

**ZONING AND PLATTING COMMISSION
HILL COUNTRY ROADWAY SITE PLAN REVIEW SHEET**

CS/1

CASE NUMBER: SPC-2015-0179C **ZAP DATE:** August 18, 2015

PROJECT NAME: Secured Climate Storage Buildings RVE and RVN

ADDRESS: 9311 N FM 620 RD

AREA: 14.68 acres

APPLICANT: CSP Asset 1, LLC (James R. Carpenter)

12400 W SH 71 Suite 350
Austin, TX 78738
(512) 306-9993

AGENT:

Richard Mathias
1007 Robert E. Lee Rd
Austin, Texas 78704
(512) 326-9989

COUNCIL DISTRICT: 6

WATERSHED: Bull Creek (Watersupply Suburban, DWPZ)

WATERSHED ORDINANCE: Comprehensive Watershed Ordinance

T.I.A.: N/A

CAPITOL VIEW: N/A

PROPOSED DEVELOPMENT:

The applicant requests approval of a Hill Country Roadway Site Plan in order to construct two RV/Boat Storage buildings. The site is located within the Moderate Intensity Zone of FM 620/FM 2222, Hill Country Roadways.

EXISTING ZONING:

The lot is zoned I-RR and CS-CO. The two proposed buildings are on the portion of the lot that is zoned CS-CO. Convenience Storage use is a permitted use in the CS base zoning district. The Conditional Overlay limits the trips to not exceed 2,000 trips per day.

SUMMARY STAFF RECOMMENDATION FOR HCRC SITE PLAN:

Staff recommends approval of this Hill Country Roadway site plan. The site plan complies with all applicable requirements of the Land Development Code and the zoning ordinance (Ord No. 20150514-024). All administrative requirements will be met prior to site plan release.

The site plan must be approved by the Zoning and Platting Commission because of its location within the Hill Country Overlay. All Hill Country Roadway requirements have been met.

CASE MANAGER: Rosemary Avila, 512-974-2784

Rosemary.avila@austintexas.gov

PROJECT INFORMATION:

TOTAL SITE AREA: 14.68 acres

EXIST. ZONING: CS-CO & I-RR

MAX. BLDG. COVERAGE: 95%

MAX. IMPERV. CVRG: 95%

ALLOWED F.A.R.: 0.25:1 (HCR)

2:1 (CS base zoning)

PROVIDED PARKING: 71

PROP. BLDG CVRG: 16.93%

PROP. IMP. CVRG: 38.17%

EXISTING/PROPOSED F.A.R.: 0.410:1

**existing F.A.R. not subject to Hill Country Roadway limitation due to being permitted prior to annexation.*

PROPOSED ACCESS: N FM 620

SUMMARY COMMENTS ON SITE PLAN:

LAND USE: This request is for approval of a Hill Country Roadway site plan. This site is located within the Moderate Intensity Zone of FM 620/FM 2222. The site plan proposes construction of two RV/Boat Storage buildings on existing foundations. The proposed development is an accessory use to the existing Convenience Storage use.

ENVIRONMENTAL: This site is in the Drinking Water Protection Zone, in the Bull Creek Watershed which is classified as Water Supply Suburban. All Hill Country Roadway and zoning requirements have been met. All comments are cleared.

TRANSPORTATION: All comments cleared.

SURROUNDING CONDITIONS:

Zoning/ Land Use

North: MF-1-CO (Colonial Grand at Canyon Creek - Apartments)

East: N FM 620 Rd then I-RR (vacant- agriculture)

South: MF-3 (Monterone Canyon Creek- Apartments)

West: SF-6-CO (Single Family)

NEIGHBORHOOD ORGANIZATION:

2222 Coalition of Neighborhood Associations, Inc

Austin Heritage Tree Foundation

Bike Austin

Bull Creek Foundation

Leander ISD Population and Survey Analysts

Long Canyon Homeowners Assn.

Long Canyon Phase II and LLL Homeowners Assn Inc.

River Place HOA

SEL Texas

Sierra Club, Austin Regional Group

The Park HOA

The Real Estate Council of Austin, Inc.

Volente Neighborhood Assoc.

April 1, 2015

Mr. Rodney Gonzales, Acting Director
Development Review Department
City of Austin
505 Barton Springs Road
Austin, Texas 78704

Engineering Summary Letter

**RE: Secured Climate Storage
Planning Commission Site Plan
9311 North FM 620**

Mr. Guemsey:

Garrett-Ihnen Civil Engineers is pleased to submit this Engineering Summary Letter for the proposed improvements to the Secured Climate Storage Site.

General Information

The Secured Climate Storage project is a warehouse, convenience storage, manufacturing, and retail facility that was started prior to annexation by the City of Austin. A Site Plan (SP-03-0262D) and subdivision plat (C81-03-0097.0A) for this project was filed in 2003, and was approved and fully constructed prior to annexation of the subject property. All of the improvements shown thereon, including the parking, all four building foundations, and drainage improvements have been constructed, inspected, and approved by the City prior to the original site plan statutory expiration date. A Letter of Concurrence from the site plan has been issued by the City. There are no changes being proposed with the filing of this Site Plan application.

Under the SP-03-0262D, all of the site improvements were completed, phase A (the building closets to FM 620) was completed and the foundations for the remaining buildings (Phases B, C, and D) were poured. The buildings were not constructed on the Phase B, C and D foundations.

The site plan SP-03-0262D expired and a subsequent site plan SP-2011-0110C was filed and approved to allow for the construction of the Phases B, C and D buildings on the existing foundations. The SP-2011-0110C site plan revision/correction approved by the City permitted the construction of two recreational vehicle indoor storage buildings to be constructed on the top of existing RV parking areas. The buildings are labeled Phase RVN (Recreational Vehicle North) and RVE (Recreational Vehicle East). These buildings have not yet been constructed under the SP-2011-0110C permit.

