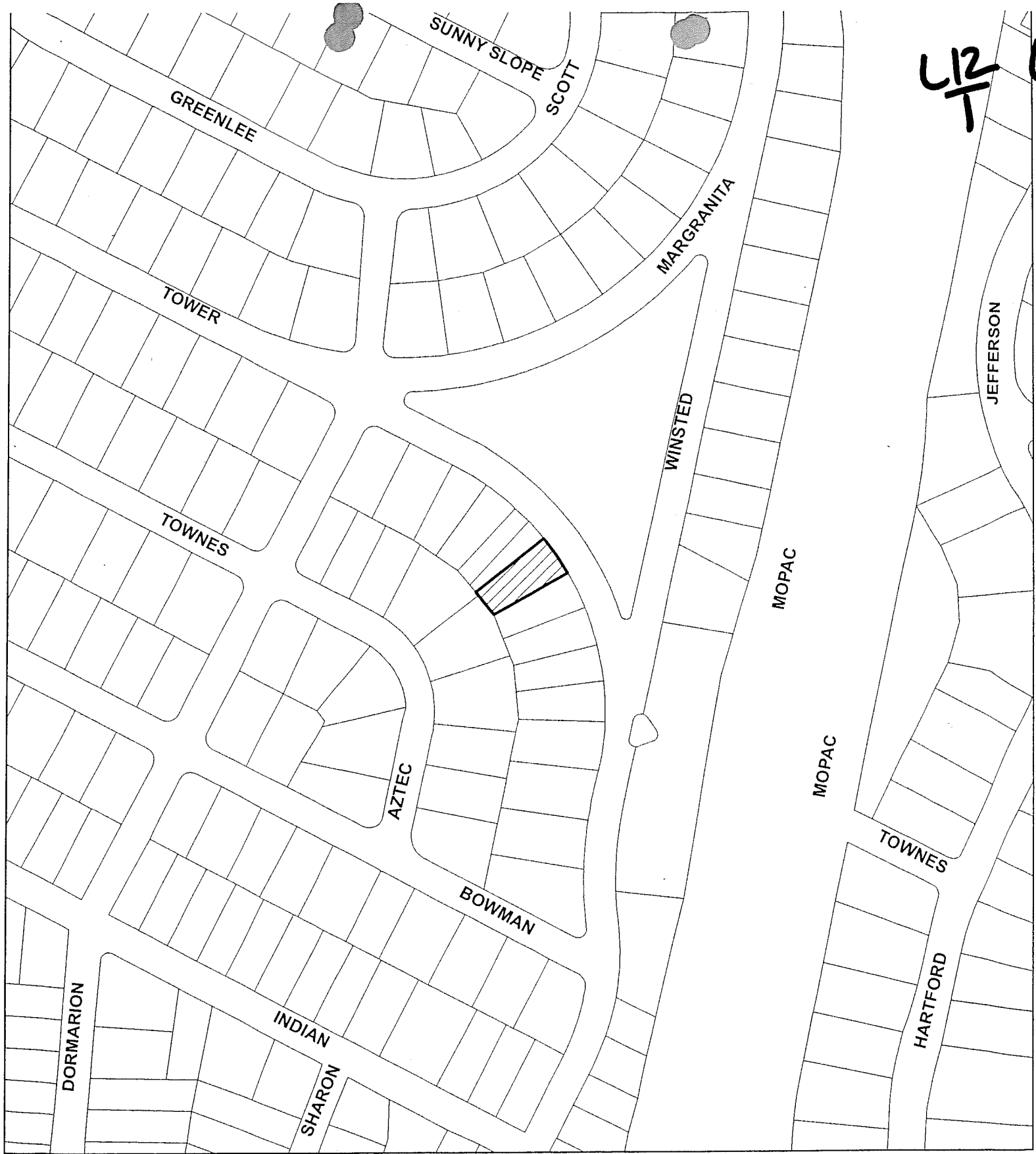





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-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

CASE#: C15-2015-0116  
Address: 2005 Tower Drive



1" = 200'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made

42  
2

CASE # C15-2015-0116  
ROW # 11385990  
TAX ROLL # 0116030206  
TCADV

CITY OF AUSTIN  
APPLICATION TO BOARD OF ADJUSTMENT  
GENERAL VARIANCE/PARKING VARIANCE

**WARNING:** Filing of this appeal stops all affected construction activity.

**PLEASE:** APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 2005 Tower Drive

LEGAL DESCRIPTION: Subdivision – Tarry Town No. 6

Lot(s) 53 pt of 54 Block \_\_\_\_\_ Outlot \_\_\_\_\_ Division \_\_\_\_\_

I Jim Bennett as authorized agent for Atelia Clarkson

\_\_\_\_\_ affirm that on 5/16/2015 hereby apply for a hearing before the Board of Adjustment for consideration to:

ERECT – ATTACH – COMPLETE – REMODEL – MAINTAIN

An addition to an existing two family dwelling providing a FAR of 0.634;1, providing a vertical tent encroachment of 4'6" and a horizontal tent encroachment of 5' 6"; and maintaining a side yard setback of 0 ft., and providing an existing impervious cover of 56.51%

in a SF-# NP (zoning district) (West Austin Neighborhood Group)

The Austin Electric Utility Department (Austin Energy) enforces electric easements and the setback requirements set forth in the Austin Utility Code, Electric Criteria Manual and National Electric Safety Code. The Board of Adjustment considers variance to the Land Development Code, and a variance granted by the Board of Adjustment does not waive the requirements enforced by Austin Energy. Please contact Christine Esparza with Austin Energy at 322-6112 before filing your application with the Board of Adjustment if your request is for a reduction in setbacks or height limits.

**NOTE:** The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of

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your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings

**REASONABLE USE:**

1. The zoning regulations applicable to the property do not allow for a reasonable use because:  
The duplex is existing from a previous building permit and certificate of occupancy issued in 1993, prior to the McMansion requirements.

**HARDSHIP:**

2. (a) The hardship for which the variance is requested is unique to the property in that:

The code restricts that portion of lot 54 (3172 sq. ft.), that was purchased from the City of Austin, from being included in the computation of the portion of the adjacent 30 ft of lot 54. The size and shape of the remaining portion of lot 54 cannot be developed and for all practical purposes should be consider as a part of this site. The other remaining portion of lot 54 is owned by the City of Austin and is used for flood plain and drainage. Due to inability to construct on the adjoining portion of lot 54 the integrity, purpose and intent of the ordinance will not be lessened by the granting of the variance and no valid public interest would be served by denying the variance.

(b) The hardship is not general to the area in which the property is located because:

In 1993 the adjacent portion was obtained from the City of Austin and it appears to have been considered as part of lot 53 due to setbacks and other requirements of the time.

**AREA CHARACTER:**

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The area of character will not change inasmuch as the use of the structure will remain the same and the vacant adjoining portion of lot 54 from appearances will look the same.

**PARKING:** (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with

respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

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1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

\_\_\_\_\_

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

\_\_\_\_\_

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

\_\_\_\_\_

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

\_\_\_\_\_

**NOTE:** The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

**APPLICANT CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Jim Bennett Mail Address 11505 Ridge Dr.

City Austin, State Texas, & Zip 78748

Printed: Jim R. Bennett Phone: (512) 282-3079 Date:

**OWNERS CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Atelia Clarkson Mail Address 2005 Tower Dr.  
Austin, TX 78703

## 2005 Tower Drive

Clarkson

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### Lot 53 (54)

Site area = 7,744 s.f.

Impervious Cover Allowed @ 45% = 3,485 s.f.

Existing Impervious Cover = 4,376 s.f. = 56.51%

Proposed Impervious Cover - unchanged

Existing FAR = 0.494:1

Proposed FAR = 0.634:1

Existing Tent Encroachments – 11'-6" vertically and horizontally. There are others but this is the largest encroachment.

Proposed Tent Encroachment – to maintain the above. Addition will have a 5'-6" encroachment horizontally and a 4'-6" encroachment vertically.

Existing Setbacks – Portion of house protrudes over property line. This will be removed with new permitted construction after waivers are granted. Portions of existing house have a 0' setback.

Proposed Setbacks – To maintain the above and new construction will have a 0' setback.

### Lot 53 and ½ of adjacent lot

Site area = 11,289 s.f.

Impervious Cover Allowed @ 45% = 5,080 s.f.

Existing Impervious Cover = 4,376 s.f. = 45%

Proposed Impervious Cover - unchanged

Existing FAR = 0.339:1

Proposed FAR = 0.435:1

Existing Tent Encroachments – None

Proposed Tent Encroachment – None

Existing Setbacks – No setback encroachments

Proposed Setbacks – No setback encroachments

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## List of Waivers –

### **Waiver 1 – Impervious Cover**

To Maintain the existing IC on Lot 53 at 56.51%

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### **Waiver 2 – FAR**

To increase the FAR on Lot 53 to 0.435:1 — 0.634:1

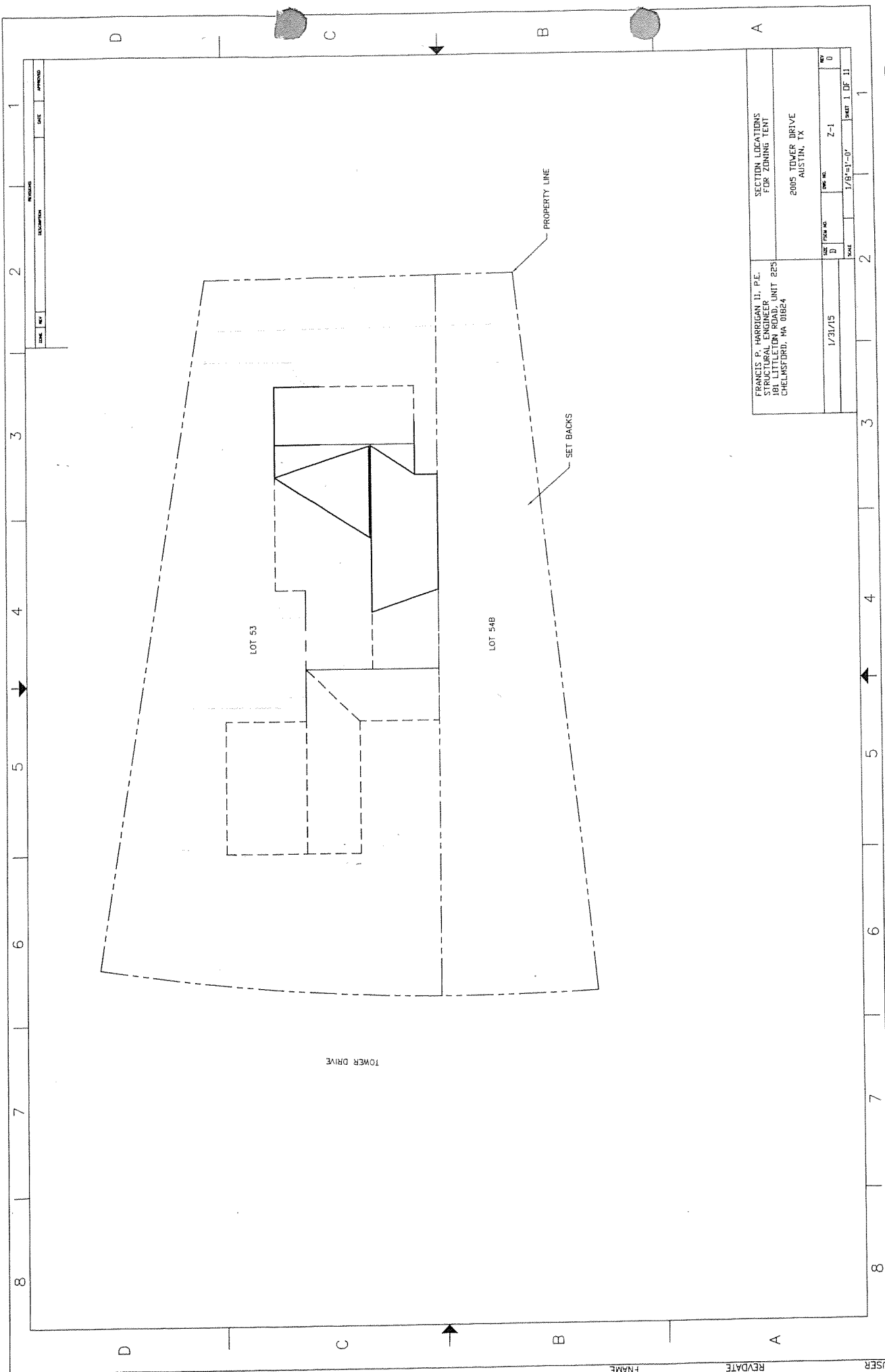
### **Waiver 3 – Tent Encroachments**

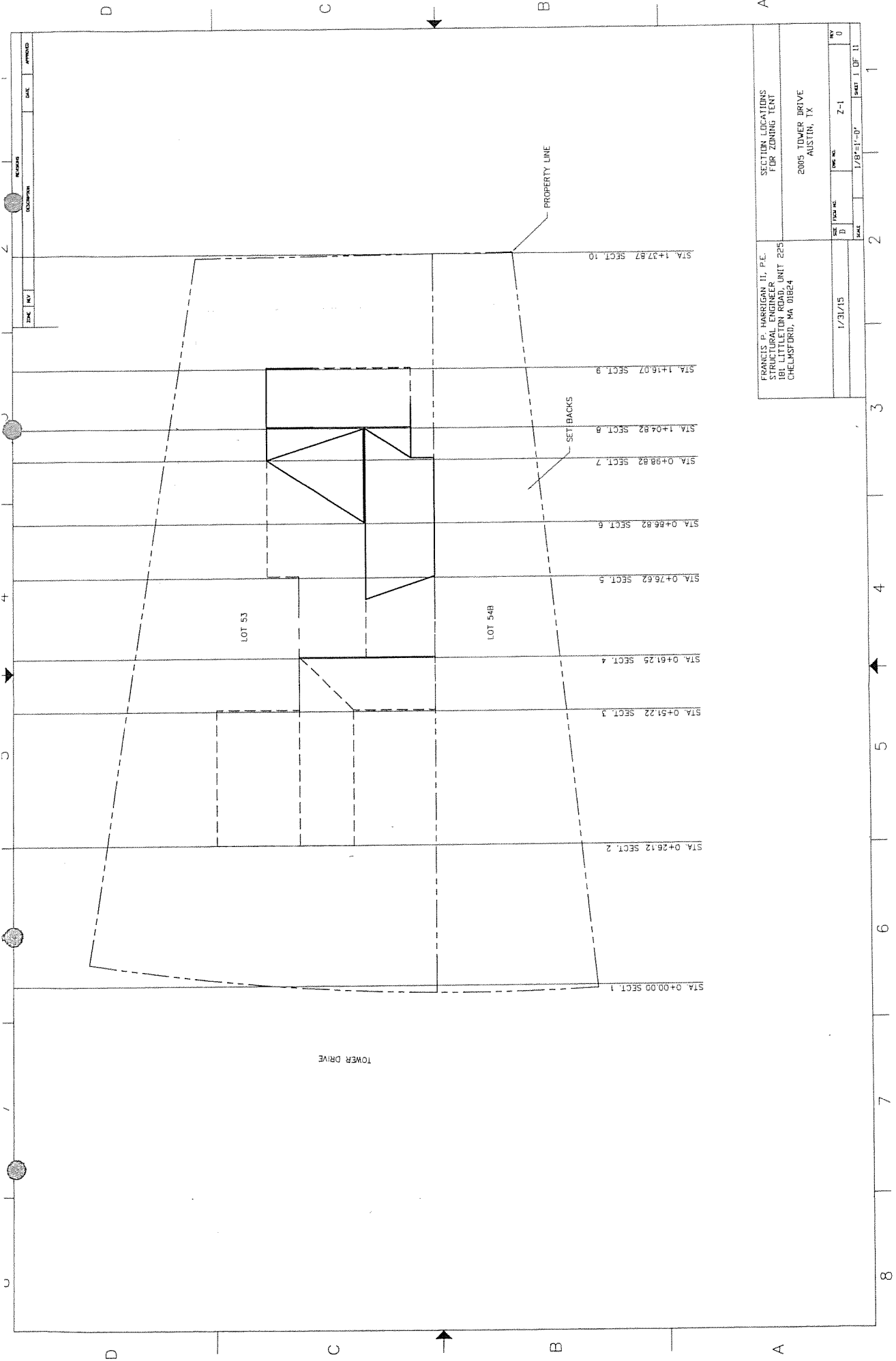
To maintain an encroachment up to 11'-6" vertically and horizontally and to have new construction encroachment of 5'-6" horizontally and a 4'-6" vertically.

### **Waiver 4 – Setbacks**

To maintain the setback of 0' and to have new construction at 0' setback.

2/12





4287



2005 Tower Drive A-00000 [BP]

Folder Property (1) People Info (30) Fee/Charge (1) Process (8) Document File Inspection Req Comment (2) Clock Attachment Conditions

Folder #	Ref
1946 19960 STS 00 W	19960
1946 B121 WTS 00 W	B121
1982 014637 00 00 BP	8203398
1993 002183 R 0 PR	BP-93-21
1993 007243 00 00 PP	9309027
1993 007243 00 00 MP	9309027
1993 007243 00 00 BP	9309027
1993 007243 00 00 DS	9309027
1993 007243 00 00 EP	9309027
1993 009915 00 00 MP	9309420
1993 009915 00 00 EP	9309420
1993 129168 STS 00 W	129168
1993 G57242 WTS 00 W	G57242
1994 006617 00 00 MP	9407663
1994 006617 00 00 EP	9407663
2000 156646 00 0 IP	BPP-0001
2000 187602 00 0 IP	BPP-0001
2012 015234 000 00 PP	2012-011
2012 017213 RM 00 PR	2012-011
2012 017217 000 00 BP	2012-011
2013 124650 000 00 EX	2013-124

Gen Yr Sequence Sec Rev Type Building Permit Status Final

Number 19 98 007243 00 00 BP

Property

House Prefix Street Type Direction Unit Type Unit

Address 2005 City TOWER DRIVE Roll Property Row ID

AUSTIN 78703 0116030206 251.597

Location Tarrytown No 6 Block Lot 54 Tarrytown No 6 54 Folder Unit

Indicators

Violations Properties Parent Child Due \$0.00

In Date Jul 23, 1993 Issue/Approval Jul 23, 1993 Expires Aug 3, 1994

Reference File # 9309027 By PIER\_ADP Final Date Aug 3, 1994

Sub R-103 Two Family Bldgs Work New

Name 2005 Tower Drive A 00000 Priority

Description Two Story Duplex w/Att Garage & Carport

Conditions Wtsp#G57242 Ww#129168 Verify Utility In Field/Structure Not Residences/Change To Duplex 3/14/94sr/See Elec Pmt#9407663\*\*\* Cncl Elec Contractor Per Builder Let In File

Group Permits Parent ID Row ID 615228

Copy Create Child Review Issue/Approve Print Re-Default Email GIS Summary Process Activity

< Back Forward Pull into From GIS

21 Rows Returned

7/2

J. M. Presler

2005 Tower Dr.

156

53

Tarrytown #6

Fr. Addn. to Res. for Duplex

63176

3-12-56

\$5,800.

O. L. Hudson

5

2/1=

Hiram S. Brown

2005 Tower Drive

156

-

-

53

-

Tarrytown #6

Hollow tile residence

28515 12-26-45

\$5,500.00

Day labor

5

16  
RECORDED BY  
TEXAS PROFESSIONAL TITLE, INC.

SPECIAL WARRANTY DEED

FILM CODE

00004998241

STATE OF TEXAS \$  
COUNTY OF TRAVIS \$

DATE: June 16, 1993

GRANTOR: City of Austin, a Texas municipal corporation

GRANTOR'S MAILING ADDRESS :

P.O. Box 1088  
Austin, Texas 78767-8839  
Attn.: Real Estate Services Division

GRANTEE: C.J. Clarkson and wife, Atelia Clarkson

GRANTEE'S MAILING ADDRESS:

4015 Sierra Drive  
Austin, Texas 78731

CONSIDERATION: TEN AND NO/100 DOLLARS (\$10.00) and other valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

PROPERTY (including any improvements):

3127 square feet of land, more or less, out of Lot 54, of Tarry-Town 6, a subdivision in Travis County, Texas according to the map or plat thereof recorded in Book 4, Pages 88-89 of the Plat Records of Travis County, Texas, and being more particularly described by metes and bounds in Exhibit "A" attached hereto and incorporated herein.

