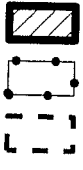
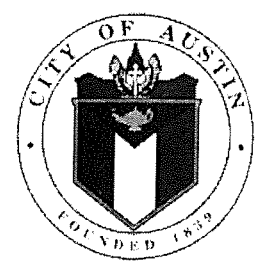


N



SUBJECT TRACT  
PENDING CASE  
ZONING BOUNDARY

**NOTIFICATIONS**  
CASE#: C15-2015-0129  
1172 NAVASOTA STREET



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 267'

CASE# C15-2015-0129  
ROW# 11394845  
TAX# 020806404

15/2

CITY OF AUSTIN  
APPLICATION TO BOARD OF ADJUSTMENT  
GENERAL VARIANCE/PARKING VARIANCE

**WARNING: Filing of this appeal stops all affected construction activity.**

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED  
INFORMATION COMPLETED.

STREET ADDRESS: 1172 NAVASOTA ST.

LEGAL DESCRIPTION: Subdivision – CENTER 50FT OF

Lot(s) 43,42 Block 55 Outlot 55 Division B

I PHIL MONCADA on behalf of myself/ourselves as authorized agent for

MARK CLAUSEN affirm that on JULY, 1<sup>ST</sup>,

hereby apply for a hearing before the Board of Adjustment for consideration to:

**(check appropriate items below and state what portion of the Land Development Code you are seeking a variance from)**

    ERECT     ATTACH     COMPLETE     REMODEL X MAINTAIN

(2008) EXISTING CARPORT THAT ENCROACHES ON FRONT YARD SETBACK by 2' ON SOUTH SIDE. THE REAR  
PORTION THAT IS A STORAGE ROOM ENCROACHES ON SIDE YARD SETBACK BY 2'.

in a SF-3-NP  
district.

(Central East Austin)  
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

**VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):**

M/3

**REASONABLE USE:**

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

LOT CONSISTS OF CENTER 50' OF LOTS 43,42

---

**HARDSHIP:**

2. (a) The hardship for which the variance is requested is unique to the property in that:

CARPORT SITS FURTHER BACK THAN MOST OF RESIDENTIAL STRUCTURES THAT ENCROACH ON FRONT YARD SETBACK. THE SIDE YARD SETBACK ENCROACHMENT WAS ASSOCIATED WITH USING EXISTING FOUNDATION FOR CARPORT.

---

- (b) The hardship is not general to the area in which the property is located because:

MAJORITY OF REMAINING LOTS ARE STANDARD LEGAL LOTS THAT ARE A PART OF RECORDED SUBDIVISION.

---

**AREA CHARACTER:**

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

SETBACK AVERAGING WILL SHOW THAT CHARACTER OF AREA IS NOT CHANGED, BUT NEW RESIDENCES

---

ACROSS THE STREET HAVE DONE THAT ALREADY.

---

**PARKING:** (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

N/A

---

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

N/A

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

N/A

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

N/A

**NOTE:** The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

**APPLICANT CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Phil Moncada Mail Address 1301 S. IH 35 STE 204

City, State & Zip AUSTIN, TEXAS 78741

Printed PHIL MONCADA Phone 512-627-8815 Date 7/1/15

**OWNERS CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Mark Clausen Mail Address 1172 NAVASOTA ST

City, State & Zip AUSTIN, TEXAS 78702

Printed MARK CLAUSEN Phone 512-853-0846 Date 7/2/15

SCALE 1" = 20'

37/3

# LEGEND

- 1/2" REBAR FOUND
- 1/2" REBAR SET
- # - # - WOOD FENCE
- ∞ - ∞ - CHAIN LINK FENCE
- ( ) RECORD INFORMATION
- WATER METER
- ⊗ AIR CONDITIONER
- ⊙ GAS METER
- ON INSIDE OF SUBJECT BOUNDARY
- ⌄ FENCE POST