C8/4

This Planning Commission Site Plan is being filed to permit the construction of the aforementioned Phase RVN and RVE buildings. The site was annexed into the City of Austin full purposes jurisdiction and, according to the City staff's interpretation of the Land Development Code and State laws, requires the site plan submittal. The applicant maintains that this site plan is not required based on a Chapter 43 and 245 exemption.

The project will be located on the 14.688 acre project site, Lot 1, Block A of the SCS Subdivision (C8J-03-0097.0A) recorded under document number 200300260 of Travis County Plat Records. The project is located at 9311 North FM 620, Austin, Texas and is within the City of Austin's Full Purpose Jurisdiction.

It is within the Bull Creek Watershed, classified as water supply Suburban and is not located within the Edwards Aquifer.

No portion of this tract lies within the 100 year flood plain of any waterway that is within the limits of study of the Federal Flood Insurance Administration FIRRM panel # 48491C0615E dated September 26, 2008, for Travis County.

Existing Conditions

The existing site conditions consist of a fully constructed site as permitted constructed and accepted under the SP-03-0262D and SP-2011-0110C site plans. This includes all improvements shown on the site plans including all of the storm system, water system, wastewater piping and septic systems, the water quality pond, detention pond and all four building foundations. The only vertical construction that was not constructed under the SP-03-0262D and SP-2011-0110C site plans was the two proposed RVN and RVE Buildings. All disturbed areas were fully restored as required by the site plan and all E/S fiscals related to the SP-03-0262D and SP-2011-0110C site plans and have been released in conjunction with the full acceptance of the plans.

Proposed Conditions (Drainage, Detention, Water Quality, Imperious Cover, Utilities)

Since the time of the original SP-03-0262D and SP-2011-0110C Site Plan filings, approval, and completion and concurrence of all of the site improvements, the subject property has been annexed by the City of Austin.


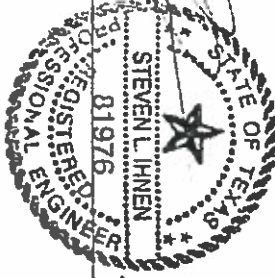
This Site Plan application proposes to permit the two remaining buildings, Buildings RVN and RVE to be constructed on existing pavement that was constructed under the SP-03-0262D site plan.

This site plan does not propose any additional impervious cover, does not disturb any earth and does not include any earth work, does not change drainage patterns, does not increase or decrease any peak storm event flows, and does not propose any additional wastewater improvements. There will be the construction of approximately 360 lf of private 6" waterline installed beneath existing concrete pavement area to provide fire protection to the two proposed buildings.

CS/B

We hope that this information is sufficient for your review of this project. Please feel free to contact me if you have any questions or if we may be of assistance during this process.

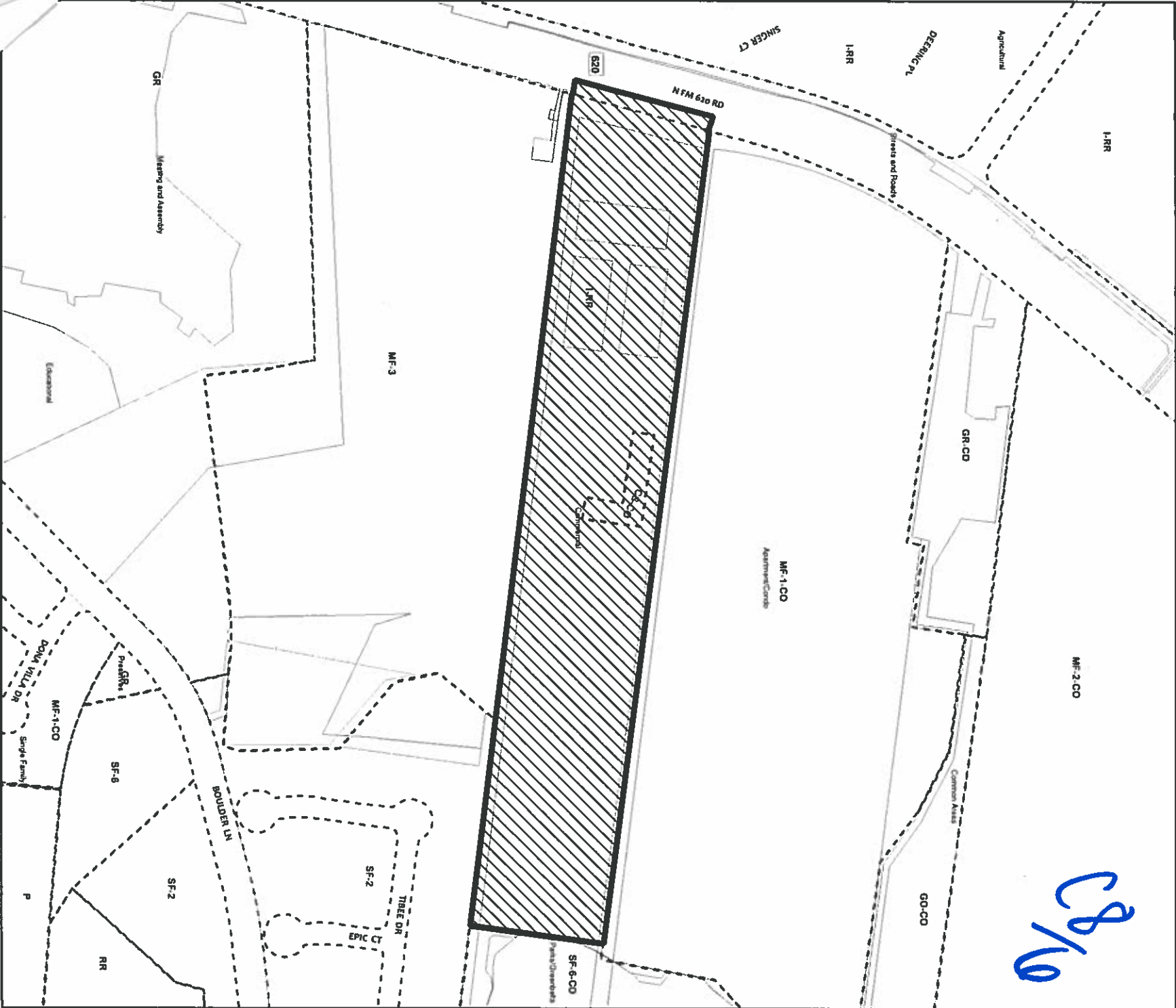
Sincerely,

STEVEN L. IHNEN
81976
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS

Steven Ihnen P.E.