RESERVATIONS FROM AND EXCEPTIONS TO CONVEYANCE AND WARRANTY:

All restrictions, reservations, easements, mineral interests, conditions and matters of record in Travis County, Texas, other than liens, which affect the property or the use thereof.

All visible and apparent easements, and unrecorded easements which affect the property or the use thereof.

1 of 4

REAL PROPERTY RECORDS  
TRAVIS COUNTY, TEXAS

11982 1268

1-1603-0206

DOC. NO.

93082744

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12

8:18 AM 0156

15.00 INDX  
2 4 07/21/93

8:18 AM 0156

5.00 RECH  
2 4 07/21/93  
22.21-CHK+

930827.44-DOC+

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The restrictions set forth and the easements retained in this instrument.

Taxes for the current year, and all subsequent years, and taxes for prior years due through change in usage or ownership of the property, payment of which taxes is hereby assumed by Grantee.

Grantor, for the consideration and subject to the reservations from and exceptions to conveyance and warranty, grants, sells, and conveys to Grantee the property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and hold it to Grantee, Grantee's heirs, successors or assigns forever. Grantor binds Grantor and Grantor's successors and assigns to warrant and forever defend all and singular the property to Grantee and Grantee's heirs, successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the reservations from and exceptions to conveyance and warranty expressly stated herein, when the claim is by, through or under the Grantor, but not otherwise.

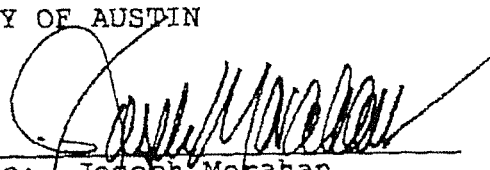
The property is subject to the following restriction, which constitutes a covenant running with the land, and which will be binding on Grantee, their heirs, successors and assigns:

\* [ NO BUILDING OR OTHER STRUCTURE OR IMPROVEMENT SHALL BE ERECTED, BUILT UPON, OR MOVED ONTO THE PROPERTY WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF AUSTIN. ]

Grantor hereby reserves a drainage and public utility easement over, under, above and across the property for the construction, installation, upgrade, maintenance and removal of drainage and public utility facilities, and for all purposes related to such use, and the right of ingress and egress across the property for the use of the drainage and public utility easement.

When the context requires, singular nouns and pronouns, include the plural.

GRANTOR:  
CITY OF AUSTIN

By:   
Name: Joseph Morahan  
Title: Manager, Real Estate  
Services Division

412  
14

Approved as to form:

Debra C. Clardy  
Assistant City Attorney

CONSENTED AND AGREED TO:

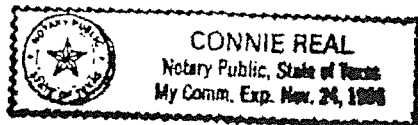
C. J. Clarkson  
C. J. Clarkson

Atelia Clarkson  
Atelia Clarkson

ACKNOWLEDGMENTS

THE STATE OF TEXAS §  
§  
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the  
16th day of June, 1993, by Joseph Morahan, Manager,  
Real Estate Services Division, Department of Public Works and  
Transportation of the City of Austin, a Texas municipal  
corporation, on behalf of said corporation.



(Seal)

Connie Real  
Notary Public in and for the State of  
Texas

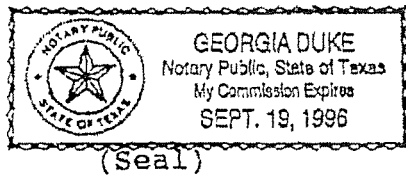
Printed Name of Notary

My commission expires: \_\_\_\_\_

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THE STATE OF TEXAS §  
§  
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the  
12th day of ~~June~~ JULY, 1993, by C.J. Clarkson.



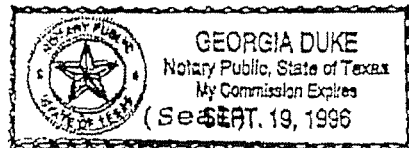
Georgia Duke  
Notary Public in and for the State of Texas

Printed Name of Notary

My commission expires: \_\_\_\_\_

THE STATE OF TEXAS §  
§  
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the  
12th day of ~~June~~ JULY, 1993, by Atelia Clarkson.



Georgia Duke  
Notary Public in and for \_\_\_\_\_

Printed Name of Notary

My commission expires: \_\_\_\_\_

AFTER RECORDING, RETURN TO:

City of Austin  
Department of Public Works and Transportation  
P.O. Box 1088  
Austin, Texas 78767-8839  
Attention: Connie Real, Real Estate Services Division  
File No. P-222

L12  
14FIELD NOTES FOR  
3127 SQUARE FEET OF LAND

FIELD NOTES FOR 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING OUT OF AND A PART OF THE GEORGE W. SPEAR LEAGUE IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, BEING FURTHER DESCRIBED AS BEING OUT OF AND A PART OF LOT 54 OF "TARRY-TOWN 6", A SUBDIVISION IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, OF RECORD IN PLAT BOOK 4 AT PAGES 88-89 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAID 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS :

Beginning for reference, at an iron pin, found, being the Northeast corner of Lot 55 and the Southeast corner of Lot 56, said lots being out of and a part of "Tarry-Town 6", a subdivision of record in Plat Book 4 at Pages 88-89 of the Plat Records of Travis County, Texas and being located on the West curving R.O.W. line of Tower Drive;

Thence along the Northeast lot line of the aforementioned Lot 55 and the West R.O.W. line of Tower Drive, being a curve to the right with a radius of 443.69 feet and an arc distance of 65.06 feet whose chord bears S 47°46' E for a distance of 65.00 feet to an iron pin, set, being the Southeast corner of the aforementioned Lot 55 and being the Northeast corner of Lot 54 of the aforementioned subdivision, "Tarry-Town 6";

Thence continuing along the West R.O.W. line of Tower Drive, also being along the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 35.05 feet whose chord bears S 41°18' E for a distance of 35.04 feet to the PLACE OF BEGINNING, being an iron pin, set and being the Northeast corner of Subject Tract;

THENCE continuing along the West R.O.W. line of Tower Drive and the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 30.01 feet whose chord bears S 37°06' E for a distance of 30.00 feet to an iron pin, set, being the Southeast corner of the aforementioned Lot 54, also being the Northeast corner of Lot 53 of the aforementioned subdivision, "Tarry-Town 6" and being the Southeast corner of Subject Tract;



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EXHIBIT "A"  
Page 1

FIELD NOTES FOR  
3127 SQUARE FEET OF LAND

FIELD NOTES FOR 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING OUT OF AND A PART OF THE GEORGE W. SPEAR LEASE IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, BEING FURTHER DESCRIBED AS BEING OUT OF AND A PART OF LOT 54 OF "TARRY-TOWN 6", A SUBDIVISION IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, OF RECORD IN PLAT BOOK 4 AT PAGES 88-89 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAID 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Beginning for reference, at an iron pin, found, being the Northeast corner of Lot 55 and the Southeast corner of Lot 54, said lots being out of and a part of "Tarry-Town 6", a subdivision of record in Plat Book 4 at Pages 88-89 of the Plat Records of Travis County, Texas and being located on the West curving R.O.W. line of Tower Drive;

Thence along the Northeast Lot line of the aforementioned Lot 55 and the West R.O.W. line of Tower Drive, being a curve to the right with a radius of 443.69 feet and an arc distance of 65.06 feet whose chord bears S 47° 46' E for a distance of 65.00 feet to an iron pin, set, being the Southeast corner of the aforementioned Lot 55 and being the Northeast corner of Lot 54 of the aforementioned subdivision, "Tarry-Town 6";

Thence continuing along the West R.O.W. line of Tower Drive, also being along the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 35.95 feet whose chord bears S 41° 19' E for a distance of 35.04 feet to the PLACE OF BEGINNING, being an iron pin, set and being the Northeast corner of Subject Tract;

THENCE continuing along the West R.O.W. line of Tower Drive and the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 30.01 feet whose chord bears S 37° 06' E for a distance of 30.00 feet to an iron pin, set, being the Southeast corner of the aforementioned Lot 54, also being the Northeast corner of Lot 53 of the aforementioned subdivision, "Tarry-Town 6" and being the Southeast corner of Subject Tract;

REAL PROPERTY RECORDS  
TRAVIS COUNTY, TEXAS

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REAL PROPERTY RECORDS  
TRAVIS COUNTY, TEXAS

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Exhibit "A"

Page 2

THENCE S 55°32' W leaving the West R.O.W. line of Tower Drive and traveling along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 53, for a distance of 139.20 feet to an iron pin set, being the Southwest corner of the aforementioned Lot 54, also being the Northwest corner of the aforementioned Lot 53; also being located on the Northeast lot line of Lot 64 of the aforementioned subdivision, "Tarry-Town 6" and being the Southwest corner of Subject Tract;

THENCE N 35°29' W along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64, for a distance of 15.00 feet to an iron pin set, being the Northwest corner of Subject Tract;

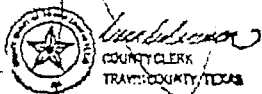
THENCE N 49°21' E leaving the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64 and traveling into and through the aforementioned Lot 54, for a distance of 138.90 feet to the PLACE OF BEGINNING, containing 3127 square feet of land, more or less.

I, L. GORDON STEARNS, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR, DO CERTIFY THAT THE COURSES, DISTANCES AND AREA WERE DETERMINED BY A SURVEY ON THE GROUND AND ARE TRUE AND CORRECT. GIVEN UNDER MY HAND AND SEAL, THIS THE 17TH DAY OF MARCH, 1992 A.D.

*L. Gordon Stearns, Jr.*  
L. GORDON STEARNS, JR.  
REGISTERED PROFESSIONAL LAND SURVEYOR / NO. 4649  
STEARNS AND ASSOCIATES, INC.  
1003 TEDFORD STREET / AUSTIN, TEXAS / 78753  
PHONE NUMBER : (512) 636-2533  
JOB NUMBER : 10362

STATE OF TEXAS  
COUNTY OF TRAVIS  
I hereby certify that this instrument was filed for record in the Public Records of this county, Texas, on the 21st day of July, 1992, at 1:00 PM, and that the same is a true and correct copy of the original as the same appears in the Public Records of this county, Texas.

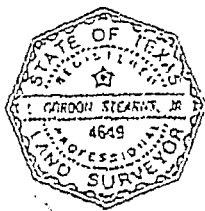
JUL 21 1992



FILED

93 JUL 21 PM 1:01

DANA DE BEAUVILLE  
COUNTY CLERK  
TRAVIS COUNTY TEXAS



REAL PROPERTY RECORDS  
TRAVIS COUNTY, TEXAS

1982 1274

RECORDERS MEMORANDUM - As the form of recordation this instrument was found to be inadequate for the best photographic reproduction, because of illegibility, carbon, or photo copy, discolored paper, etc. All blackouts, additional and changes were present at the time the instrument was filed and recorded.

REAL PROPERTY RECORDS  
TRAVIS COUNTY, TEXAS

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THENCE S 55°32' W leaving the West R.O.W. line of Tower Drive and traveling along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 53, for a distance of 139.20 feet to an iron pin, set, being the Southwest corner of the aforementioned Lot 54, also being the Northwest corner of the aforementioned Lot 53, also being located on the Northeast lot line of Lot 64 of the aforementioned subdivision, "Tarry-Town 6" and being the Southwest corner of Subject Tract;

THENCE N 35°29' W along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64, for a distance of 15.00 feet to an iron pin, set, being the Northwest corner of Subject Tract;

THENCE N 49°21' E leaving the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64 and traveling into and through the aforementioned Lot 54, for a distance of 138.90 feet to the PLACE OF BEGINNING, containing 3127 square feet of land, more or less.

I, L. GORDON STEARNS, JR.: A REGISTERED PROFESSIONAL LAND SURVEYOR, DO CERTIFY THAT THE COURSES, DISTANCES AND AREA WERE DETERMINED BY A SURVEY ON THE GROUND AND ARE TRUE AND CORRECT. GIVEN UNDER MY HAND AND SEAL, THIS THE 17TH DAY OF MARCH, 1992 A.D.

*L. Gordon Stearns, Jr.*

L. GORDON STEARNS, JR.  
REGISTERED PROFESSIONAL LAND SURVEYOR / NO. 4649  
STEARNS AND ASSOCIATES, INC.

STATE OF TEXAS

COUNTY OF TRAVIS

I hereby certify that this instrument was filed on the date and at the time stamped hereon by me, and was duly RECORDED, in the Volume and Page of the named RECORDS of Travis County, Texas, on

13-03 TEDFORD STREET / AUSTIN, TEXAS / 78753

PHONE NUMBER : (512) 836-0533

JOB NUMBER : 10582

JUL 21 1993



*Lana De Beauvoir*  
COUNTY CLERK  
TRAVIS COUNTY, TEXAS

FILED

93 JUL 21 PM 5:01

DANA DE BEAUVOIR  
COUNTY CLERK  
TRAVIS COUNTY, TEXAS



REAL PROPERTY RECORDS  
TRAVIS COUNTY, TEXAS

11982 1274

RECORDER'S MEMORANDUM - At the time of recordation this instrument was found to be inadequate for the best photographic reproduction, because of illegibility, carbon or photo copy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.

L12  
20

FILED

94 AUG -1 PM 4:24

DANA CEGEAUVOIR  
COUNTY CLERK  
TRAVIS COUNTY, TEXAS

STATE OF TEXAS  
I hereby certify that this instrument was FILED on  
the date and at the time stamped herein by me, and  
was duly RECORDED, in the Volume and Page of the  
named RECORDS of Travis County, Texas, on

AUG 1 1994



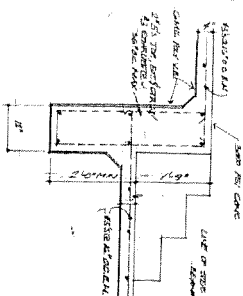
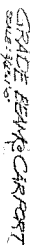
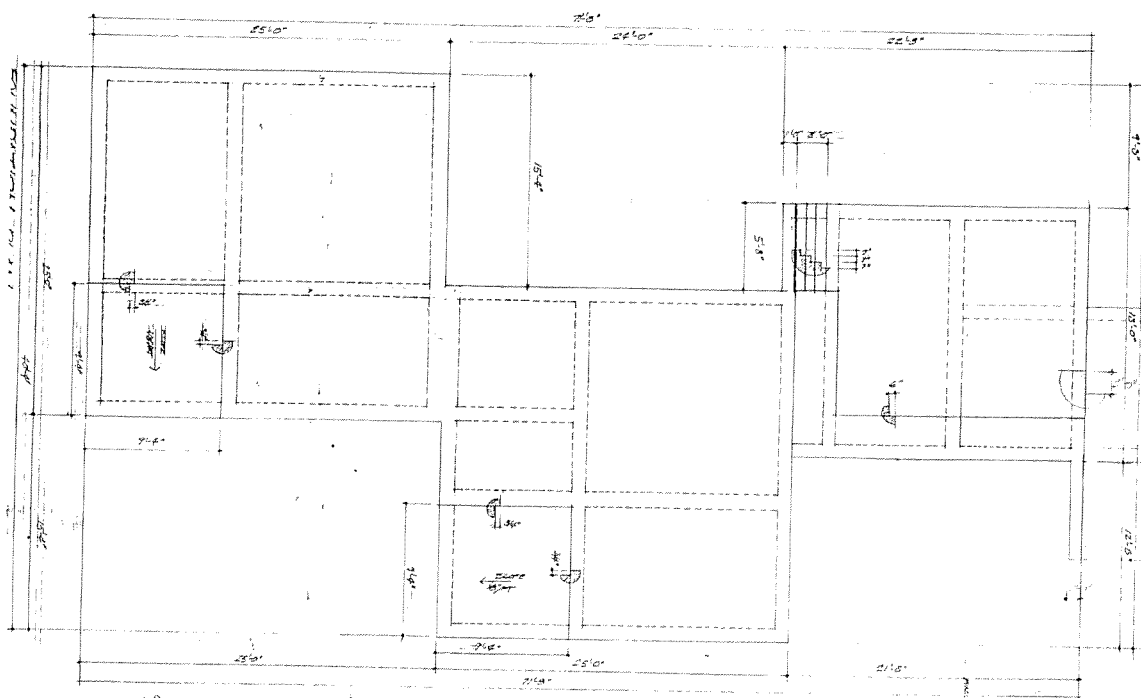
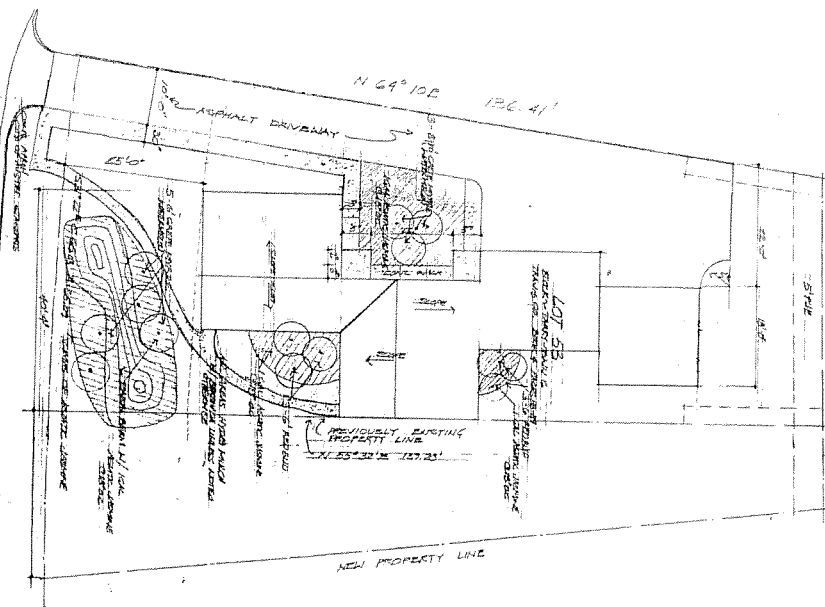
*Dana Cegauvoir*  
COUNTY CLERK  
TRAVIS COUNTY, TEXAS

REAL PROPERTY RECORDS  
TRAVIS COUNTY, TEXAS

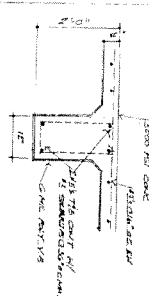
12240 1337

DATE 12/10/00

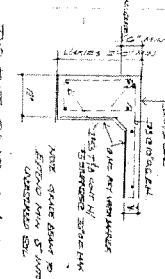
2005 POWER OF



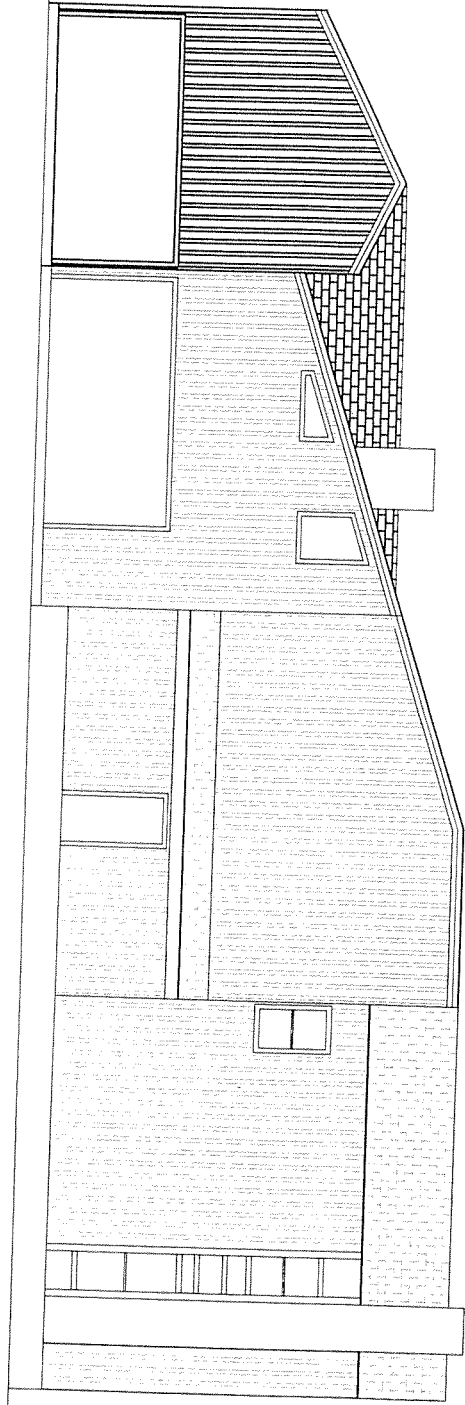
THE INT. GRADE BEAM  
SCALE: 3/4"=1'-0"