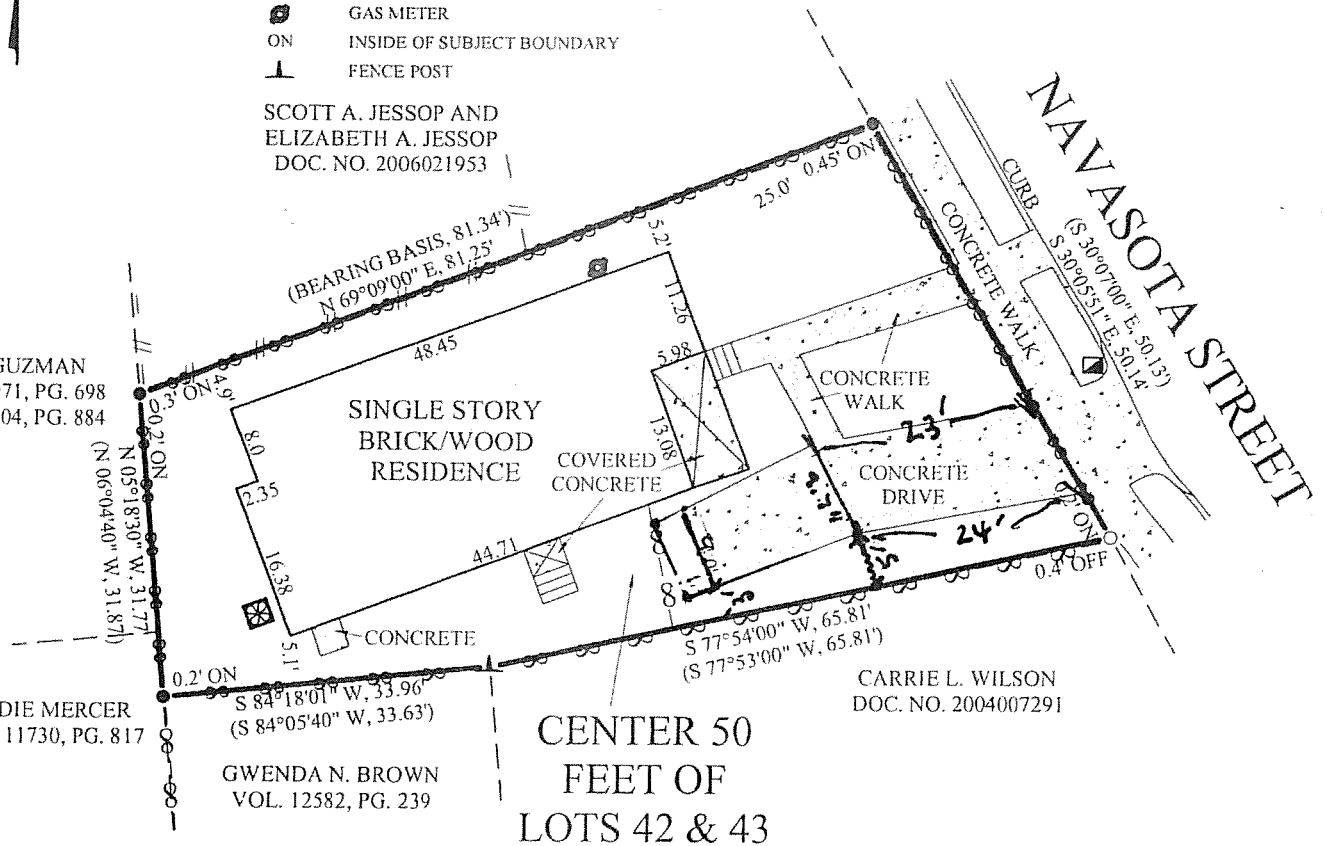
SCOTT A. JESSOP AND  
ELIZABETH A. JESSOP  
DOC. NO. 2006021953

