City of Austin Ordinance No. 20140130-021

Section R320 Visitability

R320.3 A Visitable dwelling with at least one bathroom or half bath on the first floor meets the following requirements:

1. Min. Clear opening of 30" required
2. 2x6 blocking installed flush with stud edges
3. Centerline of blocking must be 34" parallel to interior floor, except for the area directly behind the lavatory.

R320.4 Visitable Light Switches, receptacles, and environ. controls- on the first floor only of a visitable dwelling

1.switches no higher than 48" above interior floor level

2. outlets and receptacles must be a min. of 15" above the interior floor level, except for floor outlets and receptacles

R320.5 Visitability Bathroom route. A bathroom group or half bath designated for visitability must be accessible by route with min. clear opening of 32" beginning at the visitable entrance and continue through the home, be level with ramped or beveled changes at door threshold.

R320.6 Visitable dwelling entrance. Dwelling must be accessible by at least one no step entrance with a clear opening width of 32"

R320.7 Exterior Visitable route. A visitable entrance must have at least one visitable route with a cross slope of no greater than 2% (1:50) that originates from a garage, driveway, public street or public sidewalk. A ramp included in an exterior visitable route must comply with the Residential Code.

All dimensions and call-outs to be verified by builder prior to construction. Barron Custom Design assumes no liability for any structure built from these plans. No changes shall be made without consulting the designer first.

3408 Happy Hollow Lane
Lot 3 Block 14
Happy Hollow Subdivision,
SF3-NP
Neighborhood Planning Areas:
Windsor Road,
Central West Combined NPA

These Plans have been Prepared by
Felicia B. Foster, CPBD # 44-719
Stamp and Signature Provided in Blue on originals for Regulatory Submittals.

N·C·B·D·C
NATIONAL COUNCIL OF BUILDING DESIGN CERTIFICATION
7.20.15
FELICIA BARRON FOSTER
CERTIFICATION NO. 44-719
TM

Note: Gross floor area footages are measured to exterior finish

Building Coverage

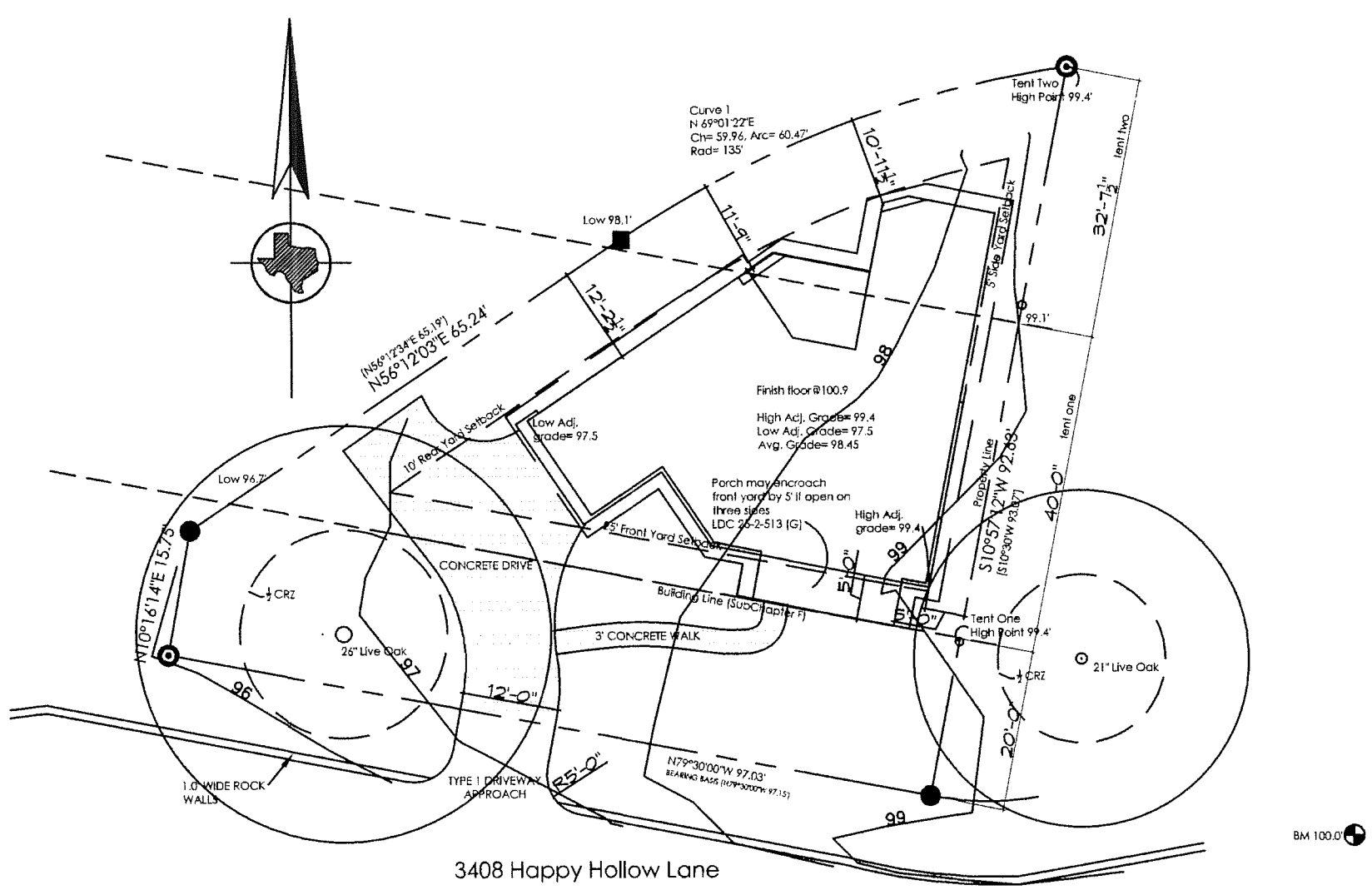
	Existing	New/Addition
a. 1st floor conditioned area	0.00	1138.00
b. 2nd floor conditioned area	0.00	1022.00
c. 3rd floor conditioned area		0.00
d. Basement		
e. Garage / Carport		
Attached	0.00	278.00
Detached		
f. Wood decks	0.00	0.00
g. Breezeways		
h. Covered patios	0.00	128.00
i. Covered porches	0.00	100.00
j. Balconies		0.00
k. Swimming pool(s)		
l. Other building or covered area(s)		54.00
Brick Ledge		
	0.00	2720.00
Total Building Area:		2720.00
Total Building Area (except b,c,d,f,k):		1779.00
Lot Size:		5836.00
Total Building Coverage on Lot:		30.48%

Impervious Coverage

a. Total building coverage on lot	1779.00
b. Driveway area on private property	670.00
c. Sidewalk / walkways on private property	69.00
d. Uncovered patios	0.00
e. Uncovered wood decks *[may be counted at 50%]*	
f. Air conditioner pads	12.00
g. Concrete decks	
h. Other	0.00
Total Impervious Cover:	2530.00
Lot Size:	5836.00
Impervious Cover Ratio of Lot:	43.35%

Gross Floor Area & Floor Area Ratio

	Existing	New/Addition
I. 1st Floor Gross Area		
a. 1st floor area *(excluding covered or uncovered finished ground-floor porches)*	0.00	1192.00
b. 1st floor area with ceiling height over 15 feet		
c. **TOTAL** *(add a and b above)*	0.00	1192.00
II. 2nd Floor Gross Area		
d. 2nd floor area *(including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)*	0.00	1060.00
e. 2nd floor area with ceiling height > 15 feet.		0.00
f. **TOTAL** *(add d and e above)*	0.00	1060.00
III. 3rd Floor Gross Area		
g. 3rd floor area *(including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).*	0.00	0.00
h. 3rd floor area with ceiling height > 15 feet		
i. ***TOTAL (add g and h above)***	0.00	0.00
IV. Basement Gross Area		
j. Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines		
V. Garage		
k. attached *(subtract 200 square feet if used to meet the minimum parking requirement)*		78.00
l. detached *(subtract 450 square feet if more than 10 feet from principal structure)*		0.00
VI. Carport *(open on two or more sides without habitable space above it subtract 450 square feet)*		0.00
VII TOTAL	0.00	2330.00
Total Gross Floor Area (Existing & New):	2330.00	
Gross Area of Lot:	5836.00	
Floor Area Ratio:	39.92%	



3408 Happy Hollow Lane

PS Denz, LLC

3408 Happy Hollow
Happy Hollow Subdivision,
Travis Co
Austin, Texas

Barron Custom Design, LLC
Felicia Foster, Principal, Assoc.AIA, CPBD

REVISE

DATE	COMME
4.12.15	Review
5.6.15	Review
5.15.15	Review
5.20.15	Enginee
6.22.15	Bid Set
7.6.15	Permit Se