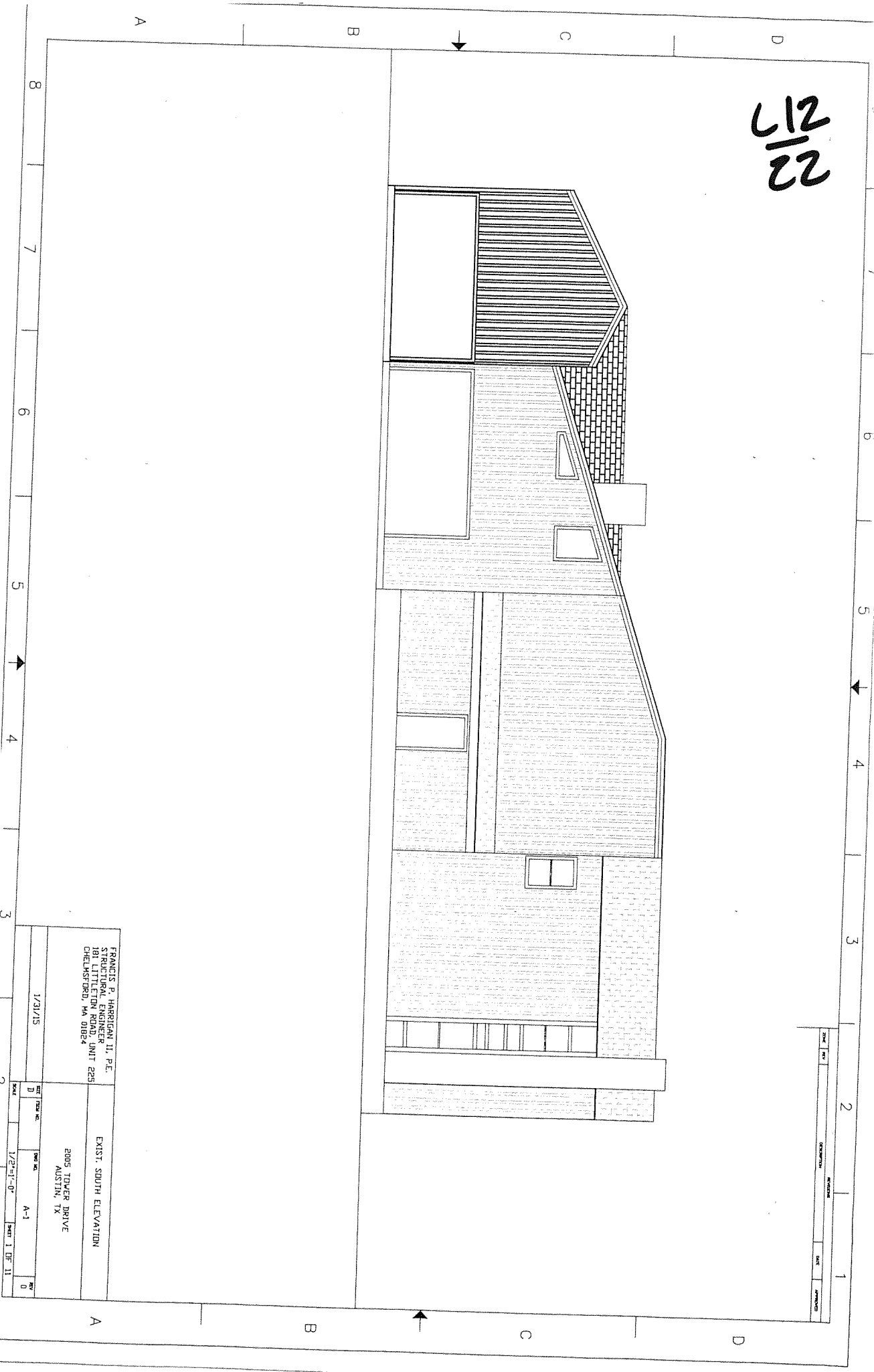
17. EXT. CHAD BEACH  
- 2000-2000 -



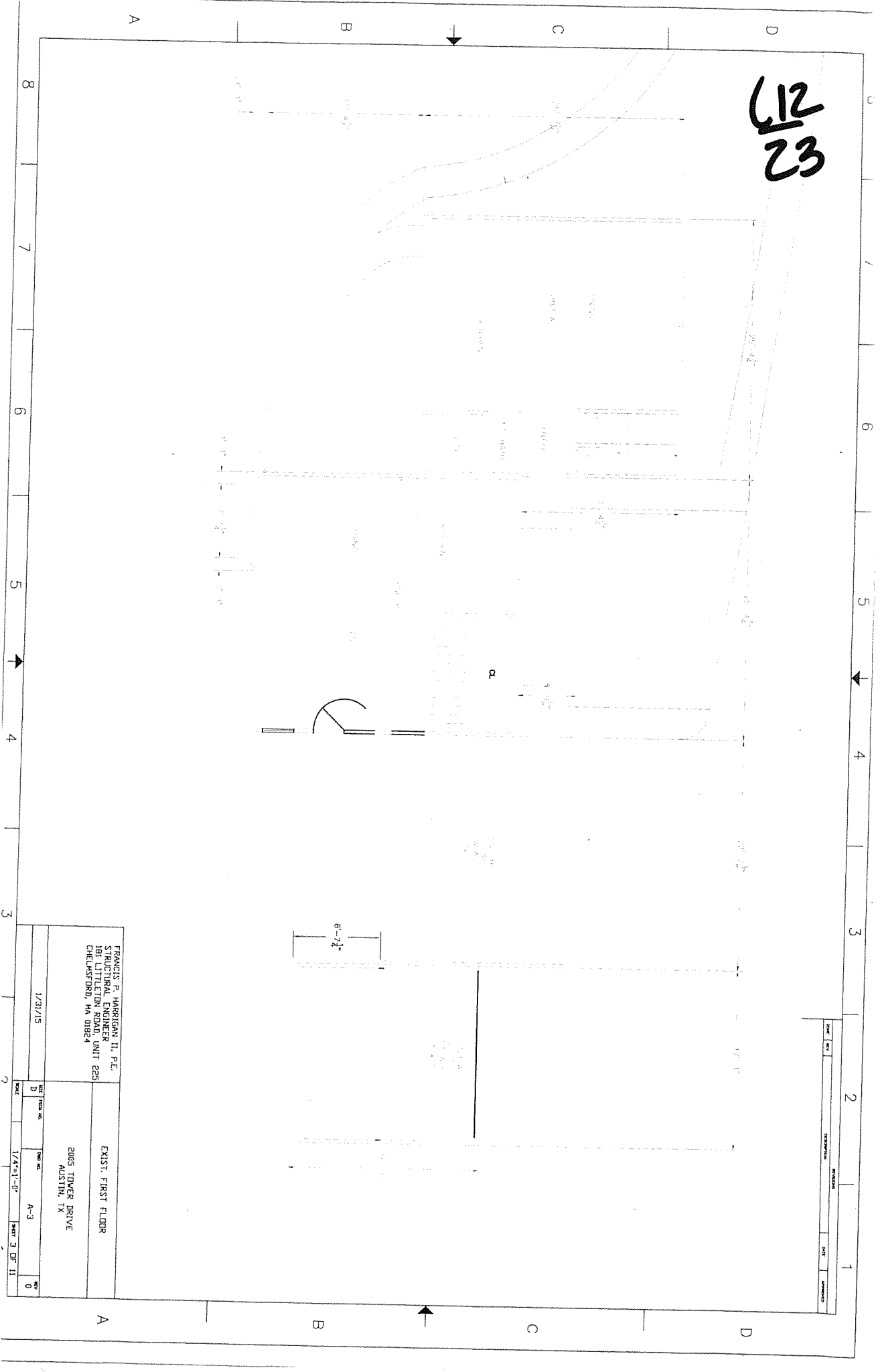
22  
12  
217



FRANCIS P. HARRIGAN II, P.E. REGISTERED PROFESSIONAL ENGINEER 181 LITTLEFIELD RD., UNIT 225 CHELSEA, MA 01824			
1/21/15		EXIST. SOUTH ELEVATION	
1/2" = 1' - 0"	A-1	2005 TOWER DRIVE AUSTIN, TX	REV 0



12/23

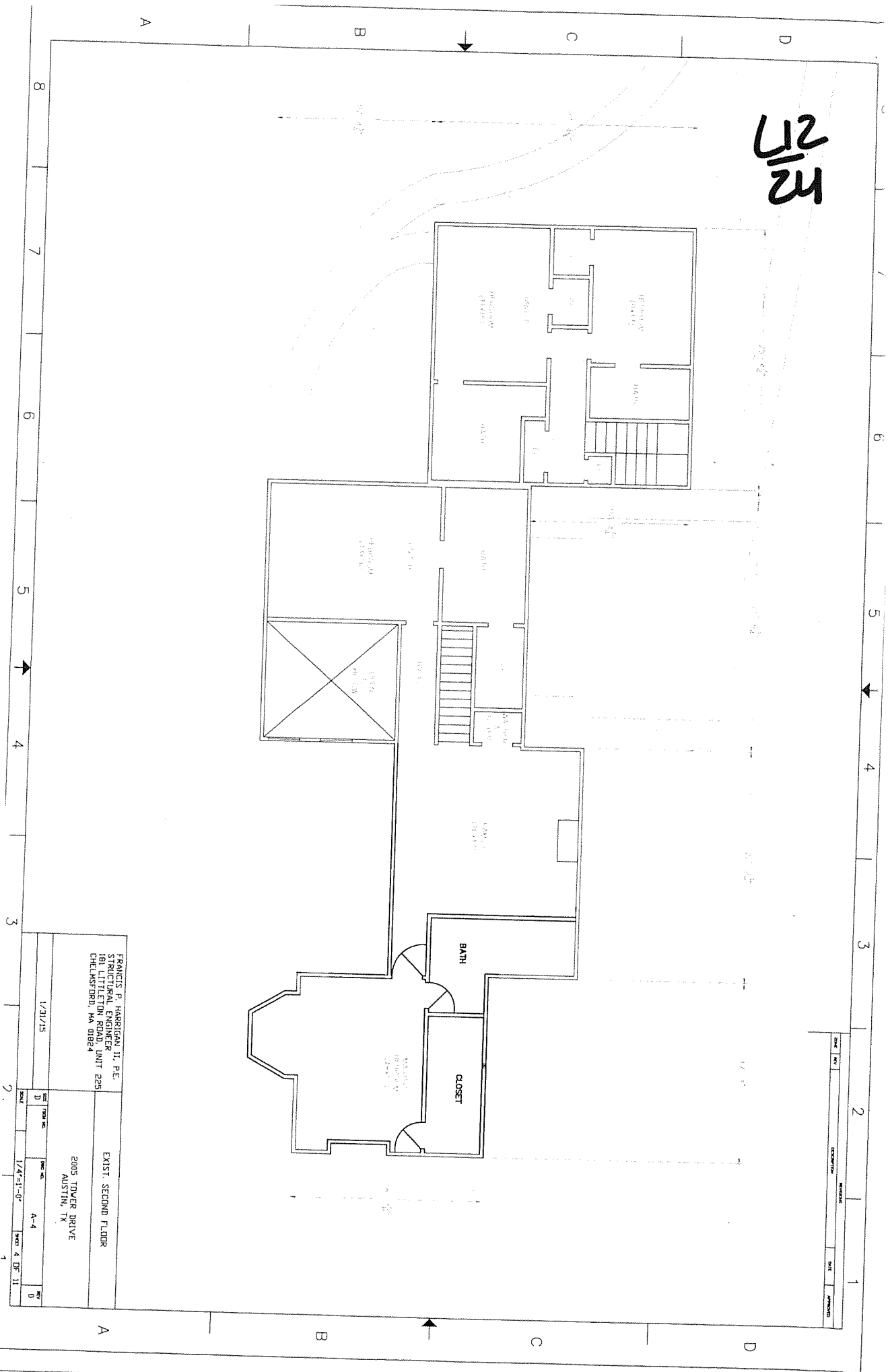


DATE	REVISION	BY	APPROVED
12/23			

FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824		EXIST. FIRST FLOOR	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
DATE	BY	DATE	BY
1/31/15	D	1/4/11	A-3
			0

Scale: 1/4" = 1'-0"

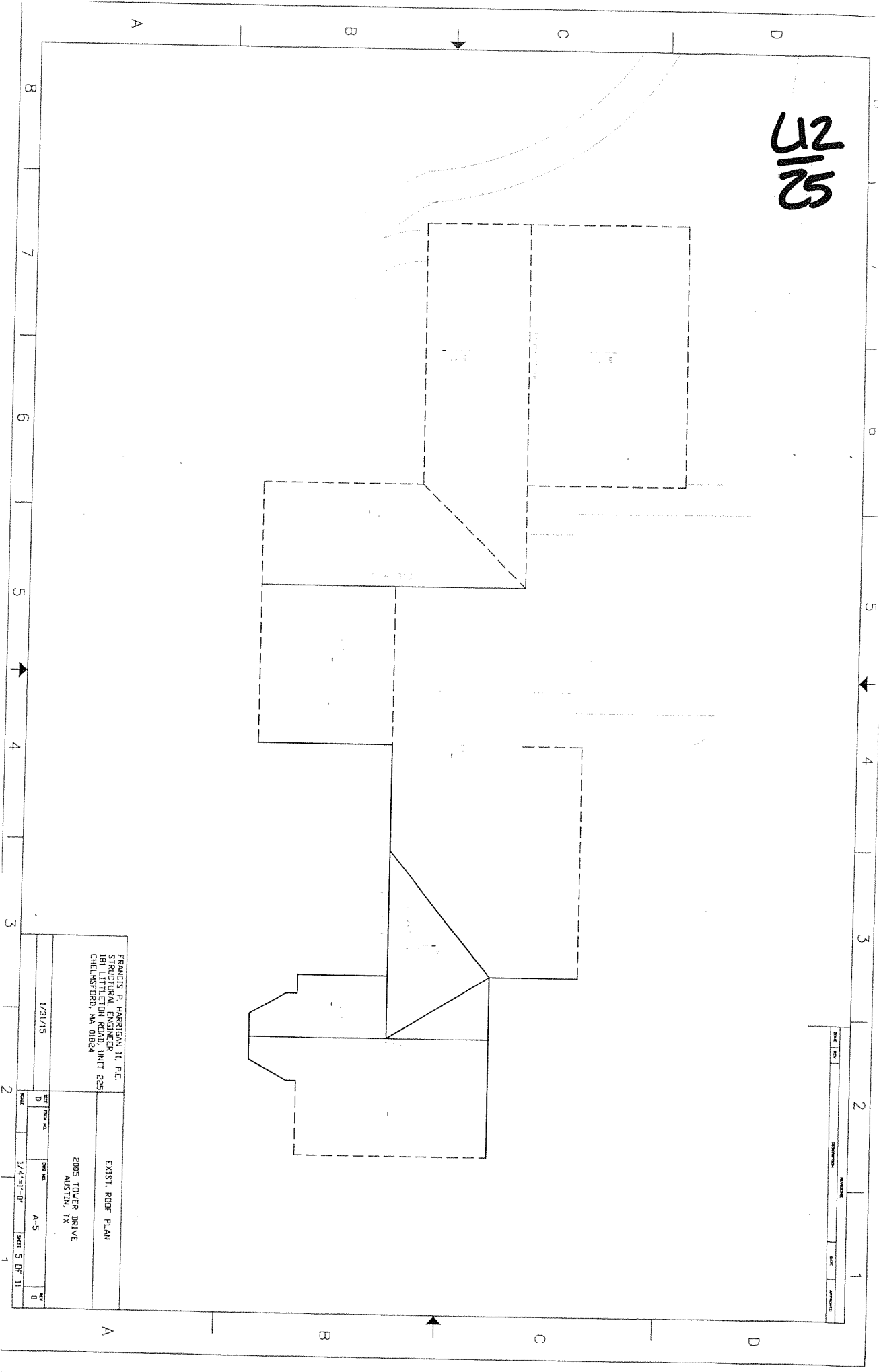
13 2 1/2



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLEFIELD UNIT 225 CHELSEA, MA 02424		EXIST. SECOND FLOOR	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
REV	DATE	BY	APP
1	1/31/15	AP	0



25/25

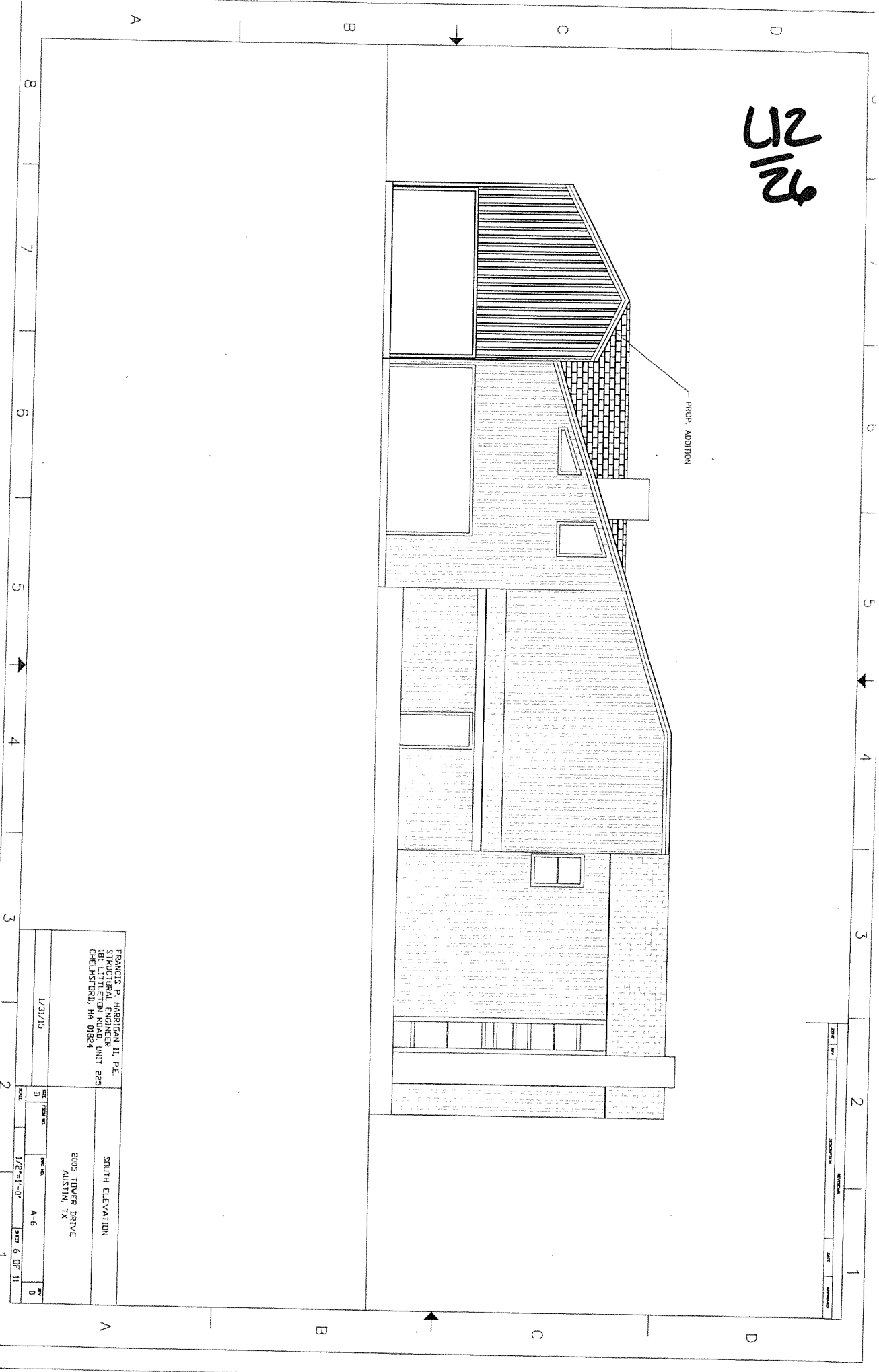
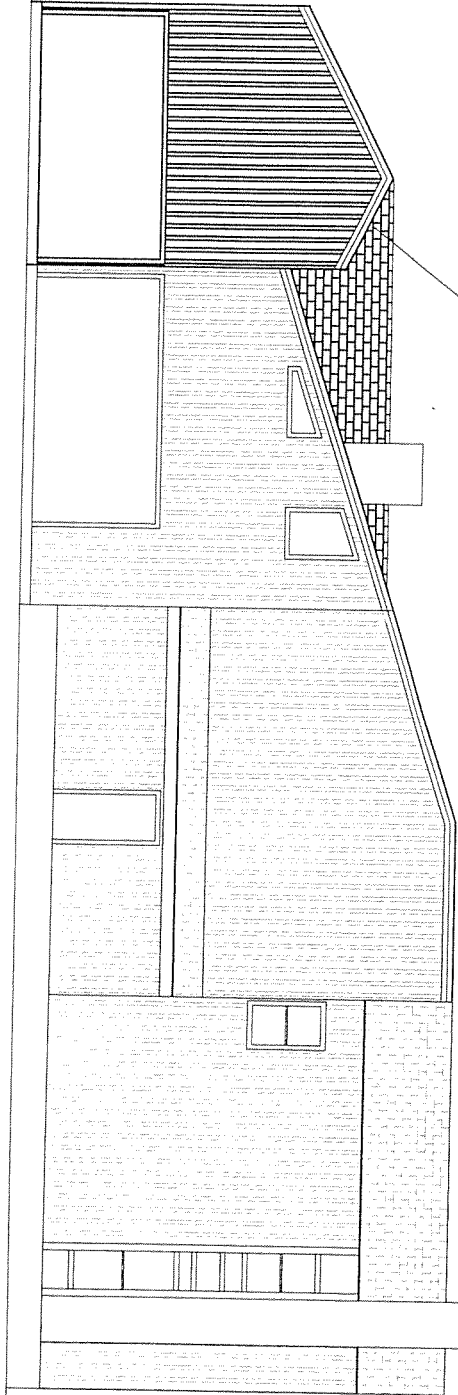