JOSE GUZMAN  
VOL. 10971, PG. 698  
VOL. 11204, PG. 884

BIRDIE MERCER  
VOL. 11730, PG. 817

GWENDA N. BROWN  
VOL. 12582, PG. 239

CARRIE L. WILSON  
DOC. NO. 2004007291



A PORTION OF LOTS 42 AND 43, OF THE GEORGE L. ROBINSON SUBDIVISION OF OUTLOT NO. 55, DIVISION "B", IN THE CITY OF AUSTIN, TEXAS, A SUBDIVISION IN TRAVIS COUNTY, TEXAS; ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOL. Z, PAGE 599, OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS; AND BEING THE SAME AS DESCRIBED BY WARRANTY DEED WITH VENDOR'S LIEN TO KEVIN F. CARNEY DATED MARCH 28, 2000, FILED IN DOC. NO. 2000046770, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

COUNTY: TRAVIS STATE OF TEXAS STREET ADDRESS 1172 NAVASOTA STREET  
CITY: AUSTIN REFERENCE NAME MARK CLAUSEN AND FRANCES CLAUSEN

SCALE 1" = 20'

63

# LEGEND

- 1/2" REBAR FOUND
- 1/2" REBAR SET
- - - - WOOD FENCE
- - - - CHAIN LINK FENCE
- ( ) RECORD INFORMATION
- ◻ WATER METER
- ◻ AIR CONDITIONER
- ◻ GAS METER
- ON INSIDE OF SUBJECT BOUNDARY
- ⊥ FENCE POST

SCOTT A. JESSOP AND  
ELIZABETH A. JESSOP  
DOC. NO. 2006021953

JOSE GUZMAN  
VOL. 10971, PG. 698  
VOL. 11204, PG. 884

BIRDIE MERCER  
VOL. 11730, PG. 817

GWENDA N. BROWN  
VOL. 12582, PG. 239

CARRIE L. WILSON  
DOC. NO. 2004007291

CENTER 50  
FEET OF  
LOTS 42 & 43

Carport 18'9" long x 9'7"  
Storage room 8'7" deep x 9'

A PORTION OF LOTS 42 AND 43, OF THE GEORGE L. ROBINSON SUBDIVISION OF OUTLOT NO. 55, DIVISION "B", IN THE CITY OF AUSTIN, TEXAS, A SUBDIVISION IN TRAVIS COUNTY, TEXAS; ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOL. Z, PAGE 599, OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS; AND BEING THE SAME AS DESCRIBED BY WARRANTY DEED WITH VENDOR'S LIEN TO KEVIN F. CARNEY DATED MARCH 28, 2000, FILED IN DOC. NO. 2000046770, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

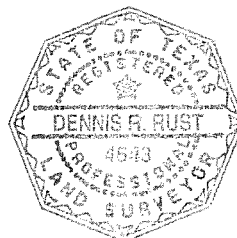
COUNTY: TRAVIS STATE OF TEXAS STREET ADDRESS 1172 NAVASOTA STREET  
CITY: AUSTIN REFERENCE NAME MARK CLAUSEN AND FRANCE CLAUSEN