Date



C8/10

Hill Country Roadway - Site Plan

SUBJECT TRACT
ADDRESS: 9311 N FM 620 RD
CASE NAME: Secured Climate Storage Buildings RVE and RVN
MANAGER: Rosemary Avila

CASE#: SPC-2015-0179C



580 Feet

290

5

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the



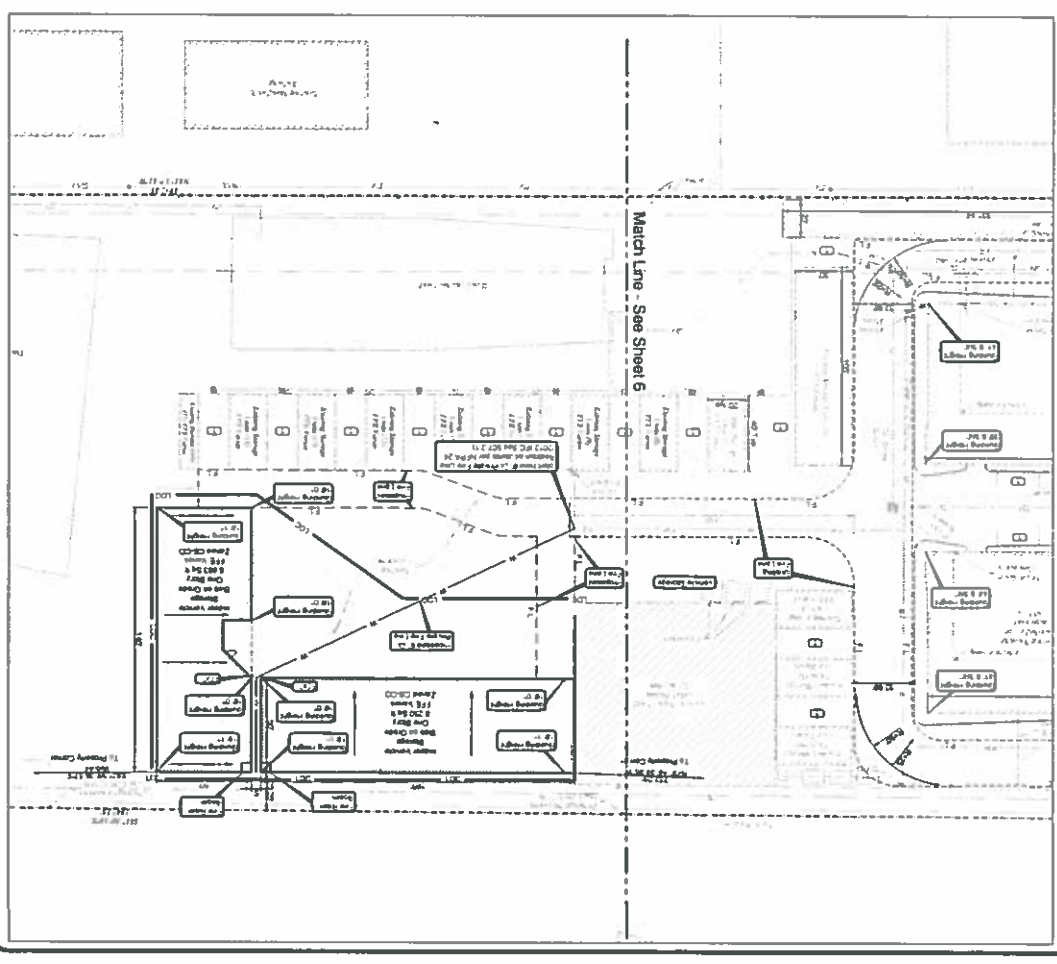
OPERATOR: R. Avila



REVISIONS

NO.	DATE	DESCRIPTION

DATE: 11/14/18
DRAWN: J. IHNEN
CHECKED: J. IHNEN
SCALE: AS SHOWN



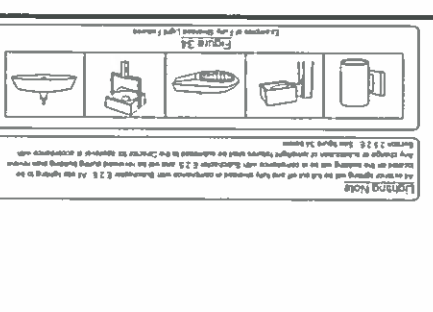
Site Notes
1. The site is located in the City of Austin, Texas, within the City Limits. The site is zoned M-1 (Medium Density Residential).
2. The site is bounded by March Lane to the north, [unclear] to the east, and [unclear] to the south.
3. The site is approximately 1.5 acres in size.
4. The site is currently vacant.

City of Austin Water & Wastewater Utility Special Services Division Permit
This permit is required for the installation of water and sewer service to the site. The permit is valid for 180 days from the date of issuance.
The permit holder is responsible for providing all necessary information and documentation to the City of Austin to obtain this permit.