Proposed Site

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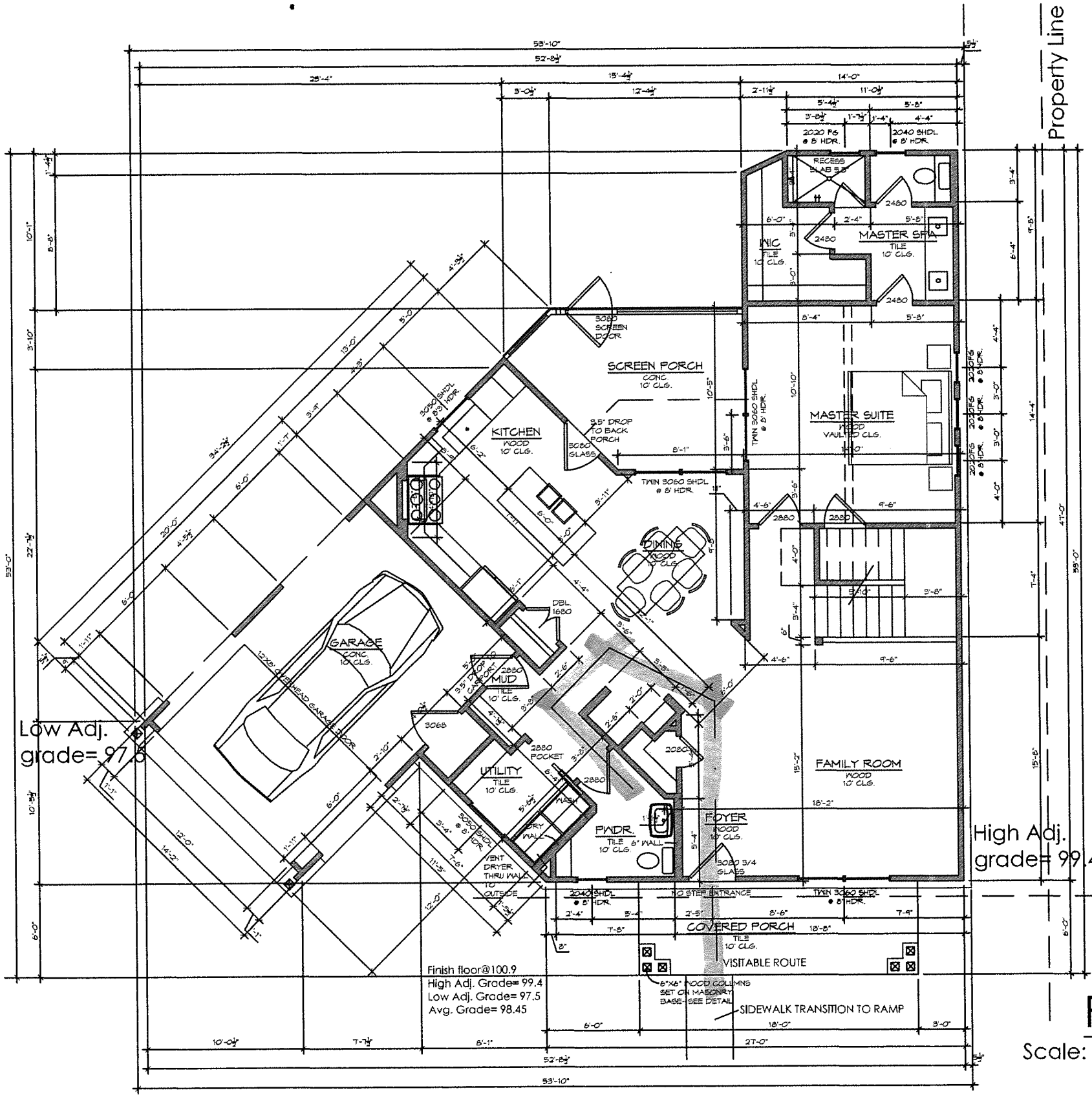
NCBDC NATIONAL COUNCIL OF BUILDING DESIGNERS CERTIFICATION
7.20.15
FELICIA BARRON FOSTER
CERTIFICATION NO. 44-719 TM



First floor= 1138 (HTD)
Second floor= 1022 (HTD)
Total= 2160

First Floor

Scale: 1/8" (11x17) 1/4" (24x36)

Smoke Detectors:

Provide Smoke Alarms- hard wired, interconnected, battery back-up, at each sleeping room and immediate common area outside of sleeping rooms. If applicable, on each additional story including basements and habitable attics. In accordance with 2012 IRC Sec R314

Carbon Monoxide Alarms:

Provide Carbon Monoxide Alarm- hard wired with battery backup, installed outside each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances and/or have an attached garage. In accordance with 2012 Sec R315

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4.12.15	Review
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5.15.15	Review
5.20.15	Enginee
6.22.15	Bid Set
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A-1

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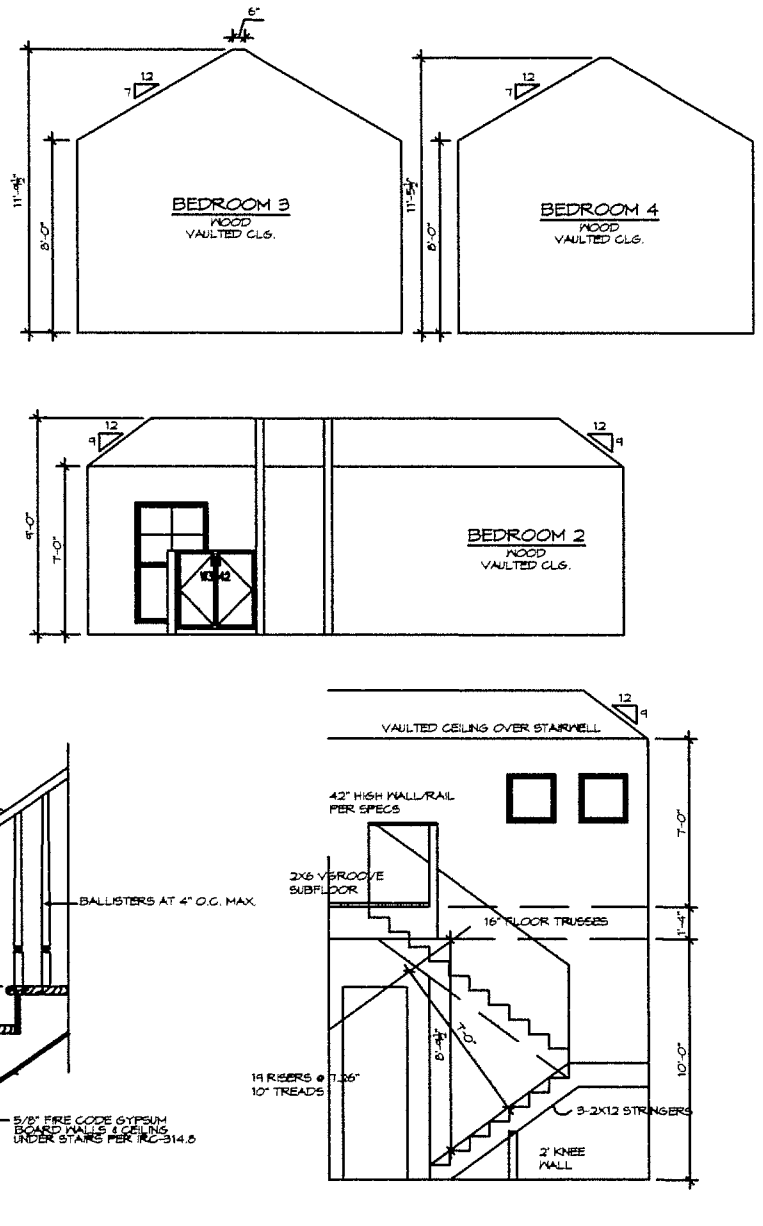
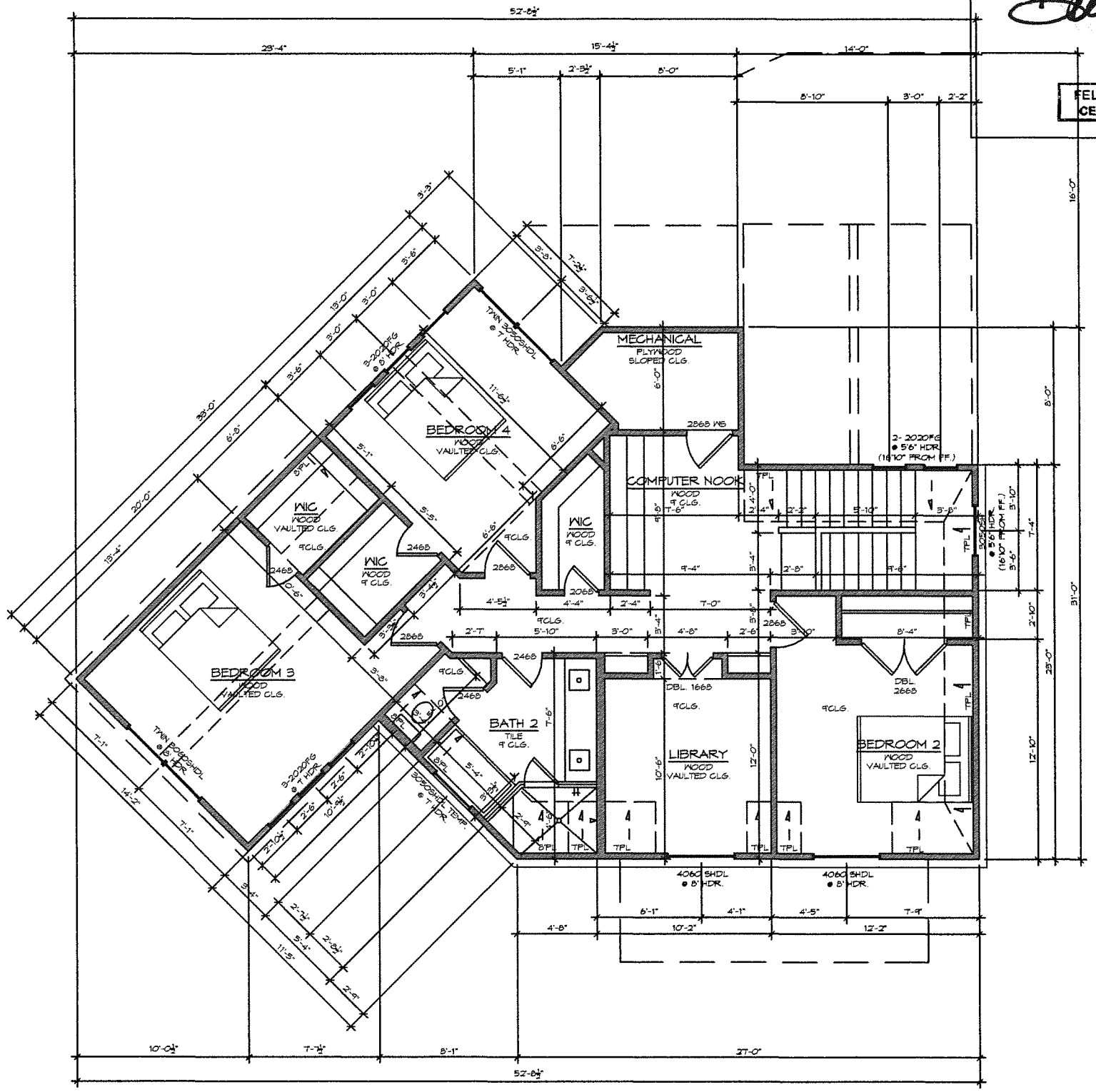
7-20-15