SIGNED BY \_\_\_\_\_

**ALLSTAR**  
Land surveying

9020 ANDERSON MILL RD  
AUSTIN, TEXAS 78729  
(512) 249-8149 PHONE  
(512) 331-5217 FAX  
WWW.ALLSTARLANDSURVEYING.COM

*Dennis Rust*



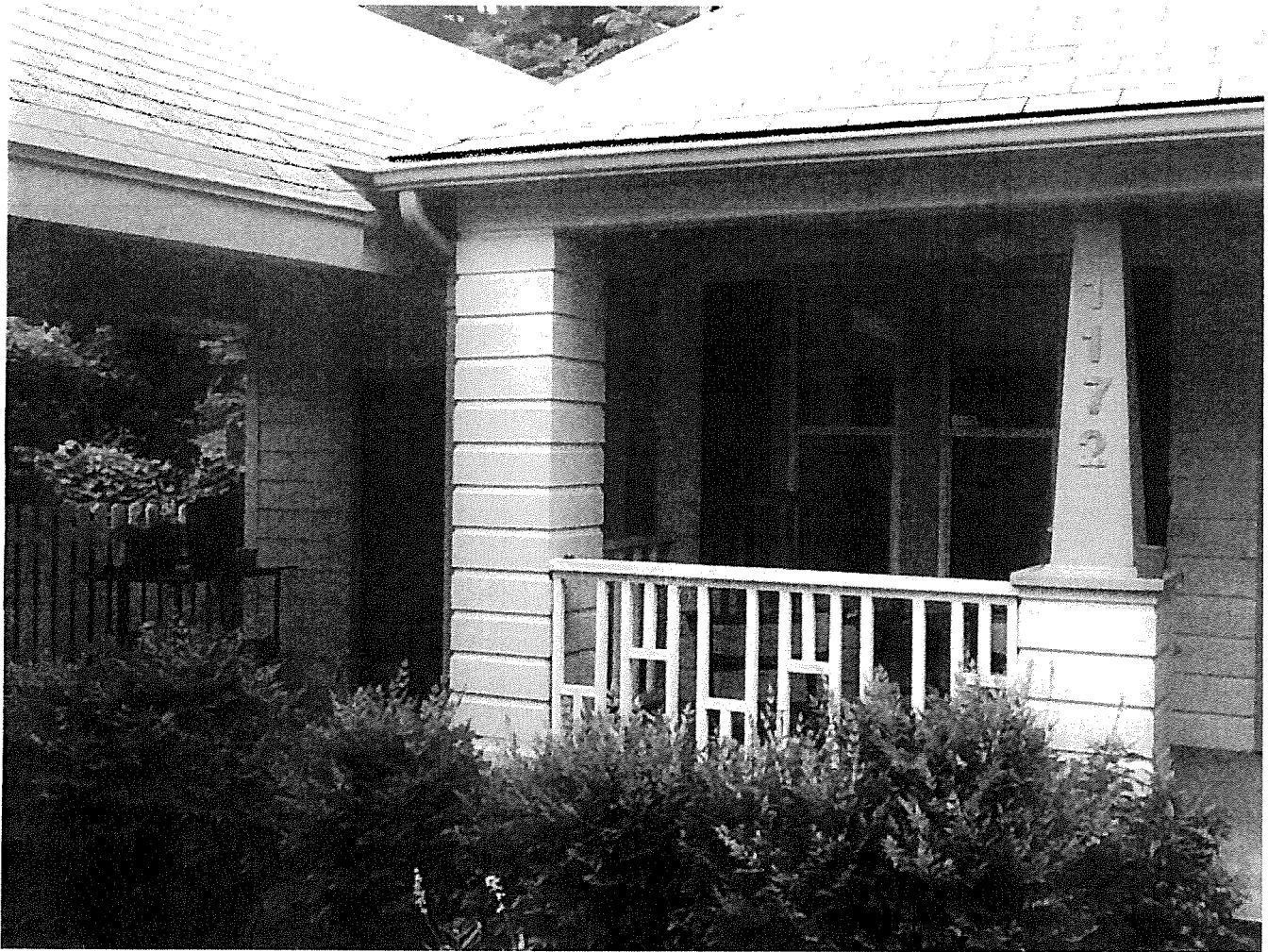
TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED AND TO  
TEXAS AMERICAN TITLE COMPANY  
I DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY  
SUPERVISION AND TO THE BEST OF MY KNOWLEDGE OF THE PROPERTY LEGALLY  
DESCRIBED HEREON AND THAT THERE ARE NO BOUNDARY LINE CONFLICTS,  
ENCROACHMENTS OVERLAPPING OF IMPROVEMENTS, OR ROADS IN PLACE, EXCEPT  
AS SHOWN HEREON, AND CERTIFIES ONLY TO THE LEGAL DESCRIPTION AND  
EASEMENTS SHOWN ON THE REFERENCE TITLE COMMITMENT

