

ZONING CHANGE REVIEW SHEET

CASE: C14-2015-0080 (11200 N. Ranch Road 620) **Z.A.P. DATE:** August 18, 2015

ADDRESS: 11200 North Ranch Road 620

DISTRICT AREA: 6

OWNER/APPLICANT: Robinson Investments (Blake Robinson)

AGENT: Lenworth Consulting, LLC (Nash Gonzales)

ZONING FROM: DR, GR-CO **TO:** CS **AREA:** 7.915 acres

SUMMARY STAFF RECOMMENDATION:

The staff recommends GR-CO, Community Commercial-Conditional Overlay Combining District, zoning. The conditional overlay will limit development on the site to less than 2,000 vehicle trips per day.


ZONING AND PLATTING COMMISSION RECOMMENDATION:

DEPARTMENT COMMENTS:

The property in question is currently used for a stone and grass outlet sales use (The Grass Outlet) that fronts onto North FM 620 Road. The applicant is requesting General Commercial Services district zoning to redevelop this property with a convenience storage use.

The staff recommends GR-CO zoning because the site under consideration meets the intent and purpose statement of the GR, Community Commercial District, as the property can be redeveloped to provide office or other commercial use that serves neighborhood and community needs and that generally is accessible from major traffic ways. The property fronts onto and takes access from an arterial roadway, North FM 620 Road. This lot is located adjacent to an outdoor sports and recreation use to the north (Woodland Greens Golf Center) and an automotive sales use (Apple Sports Imports), across FM 620 to the east. The tract of land to the south is undeveloped and there are residential uses to the west along Windy Ridge Road. The staff's recommendation of GR-CO zoning will promote consistency and orderly planning as the properties to the north and east are developed with commercial uses. The staff does not have an issue with removing the prohibited restaurant uses on this site and the floor to area limitations that are reflected in the current zoning for this property through Ordinance No. 941117-D. However, we are not recommending CS zoning as the property is not located at an intersection and we believe that GR zoning is appropriate along the western side of North FM 620. There is a precedent for establishing GR-CO zoning along the frontage on the western side of FM 620 Road through zoning cases C14-03-0143, C14-2011-0120 and C14-2013-0146 to the north at the intersection of Anderson Mill Road and North FM 620 and to the south through zoning cases C14-02-0154 and C14-2012-0019.

The applicant does not agree with the staff's recommendation.

EXISTING ZONING AND LAND USES:

	ZONING	LAND USES
<i>Site</i>	GR-CO	The Grass Outlet , Undeveloped Area
<i>North</i>		Outdoor Sports and Recreation (Woodland Greens Golf Center)
<i>South</i>		Undeveloped
<i>East</i>		Automotive Sales (Apple Sports Imports)
<i>West</i>		Single-Family Residences

AREA STUDY: N/A**TIA:** Waived**WATERSHED:** Lake Travis, Bull Creek**DESIRED DEVELOPMENT ZONE:** No**CAPITOL VIEW CORRIDOR:** N/A**HILL COUNTRY ROADWAY:** Yes**HILL COUNTRY ROADWAY:**

The site is located within 1,000 feet of RM 620 and within a Hill Country Roadway Corridor. The site is located within the moderate intensity zone of FM 620. Please see Site Plan comments below.

NEIGHBORHOOD ORGANIZATIONS:

Austin Heritage Tree Foundation
Bike Austin
Bull Creek Foundation
Friends of Austin Neighborhoods
Leander ISD Population and Survey Analysts
Long Canyon Homeowners Association
Long Canyon Phase II & LLL Homeowners Association Inc.
Sierra Club, Austin Regional Group
The Parke HOA
The Real Estate Council of Austin, Inc.
Volente Neighborhood Association

CASE HISTORIES:

NUMBER	REQUEST	COMMISSION	CITY COUNCIL
C14-2013-0146 (Volente Business Park: 11901 Anderson Mill Road)	I-RR to Tract 1: GR, Tract 2: CS-1	12/17/13: Approved staff's recommendation of GR-CO zoning for Tract 1 and CS-1-CO zoning for Tract 2, with a CO limiting the site to less than 2,000 vtpd, on consent (4-0, B. Baker, S. Compton, R. McDaniel-absent); G. Rojas-1 st , C. Banks-2 nd .	2/13/14: Approved GR-CO zoning for Tract 1 and CS-1-CO zoning for Tract 2 on consent on all 3 readings, with additional language as read into the record, "The Property within the boundary of the conditional overlay combining district established by this ordinance is subject to the following condition: A site plan or building permit for the Property may not be approved,