FELICIA BARRON FOSTER
CERTIFICATION NO. 44-719



Sections

Scale: 1/8" (11x17) 1/4" (24x36)



Second Floor

Scale: 1/8" (11x17) 1/4" (24x36)

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Happy Hollow Subdivision,
Travis Co
Austin, Texas

Barron Custom Design, LLC
Felicia Foster, Principal, Assoc.AIA, CPBD
512.626.7078

REVISEI

DATE	COMMEN
4.12.15	Review
5.6.15	Review
5.15.15	Review
5.20.15	Engineeri
6.22.15	Bid Set
7.6.15	Permit Se

A-2

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Felicia Foster
7.20.15
FELICIA BARRON FOSTER
CERTIFICATION NO. 44-719
TM

Front Elevation-45°

Scale: 1/8" (11x17) 1/4" (24x36)

Finish floor@100.9
High Adj. Grade= 99.4
Low Adj. Grade= 97.5
Avg. Grade= 98.45

Front Elevation

Scale: 1/8" (11x17) 1/4" (24x36)

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Happy Hollow Subdivision,
Travis Co
Austin, Texas

Barron Custom Design, LLC
Felicia Foster, Principal, Assoc.AIA, CPBD

REVISE

DATE	COMME
4.12.15	Review
5.6.15	Review
5.15.15	Review
5.20.15	Engineer
6.22.15	Bid Set
7.6.15	Permit Se

A-3

Left Elevation

Scale: 1/8" (11x17) 1/4" (24x36)

Rear Elevation

Scale: 1/8" (11x17) 1/4" (24x36)

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NATIONAL COUNCIL OF BUILDING DESIGNERS
7.20.15
FELICIA BARRON FOSTER
CERTIFICATION NO. 44-719

PS Denz, LLC

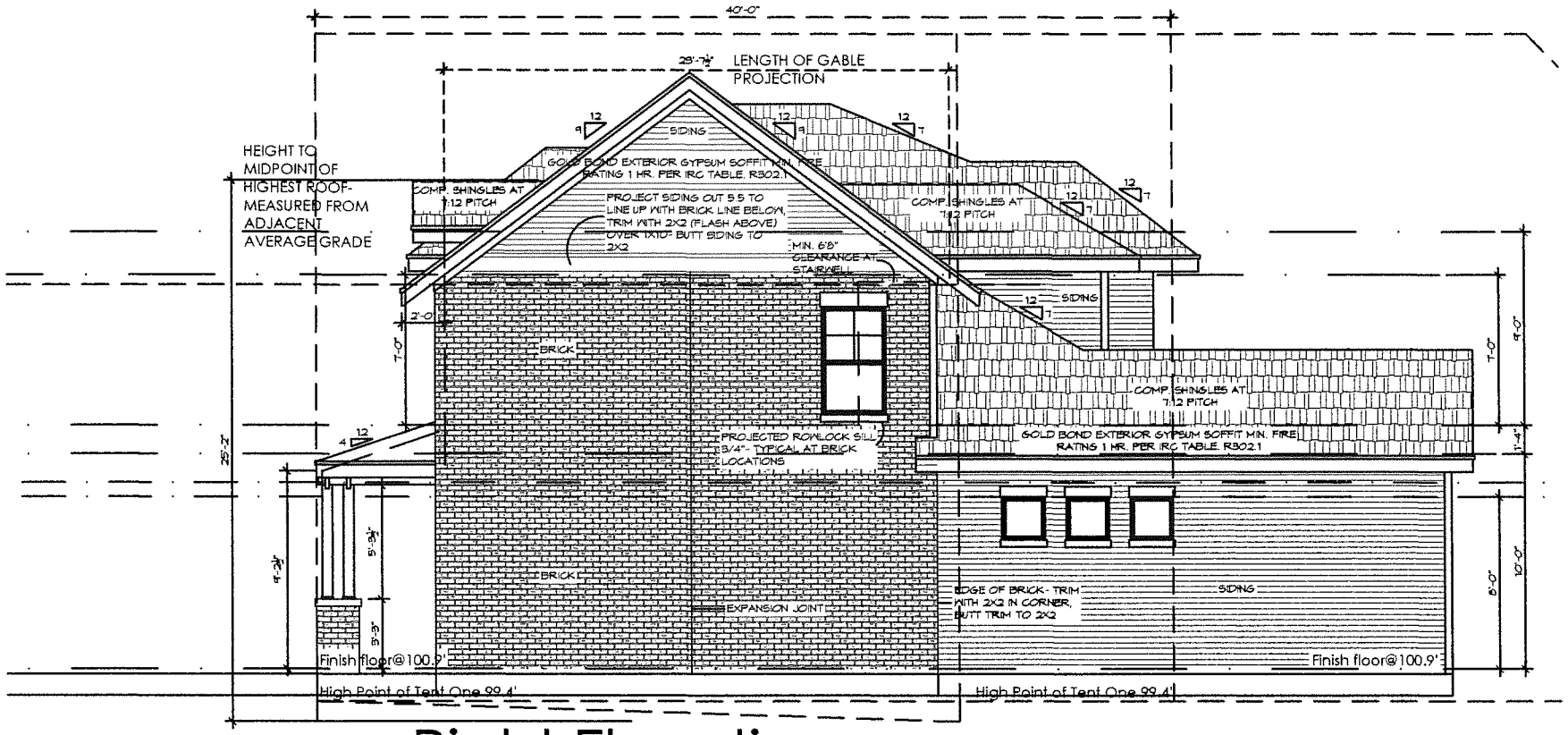
3408 Happy Hollow
Happy Hollow Subdivision,
Travis Co
Austin, Texas

Barron
Custom Design LLC
Felicia Foster, Principal, Assoc.AIA, CPBD

REVISE

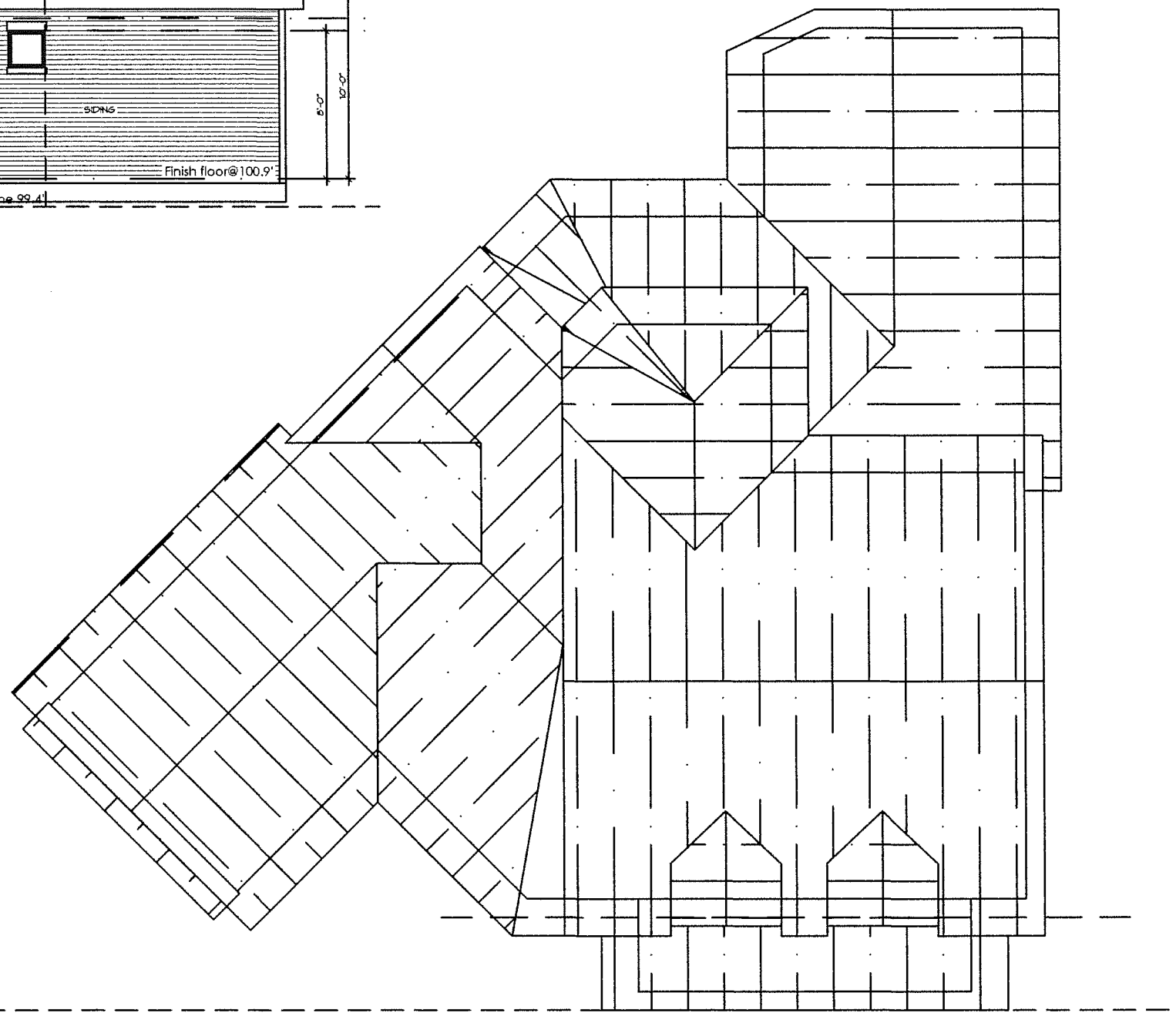
DATE	COMME
4.12.15	Review
5.6.15	Review
5.15.15	Review
5.20.15	Engineer
6.22.15	Bid Set
7.6.15	Permit Se