THIS PROPERTY DOES NOT LIE WITHIN THE  
100 YEAR FLOOD, AND HAS A ZONE "X"  
RATING AS SHOWN ON THE FLOOD  
INSURANCE RATE MAPS  
F.I.R.M. MAP NO.: 48453C0165 E  
PANEL: 0165 E  
DATED: JUNE 16, 1993  
THIS CERTIFICATION IS FOR INSURANCE  
PURPOSES ONLY AND IS NOT A GUARANTEE  
THAT THIS PROPERTY WILL OR WILL NOT  
FLOOD. CONTACT YOUR LOCAL FLOOD  
ADMINISTRATOR FOR THE CURRENT STATUS  
OF THIS TRACT.

SURVEY DATE	MARCH 07, 2007	
TITLE CO	TEXAS AMERICAN TITLE COMPANY	
G.F. NO.	101-07-1068	
JOB NO	A0300407	
FIELD BY	WILL BRISENO	03/05/2007
CALC. BY	PAUL RUST	03/06/2007
DRAWN BY	DANIEL TREVINO	03/06/2007
CHECKED BY	DANIEL TREVINO	03/06/2007
RPLS CHECK	DENNIS RUST	03/07/2007

From: **Phil Moncada** moncadataz@sbcglobal.net  
Subject: 1172 Navasota carport  
Date: July 8, 2015 9:16 AM  
To: [REDACTED]

1172



Sent from my iPad

From: **Phil Moncada** moncadataz@sbcglobal.net  
Subject: 1172 Navasota side yard looking east carport  
Date: July 8, 2015 9:17 AM  
To: [REDACTED]

37  
8



Sent from my iPad



From: **Phil Moncada** moncadataz@sbcglobal.net  
Subject: 1172 Navasota carport looking west  
Date: July 8, 2015 9:19 AM  
To: [REDACTED]

37  
9



Sent from my iPad

3/10

From: **Phil Moncada** moncadataz@sbcglobal.net  
Subject: 1172 Navasota carport front view looking west  
Date: July 8, 2015 9:18 AM  
To: [REDACTED]



Sent from my iPad

13

From: **Phil Moncada** moncadataz@sbcglobal.net  
Subject: 1172 Navasota carport looking south at adjacent structure  
Date: July 8, 2015 9:18 AM  
To: [REDACTED]



Sent from my iPad

SCALE 1" = 20'



# LEGEND

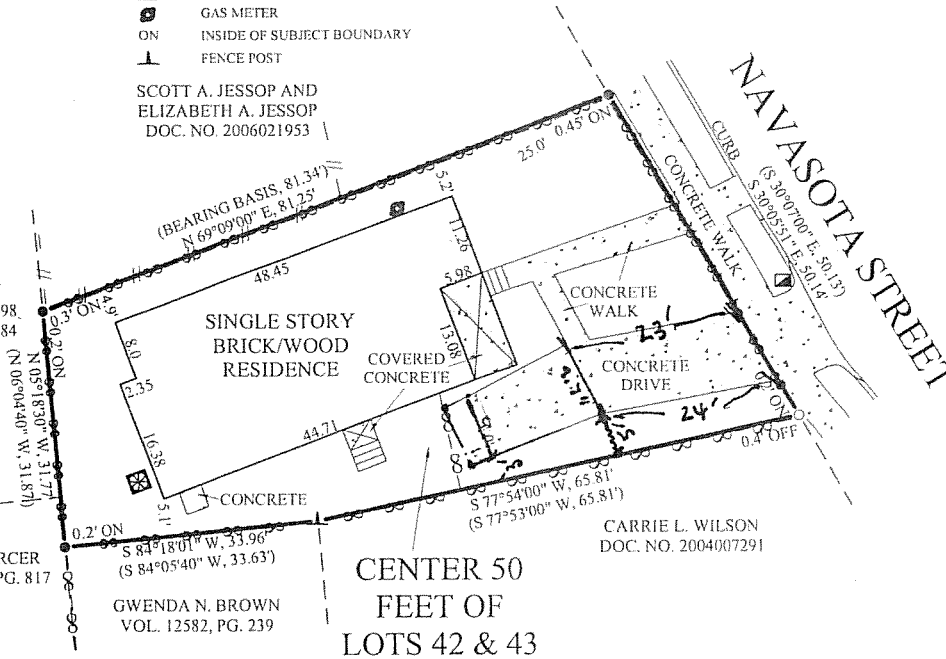
- 1/2" REBAR FOUND
- 1/2" REBAR SET
- - - - WOOD FENCE
- X-X- CHAIN LINK FENCE
- ( ) RECORD INFORMATION
- ◻ WATER METER
- ◻ AIR CONDITIONER
- ◻ GAS METER
- ON INSIDE OF SUBJECT BOUNDARY
- ⊥ FENCE POST