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			released, or issued, if the completed development or uses of the Property, considered cumulatively with all existing or previously authorized development and uses, generate traffic that exceeds 2,000 trips per day, unless a Transportation Impact Analysis (TIA) is submitted and approved by the director of the Planning and Development Review Department." Vote: (6-0, S. Cole-off dais); B. Spelman-1 st , C. Riley-2 nd .
C14-2012-0019 (James Martin: 10812 North FM 620 Road)	SF-2to GR	3/20/12: Approved staff's recommendation of GR-CO zoning, with a CO to limit the development intensity for the site to less than 2,000 vehicle trips per day, by consent (7-0); P. Seeger-1 st , C. Banks-2 nd .	4/26/12: Approved GR-CO zoning on consent on all 3 readings (7-0); B. Spelman-1 st , C. Riley-2 nd .
C14-2011-0120 (Shops at Volente, Ltd.: 11416 North FM 620 Road)	I-RR to Tract 1: GR, Tract 2: CS-1	11/15/11: Approved staff's recommendation of GR-CO zoning for Tract 1 and CS-1-CO zoning for Tract 2 (6-0, G. Bourgeois-absent); G. Rojas-1 st , P. Seeger-2 nd .	12/08/11: Approved GR-CO zoning for Tract 1 and CS-1-CO zoning for Tract 2 on consent on all 3 readings (6-0, S. Cole-off dais); B. Spelman-1 st , L. Morrison-2 nd .
C14-04-0028 (Jack Brown Cleaners: 11521 RM 620 Road North)	GR-CO to CS	3/16/04: Approved staff's recommendation of CS zoning by consent (8-0, K. Jackson-absent); J. Martinez-1 st , J. Gohil-2 nd .	4/15/04: Approved ZAP recommendation of CS zoning (7-0); 1 st reading 4/22/04: Approved CS zoning (6-0, McCracken-off dais); 2 nd /3 rd readings
C14-04-0027 (Twin Liquors: 11521 RM 620 Road North)	GR-CO to CS-1	3/16/04: Approved staff's recommendation of CS-1 zoning by consent (8-0, K. Jackson-absent); J. Martinez-1 st , J. Gohil-2 nd . 5/4/04: Approved staff's recommendation of CS-1 zoning by consent (5-0, J. Martinez, J. Pinnelli, C. Hammond-absent); J. Gohil-1 st , J. Donisi-2 nd .	4/15/04: Pulled off agenda. Case re- noticed and sent back to ZAP Commission. 6/10/04: Granted CS-1 (7-0); all 3 readings

01/4

C14-03-0111 (Plaza Volente: N. FM 620 Road and Anderson Mill Road)	DR to GR-CO	8/26/03: Approved staff's recommendation of GR-CO zoning by consent (8-0, K. Jackson-absent)	9/25/03: Approved GR-CO & RC-for TIA recommendations (7-0); all 3 readings
C14-02-0154	SF-2, DR to CS- CO	1/28/03: Approved W/LO-CO zoning with conditions of: • Limiting trips to 2,000 per day; • 50' vegetative buffer along the western property line; • 20' buffer along the southern property line; • Prohibit access on the western property line, with the exception of emergency access; • Only 2 access points on the southern property line; • Restrict semi-trucks, 3 axles or more to Windy Ridge entrance. Vote: (7-1, J.P.-Nay, J.D.-absent); K.J.-1 st , M. W.-2 nd .	3/20/03: Approved staff recommendation of GR-CO for 1st 700 feet off 620 and RR for balance (7-0); 1 st reading only 3/25/03: Approved staff recommendation of GR-CO for 1st 700 feet off 620 and RR for balance (7-0); 2 nd reading 1/27/05: Approved staff recommendation of GR-CO for 1st 700 feet off 620 and RR for balance (7-0); 3 rd reading
C14-02-0041 (London Park Retail: 11521 N. FM 620 Road)	SF-2, DR to GR	11/19/02: Approved staff's recommendation of GR-CO zoning with conditions of: • 300' (depth) x 400' parallel to FM 620, will have 'LR' uses only (Tract 2); • conditions set out by staff in the T.I.A.; • No Pawn Shop Services; • No Adult Oriented Businesses; • No Automotive Uses (Vote: 7-0, A. Adams-absent)	1/30/03: Granted GR-CO on 1 st reading (7-0) 3/6/03: Approved (7-0); 2 nd /3 rd readings
C14-93-0032 (Skrudland Property: 11100 F.M. 620 Road)	SF-2 and DR to CS	4/20/93: Approved staff' rec. of GR-CO zoning, with conditions to 1) prohibit Restaurant (General), Restaurant (Limited), Restaurant (Drive-In, Fast Food) and Food Sales uses, 2) to restrict development of General Retail Sales (General) and General Retail Sales (Convenience) uses to a maximum F.A.R. of 0.02 to 1, 3) to restrict development of Administrative and Business Offices, Medical Offices, and Professional Office uses to a	5/06/93: Approved GR-CO zoning, with conditions (5-0); 1 st reading only 11/17/94: Approved GR-CO zoning (7-0); 2 nd /3 rd readings

		maximum F.A. R. of 0.21 to 1 and 4) to restrict development of Financial Services use to a maximum F.A.R. of 0.03 to 1.	
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RELATED CASES: C14-93-0032 (Previous Zoning Case)

ABUTTING STREETS:

Name	ROW	Pavement	Classification	Sidewalks	Bike Route	Capital Metro (within ¼ mile)
Windy Ridge Road	58'	20'	Local	No	No	No
N FM 620 Road	145'	83'	Arterial	No	Wide Shoulder; Route # 401	No

CITY COUNCIL DATE: September 10, 2015

ACTION:

ORDINANCE READINGS: 1st

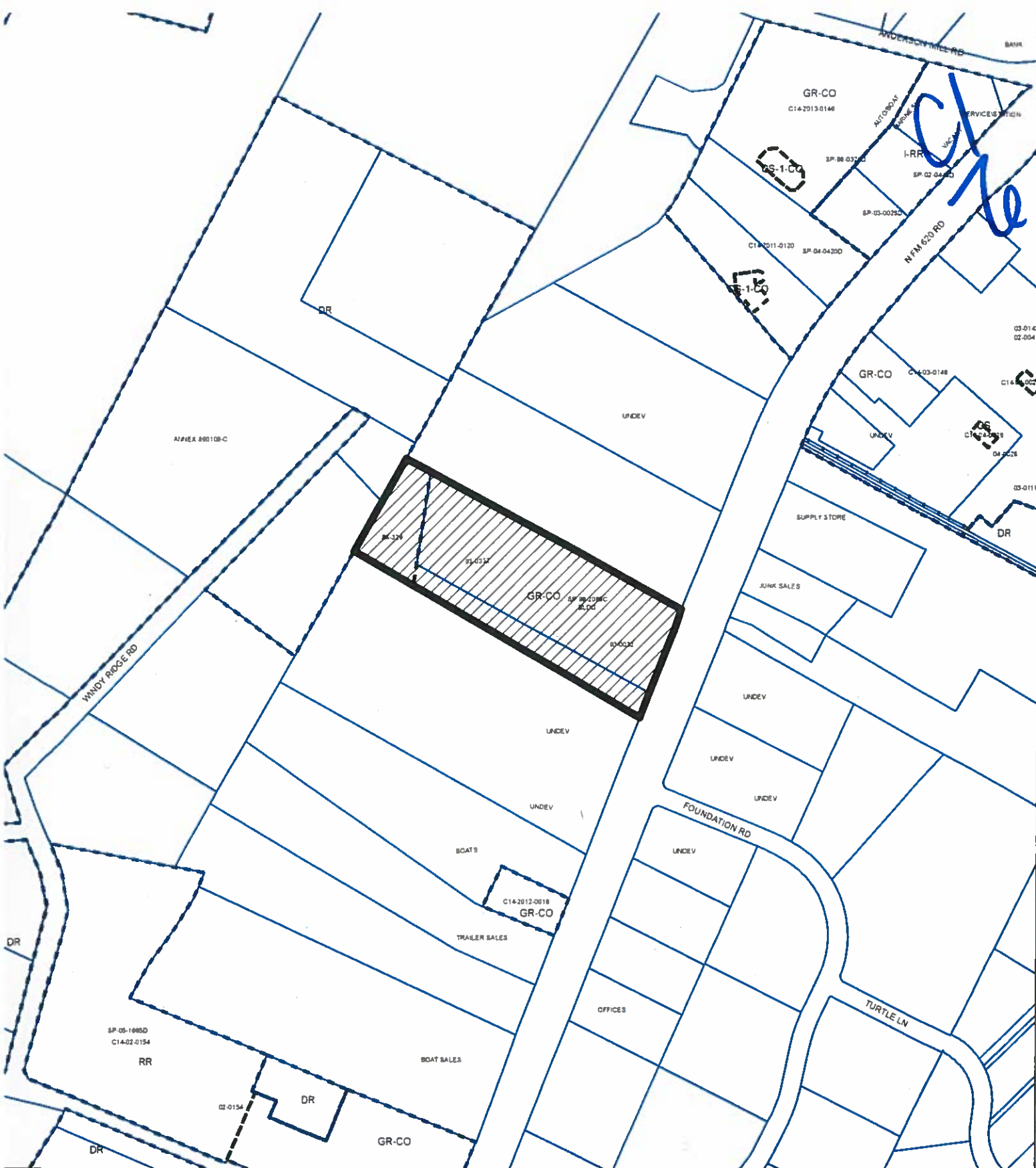
2nd

3rd




ORDINANCE NUMBER:

CASE MANAGER: Sherri Sirwaitis

PHONE: 512-974-3057,
sherri.sirwaitis@ci.austin.tx.us



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-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY



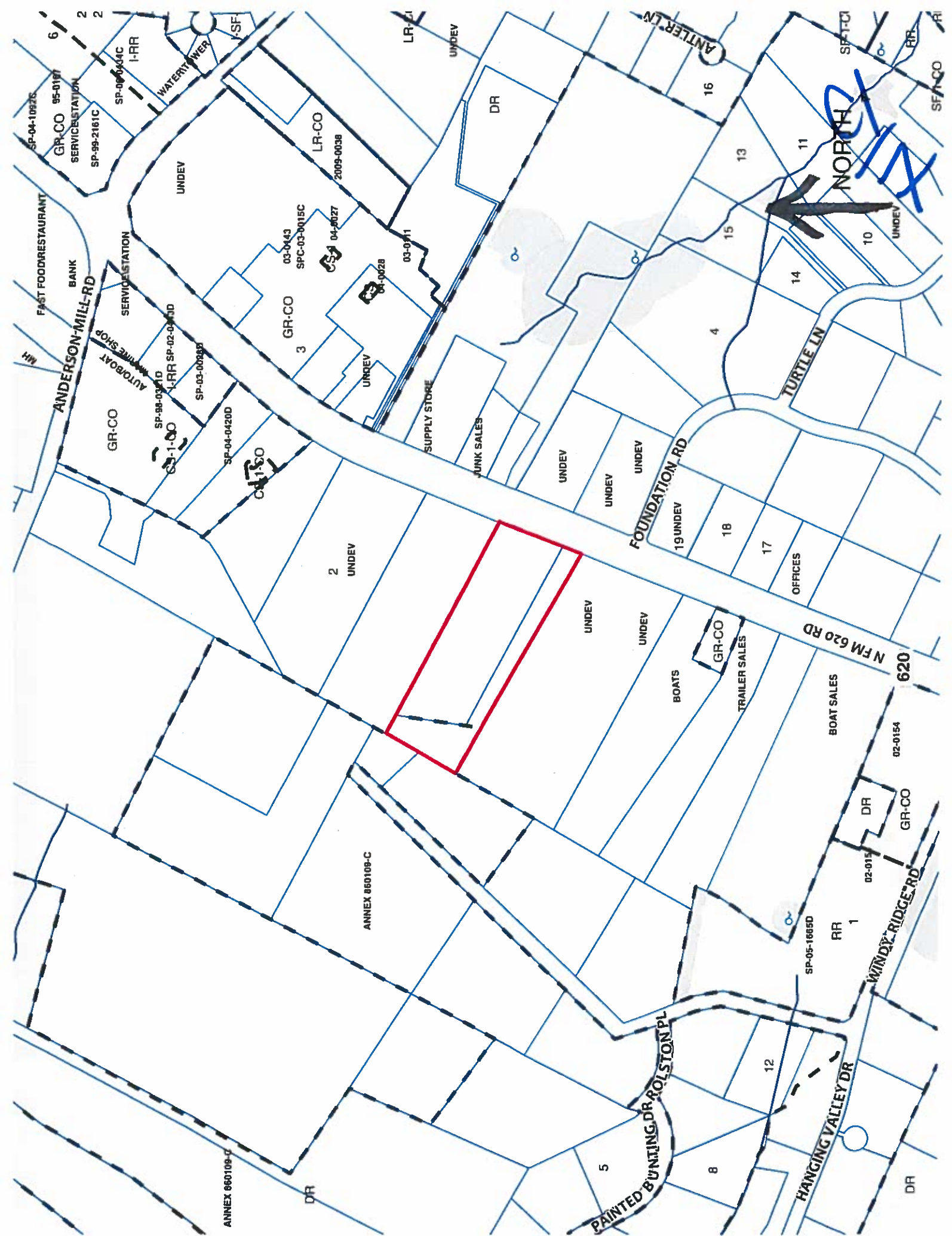
1" = 400'

ZONING
ZONING CASE#: C14-2015-0080



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



STAFF RECOMMENDATION

The staff recommends GR-CO, Community Commercial-Conditional Overlay Combining District, zoning. The conditional overlay will limit development on the site to less than 2,000 vehicle trips per day.

BASIS FOR RECOMMENDATION

1. *The proposed zoning should be consistent with the purpose statement of the district sought.*

The Community Commercial (GR) district is the designation for an office or other commercial use that serves neighborhood and community needs and that generally is accessible from major traffic ways.

2. *The proposed zoning should promote consistency and orderly planning.*

The staff's recommendation of GR-CO zoning will promote consistency and orderly planning as the properties to the north and east are developed with commercial uses. The City has established a precedent for GR-CO zoning along the frontage on the western side of FM 620 Road through zoning cases C14-2013-0146 , C14-2011-0120 and C14-03-0143 to the north at the intersection of Anderson Mill Road and North FM 620 and to the south through zoning cases C14-2012-0019 and C14-02-0154 at the north western intersection of Windy Ridge Road and F.M. 620 Road.

EXISTING CONDITIONS

Site Characteristics

The site under consideration is contains a stone and grass outlet sales use (The Grass Outlet) that fronts onto North FM 620 Road. This property is located adjacent to an outdoor sports and recreation use to the north (Woodland Greens Golf Center) and an automotive sales use (Apple Sports Imports), across FM 620 to the east. The tract of land to the south is undeveloped and there are residential uses to the west along Windy Ridge Road.

Comprehensive Planning

GR-CO to CS-CO

This zoning case is located on the west side of FM 620, on a parcel that is approximately 7.8 acres in size, which contains a stone and grass outlet, and is not located within the boundaries of a neighborhood planning area. Surrounding land uses includes golf center to the north, vacant land to the south (which is being developed), a single family house to the west, and a car dealer and auto repair shop to the east. The proposed use is a mini storage facility.

Imagine Austin and Conclusions

The site is located over the Edwards Aquifer Recharge Zone. An aquifer contributing zone is an area where runoff from precipitation flows to the recharge zone of an aquifer. Streams in the contributing zone flow downstream into the recharge zone and "contribute" water to the aquifer.

Additionally, page 107 of IACP specifically addresses new development that occurs outside of Growth Concept Centers and Corridors, including this language: "The type of infill housing will vary ... and include single-family houses, duplexes, secondary apartments, townhouses, row houses, and

smaller-scaled apartments. New commercial, office, larger apartments ... may also be located in areas outside of centers and corridors."

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Based on comparative scale of the site relative to other nearby commercial uses along the heavily travelled FM 620 corridor, as well as the project area not being located along an existing Activity Corridor or within an Activity Center as identified on the Imagine Austin Growth Concept Map, this case falls below the scope of Imagine Austin, which is broad in scope, and consequently the plan is neutral on the proposed rezoning

Environmental

According to COA GIS a watershed boundary, generally trending north-south, approximately bisects this property. The western portion of the property is located in the Lake Travis Watershed (classified as Water Supply Rural) and the eastern portion of the property is located in the Bull Creek Watershed (classified as Water Supply Suburban). The property is located in the Drinking Water Protection Zone and is located over the Edwards Aquifer Recharge Zone.