DATE	REV	DESCRIPTION	SHEET	PROJECT

FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824		EXIST. ROOF PLAN	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
1/4"=1'-0"	A-5	1/4"=1'-0"	1/4"=1'-0"

212/27

PROP. ADDITION



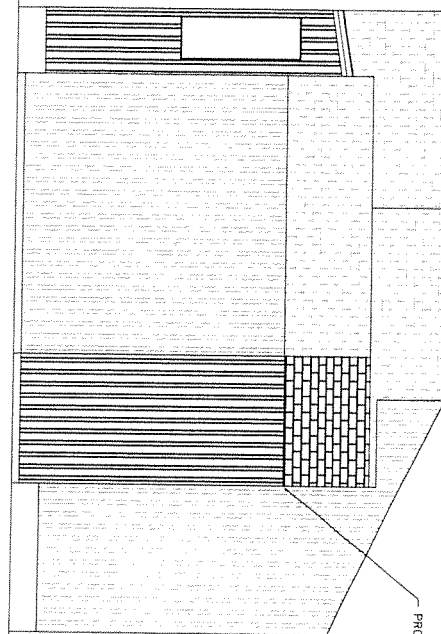
FRANCIS P. HARRIGAN, II, P.E.  
STRUCTURAL ENGINEER  
181 LITTLETON ROAD, UNIT 225  
CHELSEA, MA 01824

SOUTH ELEVATION  
2805 TOWER DRIVE  
AUSTIN, TX

1/31/15

DATE	REVISION	BY	CHK
1/27/15	A-6	0	11

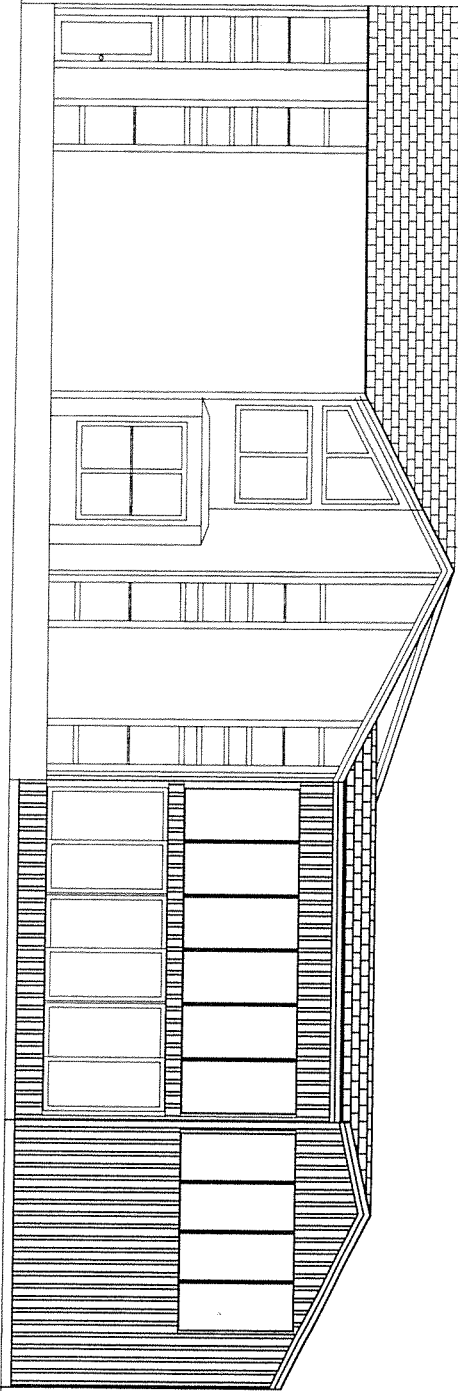
L12  
L17



PROPOSED ADDITION

FRANCIS P. HARRIGAN, II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		WEST ELEVATION	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
REV	DATE	BY	DATE
D	1/31/15	A-7	1/31/15
0			

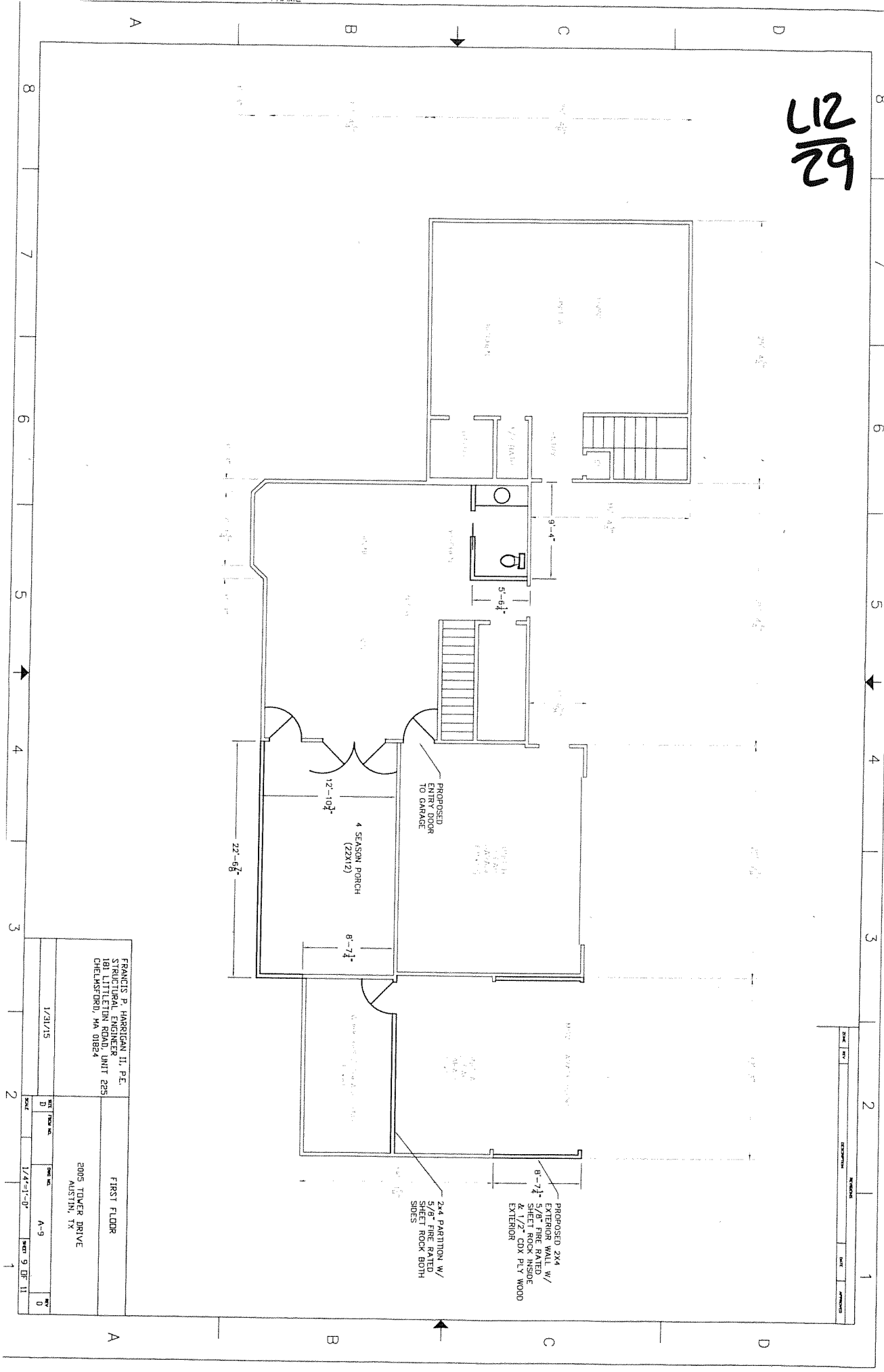
212  
217



NOT FOR CONSTRUCTION

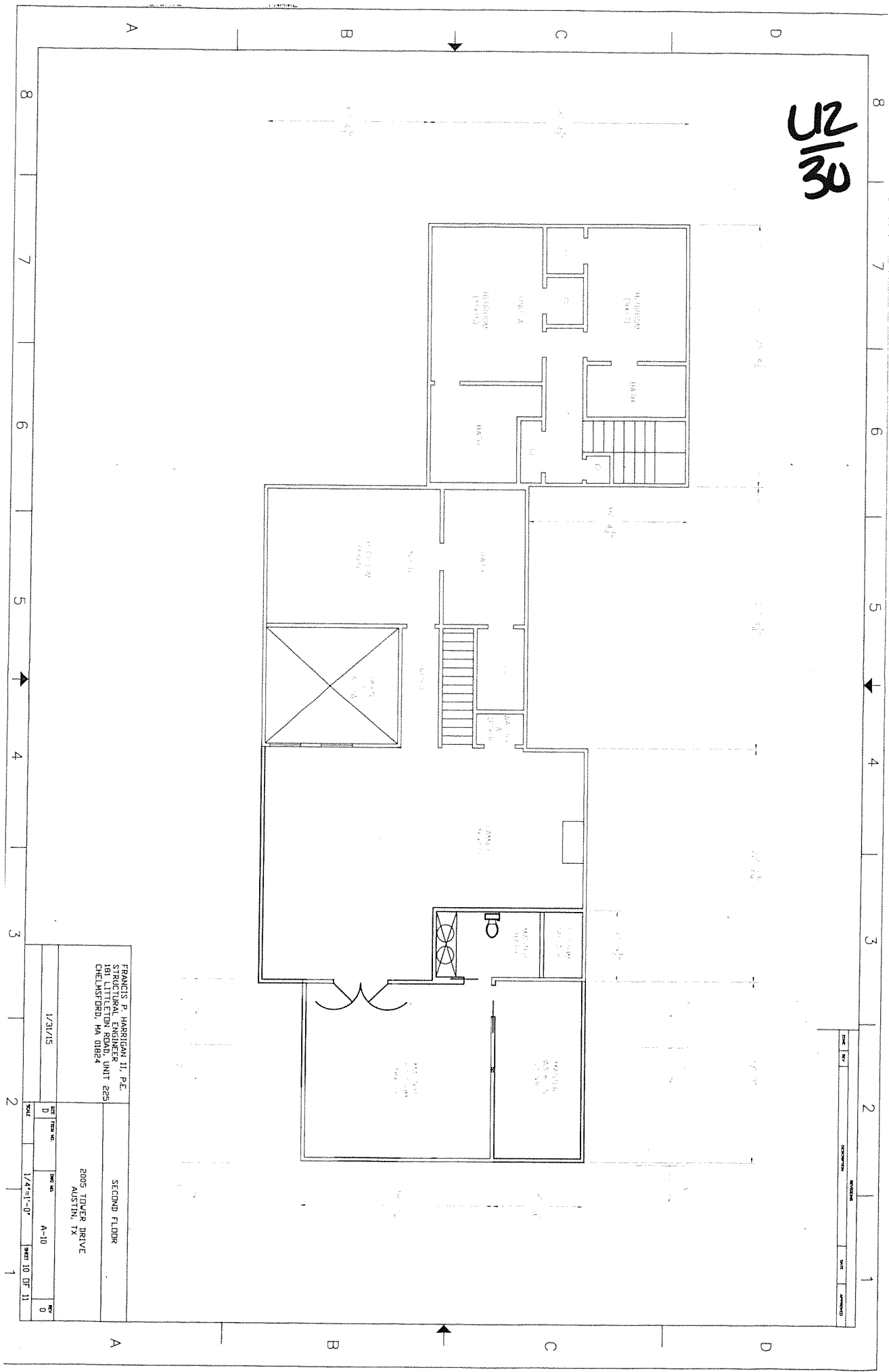
FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		NORTH ELEVATION	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
DATE	BY	SCALE	REV
1/31/15	D	1/2"=1'-0"	0

12/29



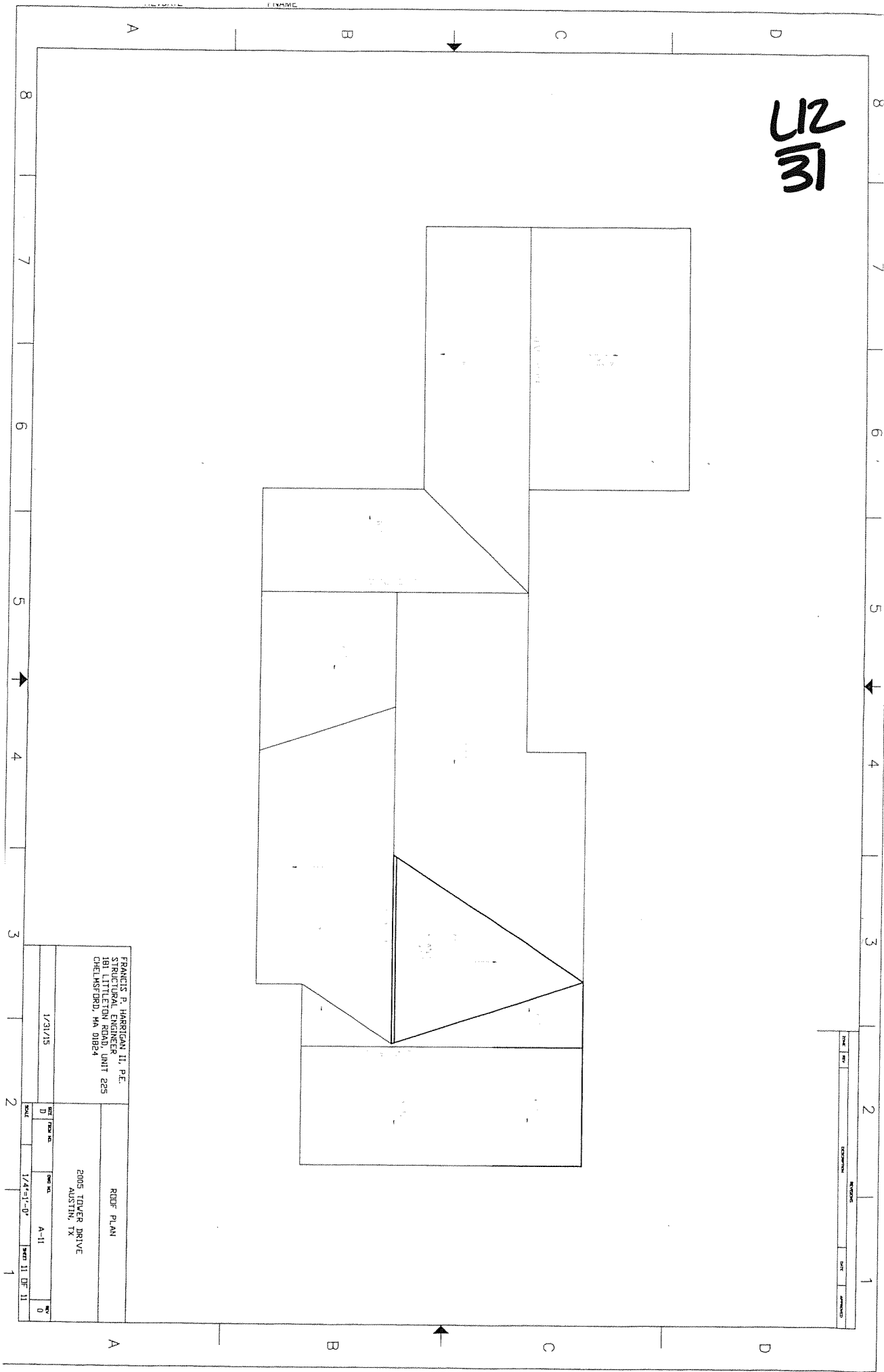
FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		FIRST FLOOR	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
DATE	1/31/15	SCALE	1/4"=1'-0"
BY	D	APP'D	A-9
CHECKED		DATE	9 OF 11

12/30



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824				SECOND FLOOR			
1/31/15				2005 TOWER DRIVE AUSTIN, TX			
DATE	1/31/15	BY	FRP	SCALE	1/4"=1'-0"	DATE	10/07/11
NO.	1	REV.	0				

112  
31



FRANCIS P. HARRIS II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824			
1/31/15		ROOF PLAN	
2005 TOWER DRIVE AUSTIN, TX		A-11	
DATE	REV	DATE	REV
1/31/15	0	1/4/15	0
SCALE	1/4"=1'-0"	DATE	11 DEC 11