Stormwater Notes
1. The site is located in a watershed area that is subject to the City of Austin's Stormwater Management Program (SWMP).
2. The SWMP requires that all new construction projects must include stormwater management measures to prevent runoff from the site from contributing to water quality degradation in the watershed.
3. The site owner is responsible for implementing and maintaining stormwater management measures that meet the requirements of the SWMP.

Comprehensive Standards Notes
1. The site is subject to the City of Austin's Comprehensive Standards for New Construction (CSCS).
2. The CSCS requires that all new construction projects must meet certain standards for design, construction, and performance.
3. The site owner is responsible for ensuring that the project complies with all applicable standards of the CSCS.

Fire Hydrant Notes
1. The site is located in an area that is served by the City of Austin's Fire Department.
2. The Fire Department requires that all new construction projects must include fire hydrant access and fire hydrant protection measures.
3. The site owner is responsible for providing fire hydrant access and fire hydrant protection measures that meet the requirements of the Fire Department.



Flow Test Results
The following test results were obtained from a flow test conducted on 11/14/18 at the site. The test results show that the flow rate is 1500 GPM, which is within the required range of 1000-2000 GPM.
The test was conducted using a flow test device that is approved by the City of Austin. The test results are as follows:

Test No.	Flow Rate (GPM)
1	1500
2	1500
3	1500

Site Data Table

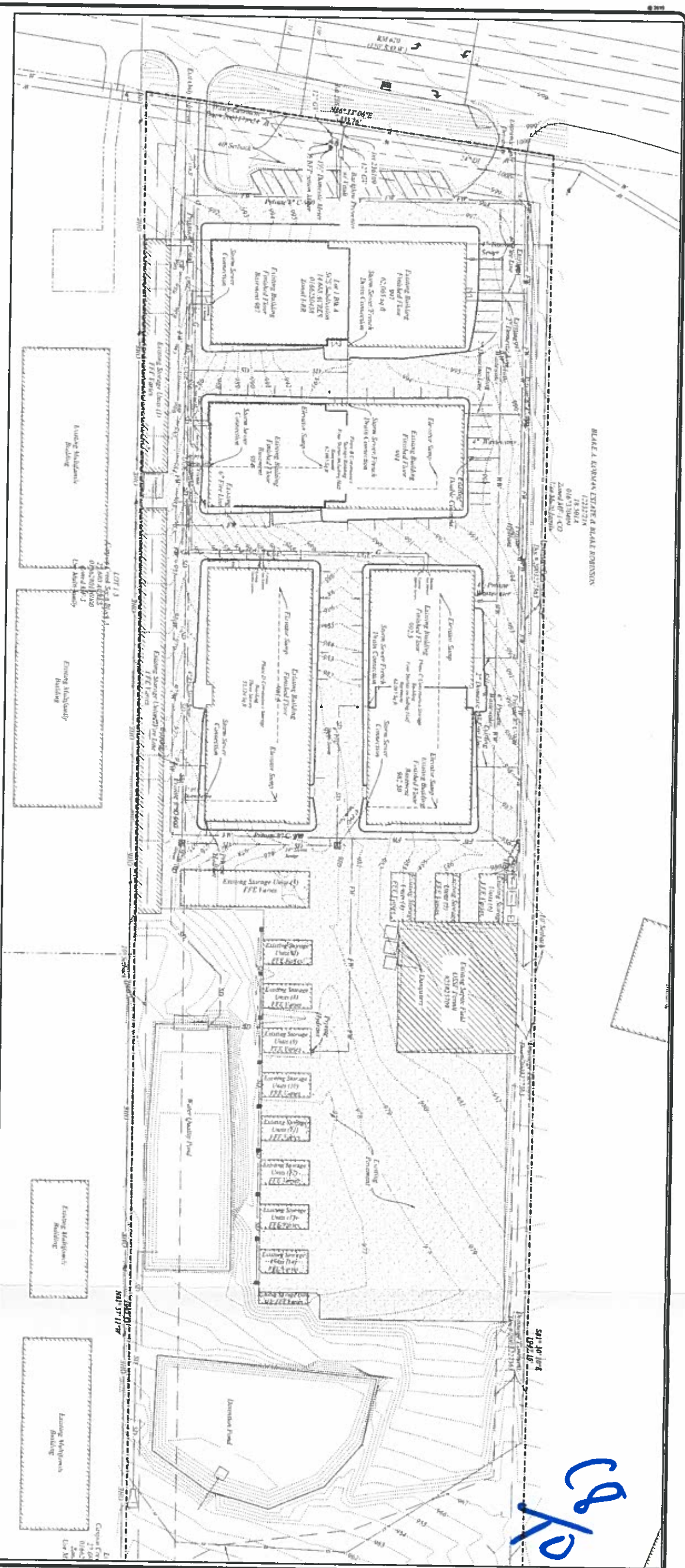
Item	Value
Site Area	1.5 Acres
Building Footprint	10,000 sq ft
Parking Area	5,000 sq ft
Lot Area	150,000 sq ft
Lot Coverage	16.7%
Parking Coverage	3.3%
Total Coverage	20.0%

Building Schedule

Activity	Start Date	End Date
Site Preparation	11/14/18	11/14/18
Foundation	11/14/18	11/14/18
Framing	11/14/18	11/14/18
Roofing	11/14/18	11/14/18
Interior Finishes	11/14/18	11/14/18
Exterior Finishes	11/14/18	11/14/18
Final Inspection	11/14/18	11/14/18