A-4



Right Elevation

Scale: 1/8" (11x17) 1/4" (24x36)



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Happy Hollow Subdivision,
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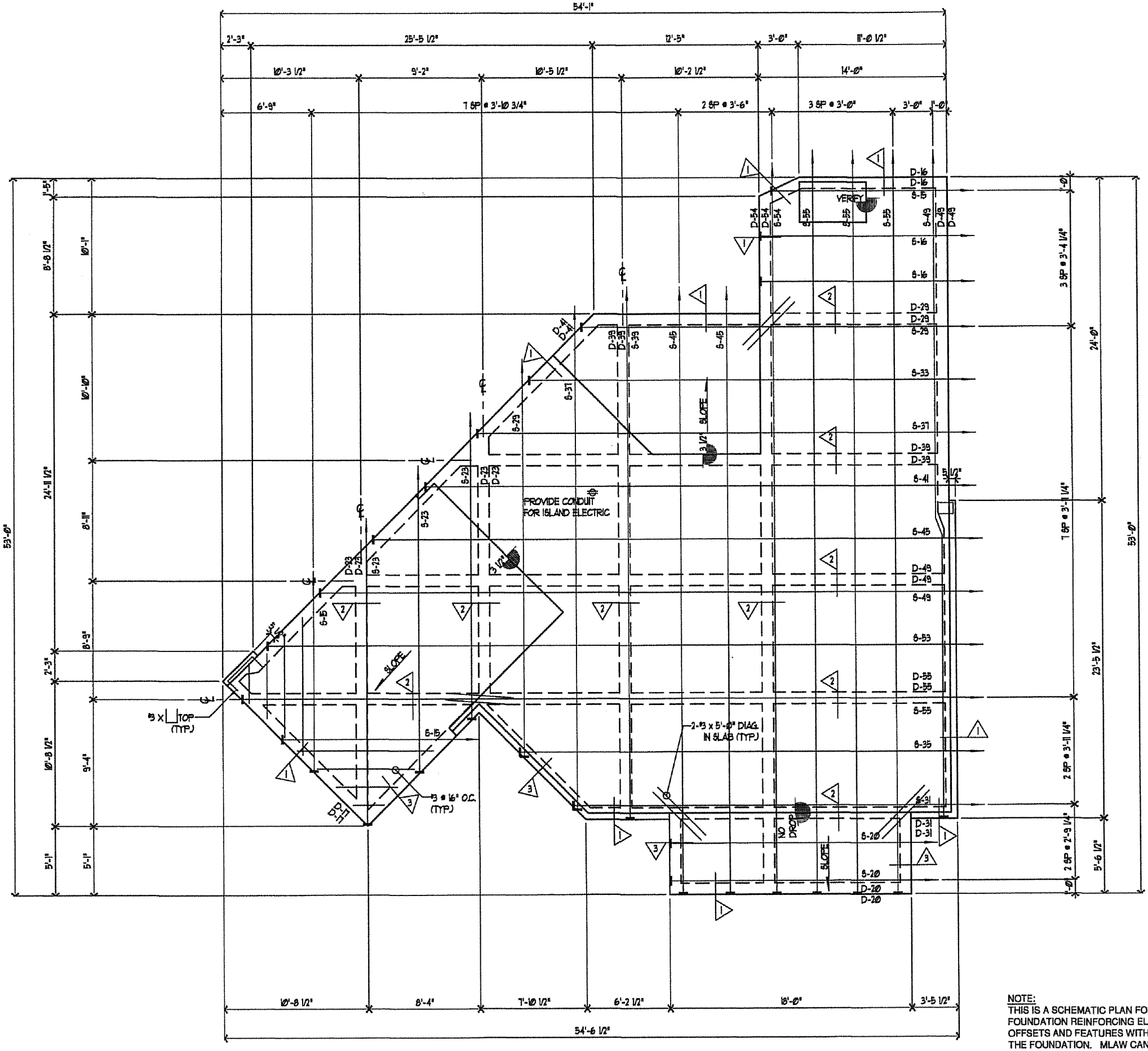
5.20.15	Engineer
6.22.15	Bid Set
7.6.15	Permit Se

A-5



DROP SLAB 1 1/6" AT WOOD FLOORS AS REQUIRED BY BUILDER. VERIFY LOCATIONS AND EXTENTS

NOTE:
PENETRATE ALL PERIMETER GRADE BEAMS 12" MIN. INTO APPROVED MATERIAL U.N.O. AND ENSURE DESIGN DEPTH IS ACHIEVED - REF. SHEET 2.

NOTE:
THIS IS A SCHEMATIC PLAN FOR THE PURPOSE OF LOCATING AND IDENTIFYING FOUNDATION REINFORCING ELEMENTS ONLY. VERIFY ALL DIMENSIONS, DROPS, OFFSETS AND FEATURES WITH THE ARCHITECTURAL PLANS BEFORE FORMING THE FOUNDATION. MLAW CANNOT BE HELD LIABLE FOR ANY CONTRACTOR OVERSIGHT IN THIS REGARD. DO NOT FORM FOUNDATION USING THESE PLANS. DIMENSIONAL CONTROL IS THE RESPONSIBILITY OF THE ARCHITECT. USE THESE PLANS FOR THE PLACEMENT OF THE GRADE BEAMS AND REINFORCEMENT

M·L·A·W ENGINEERS
FIRM #002685
2804 LONGHORN BLVD.
AUSTIN, TEXAS 78758
(877) 855-3041
(512) 835-7000

5-15-15

STATE OF TEXAS
MICHAEL R. LYNCH
64928
LICENSED PROFESSIONAL ENGINEER

FILL APPROVED ON THIS SITE ☐ FILL UNAPPROVED ON THIS SITE

LEGEND

TYPICAL SECTION (SEE DETAIL SHEET)
NO DRAPED CABLE
HARD POINT (SEE NOTE 6-8)

ESTIMATES

Slab Square Footage:	1773
Estimated Concrete Volume:	57
Linear Feet of Cable:	2027
No. of Beam Cables:	28
No. of Slab Cables:	30

PS DEZINS

Job No: 1518000306.800A
3408 HAPPY HOLLOW

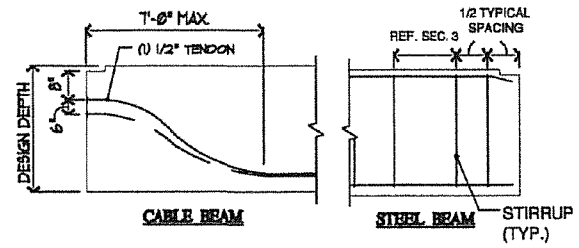
City: AUSTIN, TEXAS
Section: Phase:
Lot: Block:
Plan #:
Date: 5/25/15 Drawn: LIS
Revision: Check:
A 5/28/15 LIS WOOD FLOOR NOTE

INSPECTIONS

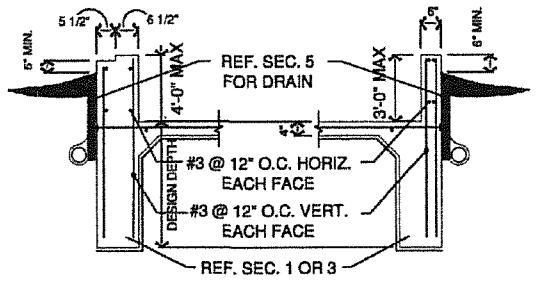
INSPECTION	DATE	BY	P/F
FILL/BEAM			
PREPOUR			
REINSPECT			
REINSPECT			
CONCRETE			
CONCRETE			
STRESSING			
RESTRESS			

FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

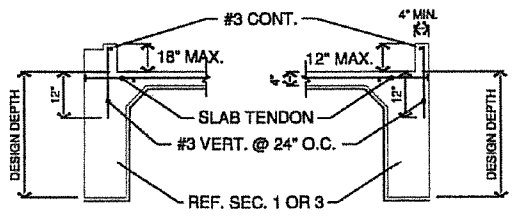
S1 OF 2



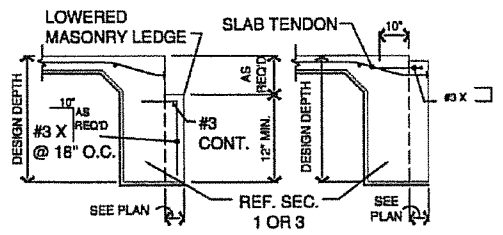
TYPICAL BEAM (SIDE VIEW)



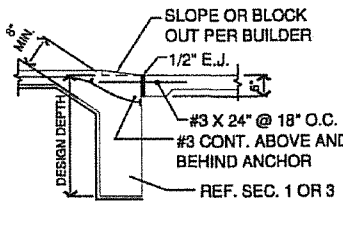
1C - HEIGHTENED CURB - 1D



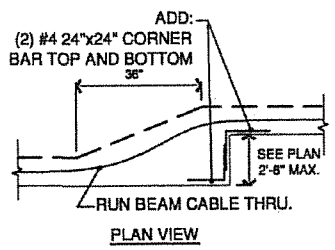
1A - STANDARD CURB - 1B



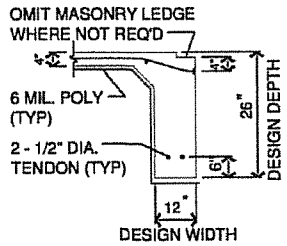
E - EXTENDED BRICK LEDGE - F



GARAGE APRON - G

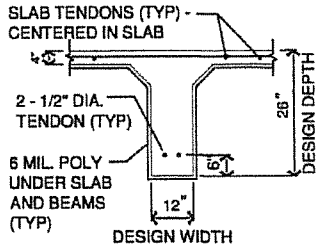


SECTION - K

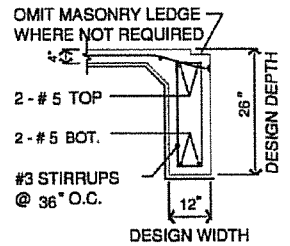


SECTION - 1

FOR EXTERIOR BEAMS WITH EXTERIOR EXPOSURE ABOVE FINAL GRADE GREATER THAN 6'-0" SEE "DEEP BEAM DETAIL" FOR REINFORCEMENT AND PLACEMENT OF WEEPS.