C12  
32

TOWER DRIVE

STA. 0+00.00 SECT. 1

STA. 0+26.12 SECT. 2

STA. 0+51.22 SECT. 3

STA. 0+61.25 SECT. 4

STA. 0+75.62 SECT. 5

STA. 0+86.82 SECT. 6

STA. 0+98.82 SECT. 7

STA. 1+04.82 SECT. 8

STA. 1+16.07 SECT. 9

STA. 1+37.87 SECT. 10

LOT 54B

LOT 53

SET BACKS

PROPERTY LINE

FRANCIS P. HARRISON II, P.E.  
STRUCTURAL ENGINEER  
181 LITTLETON ROAD, UNIT 225  
CHELSEA, MA 01824

SECTION LOCATIONS  
FOR ZONING TENT  
2005 TOWER DRIVE  
AUSTIN, TX

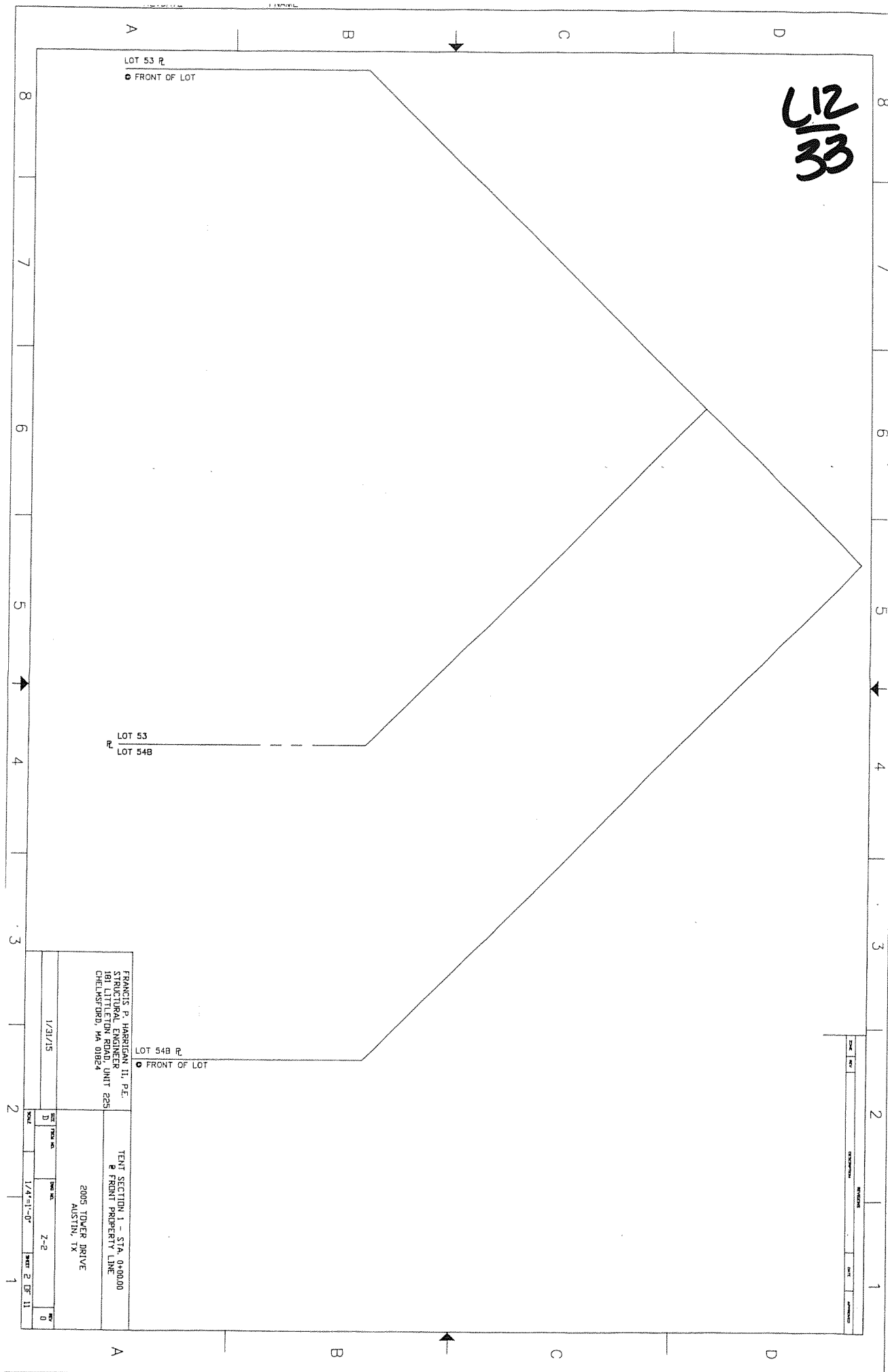
1/31/15

DATE	1/31/15	REV	0
BY	DP	DATE	1/31/15
CHKD	DP	DATE	1/31/15
APPD	DP	DATE	1/31/15
TITLE	SECTION LOCATIONS FOR ZONING TENT		
PROJECT	2005 TOWER DRIVE, AUSTIN, TX		
SCALE	1/8"=1'-0"		
DATE	1/31/15		
REV	0		

DATE	1/31/15	REV	0
BY	DP	DATE	1/31/15
CHKD	DP	DATE	1/31/15
APPD	DP	DATE	1/31/15
TITLE	SECTION LOCATIONS FOR ZONING TENT		
PROJECT	2005 TOWER DRIVE, AUSTIN, TX		
SCALE	1/8"=1'-0"		
DATE	1/31/15		
REV	0		



612  
33



LOT 53 R  
FRONT OF LOT

LOT 53  
LOT 54B

LOT 54B R  
FRONT OF LOT

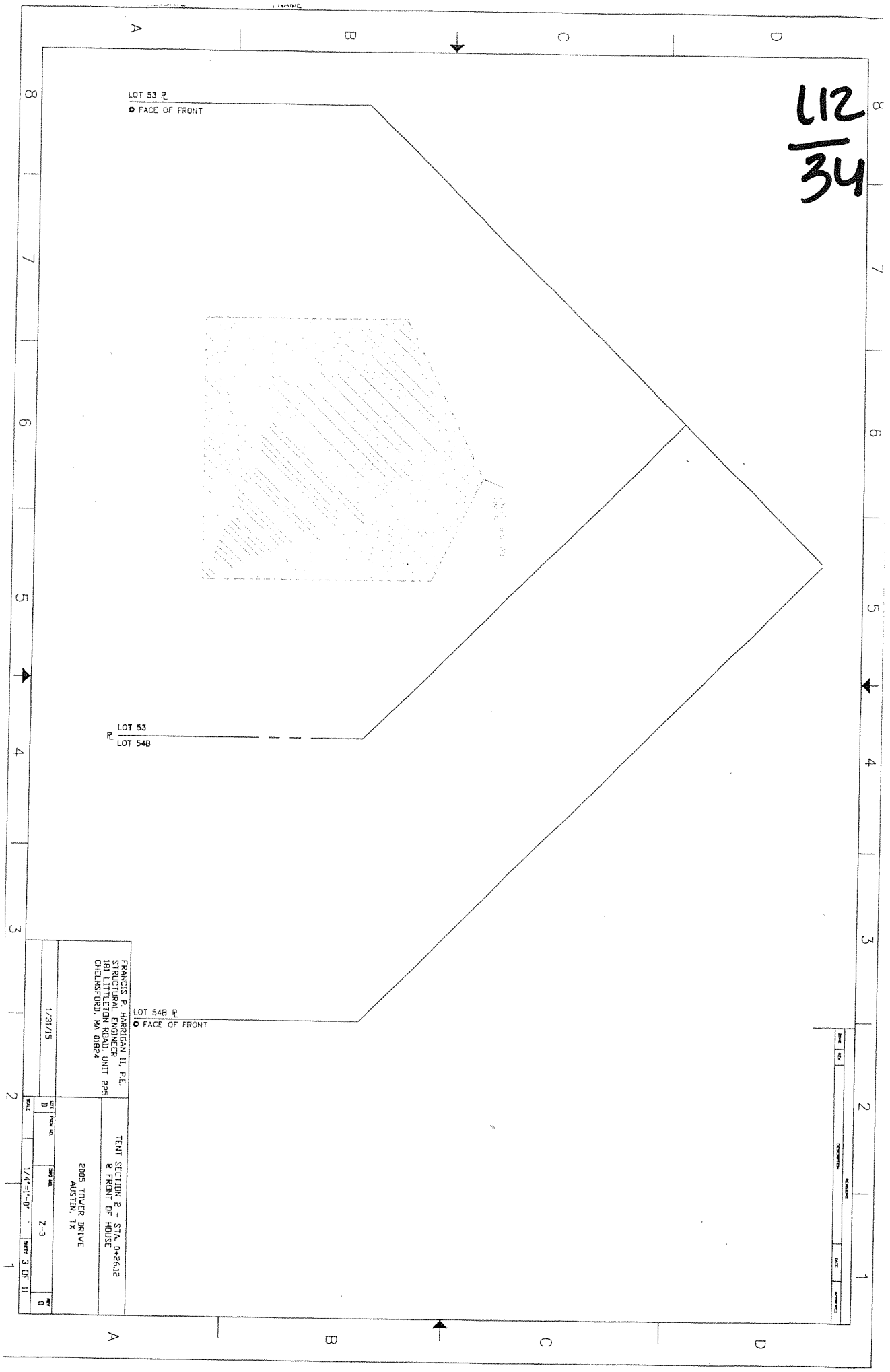
FRANCIS P. HARRISON II, P.E.  
STRUCTURAL ENGINEER  
181 LITTLETON ROAD, UNIT 225  
CHELSEA, MA 01824

TEMP SECTION 1 - STA. 0+00.00  
E FRONT PROPERTY LINE  
2005 TOWER DRIVE  
AUSTIN, TX

1/31/15	1/4"=1'-0"	Z-2	SEE 2 OF 11
1	2	3	4
5	6	7	8

DATE	BY	REVISION	DATE	BY	REVISION

112  
34



LOT 53 R  
● FACE OF FRONT

LOT 53  
LOT 54B

LOT 54B R  
● FACE OF FRONT

FRANCIS P. HARRIGAN II, P.E.  
STRUCTURAL ENGINEER  
181 LITTLETON ROAD, UNIT 225  
CHELSEA, MA 01824

TENT SECTION B - STA. 0+26.12  
R FRONT OF HOUSE

2005 TOWER DRIVE  
AUSTIN, TX

1/31/15

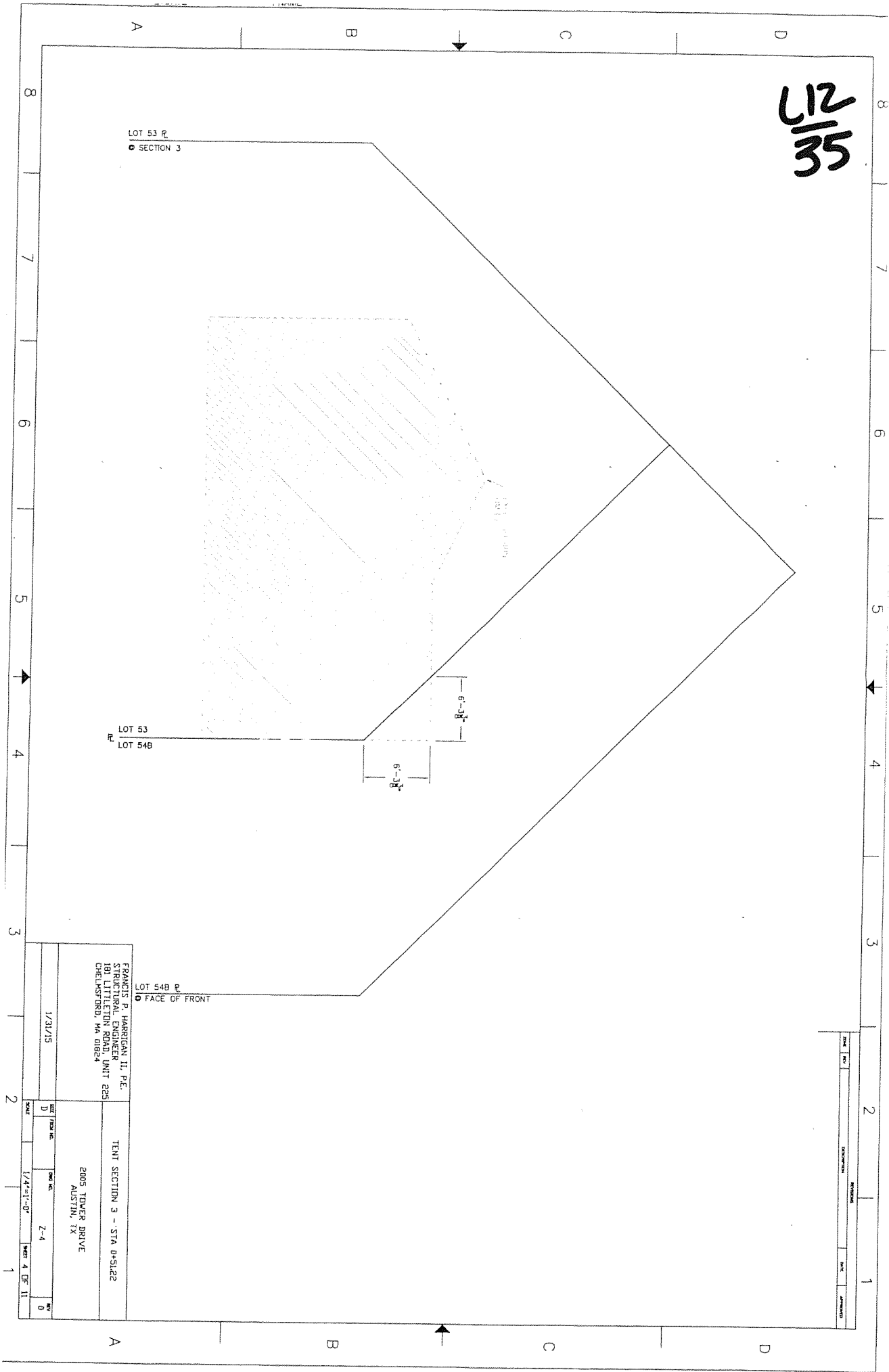
DATE	TIME	BY	REV
1/31/15	10:00	1	0

1/4"=1'-0"