SCOTT A. JESSOP AND  
ELIZABETH A. JESSOP  
DOC. NO. 2006021953

JOSE GUZMAN  
VOL. 10971, PG. 698  
VOL. 11204, PG. 884

BIRDIE MERCER  
VOL. 11730, PG. 817

GWENDA N. BROWN  
VOL. 12582, PG. 239



CARRIE L. WILSON  
DOC. NO. 2004007291

carport 18'9" long x 9'7"  
storage room 3'7" deep x 9'

A PORTION OF LOTS 42 AND 43, OF THE GEORGE L. ROBINSON SUBDIVISION OF OUTLOT NO. 55, DIVISION "B", IN THE CITY OF AUSTIN, TEXAS, A SUBDIVISION IN TRAVIS COUNTY, TEXAS; ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOL. Z, PAGE 599, OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS; AND BEING THE SAME AS DESCRIBED BY WARRANTY DEED WITH VENDOR'S LIEN TO KEVIN F. CARNEY DATED MARCH 28, 2000, FILED IN DOC. NO. 2000046770, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

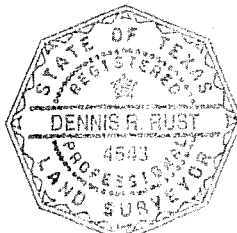
COUNTY: TRAVIS STATE OF TEXAS STREET ADDRESS 1172 NAVASOTA STREET  
CITY: AUSTIN REFERENCE NAME MARK CLAUSEN AND FRANCE CLAUSEN

SIGNED BY \_\_\_\_\_

**ALLSTAR**  
Land surveying

9020 ANDERSON MILL RD  
AUSTIN, TEXAS 78729  
(512) 249-8149 PHONE  
(512) 331-5217 FAX  
WWW.ALLSTARLANDSURVEYING.COM

*Dennis Rust*



TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED AND TO

TEXAS AMERICAN TITLE COMPANY

I DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE OF THE PROPERTY LEGALLY DESCRIBED HEREON AND THAT THERE ARE NO BOUNDARY LINE CONFLICTS, ENCROACHMENTS OVERLAPPING OF IMPROVEMENTS, OR ROADS IN PLACE, EXCEPT AS SHOWN HEREON, AND CERTIFIES ONLY TO THE LEGAL DESCRIPTION AND EASEMENTS SHOWN ON THE REFERENCE TITLE COMMITMENT

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD, AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS  
F.I.R.M. MAP NO: 48453C0165 E  
PANEL: 0165 E  
DATED: JUNE 16, 1993  
THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD. CONTACT YOUR LOCAL FLOOD ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.

SURVEY DATE	MARCH 07, 2007	
TITLE CO	TEXAS AMERICAN TITLE COMPANY	
G.F. NO	101-07-1068	
JOB NO	A0300407	
FILED BY	WILL BRISENO	03/05/2007
CALC BY	PAUL RUST	03/06/2007
DRAWN BY	DANIEL TREVINO	03/06/2007
CHECKED BY	DANIEL TREVINO	03/06/2007
RPLS CHECK	DENNIS RUST	03/07/2007