Within the Water Supply Rural portion of the property, development or redevelopment on this site will be subject to the following impervious cover limits:

<i>Development Classification</i>	<i>% of Net Site Area</i>	<i>% NSA with Transfers</i>	<i>Allowable Density</i>
One or Two Family Residential	n/a	n/a	1 unit/2 acres net site area
Multifamily Residential	20%	25%	n/a
Commercial	20%	25%	n/a

Within the Water Supply Suburban portion of the property, development or redevelopment on this site will be subject to the following impervious cover limits:

<i>Development Classification</i>	<i>% of Net Site Area</i>	<i>% NSA with Transfers</i>
One or Two Family Residential	30%	40%
Multifamily Residential	40%	55%
Commercial	40%	55%

According to floodplain maps there is no floodplain within or adjacent to the project location.

Standard landscaping and tree protection will be required in accordance with LDC 25-2 and 25-8 for all development and/or redevelopment.

Under current watershed regulations, development or redevelopment requires water quality control with increased capture volume and control of the 2 year storm on site.

Trees will likely be impacted with a proposed development associated with this rezoning case. Please be aware that an approved rezoning status does not eliminate a proposed development's requirements to meet the intent of the tree ordinances. If further explanation or specificity is needed, please contact the City Arborist at 512-974-1876. At this time, site specific information is unavailable regarding other vegetation, areas of steep slope, or other environmental features such as bluffs, springs, canyon rimrock, caves, sinkholes, and wetlands.

At this time, no information has been provided as to whether this property has any preexisting approvals that preempt current water quality or Code requirements.

C1/11

Impervious Cover

The maximum impervious cover allowed by the CS zoning district would be 95%. However, because the Watershed impervious cover is more restrictive than the zoning district's allowable impervious cover, the impervious cover on this site would be limited by the watershed ordinance.

The western portion of the property is located in the Lake Travis Watershed (classified as Water Supply Rural) and the eastern portion of the property is located in the Bull Creek Watershed (classified as Water Supply Suburban). The property is located in the Drinking Water Protection Zone and is located over the Edwards Aquifer Recharge Zone.

Within the **Water Supply Rural** portion of the property, development or redevelopment on this site will be subject to the following impervious cover limits:

<i>Development Classification</i>	<i>% of Net Site Area</i>	<i>% NSA with Transfers</i>	<i>Allowable Density</i>
One or Two Family Residential	n/a	n/a	1 unit/2 acres net site area
Multifamily Residential	20%	25%	n/a
Commercial	20%	25%	n/a

Within the **Water Supply Suburban** portion of the property, development or redevelopment on this site will be subject to the following impervious cover limits:

<i>Development Classification</i>	<i>% of Net Site Area</i>	<i>% NSA with Transfers</i>
One or Two Family Residential	30%	40%
Multifamily Residential	40%	55%
Commercial	40%	55%

Note: The most restrictive impervious cover limit applies.

Site Plan

Site plans will be required for any new development other than single-family or duplex residential.

Any new development is subject to Subchapter E. Design Standards and Mixed Use. Additional comments will be made when the site plan is submitted.

Any development which occurs in an SF-6 or less restrictive zoning district which is located 540-feet or less from property in an SF-5 or more restrictive zoning district will be subject to compatibility development regulations.

The site is subject to compatibility standards. Along the west property line, the following standards apply:

- No structure may be built within 25 feet of the property line.
- No structure in excess of two stories or 30 feet in height may be constructed within 50 feet of the property line.

- No structure in excess of three stories or 40 feet in height may be constructed within 100 feet of the property line.
 - No parking or driveways are allowed within 25 feet of the property line.
 - A landscape area at least 25 feet wide is required along the property line. In addition, a fence, berm, or dense vegetation must be provided to screen adjoining properties from views of parking, mechanical equipment, storage, and refuse collection.
- Additional design regulations will be enforced at the time a site plan is submitted.

C1/12

The site is located within 1,000 feet of RM 620 and within a Hill Country Roadway Corridor. The site is located within the moderate intensity zone of the Hill Country Roadway. The site may be developed with the following maximum floor-to-area ratio (FAR):

i.	Slope	Maximum FAR
ii.	0-15%	0.25:1
iii.	15-25%	0.10:1
iv.	25-35%	0.05:1

Except for clearing necessary to provide utilities or site access, a 100 foot vegetative buffer will be required along N FM 620. At least 40% of the site (excluding dedicated right-of-way) must be left in a natural state. The allowable height is as follows: Within 200 feet of FM 620 the maximum height is 28 feet, and beyond 200 feet the maximum height is 40 feet.

Prior to the issuance of a building permit for the proposed use, a site plan must be approved by the Land Use Commission.

Stormwater Detention

At the time a final subdivision plat, subdivision construction plans, or site plan is submitted, the developer must demonstrate that the proposed development will not result in additional identifiable flooding of other property. Any increase in storm water runoff will be mitigated through on-site storm water detention ponds, or participation in the City of Austin Regional Stormwater Management Program, if available.

Transportation

Additional right-of-way maybe required at the time of subdivision and/or site plan.

If the requested zoning is granted, it is recommended that joint access be provided for the 2 lots along FM 620.

FYI only: The Austin Metropolitan Area Transportation Plan calls for a total of 400 feet of right-of-way for FM 620. TxDOT may request the reservation of additional right-of-way in accordance with the Transportation Plan when the site is redeveloped [LDC, Sec. 25-6-51 and 25-6-55].

