL FRAMING	
11/10/14		2005 TOWER DRIVE AUSTIN, TX	
REV	DATE	DESCRIPTION	BY
0	11/10/14	1/2" x 1" - 0"	S-5
15 OF 15			

11/15

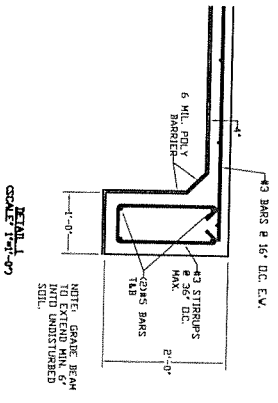


SECTION A-A
(SCALE 1/2"=1'-0")



SECTION B-B
(SCALE 1/2"=1'-0")

- STRUCTURAL NOTES:
1. ALL DIMENSIONAL LUMBER SHALL BE NO. 2 SPRUCE-PINE-FIR OR BETTER.
 2. ALL RAFTERS SHALL BE SIZED TO RIDE BEAM WITH PROPERLY SIZED SYPSON STRONGTIE JOIST HANGERS.
 3. ALL RAFTERS SHALL BE CONNECTED TO TOP WALL PLATE WITH SYPSON STRONGTIE RECOMMENDATIONS.
 4. REQUIRED REDUCTION CAPACITIES ARE INDICATED ON THE PLANS IN PARENTHESES.
 5. REQUIRED SUPPORT LOADS ARE PROVIDED BY ANCHORS FOR EACH LOCATION.
 6. REQUIRED BEAM SECTIONS SHALL BE BOISE-CASCADE VERSA-LAM E20 3100.
 7. ENGINEERED LUMBER COLUMNS AND POSTS SHALL BE BOISE-CASCADE VERSA-LAM 18 2750 COLUMNS.



DETAIL 1
(SCALE 1/2"=1'-0")

FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824		FOUNDATION DETAILS	
11/10/14		2005 TOWER DRIVE AUSTIN, TX	
REV	DATE	BY	DATE
0	11/10/14	S-6	11/10/14
AS NOTED	11/10/14	16	11/10/14