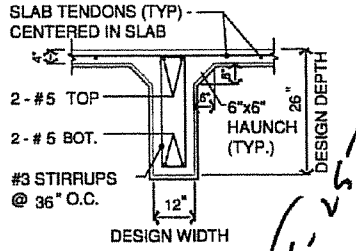


SECTION - 2

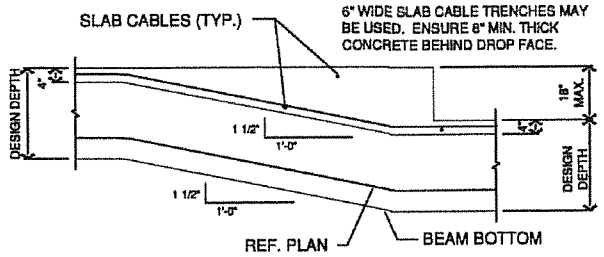


SECTION - 3

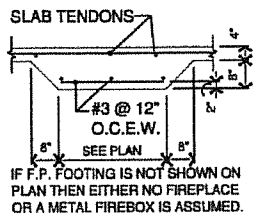
FOR EXTERIOR BEAMS WITH EXTERIOR EXPOSURE ABOVE FINAL GRADE GREATER THAN 6'-0" SEE "DEEP BEAM DETAIL" FOR REINFORCEMENT AND PLACEMENT OF WEEPS.



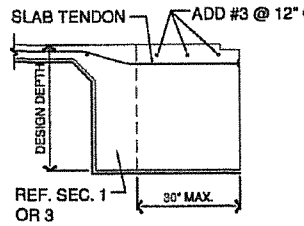
SECTION - 4



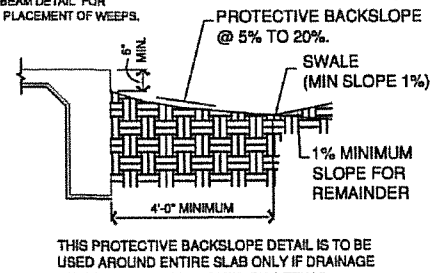
TYPICAL DROP IN SLAB TO 18 INCHES



INT. F.P. FTG. - 6

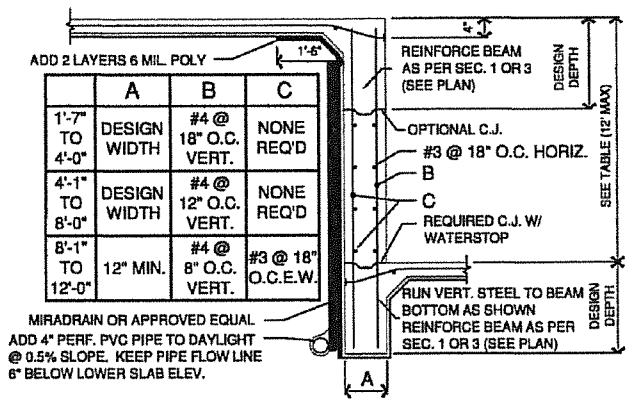


CANTILEVERED FTG. - 7



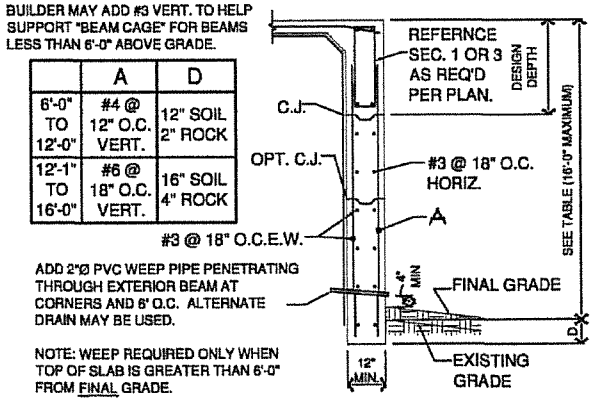
THIS PROTECTIVE BACKSLOPE DETAIL IS TO BE USED AROUND ENTIRE SLAB ONLY IF DRAINAGE DESIGN IS NOT PERFORMED BY A TEXAS REGISTERED PROFESSIONAL ENGINEER.

PROTECTIVE BACK SLOPES



	A	B	C
1'-7" TO 4'-0"	DESIGN WIDTH	#4 @ 18" O.C. VERT.	NONE REQ'D
4'-1" TO 8'-0"	DESIGN WIDTH	#4 @ 12" O.C. VERT.	NONE REQ'D
8'-1" TO 12'-0"	12" MIN.	#4 @ 8" O.C. VERT.	#3 @ 18" O.C.E.W.

DROP IN SLAB 19 INCHES TO 12 FEET - 5



	A	D
6'-0" TO 12'-0"	#4 @ 12" O.C. VERT.	12" SOIL 2" ROCK
12'-1" TO 16'-0"	#6 @ 18" O.C. VERT.	16" SOIL 4" ROCK

DEEP BEAM 6 TO 16 FEET

DEEP BEAM AND SECTION 6 RECOMMENDATIONS (NOT REQUIRED):

1. FORMING FILL BEHIND DROP IN SLAB OR DEEP BEAM OVER 4 FEET HIGH TO BE RETAINED BY 16" WIDE FILL BAGS OF WOVEN PLASTIC AND FILLED WITH CRUSHED STONE OR WASHED GRAVEL. FOR HEIGHTS OVER 8 FEET, USE TWO ROWS OF BAGS FULL HEIGHT.
2. STIRRUPS MAY BE USED I.L.O. VERT. REINFORCING, SIZE AND SPACING PER "C" CATEGORY ON CHART.

NOTES

1-0. GENERAL

1-1. Engineer's inspection required for: concrete pre-pour setup AND final stressing of tendons Engineer's inspection recommended (not required) for: concrete placement/testing.

1-2. Tendon lengths and count and concrete quantity estimate on plan are for estimating purposes only. Contractor should verify all tendon lengths and concrete quantity prior to installation. Concrete quantity must be adjusted for sloping site and forming irregularities. Concrete quantities are not exact. Draped tendons are not shown, U.N.O., for plan clarity.

1-3. Plan shows the location of structural reinforcement, beam depth and beam locations only. Architectural dimensions must be compared to the architectural plans prior to construction of forms. Report any discrepancies to the Engineer. The forms should be built using the architectural plans--not the Engineer's plan. Do not scale plan.

1-4. This design is in accordance with the Criteria for Selection and Design of Residential Slabs-on-Ground: BRAB No. 33, WRI/CRSI-81 Design of Slab-on-Ground Foundations or PTI Design of Post-Tensioned Slabs-on-Ground 3rd Edition, The 2003 and 2009 International Residential Code, and Standard Building Code and recognized Engineering practices.

1-5. These plans are copyright MLAW as of the year dated.

1-6. Vertical control joints should be used in exterior masonry to the full height spaced approximately 25 feet apart. A joint should be located directly above all slab control joints.

2-0. SITE PREPARATION

2-1. All site work shall be performed in accordance with FHA Data Sheet 79-G. Refer to notes concerning "approved" and "unapproved" fill.

2-2. All underslab "Forming Fill" shall have a P.I. less than 20 and be free of organics.

3-0. CONCRETE

3-1. Concrete shall have a minimum compressive strength of 3000 psi at 28 days. Concrete should be minimum 2000 psi at full tendon stressing. All concrete work shall meet A.C.I 318. Concrete shall be deposited in forms no later than two hours after water is mixed at the plant. One addition of water will be permitted at the job site to adjust the slump to a maximum of 6 inches.

3-2. Concrete shall be well consolidated using proper mechanical vibration, especially in the vicinity of the tendon anchorage.

3-3. Piping, conduit and electrical lines:

a. **1" and smaller conduit** - If conduit in slab is required prior to concrete placement, location to be verified in field. Plumbing and/or conduits smaller than 1" diameter do not have to be trenched into the underslab fill material. The current standard of practice shall remain and these plumbing/conduit may be run as necessary to achieve the desired architectural goal.

b. **1" to 2" max diameter conduit** - conduit of this size should be placed more carefully as to not interfere with parallel action of the tendons. We recommend in all cases possible that conduit this thick be placed at a 45 degree angle to the direction of the slab tendons or dropped into the top of a concrete grade beam. In cases where the conduit or piping is parallel to the slab tendons the tendons should be moved to create a minimum of 3 inches of separation between the tendon and the conduit. Conduit of this size should never be placed on top of the cables but should be below both sets of tendons.

c. **Greater than 2" conduit** - should be trenched into the underslab fill material.

3-4. If unanticipated interruptions in concrete placement occur, and concrete hardens, temporary forms must be used for setting of construction joints or concrete must be chipped to form vertical joints prior to setting additional slab. Use #3 X 24" dowels at 12" O.C. epoxied into existing concrete to bond old to new concrete.

4-0. CONCRETE COVERAGE

4-1. SLAB TENDONS: 1-1/2 inches above sub-grade in 4" thick slab and ANCHORS to have 4 inches vertical coverage from center of anchor to top of concrete.

4-2. Slab Tendons may be moved 12" max. horizontally to allow for plumbing box-outs. Beam Tendons may be moved 3" downward and/or 2" upward vertically for plumbing/conduit pipes in beams.

4-3. BEAM AND WALL STEEL: 1-1/2" slab, 2" formed, and 3" exposed to earth.

4-4. PIPE PENETRATIONS: 2" for tendon and rebar.

5-0. REINFORCING

5-1. All reinforcing bars shall be ASTM A-615 Grade 60, except Grade 40 may be used for stirrups, corner bars and hairpins.

5-2. All tendons shall be 270k grade, 7 wire strand, 1/2 inch diameter, U.N.O., greased and sheathed with a continuous extruded plastic sheathing.

5-3. Anchorage system shall be a monostrand unbonded tendon anchorage utilizing a cast wedge plate and a two piece wedge as manufactured by a P.T.I. approved manufacturer.