SHEET 3 OF 11

DATE	TIME	BY	REV
1/31/15	10:00	1	0

612  
35



LOT 53 P  
SECTION 3

LOT 53  
LOT 54B

LOT 54B P  
FACE OF FRONT

FRANCIS P. HARRIGAN, II, P.E.  
STRUCTURAL ENGINEER  
181 LITTLETON ROAD, UNIT 225  
CHELSEA, MA 01824

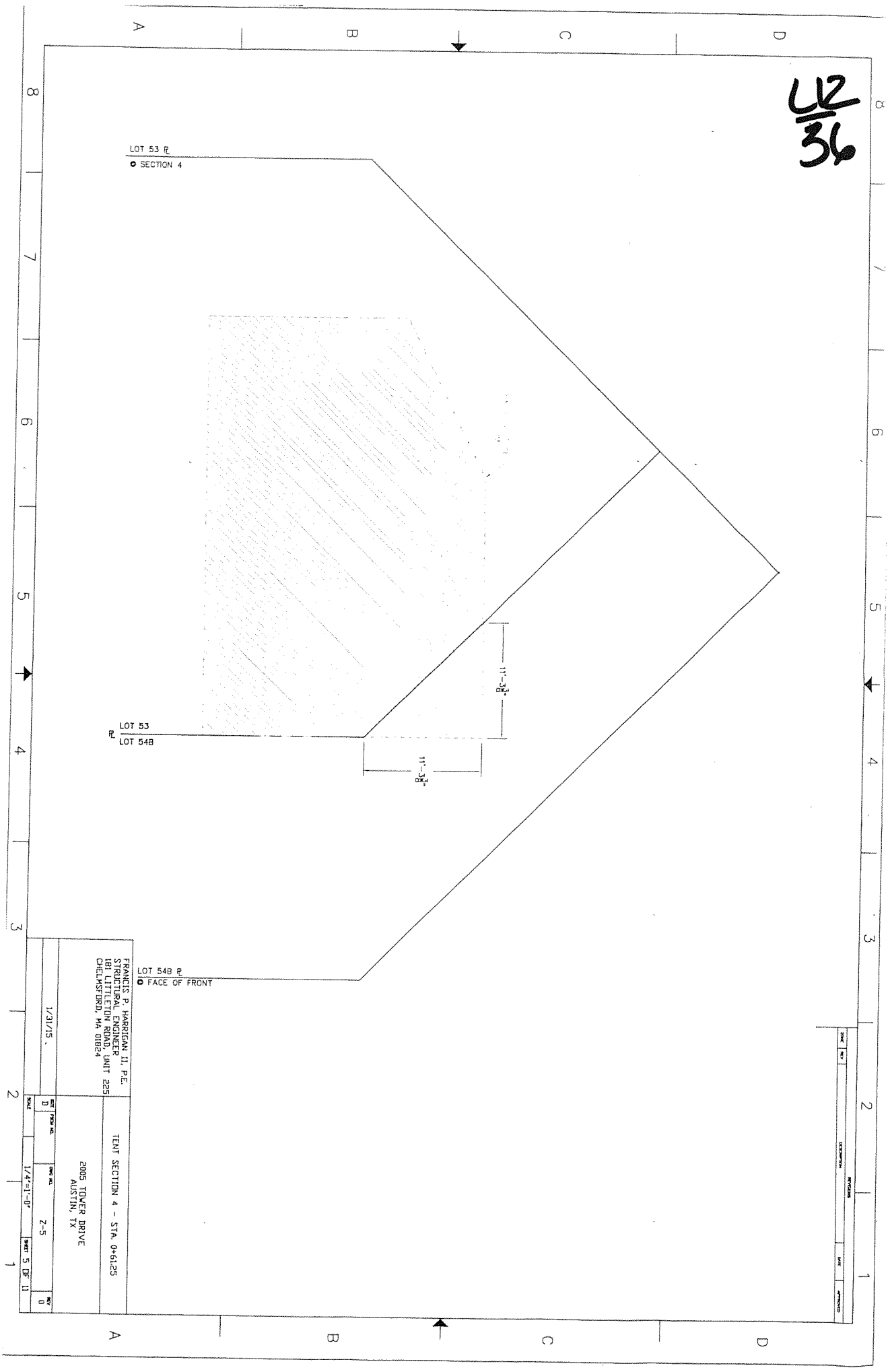
2005 TOWER DRIVE  
AUSTIN, TX

1/31/15

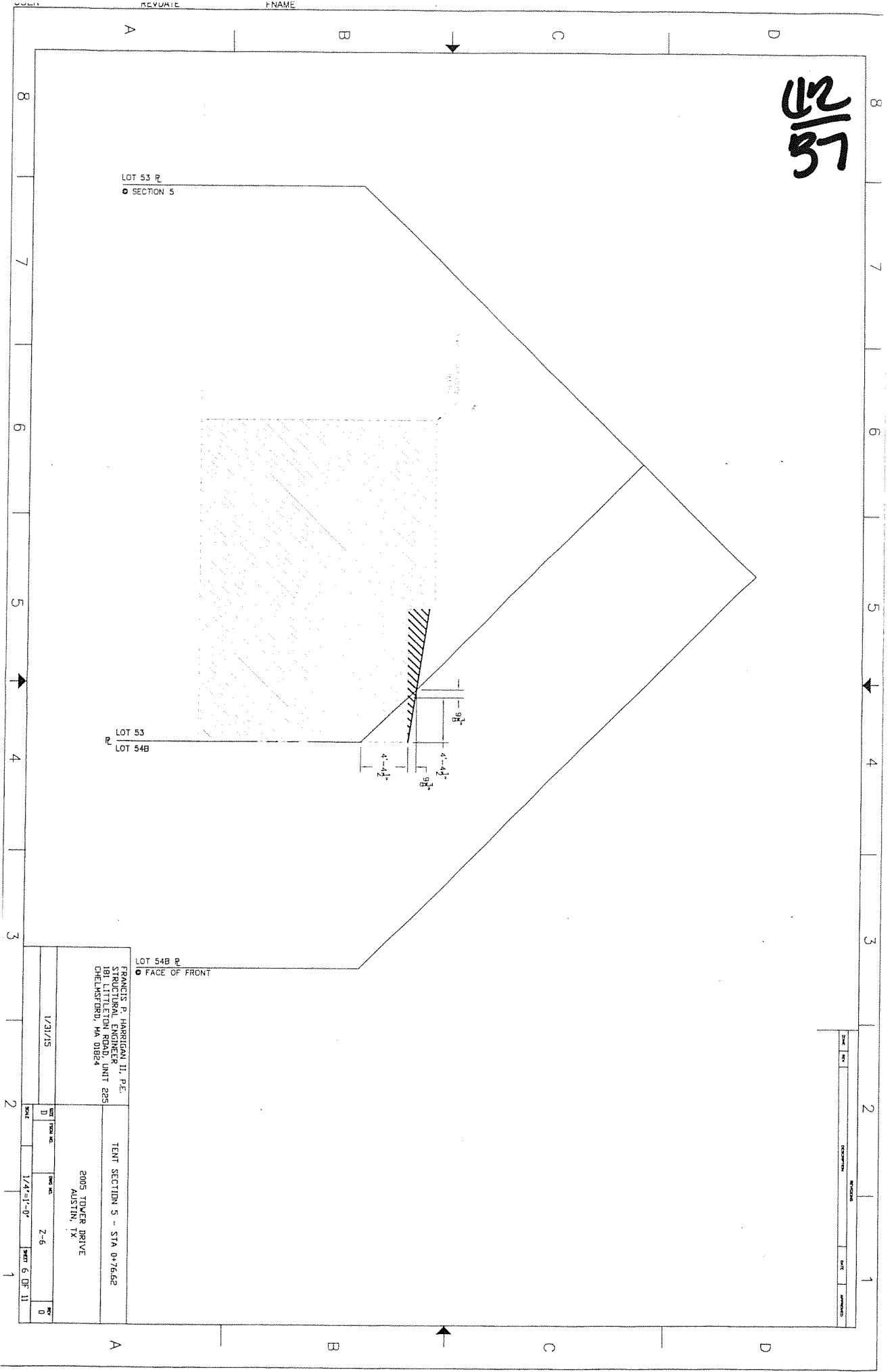
REV	DATE	BY	CHKD	APP'D
0				
1	1/31/15			

NO.	REV.	DATE	BY	CHKD	APP'D
1					

42  
36



42  
57



LOT 53 R  
SECTION 5

LOT 53  
LOT 54B

LOT 54B R  
FACE OF FRONT

FRANCIS P. HARRIGAN II, P.E.  
STRUCTURAL ENGINEER  
181 LITTLETON ROAD, UNIT 225  
CHELSEA, MA 01824

TENT SECTION 5 - STA 0+76.62

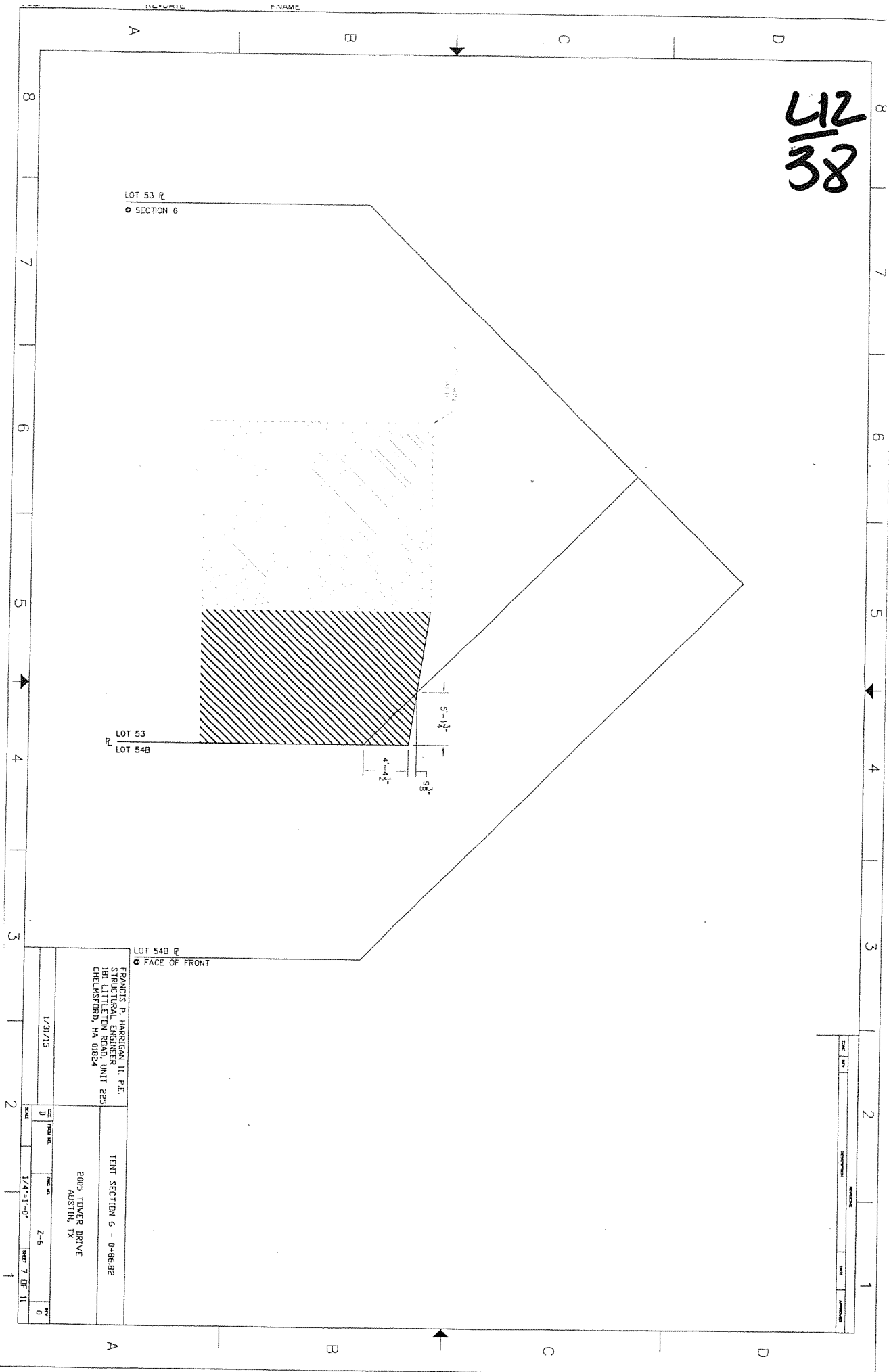
2005 TOWER DRIVE  
AUSTIN, TX

1/31/15

DATE	1/31/15	ISSUED FOR NO.	2-6	REV	0
SCALE	1/4"=1'-0"	DATE	6 OF 11		

NO.	DATE	REVISION	BY	APP'D
1				

412  
38



LOT 53 R  
SECTION 6

LOT 53  
LOT 54B

LOT 54B R  
FACE OF FRONT

FRANCIS P. HARRIGAN II, P.E.  
STRUCTURAL ENGINEER  
181 LITTLETON ROAD, UNIT 225  
CHELSEA, MA 01824

TENT SECTION 6 - 0+66.82

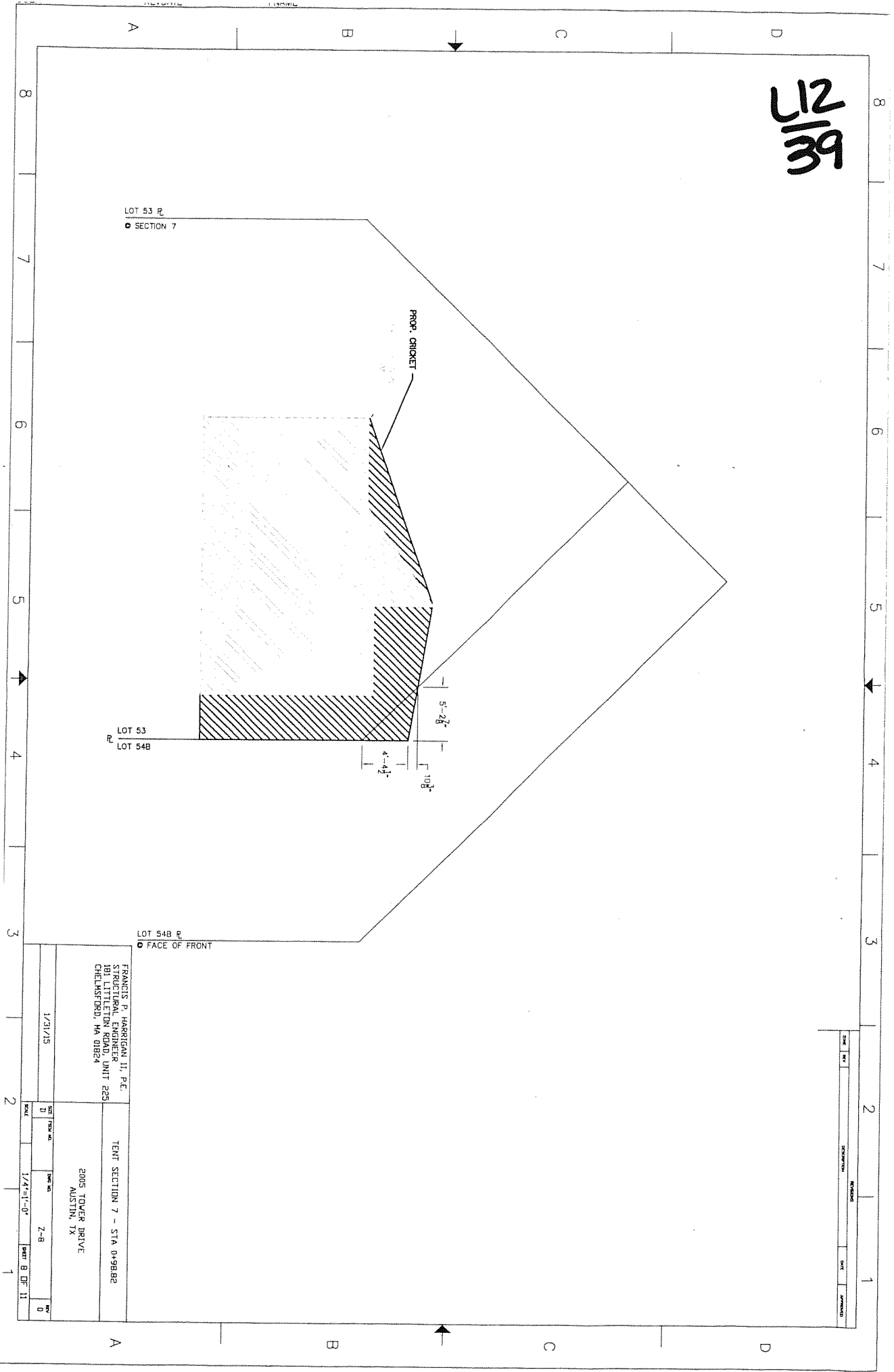
2005 TOWER DRIVE  
AUSTIN, TX

1/31/15

DATE	REV	DESCRIPTION
1/31/15	1	1/4"=1'-0"
	2	7' OFF 11'

DATE	REV	DESCRIPTION
1/31/15	1	1/4"=1'-0"
	2	7' OFF 11'

12/31/39



FRANCIS P. HARRIGAN II, P.E.  
STRUCTURAL ENGINEER  
181 LITTLETON ROAD, UNIT 225  
CHELSEA, MA 01824

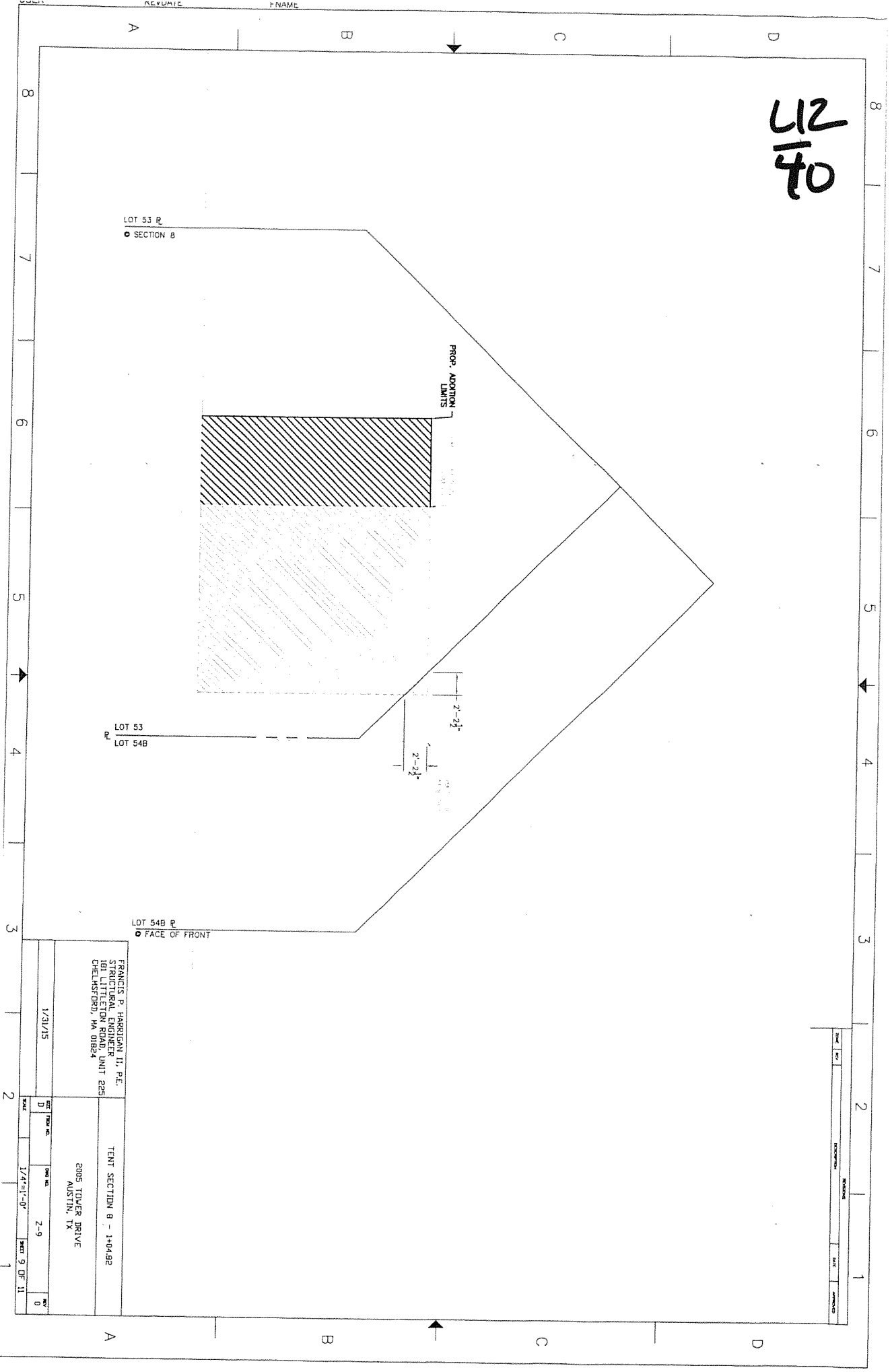
TEAT SECTION 7 - STA 0+98.82

2005 TOWER DRIVE  
AUSTIN, TX

1/31/15

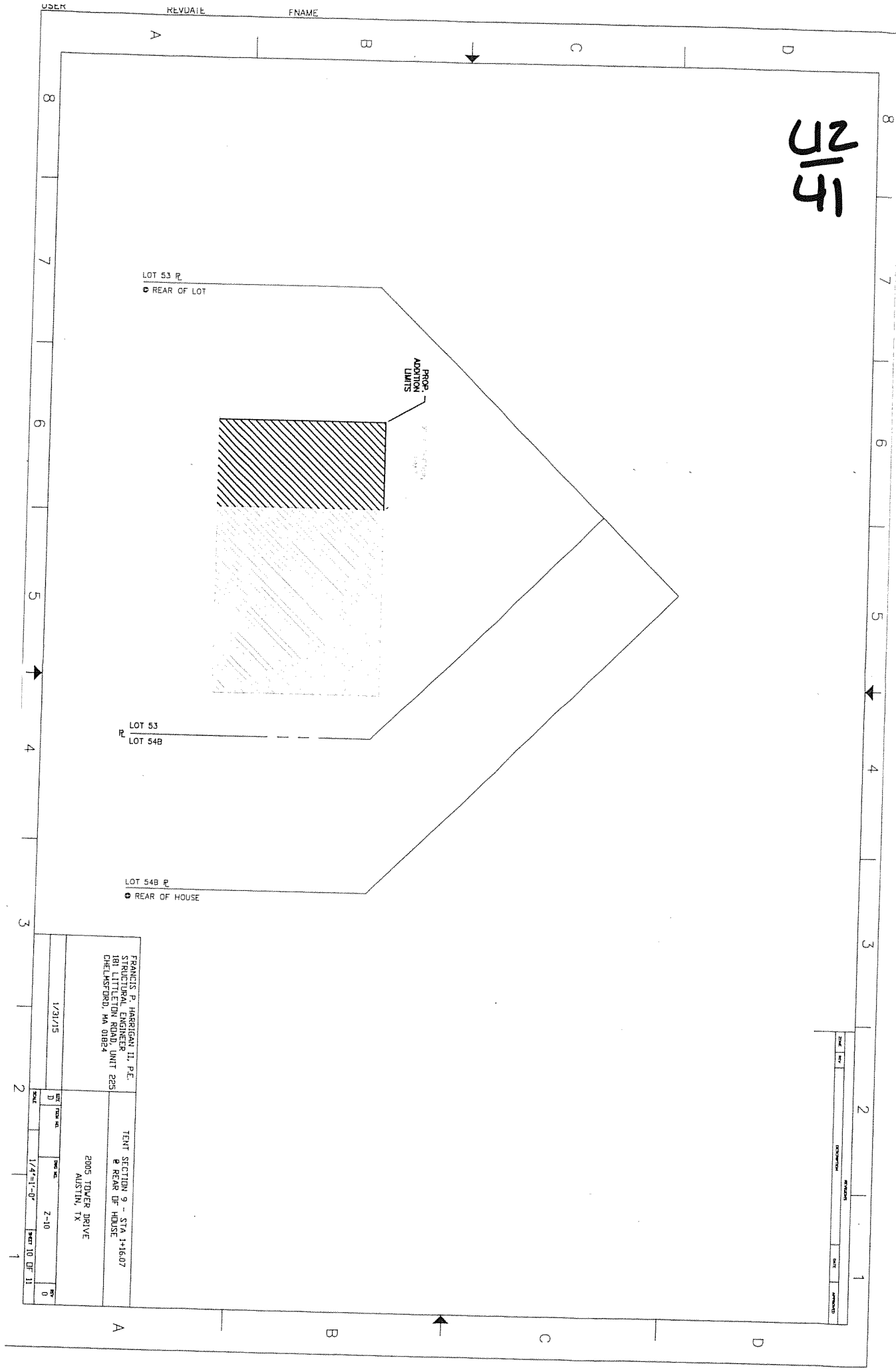
DATE	TIME	BY	REVISION
1/31/15	10:00 AM	FRP	1
1/4/15	1:00 PM	FRP	2
1/4/15	1:00 PM	FRP	3
1/4/15	1:00 PM	FRP	4
1/4/15	1:00 PM	FRP	5
1/4/15	1:00 PM	FRP	6
1/4/15	1:00 PM	FRP	7
1/4/15	1:00 PM	FRP	8
1/4/15	1:00 PM	FRP	9
1/4/15	1:00 PM	FRP	10