A traffic impact analysis was waived for this case because the applicant agreed to limit the intensity and uses for this development. If the zoning is granted, development should be limited through a conditional overlay to less than 2,000 vehicle trips per day. [LDC, 25-6-117]

Nadia Barrera, Urban Trails, Public Works Department and Nathan Wilkes, Bicycle Program, Austin Transportation Department may provide additional comments regarding bicycle and pedestrian connectivity per the Council Resolution No. 20130620-056.

According to the Austin 2009 Bicycle Plan Update approved by Austin City Council in June, 2009, a bicycle facility is not identified on FM 620 or Windy Ridge.
Existing Street Characteristics:

CL/B

Name	ROW	Pavement	Classification	Sidewalks	Bike Route	Capital Metro (within ¼ mile)
Windy Ridge Road	58'	20'	Local	No	No	No
N FM 620 Road	145'	83'	Arterial	No	Wide Shoulder; Route # 401	No

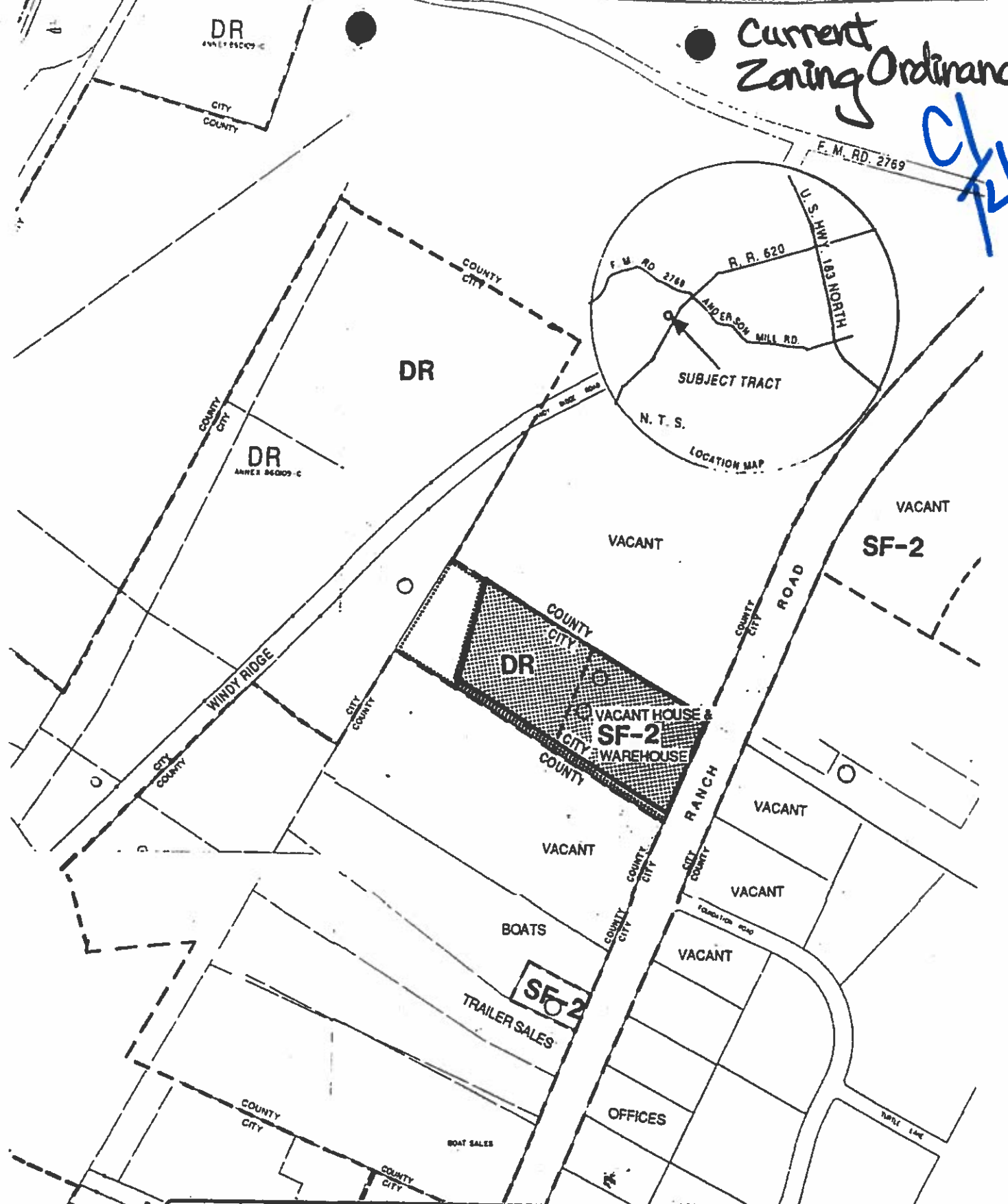
Water and Wastewater

The landowner intends to serve the site with a connection to the City of Austin Water Utility system and an approved on-site sewage facility. The landowner, at own expense, will be responsible for providing any water and wastewater utility improvements, offsite main extensions, utility relocations and or abandonments required by the land use. The water and wastewater utility plan must be reviewed and approved by the Austin Water Utility for compliance with City criteria and suitability for operation and maintenance. Depending on the development plans submitted, water and or wastewater service extension requests may be required. All water and wastewater construction must be inspected by the City of Austin. The landowner must pay the City inspection fee with the utility construction. The landowner must pay the tap and impact fee once the landowner makes an application for a City of Austin water and wastewater utility tap permit.

FYI. City wastewater service is not currently available to the site, and a service extension request will be required if service is needed/required.