5-4. All post-tensioned tendons and anchors shall conform to the requirements of the latest "P.T.I. Guide Specifications For Post-Tensioning Materials." Post-tensioned tendon supplier to be P.T.I. factory certified.

5-5. PARTIAL STRESS all tendons to 13.3 kips (or half of final jacking force) 24 to 48 hours after concrete placement.

5-6. FULL STRESSING of all tendons to 33 kips 7 to 10 days after concrete placement.

5-7. The first tendon in the slab shall be a maximum of 14 inches and a minimum of 6 inches from the outside form. Tendons not dimensioned on plan to be equally spaced.

5-8. (1) #3 x 24 inches x 24 inches corner bar required at all exterior corner's top for beams reinforced with cables OR 24"x24" corner bars equal to steel beam size and spacing if beam is steel reinforced. Deepened beams to have corner bars with diameter equal to horizontal steel at each horizontal bar.

5-9. At plumbing stacks, add #3 bars x size of opening plus 16 inches to be placed in concrete 2 inches beyond perimeter of opening (not req'd. if cables are partial stressed - see note 5-5).

6-0. PLAN VARIATIONS

6-1. All depth dimensions of beams are minimum unless intact rock is encountered at less depth. Inspector may approve beams continuously on rock to minimum beam depth of 12 inches. Deepen EXTERIOR beams where required by site conditions at least 6 inches into virgin soil, U.N.O. or unless deep beam detail applies.

6-2. Should conditions arise that are not covered by details on this plan, contact Engineer at once for additional instructions.

6-3. In areas to receive tile, we recommend installing 6x6x1.4x1.4 WWF 1-1/2" below concrete surface and bedding the tile on a bond breaker to prevent shrinkage cracks from reflecting through the tile.

6-4. HARD POINTS - If the depth of underslab clean fill at any beam intersection (total depth, not from beam bottom), exceeds 60 inches SANDY LOAM or 84 inches ROAD BASE, place hard points through the fill. Use of 12 inch diameter pre-formed or drilled, concrete piers. And all beams to have tendons or steel. (If hardpoint depth exceeds 6'-0" from top of slab reinforce w/ (4)-#4 vert. & #3 ties @ 24" O.C.) If total underslab fill exceeds 12 feet, contact Engineer.

7-0. TREE POLICY- APPLIES TO P.I.'S = 38 AND GREATER

PRE-POUR

7-1. TREE WITHIN 5 FEET FROM FOUNDATION:
a. Add 20'-0" of section 3 steel - center on tree in exterior beam only, OR
b. Deepen beam 24" into existing soil for 20'-0" - exterior beam only.

7-2. TREE 5 TO 15 FEET FROM FOUNDATION:
a. Add 20'-0" of section 3 steel - center on tree in exterior beam only, OR
b. Deepen beam 12" into exsting soil for 20'-0" - exterior beam only.

POST-POUR

7-3. Add 6" wide trench 24" into existing grade 20'-0" long centered on tree and filled with un-reinforced concrete.

OPTIONAL PROVISIONS TO BE ENFORCED, IF CHECKED:

☐ FILL (UNAPPROVED). The fill material on this site is unsuitable to support a slab-on-ground foundation. The fill must be penetrated by all grade beams and extend a minimum of 12 inches into virgin soil. As an alternative, see HARD POINTS note. Based on the soils investigation, unapproved fill appears to be approximately deep.

☐ FILL (APPROVED). The fill material is acceptable to support a slab-on-ground foundation. Construct exterior grade beams 12 inches into approved fill. "Approved Fill" is fill that has been approved by MLAW, based on proper exploration, testing, or inspection by an agency acceptable to MLAW.

M·L·A·W ENGINEERS
FIRM #002685
2804 LONGHORN BLVD.
AUSTIN, TEXAS 78758
(877) 855-3041
(512) 835-7000

STATE OF TEXAS
MICHAEL R. LYNCH
64928
LICENSED
PROFESSIONAL ENGINEER

SOIL DATA

PTI SOIL PARAMETERS

	CENTER	EDGE
EM:	7.2	3.7
YM:	1.35	1.84

BEARING CAPACITY: 2000 PSF
SOURCE: TERRADYNE
DATE: 4/2015
DESIGN P.I.: SEE REPORT

PS DEZINS

Job No: 1518000306.800A
3408 HAPPY HOLLOW

City: AUSTIN, TEXAS
Section: Phase:
Lot: Block:
Plan #:
Date: 5/25/15 Drawn: LIS
Revision: Check:
A 5/28/15 LIS WOOD FLOOR NOTE

STRESSING CHART

ELONGATION VALUES

CABLE LENGTH	ELONGATION	CABLE LENGTH	ELONGATION
15'-18'	1"	79'-84'	8 1/2"
19'-24'	1 1/2"	85'-90"	7"
25'-30'	2"	91'-96"	7 1/2"
31'-35'	2 1/2"	97'-103'	8"
36'-41'	3"	104'-109'	8 1/2"
42'-47'	3 1/2"	110'-115'	9"
48'-53'	4"	115'-122'	9 1/2"
54'-59'	4 1/2"	123'-128'	10"
60'-65'	5"	129'-135'	10 1/2"
66'-71'	5 1/2"	136'-142'	11"
72'-78'	6"	143'-148'	11 1/2"

FOUNDATION DETAILS
S2 OF 2

DaRam Engineers Inc
5420 Dashwood Dr. Suite #206
Houston TX 77081
TBPE FIRM # F-9503

STATE OF TEXAS
BARRY D. ADKINS
66391
REGISTERED PROFESSIONAL ENGINEER

07/02/2015

BMC
Building Materials and Construction Services

3408 Happy Hollow
Austin, Tx 78703
Job#15-066367
Roof

HANGER KEY
1 LUS414
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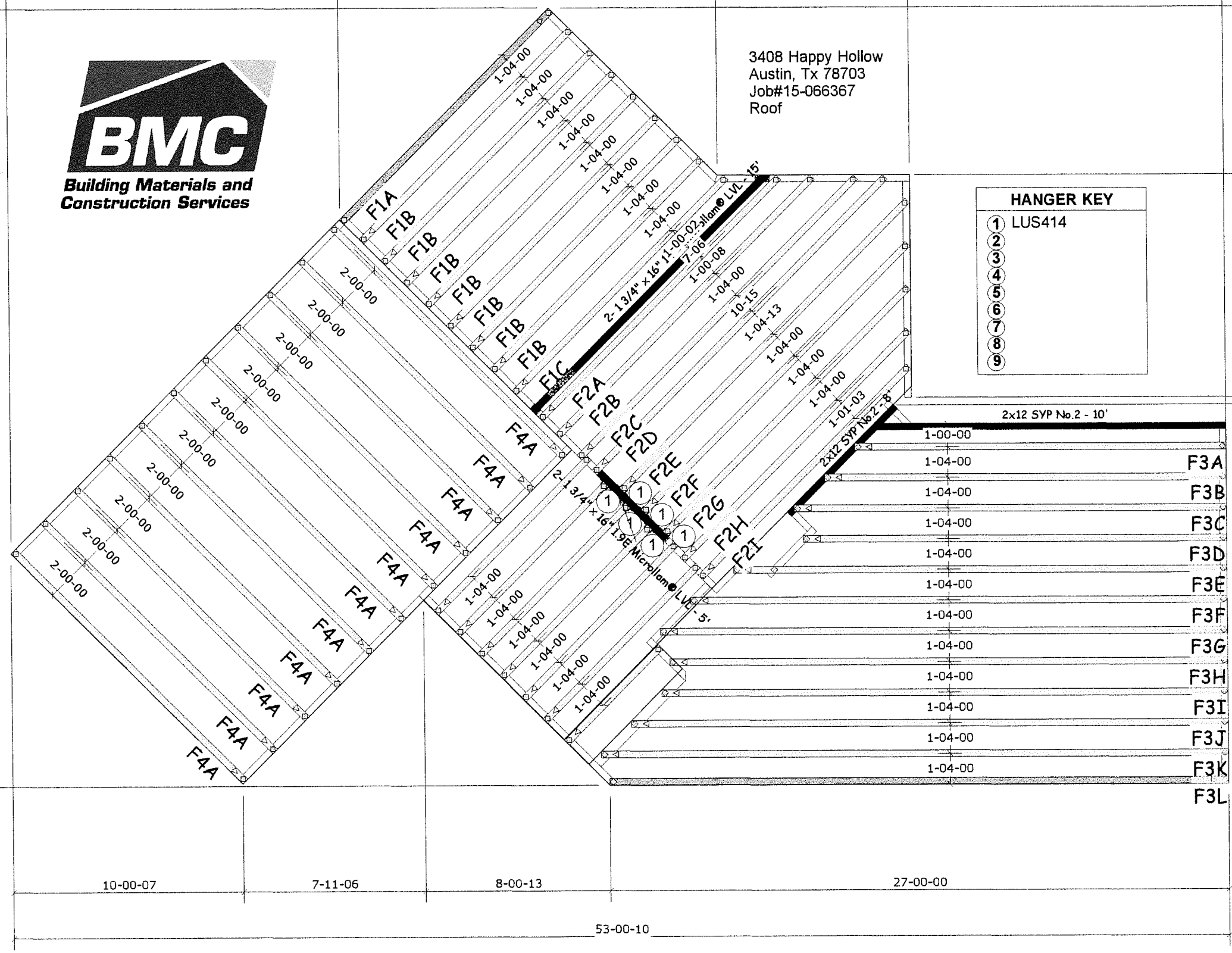