412  
40

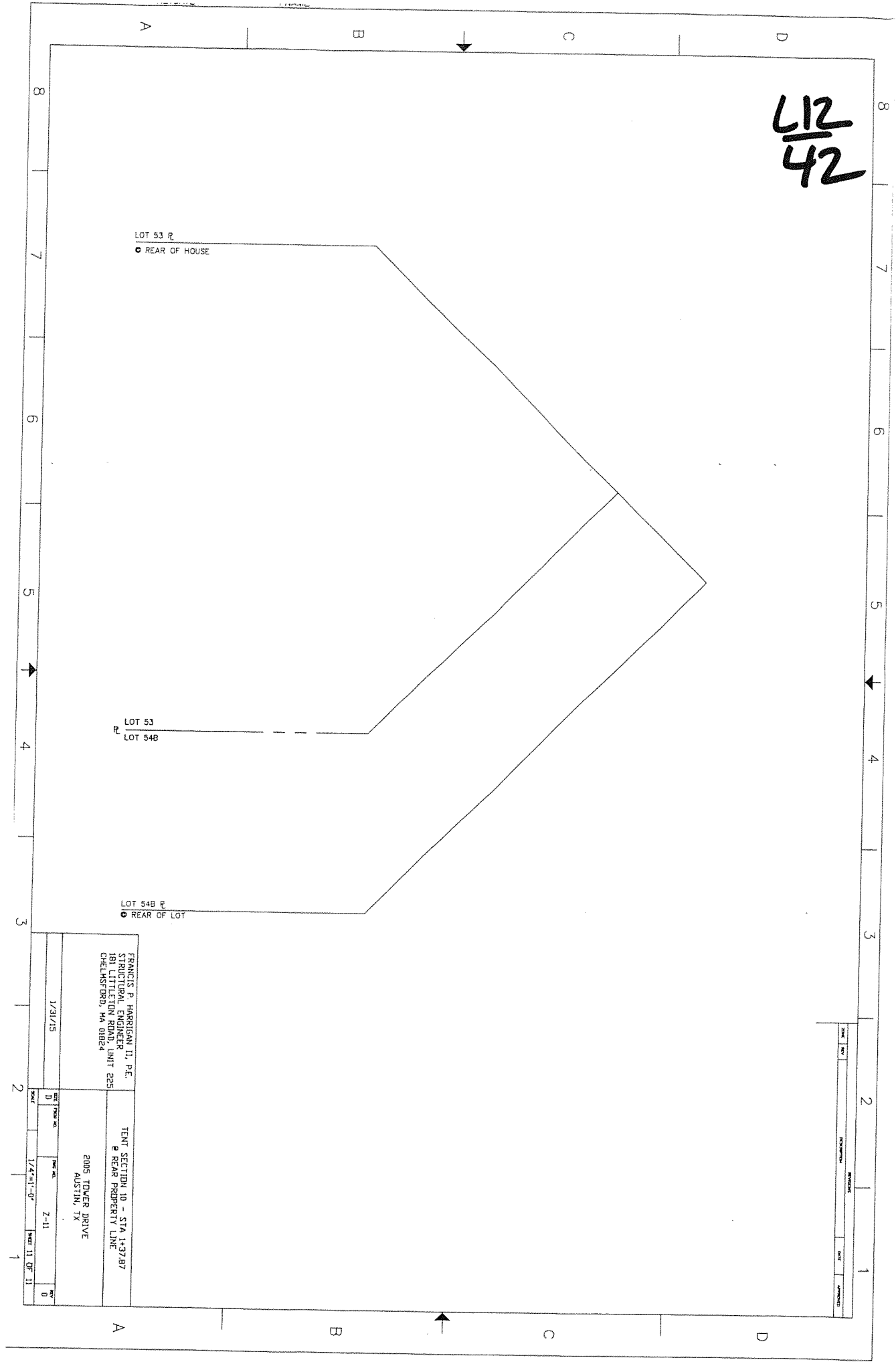




2/15

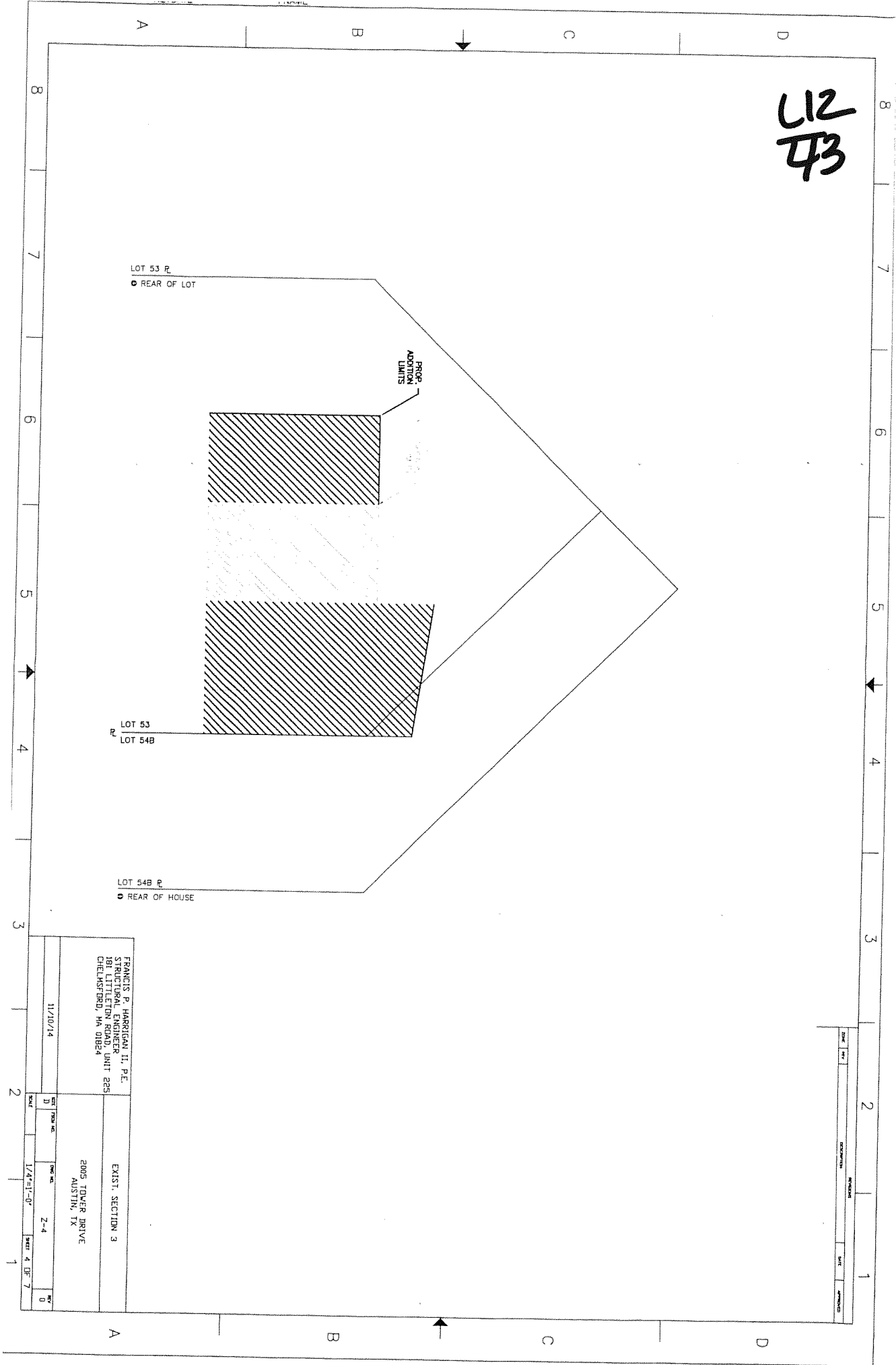


412  
42



FRANCIS D. HARRIS II, P.E.			
STRUCTURAL ENGINEER			
181 LITTLETON ROAD, SUITE 203			
CHELSEY, MA 01824			
1/31/15		TENT SECTION 10 - STA 1+37.87	
1/4" = 1' - 0"		REAR PROPERTY LINE	
2005 TOWER DRIVE		AUSTIN, TX	
Z-11		REV 0	
1/4" = 1' - 0"		SHEET 11 OF 11	

L12  
43



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 801 LITTLETON ROAD, UNIT 225 CIRCLEVILLE, OH 43084		EXIST. SECTION 3	
11/10/14	11/10/14	2005 TOWER DRIVE AUSTIN, TX	
11/10/14	11/10/14	1/4"=1'-0"	Sheet 4 of 7

Sheet	1 of 1	DATE	11/10/14	APPROVED
-------	--------	------	----------	----------

$$\begin{array}{r} 42 \\ \hline 44 \end{array}$$

LOT 53 R  
SECTION 7

**PROP. CRICKET**

R.  $\frac{\text{LOT 53}}{\text{LOT 54B}}$

LOT 54B R  
 \* FACE OF FRONT

FRANCIS P. HARRIGAN II, P.E.  
STRUCTURAL ENGINEER  
181 LITTLETON ROAD, UNIT 225  
CHELMSFORD, MA 01824

PROP. SECTION 1

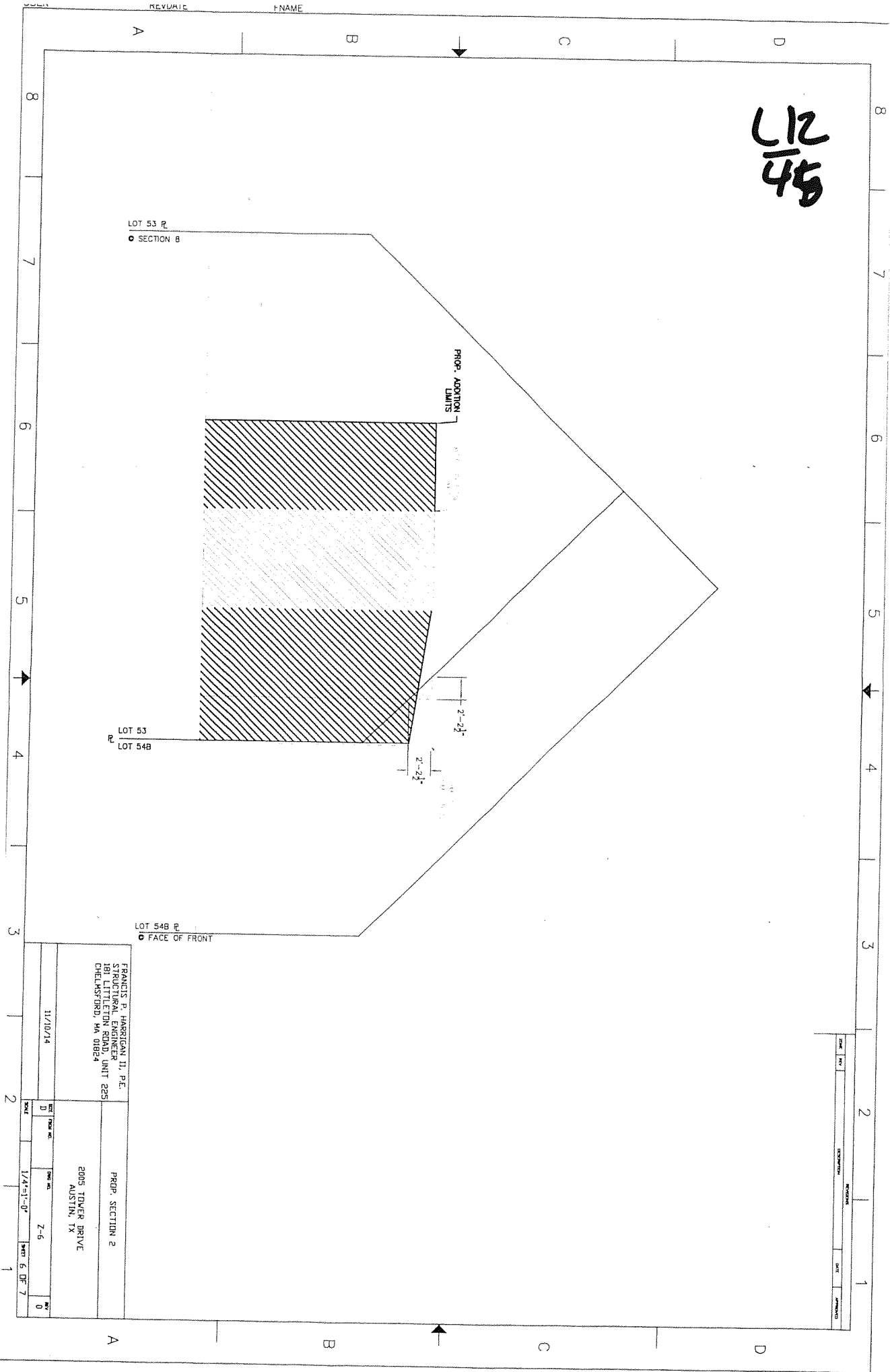
2005 TOWER DRIVE  
AUSTIN, TX

11/10/14

NO. 1	NO. 2	NO. 3	NO. 4
D	Z-5	1/4" = 1'-0"	5 OF 7

REVISIONS		DATE	APPROVED
REV	DESCRIPTION		

12  
45



LOT 53 R  
SECTION 8

PROP. ADDITION  
LIMITS

R LOT 53  
R LOT 54B

LOT 54B R  
FACE OF FRONT

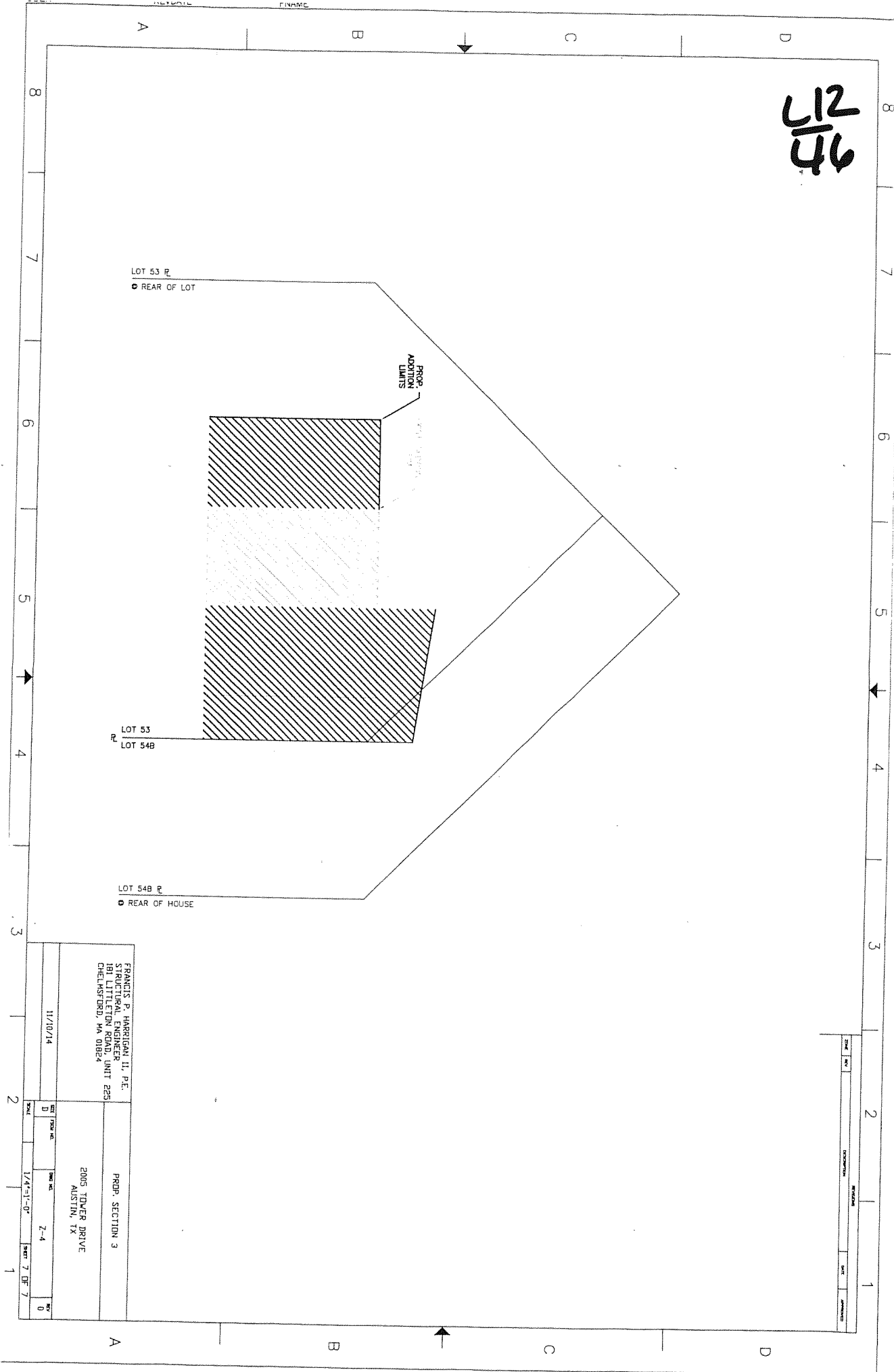
FRANCIS P. HARRIS II, P.E.  
SURVEYOR  
181 LITTLEBERRY UNIT 225  
CHELSEA, MA 01824

PROP. SECTION 2  
2005 TOWER DRIVE  
AUSTIN, TX

11/10/14

DATE	TIME	DATE	TIME	DATE	TIME
11/10/14	10:00	11/10/14	10:00	11/10/14	10:00
11/10/14	10:00	11/10/14	10:00	11/10/14	10:00

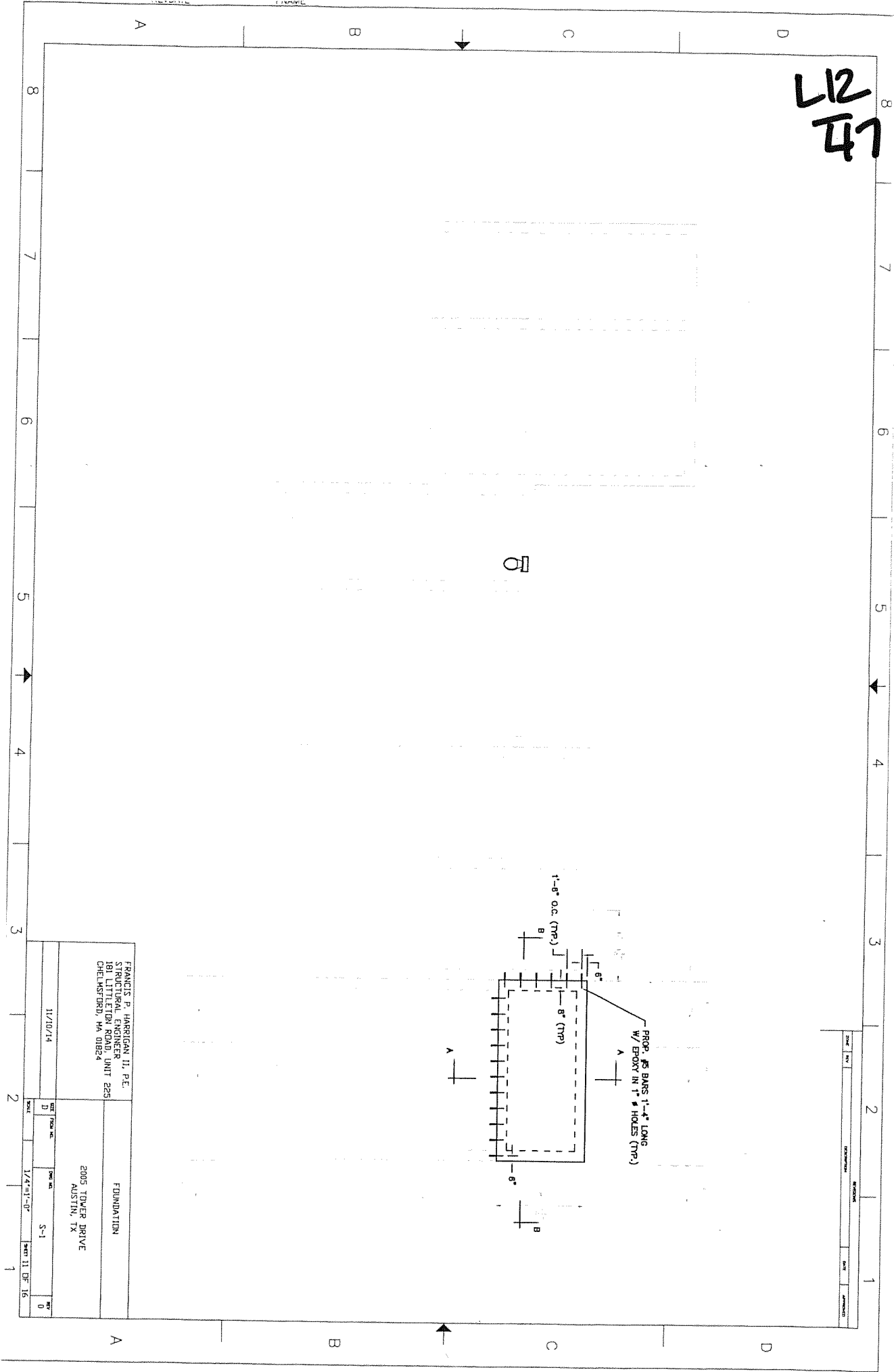
612  
715  
46



FRANCIS P. HARRIS, II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		PROP. SECTION 3	
2005 TOWER DRIVE AUSTIN, TX		Z-4	
11/10/14	1/4"=1'-0"	Sheet 7 OF 7	NO 0