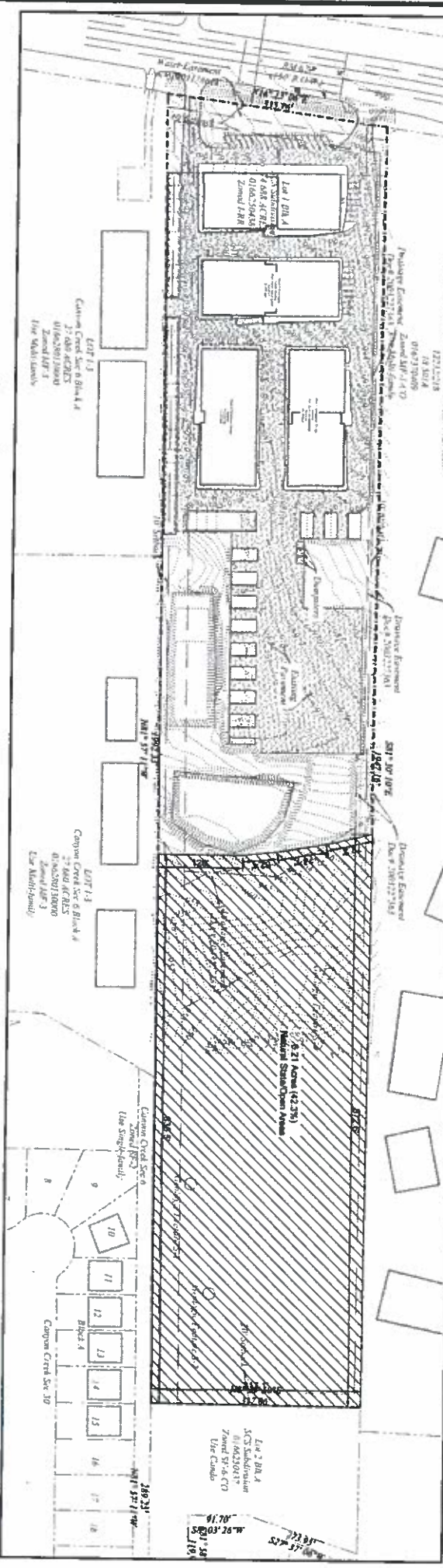
Handwritten signature/initials

BLAKE J. LAMARCA, ESTYRE & BLAKE ROBINSON
12/21/2014
13:30:14
014133000
Zone 0171-CD
Law: 014133000



Handwritten signature/initials: CJP

BLAKE J. LAMARCA, ESTYRE & BLAKE ROBINSON
12/21/2014
13:30:14
014133000
Zone 0171-CD
Law: 014133000



Scale 1" = 40'

Scale 1" = 100'

Open Space Exhibit

Utility Note:

Utilities were provided with 914-01-0200. No changes to utilities are proposed with this plan.

City of Austin Water & Wastewater Utility Special Services Division Private Fire Hydrant Note

The project has 5 private hydrants located within the property. The property owner is required to comply with Austin Fire Code. Failure to comply may result in civil and/or criminal penalties enforceable to the City. The performance of the hydrants is subject to the owner of record. The hydrants on private property are required to be serviced, maintained and tested annually, using a contractor required with the City to provide the service.

Erosion and Sedimentation Note:

No Erosion or Sedimentation controls are proposed for this project. The project consists of the vertical construction of two buildings and does not require to disturb any ground, nor affect any existing trees.

Note:

The plan shows Site Plan Requirements constructed with 914-01-0200, including Water Quality and Detention Ponds, Drainage Improvements, Landscaping, Parking, Utilities and the Foundations for the buildings proposed with this Conditional Site Plan.

The location of all existing utilities shown on these plans has been based upon recent information only and may not match locations as constructed. The contractor shall contact the Texas Extension Safety System (1-800-344-4377) for assistance in determining existing utility locations prior to beginning construction. Contractor shall lead every location of water and gas crossings prior to beginning construction.

Release of this application does not constitute a verification of all data, information and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy and adequacy of the information, which is not the responsibility of the City engineer.

SITE PLAN APPROVAL

FILE NUMBER: 2015-0179C APPLICATION DATE: SHEET 5 of 10
APPROVED ON: UNDER SECTION OF CHAPTER OF THE CITY OF AUSTIN CODE
EXPIRATION DATE: 02/25/2016 OR THE MAYOR OR THE CITY OF AUSTIN CODE
DWZ: DOZ

Director, Planning and Development Review Department
RELEASER FOR GENERAL COMPLIANCE: ZONING
Rev. 1: Condition 1
Rev. 2: Condition 2
Rev. 3: Condition 3

Final plan must be recorded by the Project Expeditor Date, if applicable. Subsequent Site Plan Review when an owner complies with the Code current at the time of filing, and all required building permits and/or a certificate of construction for a building permit is not required, shall be approved prior to the Project Expeditor Date.