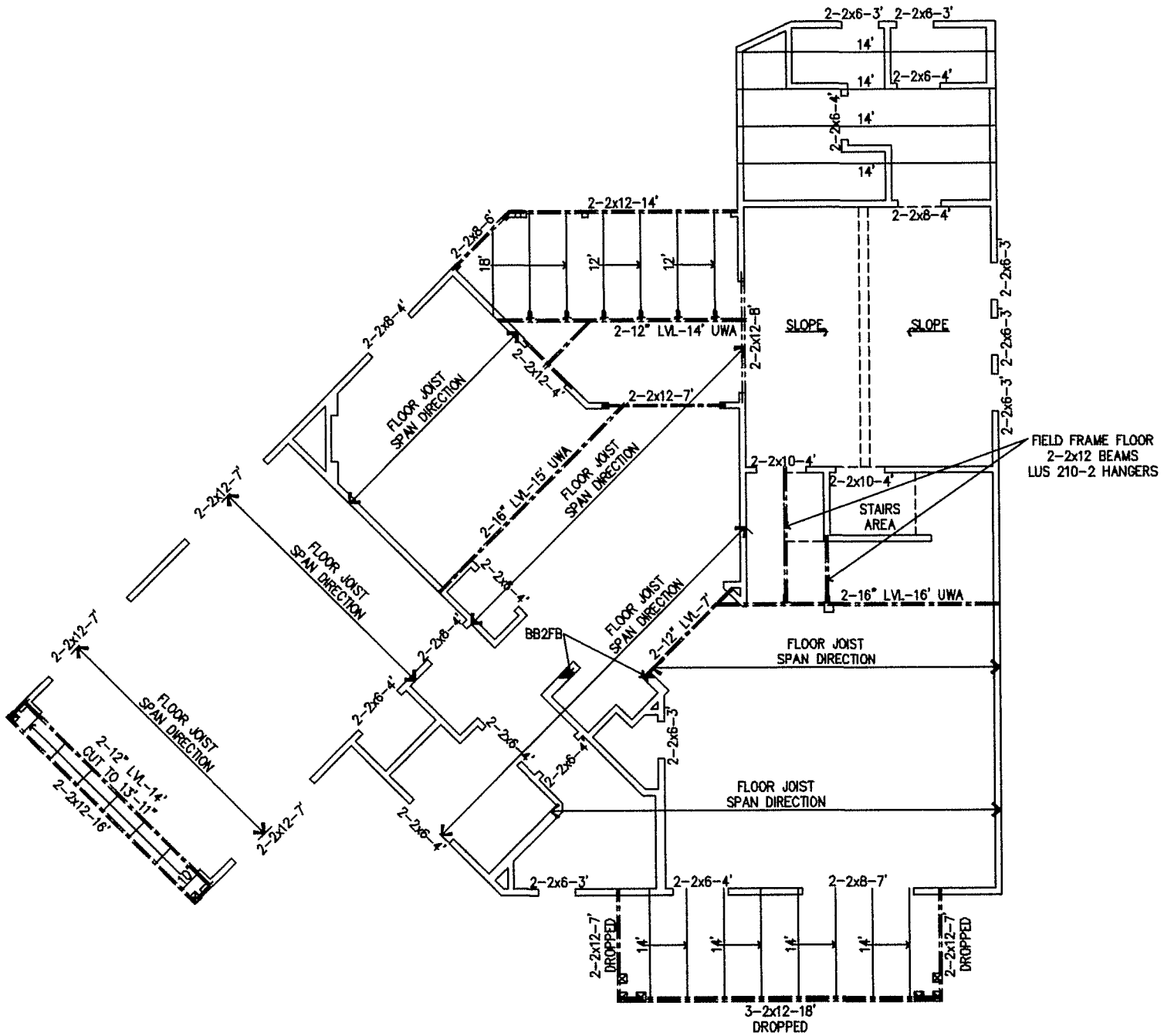

LOWER LEVEL CEILING AND FLOOR FRAMING

SHINGLE OR METAL ROOF DESIGN NOTES

UNLESS NOTED OTHERWISE,

1. ALL RAFTERS SHALL BE 2x6's @ 24" O.C. U.O.N.

2. ALL CEILING JOISTS SHALL BE 2x6's @ 24" O.C. U.O.N.

3. ABBREVIATIONS:
   UWA = UNDER WALL ABOVE
   FJSD = FLOOR JOIST SPAN DIRECTION
   O.C. = ON CENTER (MEMBER SPACING)
   PT = PRESSURE TREATED
   BB2FB = BLOCK BELOW 2ND FLOOR BEAM

4. BEAMS SPECIFIED AS 'RAISED BEAM' SHALL BE ELEVATED 1 1/2" ABOVE THE PLATE AT BOTH OF IT'S ENDS.

5. ALL BEAMS SHALL BE CONCEALED UNLESS NOTED OTHERWISE. ALSO, UNLESS NOTED OTHERWISE, THE NUMBER OF WALL STUDS REQUIRED TO SUPPORT THE ENDS OF BEAMS SHALL BE ONE GREATER THAN THE NUMBER OF PLIES MAKING UP THE BEAM. FOR EXAMPLE: A THREE-PLY VL (3-14" VL) WILL REQUIRE 4 STUDS.

6. SHEET S1.0 & S2.0 STRUCTURAL FRAMING NOTES AND SPECIFICATIONS SHALL BE INCORPORATED INTO THESE PLANS BY REFERENCE AS IF RECITED HEREON AT FULL LENGTH.

7. AN ENGINEERED GIRDER TRUSS (DESIGNED BY OTHERS) MAY BE SUBSTITUTED FOR ANY MICROLLAM VL. SEE NOTE #15 ON SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.

8. LOADS REPORTED AS PL (POINT LOAD) AND LL (LINE LOAD) ARE TOTAL LOAD (DEAD AND LIVE) RESULTING FROM ROOF OR CEILING LOAD WHICH MUST BE CONSIDERED IN THE DESIGN OF THE FLOOR TRUSS SYSTEM BY OTHERS.

STATE OF TEXAS
JOHN D. JOHNS
82219
REGISTERED PROFESSIONAL ENGINEER
5/28/15
J. JOHNS
STRUCTURAL ENGINEERS
TBPE Firm #18559
JJOHNSPE@GMAIL.COM
(303) 999-8219

Barron Custom Designs

3408 Happy Hollow Lane
Austin, TX

SHEET NO.
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OF
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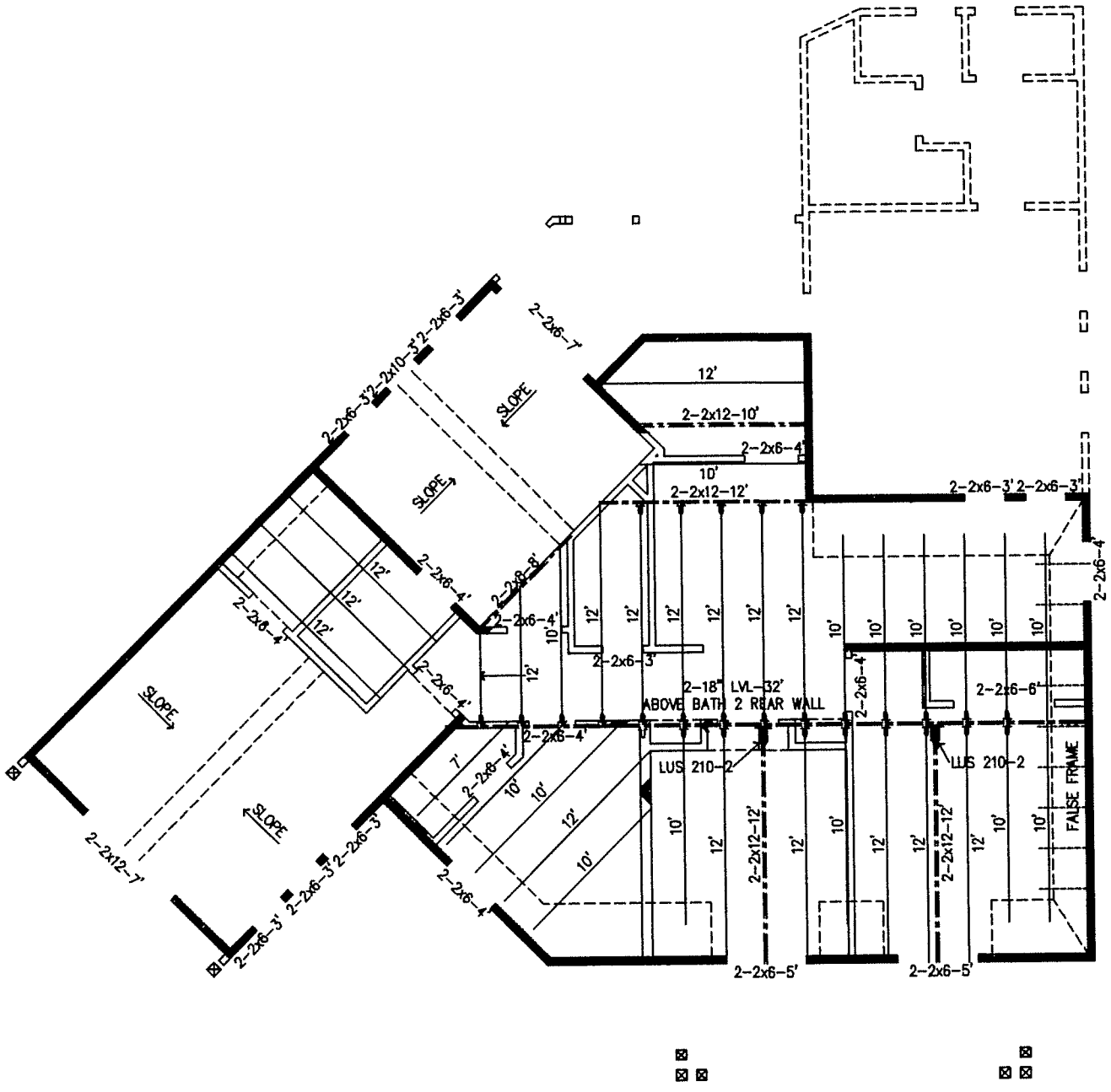

UPPER LEVEL CEILING FRAMING

SHINGLE OR METAL ROOF DESIGN NOTES

UNLESS NOTED OTHERWISE,

1. ALL RAFTERS SHALL BE 2x6"s @ 24" O.C. U.O.N.

2. ALL CEILING JOISTS SHALL BE 2x6"s @ 24" O.C. U.O.N.

3. ABBREVIATIONS:
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   O.C. = ON CENTER (MEMBER SPACING)
   PT = PRESSURE TREATED
   B82FB = BLOCK BELOW 2ND FLOOR BEAM

4. BEAMS SPECIFIED AS 'RAISED BEAM' SHALL BE ELEVATED 1 1/2" ABOVE THE PLATE AT BOTH OF IT'S ENDS.

5. ALL BEAMS SHALL BE CONCEALED UNLESS NOTED OTHERWISE. ALSO, UNLESS NOTED OTHERWISE, THE NUMBER OF WALL STUDS REQUIRED TO SUPPORT THE ENDS OF BEAMS SHALL BE ONE GREATER THAN THE NUMBER OF PLIES MAKING UP THE BEAM. FOR EXAMPLE: A THREE-PLY VL (3-14" VL) WILL REQUIRE 4 STUDS.