Current Zoning Ordinance

CH



 NORTH 1" = 400'	SUBJECT TRACT PENDING CASE ZONING BOUNDARY - - - - - CASE MGR: B. BAKER CYCLE 4/92 INTLS: J. RAMOS		CITY GRID REFERENCE NUMBER E - 38
	CASE #: C14-93-0032		
	SUBJECT AREA: 6.388 ADDRESS: F. M. ROAD 620 SOUTH		

ORDINANCE NO. 941117- D

AN ORDINANCE ORDERING A REZONING AND CHANGING THE ZONING MAP ACCOMPANYING CHAPTER 13-2 OF THE AUSTIN CITY CODE OF 1992 AS FOLLOWS: 6.388 ACRE TRACT OF LAND OUT OF THE A. E. LIVINGSTON SURVEY NO. 455, FROM "SF-2" SINGLE-FAMILY RESIDENCE (STANDARD LOT) DISTRICT AND "DR" DEVELOPMENT RESERVE DISTRICT TO "GR-CO" COMMUNITY COMMERCIAL DISTRICT-CONDITIONAL OVERLAY COMBINING DISTRICT, LOCALLY KNOWN AS 11100 F. M. 620, IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS; WAIVING THE REQUIREMENTS OF SECTION 2-2-3 OF THE AUSTIN CITY CODE OF 1992; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. That Chapter 13-2 of the Austin City Code of 1992 is amended to change the base zoning district ~~from "SF-2" Single-Family Residence (Standard Lot) district and "DR" Development Reserve district to~~ "GR-CO" Community Commercial district-Conditional Overlay combining district on the property described in File C14-93:0032, as follows:

6.388 acre tract of land out of the A. E. Livingston Survey No. 455, said 6.388 acre tract of land being more particularly described by metes and bounds in "Exhibit A" attached and incorporated herein for all purposes, *[hereinafter referred to as the "Property"]*

locally known as 11100 F. M. 620, in the City of Austin, Travis County, Texas.

PART 2. That the Property within the boundaries of the Conditional Overlay combining district established by this ordinance is subject to the following conditions:

1. The following uses of the Property shall be prohibited: (i) Restaurant (general), (ii) Restaurant (limited), (iii) Restaurant (drive-in, fast food), and, (iv) Food sales.
2. Development of the Property, or any portion of the Property, as (i) General retail sales (general), and (ii) General retail sales (convenience) uses shall be restricted to maximum floor to area ratio of 0.02 to 1.
3. Development of the Property, or any portion of the Property, as (i) Administrative and business offices, (ii) Medical offices, and, (iii) Professional office uses shall be restricted to maximum floor to area ratio of 0.21 to 1.
4. Development of the Property, or any portion of the Property, as Financial services use shall be restricted to maximum floor to area ratio of 0.03 to 1.

Except as specifically restricted pursuant to this ordinance, the Property may be developed and used in accordance with the regulations established for the "GR" Community Commercial base district and other applicable requirements of the Land Development Code.

PART 3. That it is ordered that the Zoning Map established by Section 13-2-22 of the Austin City Code of 1992 and made a part thereof shall be changed to record the amendment enacted by this ordinance.

PART 4. That the requirements imposed by Section 2-2-3 of the Austin City Code of 1992, as amended, regarding the presentation and adoption of ordinances are hereby waived by the affirmative vote of at least five members of the City Council.

PART 5. That this ordinance shall become effective upon the expiration of ten days following the date of its final passage, as provided by the Charter of the City of Austin. 01/16

PASSED AND APPROVED:

November 17, 1994

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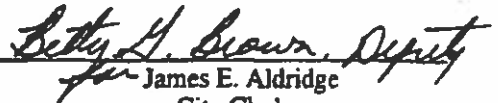
Bruce Todd
Mayor

APPROVED:



Michael J. Cosentino
Acting City Attorney

ATTEST:



James E. Aldridge
City Clerk

17Nov94

ME/jj

FIELD NOTES
FOR

C/17

6.388 ACRE TRACT

ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND OUT OF THE A.E. LIVINGSTON SURVEY NO. 455 IN TRAVIS COUNTY, TEXAS, BEING THAT CERTAIN TRACT OF LAND DESCRIBED AS A 6.39 ACRE TRACT IN VOLUME 8901, PAGE 852 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS, THE HEREIN DESCRIBED TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at an iron pipe found at the Northeast corner of the said 6.39 acre tract, being at the Southeast corner of that certain tract of land described in Volume 10571, Page 729 of the Real Property Records of Travis County, Texas, being in the West r.o.w. line of F.M. Hwy No. 620 for the Northeast corner and PLACE OF BEGINNING hereof;

THENCE along the East line of the said 6.39 acre tract, being the West r.o.w. line of F.M. Hwy No. 620, S 22° 44' W for a distance of 355.21 feet to an iron pin found at the Southeast corner of the said 6.39 acre tract, for the Southeast corner hereof;

THENCE along the South line of the said 6.39 acre tract, N 56° 22' W for a distance of 871.95 feet to an iron pin found at the Southwest corner of the said 6.39 acre tract, for the Southwest corner hereof;

THENCE along the West line of the said 6.39 acre tract, N 18° 37' 15" E for a distance of 290.91 feet to an iron pin found at the Northwest corner of the said 6.39 acre tract, for the Northwest corner hereof;

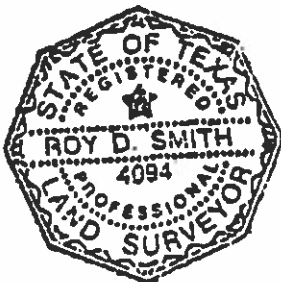
THENCE along the North line of the said 6.39 acre tract, S 60° 46' 22" E for a distance of 882.74 feet to the PLACE OF BEGINNING and containing 6.388 acres of land, more or less.