Secured Climate Storage
9311 N. Ranch Road 620
Austin, Texas 78726

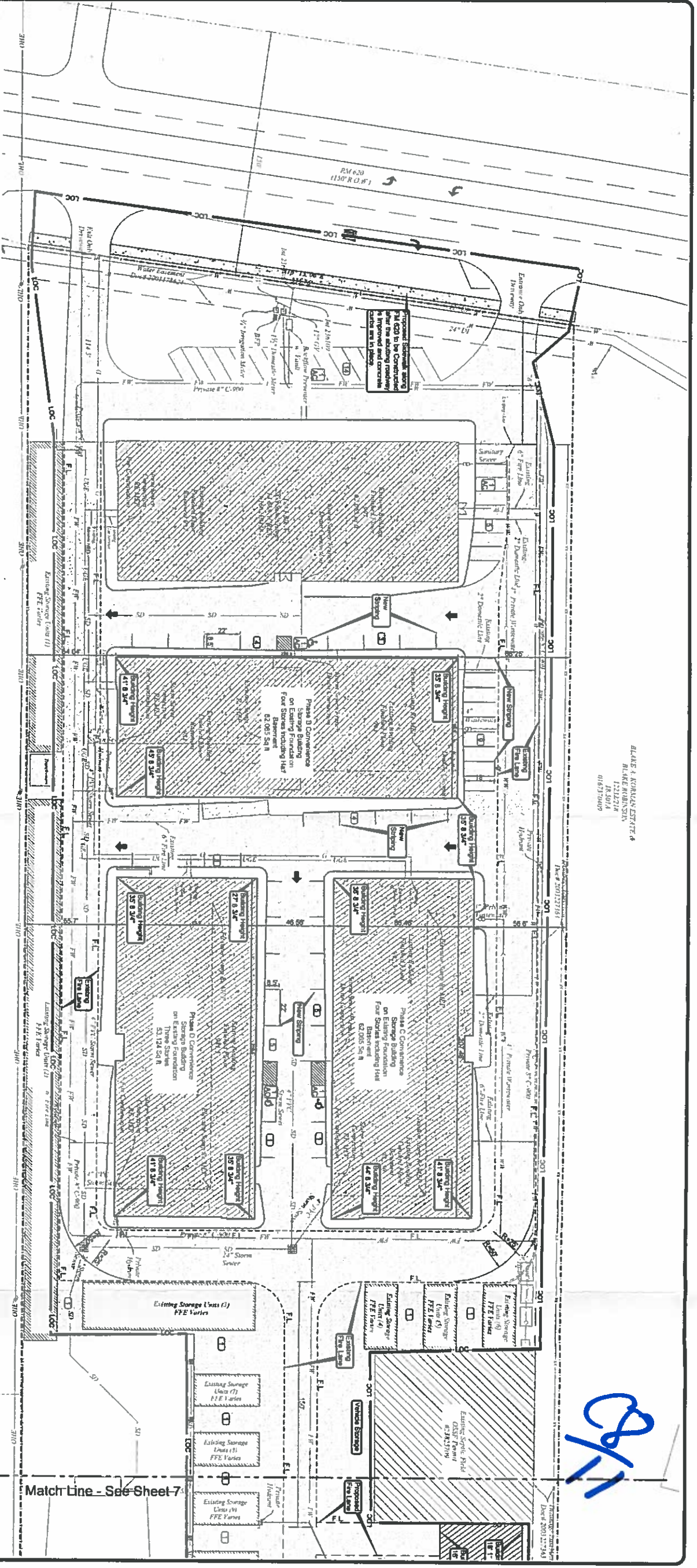
EXISTING CONDITIONS



GARRETT-IHNEN CIVIL ENGINEERS
12007 TECHNOLOGY BLVD.
SUITE 150
AUSTIN, TEXAS 78727
TELEPHONE: (512) 454-2420
FACSIMILE: (512) 454-2420
TBPB FIRM No. F-630

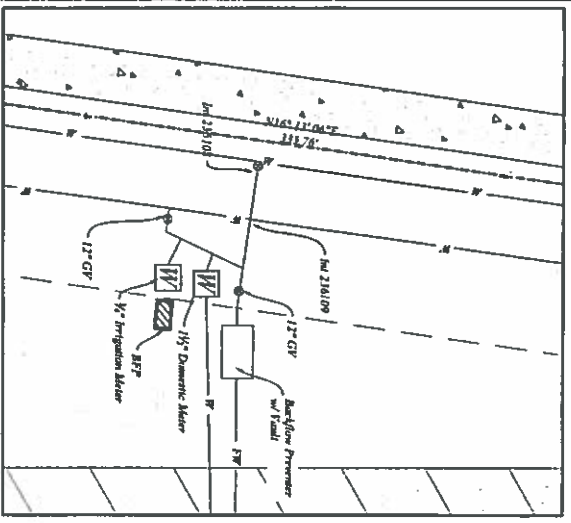
REVISIONS/CORRECTIONS		
NO.	DESCRIPTION	CITY APPROVAL DATE

DATE:	16-Jul-14
DESIGNED:	CGW
DRAWN:	TA, Ltd.
CHECKED:	BL
JOB NO.:	CA11814



BLAKE A. KORHONEN, P.E. 4
 BLAKE ROBINSON
 12/22/2014
 18:50:14
 01/03/2015

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Note
 Vents, screens, vegetation screening or barriers shall be provided to screen adjacent SF-3 or more reactions reactions outdoors from view of off street parking areas, mechanical equipment, storage areas, and for noise abatement (Section 25.25.100).

Lighting Note
 All exterior lighting shall be shielded and directed in compliance with Subchapter 12.2. All site lighting to be installed on the building shall be in compliance with Subchapter 12.2. All site lighting to be installed on the building shall be in compliance with Subchapter 12.2. All site lighting to be installed on the building shall be in compliance with Subchapter 12.2.

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 All exterior lighting shall be shielded and directed in compliance with Subchapter 12.2. All site lighting to be installed on the building shall be in compliance with Subchapter 12.2. All site lighting to be installed on the building shall be in compliance with Subchapter 12.2.

Fire Zone Note
 Establish fire zone notes as shown on site by painting curb and stenciling the words "Fire Zone/Fire-Lane Zone" in white letters at least 3 inches high at 25 foot intervals along the curb. Additionally, signs shall be provided at both ends of a fire zone and at intervals of 50 feet or less. Absolute marking of the fire lanes may be approved by the Fire Chief provided the fire lanes are clearly identified at both ends and at intervals not to exceed 25 feet.

Note:
 This plan shows fire plan improvements constructed with SP-43-0200, installing Water Quality and Disinfection Product, Damage Improvement, Building, Parking, Utility and the Foundations for the buildings proposed with this Considered Site Plan.

City of Austin Water & Wastewater Utility Special Services Division Private
 Fire Hydrant Note
 The project (see 5 private hydrant located within the property). The property owner is required to comply with Austin Fire Code. Failure to comply may result in civil and/or criminal penalties applicable to the City. The performance of the hydrant shall always rest with the owner of record. Fire hydrants on private property are required to be serviced, maintained and tested annually, using a contractor registered with the City to provide the services.

Slideshow Note
 Proposed sidewalk along RA 620 to be constructed after the existing roadway is improved and concrete curbs are in place.