DATE	REV	DESCRIPTION	BY	APPROVED

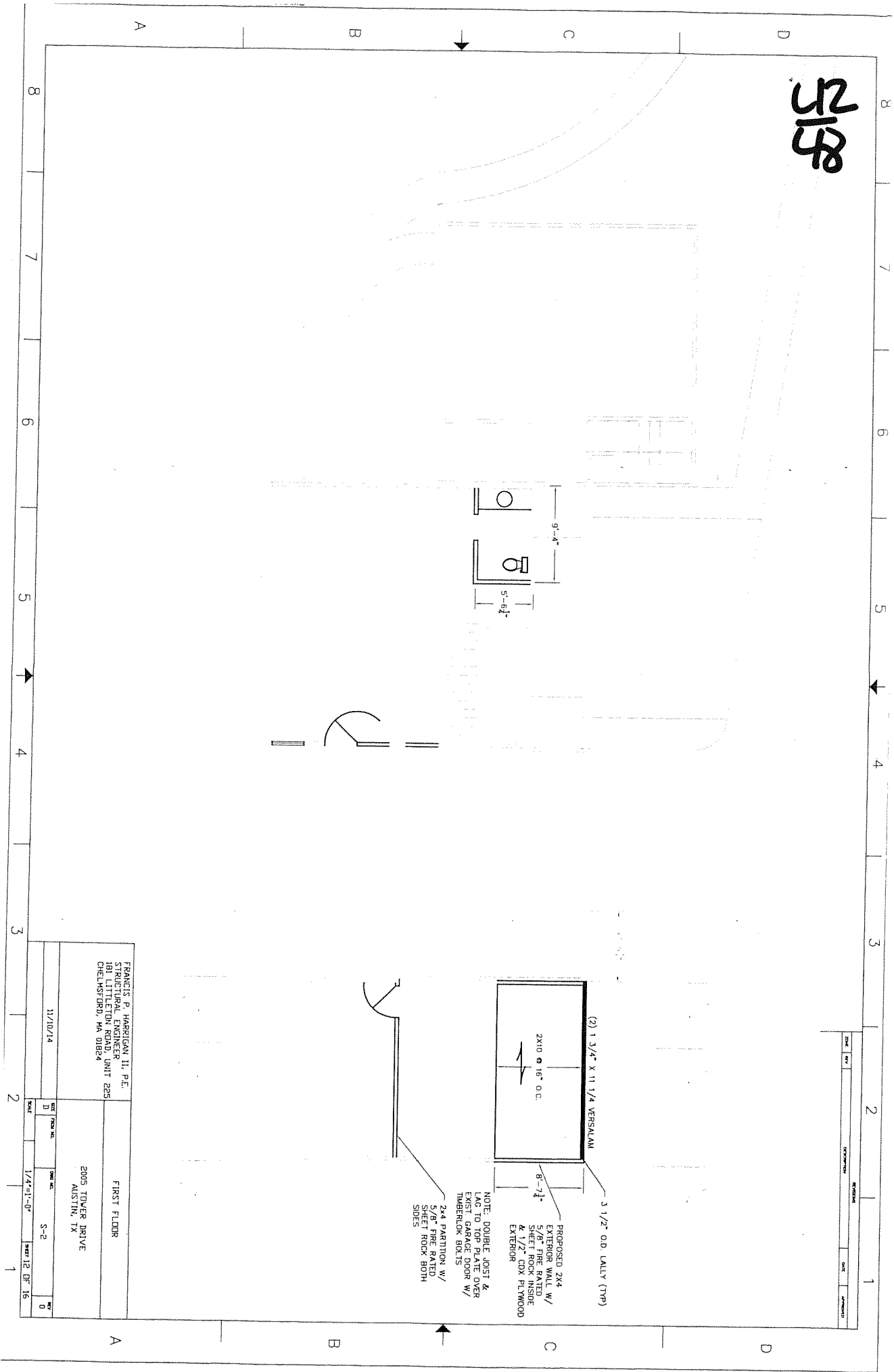
L12  
47



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		FOUNDATION	
11/10/14	11/10/14	2005 TOWER DRIVE AUSTIN, TX	
D	1/4"=1'-0"	S-1	16

DATE	BY	REVISION	DATE	BY	REVISION

25/8



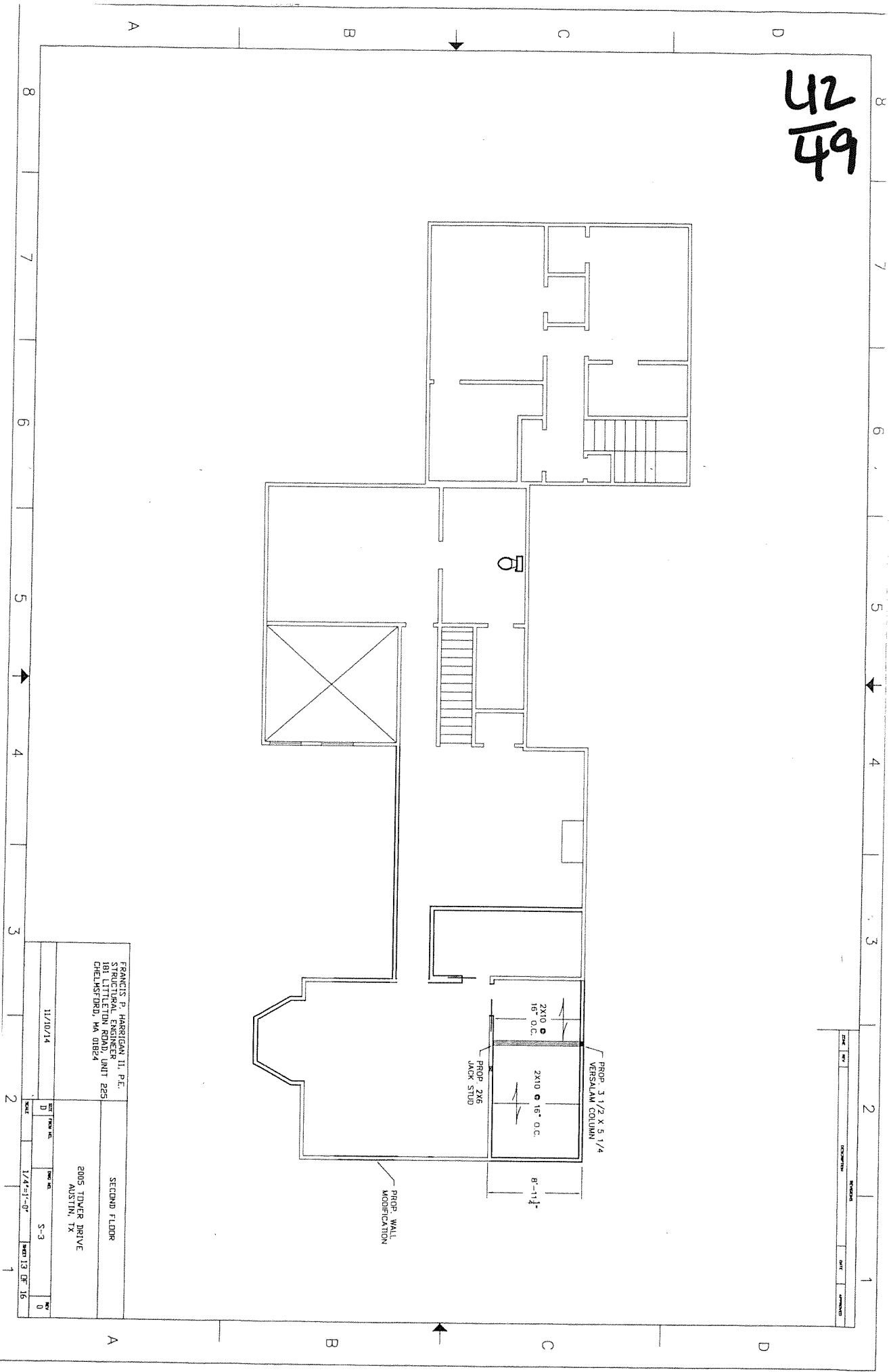
DATE	BY	REVISION	DATE	BY	REVISION

FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 GLENVIEW, MA 01924		FIRST FLOOR	
11/10/14	11/10/14	1/4"=1'-0"	12 OF 16
2005 TOWER DRIVE AUSTIN, TX	S-2		

(2) 1 3/4" X 11 1/4" VERSALAM  
 3 1/2" O.D. LALLY (TYP)  
 PROPOSED 2x4  
 EXTERIOR WALL W/  
 5/8" FIRE RATED  
 SHEET ROCK INSIDE  
 3/4" CDX PLYWOOD  
 EXTERIOR  
 NOTE: DOUBLE JOIST &  
 2x10 TOP PLATE OVER  
 EXIST. GRAFT FLOOR W/  
 TIMBERLOK BOLTS  
 2x4 PARTITION W/  
 5/8" FIRE RATED  
 SHEET ROCK BOTH  
 SIDES

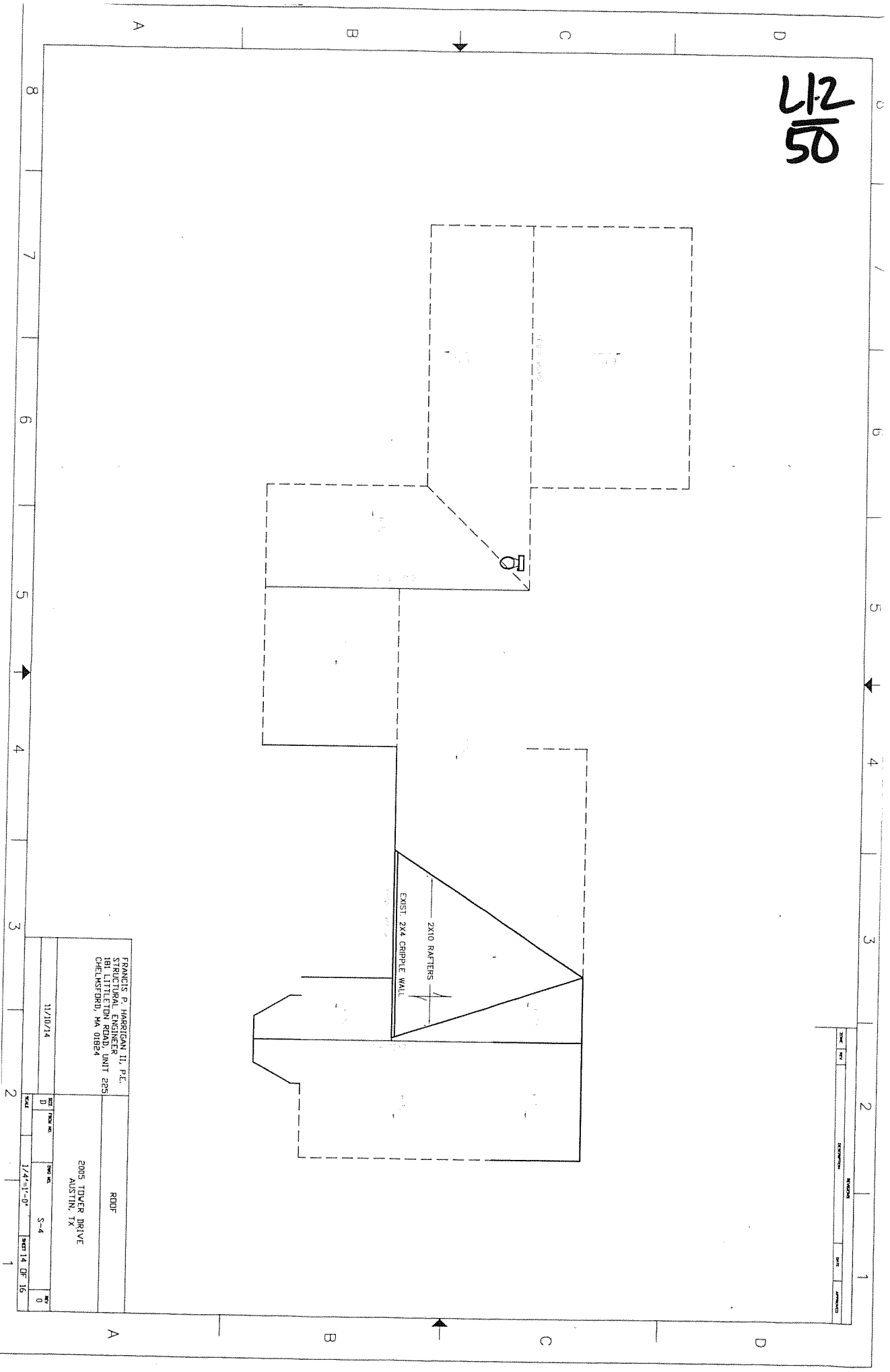


42  
49



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEFIELD, MA 01824		SECOND FLOOR	
2005 TOWER DRIVE AUSTIN, TX		S-3	
11/10/14	11/10/14	1/4"=1'-0"	13'-16"
D	1/4"=1'-0"	13'-16"	0

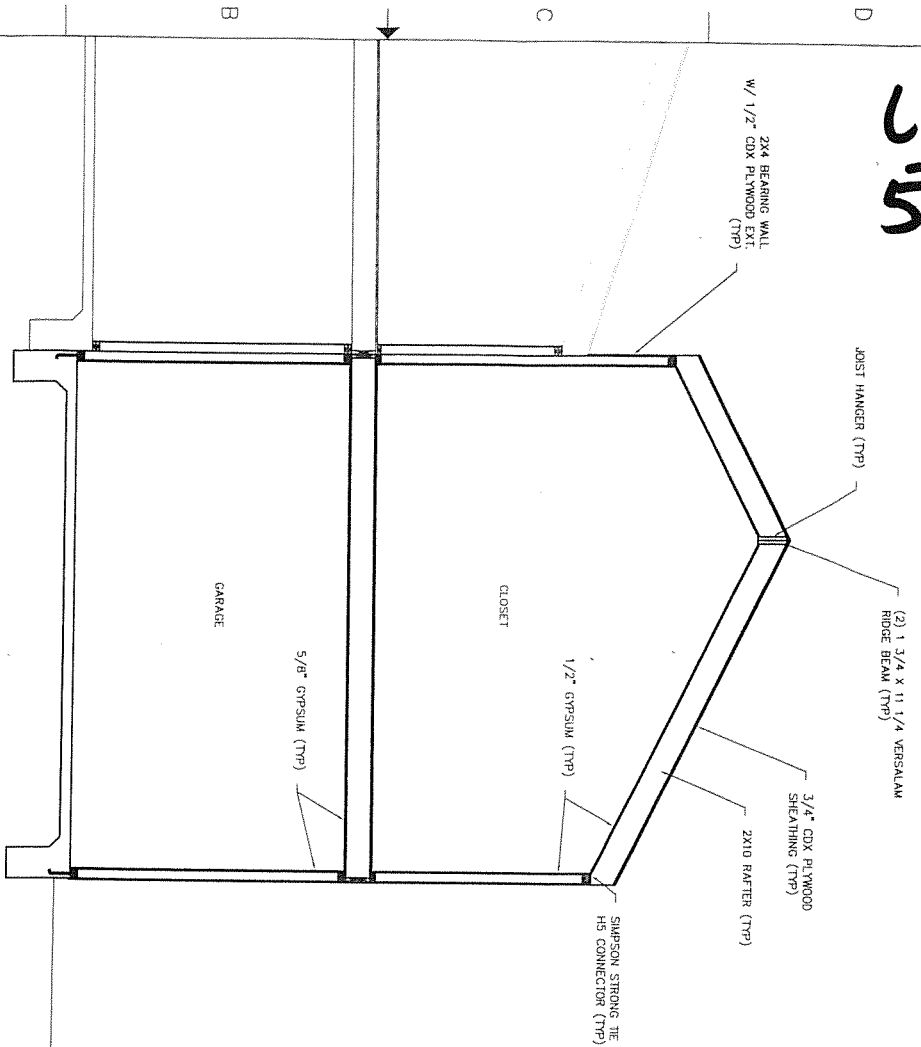
412  
50



DATE	BY	REVISION	DATE	BY	REVISION

FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01924		ROOF	
11/10/14		2005 TOWER DRIVE AUSTIN, TX	
DATE	11/10/14	SCALE	1/4"=1'-0"
BY	D	APP'D	S-4
CHECKED		DATE	11/14/14

612  
51



- STRUCTURAL NOTES:
1. ALL DIMENSIONAL LUMBER SHALL BE NO. 2 SPRUCE-PINE-FIR OR BETTER.
  2. ALL RAFTERS SHALL BE CONNECTED TO ROOF RIDGE BEAM WITH PROPERLY SIZED SPROUSE STRONGTIE JOIST HANGERS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  3. ALL RAFTERS SHALL BE CONNECTED TO TOP WALL PLATE WITH SPROUSE STRONGTIE HS CONNECTORS.
  4. ENGINEERED LUMBER BEAM SECTIONS SHALL BE BOISE-CASCADE VERSA-LAM 2.0 3100 27S OR EQUIVALENT.
  5. CONCRETE SHALL BE F'C=3000 PSI.
  6. REBAR SHALL BE F<sub>y</sub>=60KSI.
  7. ANCHOR BOLTS SHALL BE ASTM A307.

FRANCIS P. HARRIGAN II, P.E.  
STRUCTURAL ENGINEER, UNIT 225  
18111 LITLED RD.  
CHELSEA, MA 01824

TYPICAL FRAMING  
2805 TOWER DRIVE  
AUSTIN, TX

11/10/14

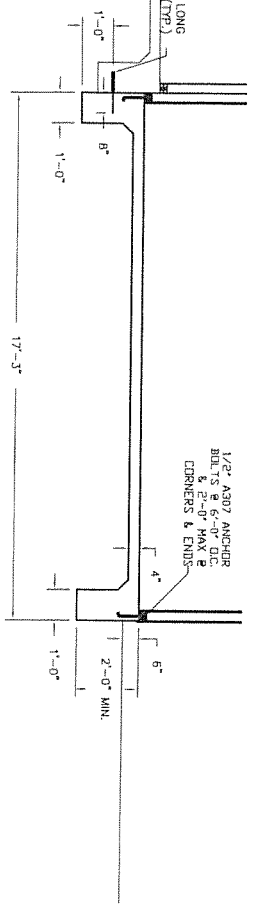
REV	DESCRIPTION	DATE
0	1/2"=1'-0"	11/10/14
1	1/2"=1'-0"	11/10/14

42/52

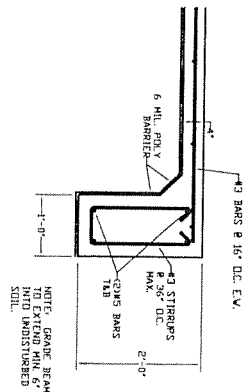
SECTION A-A  
(SCALE 1/2"=1'-0")

SECTION B-B  
(SCALE 1/2"=1'-0")

- STRUCTURAL NOTES:
1. ALL DIMENSIONAL LUMBER SHALL BE NO. 2 SPRUCE-PINE-FIR OR BETTER.
  2. ALL RAFTERS SHALL BE CONNECTED TO ROOF RIDGE BEAM WITH PROPERLY SIZED SIMPSON STRONGTIE JOIST HANGERS INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
  3. ALL RAFTERS SHALL BE CONNECTED TO TOP WALL PLATE WITH SIMPSON STRONGTIE H2SA CONNECTORS.
  4. FIRE EXAMPLE (442 KIPS).
  5. REQUIRED ANCHORAGE CAPACITIES ARE INDICATED ON THE PLANS IN PARENTHESES.
  6. REQUIRED ANCHORAGE CAPACITIES ARE INDICATED ON THE PLANS IN PARENTHESES.
  7. ENGINEERED LUMBER BEAM SECTIONS SHALL BE BOB ROY VERSA-CASCADE VERSA-LAM 180 2/50 COLUMNS.



DETAIL 1  
(SCALE 1"=1'-0")



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 2005 TOWER DRIVE AUSTIN, TX 78744		FOUNDATION DETAILS	
11/10/14	REV	DATE	BY
11/10/14	0	AS NOTED	16