AS SURVEYED BY :
ROY D. SMITH SURVEYORS, P.C.

Roy D. Smith

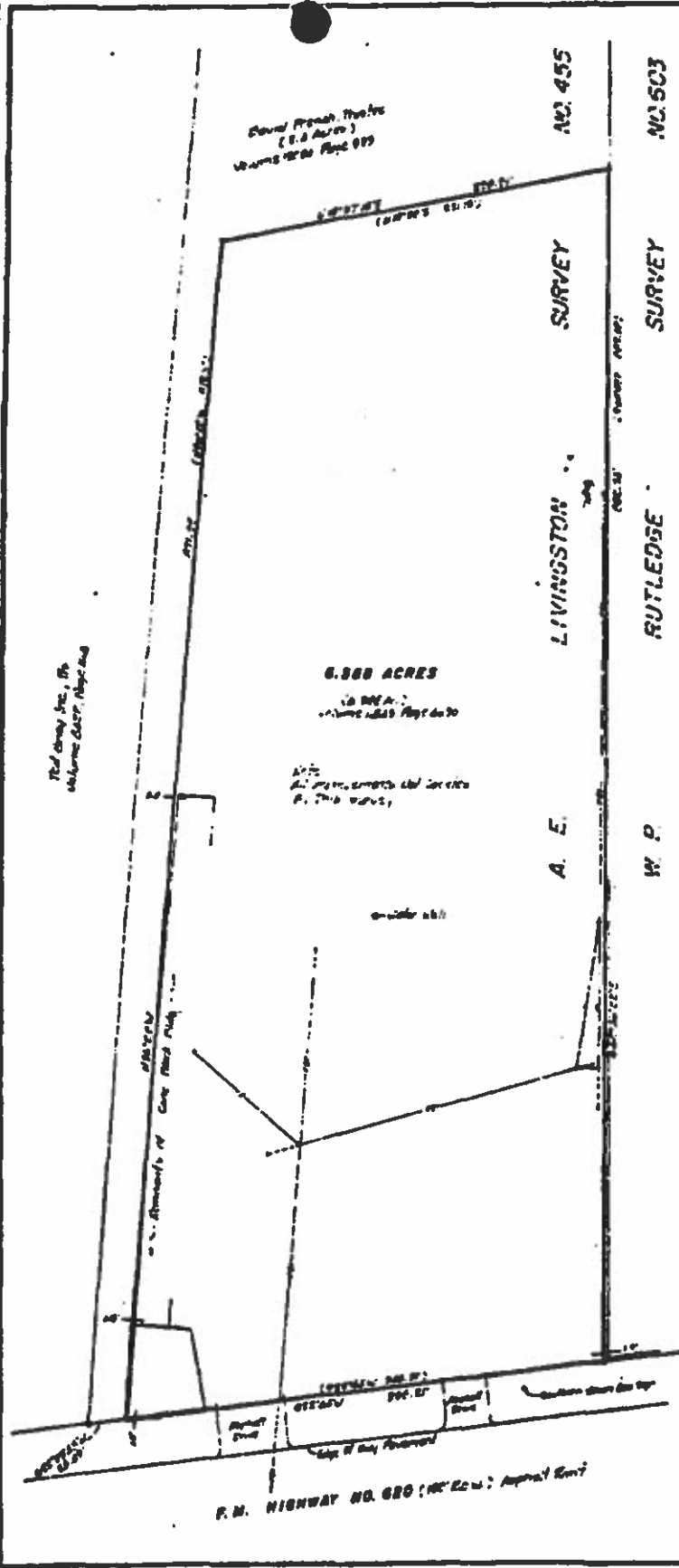
ROY D. SMITH
REGISTERED PROFESSIONAL SURVEYOR NO. 4094
November 5, 1992

Job No. 0004-62



157.154

GC 154



**SURVEY PLAT OF A PORTION OF
THE A. E. LIVINGSTON SURVEY NO. 455
IN TRAVIS COUNTY, TEXAS.**

C/18

SCALE 1" = 50'

LEGEND

- Iron Pin Placed
- Iron Pipe Placed
- St. L. & N. Co. 4 inch dia.
- Portland Cement 4 inch dia.
- 4 inch pipe
- Chain Link Fence
- Recovery Data

To Survey, Locate, Transfer and or Describe,
Elev. Bearings,
Texas Professional Surveyors and
One Mapping Engineer from company

We, undersigned, do hereby certify that this survey was made by the ground of the plat, legally described herein and as correct and that there are no visible discrepancies, and that the conditions, circumstances, surroundings of the property, visible utility, easements or roadways, except as shown herein and that said property has frontage on a public roadway, except as shown herein.

We the undersigned and/or the owners of the premises surveyed:

The property described herein is not within the boundaries of the 100 Year Flood Plain as identified by the National Flood Insurance Program Flood Insurance Rate Map for Travis County, Texas, dated June 10, 1972, Panel No. 4042100000.

**SURVEYED BY
ROY B. SMITH SURVEYORS, P.C.**

Roy B. Smith

ROY B. SMITH
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Survey of 1455, Page 12, 1964