REVIEWED
 JUN 18 2015
 Austin Water Utility
 W.A. Robinson, PE

AUSTIN FIRE DEPARTMENT
 JUL 16 2015
 S. Strickler
 APPROVED

Scale 1" = 30'

Match Line - See Sheet 7

SHEET NUMBER 6 of 10	Sited Climate Storage 9311 N. Ranch Road 620 Austin, Texas 78726		GARRETT-IHNEN CIVIL ENGINEERS 12007 TECHNOLOGY BLVD. SUITE 150 AUSTIN, TEXAS 78727 TELEPHONE: (512) 454-2400 FACSIMILE: (512) 454-2420 TSPE FIRM NO. F-630	REVISIONS/CORRECTIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>CITY APPROVAL DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DESCRIPTION	CITY APPROVAL DATE				DATE: 16-Jun-15
					NO.	DESCRIPTION	CITY APPROVAL DATE				
				DESIGNED: CGW DRAWN: TA, LFL CHECKED: SLL JOB NO.: CALL1814							

Existing Buildings	Sq Ft	Coverage	Stories	Height (Max)
Building A (Retail)	1,000	17.651	4	45.8.3/4"
Building B (Convenience Storage)	62,065	17.651	4	45.8.3/4"
Building C (Convenience Storage)	62,065	17.651	4	45.8.3/4"
Building D (Convenience Storage)	53,134	17.651	4	45.8.3/4"
Building E (Convenience Storage)	3,788	6.628	1	12.2
Building F (Convenience Storage)	6,628	6.628	1	12.2
Building G (Convenience Storage)	3,150	3.150	1	12.2
Building H (Convenience Storage)	800	800	1	12.2
Building I (Convenience Storage)	800	800	1	12.2
Building J (Convenience Storage)	800	800	1	12.2
Building K (Convenience Storage)	800	800	1	12.2
Building L (Convenience Storage)	800	800	1	12.2
Building M (Convenience Storage)	800	800	1	12.2
Building N (Convenience Storage)	800	800	1	12.2
Building O (Convenience Storage)	800	800	1	12.2
Building P (Convenience Storage)	800	800	1	12.2
Building Q (Convenience Storage)	800	800	1	12.2
Building R (Convenience Storage)	800	800	1	12.2
Building S (Convenience Storage)	800	800	1	12.2
Building T (Convenience Storage)	800	800	1	12.2
Building U (Convenience Storage)	800	800	1	12.2
Building V (Convenience Storage)	800	800	1	12.2
Building W (Convenience Storage)	800	800	1	12.2
Building X (Convenience Storage)	800	800	1	12.2
Building Y (Convenience Storage)	800	800	1	12.2
Building Z (Convenience Storage)	800	800	1	12.2
Existing Sub Total	262,065			
Proposed Buildings				
Building R1W (Vehicle Storage)	8,250	8.250	1	18'1"
Building R1V (Vehicle Storage)	6,653	6.653	1	18'1"
Sub Total	14,903			
Total Building Sq Footage	276,968	208.291		

Site Data Table	Sq Ft	%
Total Site Area	639,805	14.97%
Existing Building Coverage	31,716	18.33%
Proposed Building Coverage	108,291	42.99%
Existing Building Sq Footage	262,065	42.99%
Proposed Building Sq Footage	276,998	42.99%
Open Space	270,918	42.34%
Existing Impervious Cover	244,186	38.17%
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Existing F.A.R.	0.410	
Proposed F.A.R.	0.410	

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Proposed Impervious Cover	244,186	38.17%
Existing F.A.R.	0.410	
Proposed F.A.R.	0.410	

Site Data Table	Sq Ft	%
Total Site Area	639,805	14.97%
Existing Building Coverage	31,716	18.33%
Proposed Building Coverage	108,291	42.99%
Existing Building Sq Footage	262,065	42.99%
Proposed Building Sq Footage	276,998	42.99%
Open Space	270,918	42.34%
Existing Impervious Cover	244,186	38.17%
Proposed Impervious Cover	244,186	38.17%
Existing F.A.R.	0.410	
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Fire Flow Testing Results
Secured Climate Storage
SPC-2015-0179C

The following are results of a fire flow test performed on 12/27/2014 by AFD

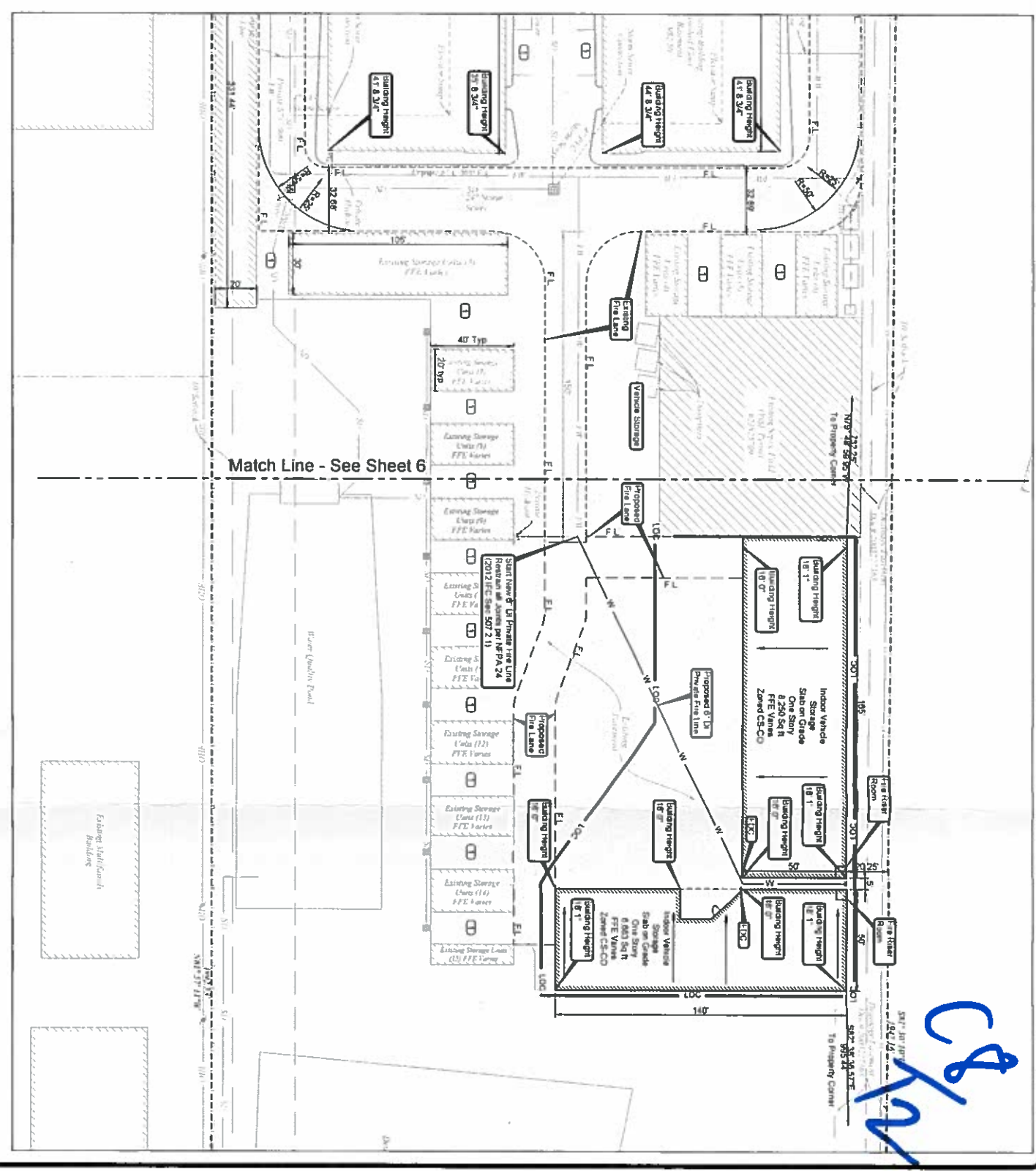
Flow at a residual pressure is calculated using the following formula (AWWA M44.7 1989)

$$Q = Q_1 \times ((P_1/P_2)^{1.85})^{0.54}$$

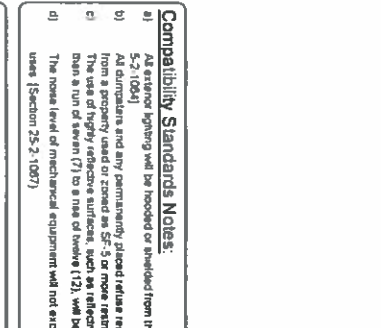
Where:

- Q₁ = Hydrant Discharge During Test (gpm)
- P₁ = Static Pressure (psi)
- P₂ = Desired Residual Pressure (Typically 20psi)
- P₃ = Residual Pressure during flow test (psi)

Using the testing results, the residual flow rate at 20 psi will be **12649 gpm**, **1500 GPM Required**



Lighting Note
All exterior lighting will be cut off and fully shielded in compliance with Subchapter E 2.5. All site lighting to be located on the building will be in compliance with Subchapter E 2.5, and will be reviewed during building plan review. Any change or substitution of luminaires shall be submitted to the Director for approval in accordance with Section 2.5.2.E. See figure 34 below



Compatibility Standards Notes:

- All exterior lighting will be hooded or shielded from the view of adjacent residential property (Section 5-2-1.004)
- All luminaires and any permanently placed refuse receptacles will be located at a minimum of twenty (20) feet from a property used or zoned as SF-3 or more restrictive (Section 25-2-1007)
- The use of highly reflective surfaces, such as mirrors, glass and reflective window treatments, which catch a more than 90% of incident light, shall be prohibited (Section 25-2-1007)
- The noise level of mechanical equipment will not exceed 70 dBA at the property line adjacent to residential uses (Section 25-2-1007)

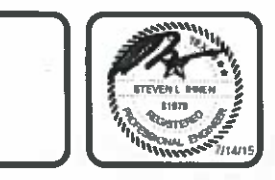
Fire Zone Note
The location of all existing utilities shown on these plans has been based upon record information only and may not match locations as existing. The contractor shall contact the Texas Eastman Safety System @ 1-800-344-5377 for assistance in determining existing utility locations prior to beginning construction. Contractor shall verify locations of water and gas crossings prior to beginning construction.

City of Austin Water & Wastewater Utility Special Services Division Private Fire Hydrant Note
The project has 5 private hydrant located within the property. The property owner is required to comply with Austin Fire Code. Failure to comply may result in shut and/or removal of hydrants available to the City. The performance of this obligation shall always rest with the owner of record. Fire hydrants on private property are required to be serviced, maintained and flowed annually, using a contractor registered with the City to provide the services.

Site Plan Approval:
APPROVAL DATE: _____
SHEET 1 of 10
OF CHARTER OF THE CITY OF AUSTIN CODE
CASE NUMBER: _____
OF CHARTER OF THE CITY OF AUSTIN CODE
DWPZ: _____

Scale 1" = 30'

Secured Climate Storage
9311 N. Ranch Road 620
Austin, Texas 78726



GARRETT-IHNEN CIVIL ENGINEERS
12007 TECHNOLOGY BLVD., SUITE 150
AUSTIN, TEXAS 78758
TELEPHONE: (512) 454-2400
FACSIMILE: (512) 454-2420
TBPE FIRM NO. 7-630

NO	DESCRIPTION	CITY APPROVAL DATE

DATE: 14-Jul-15
DESIGNED: CGW
DRAWN: TA Let
CHECKED: BLI
JOB NO: CA111014