6. SHEET S1.0 & S2.0 STRUCTURAL FRAMING NOTES AND SPECIFICATIONS SHALL BE INCORPORATED INTO THESE PLANS BY REFERENCE AS IF RECITED HEREON AT FULL LENGTH.

7. AN ENGINEERED GIRDER TRUSS (DESIGNED BY OTHERS) MAY BE SUBSTITUTED FOR ANY MICRO'LLAM VL. SEE NOTE #15 ON SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.

8. LOADS REPORTED AS PL (POINT LOAD) AND LL (LINE LOAD) ARE TOTAL LOAD (DEAD AND LIVE) RESULTING FROM ROOF OR CEILING LOAD WHICH MUST BE CONSIDERED IN THE DESIGN OF THE FLOOR TRUSS SYSTEM BY OTHERS.

STATE OF TEXAS
JOHN D. JOHNS
82219
REGISTERED PROFESSIONAL ENGINEER
5/28/15
J. JOHNS
STRUCTURAL ENGINEERS
TBPE Firm #16589
JOHNSPE@GMAIL.COM
(303) 999-8219

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Austin, TX

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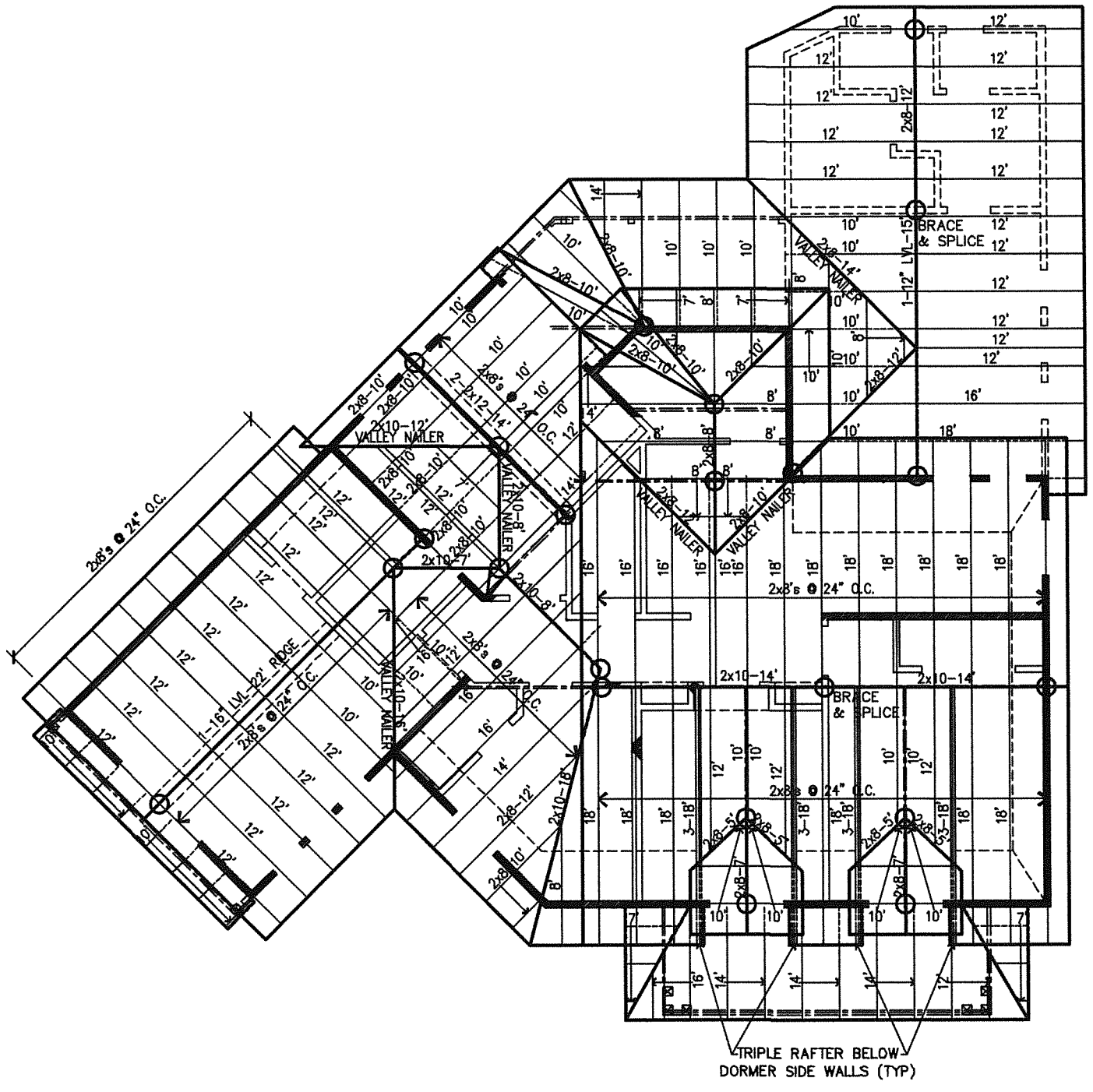

ROOF FRAMING PLAN

SHINGLE OR METAL ROOF DESIGN NOTES

UNLESS NOTED OTHERWISE,

1. ALL RAFTERS SHALL BE 2x8's @ 24" O.C. U.O.N.

2. ALL CEILING JOISTS SHALL BE 2x6's @ 24" O.C. U.O.N.

3. ABBREVIATIONS:
   UWA = UNDER WALL ABOVE
   FJSD = FLOOR JOIST SPAN DIRECTION
   O.C. = ON CENTER (MEMBER SPACING)
   PT = PRESSURE TREATED
   BB2FB = BLOCK BELOW 2ND FLOOR BEAM

4. BEAMS SPECIFIED AS "RAISED BEAM" SHALL BE ELEVATED 1 1/2" ABOVE THE PLATE AT BOTH OF IT'S ENDS.

5. ALL BEAMS SHALL BE CONCEALED UNLESS NOTED OTHERWISE. ALSO, UNLESS NOTED OTHERWISE, THE NUMBER OF WALL STUDS REQUIRED TO SUPPORT THE ENDS OF BEAMS SHALL BE ONE GREATER THAN THE NUMBER OF PLIES MAKING UP THE BEAM. FOR EXAMPLE: A THREE-PLY VL (3-14" VL) WILL REQUIRE 4 STUDS.

6. SHEET S1.0 & S2.0 STRUCTURAL FRAMING NOTES AND SPECIFICATIONS SHALL BE INCORPORATED INTO THESE PLANS BY REFERENCE AS IF RECITED HEREON AT FULL LENGTH.

7. AN ENGINEERED GIRDER TRUSS (DESIGNED BY OTHERS) MAY BE SUBSTITUTED FOR ANY MICROLLAM VL. SEE NOTE #15 ON SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.

8. LOADS REPORTED AS PL (POINT LOAD) AND LL (LINE LOAD) ARE TOTAL LOAD (DEAD AND LIVE) RESULTING FROM ROOF OR CEILING LOAD WHICH MUST BE CONSIDERED IN THE DESIGN OF THE FLOOR TRUSS SYSTEM BY OTHERS.

STATE OF TEXAS
JOHN D. JOHNS
82219
REGISTERED PROFESSIONAL ENGINEER
5/28/15
J. JOHNS
STRUCTURAL ENGINEERS
TBPE Firm #16589
JJOHNSPE@GMAIL.COM
(303) 999-8219

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3408 Happy Hollow Lane
Austin, TX

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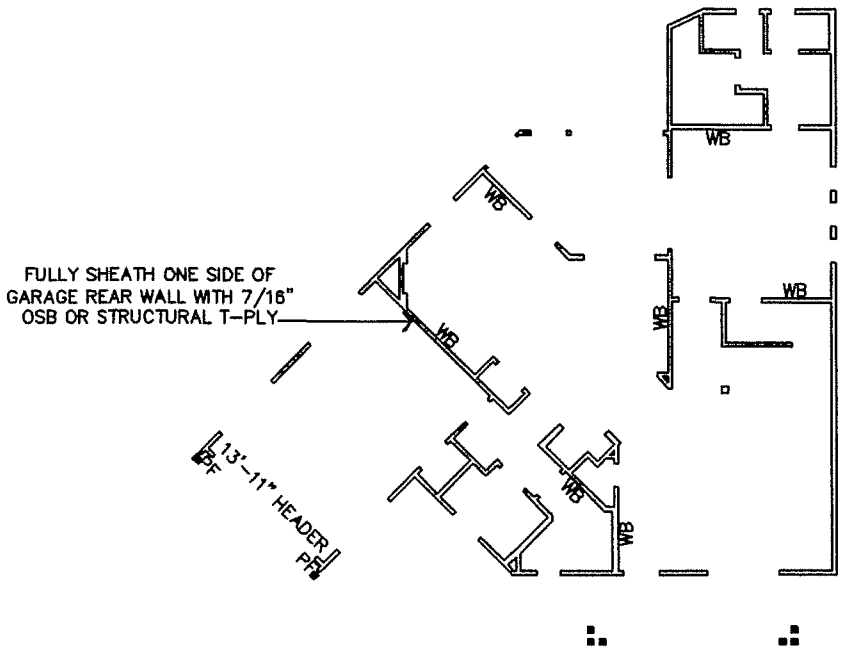
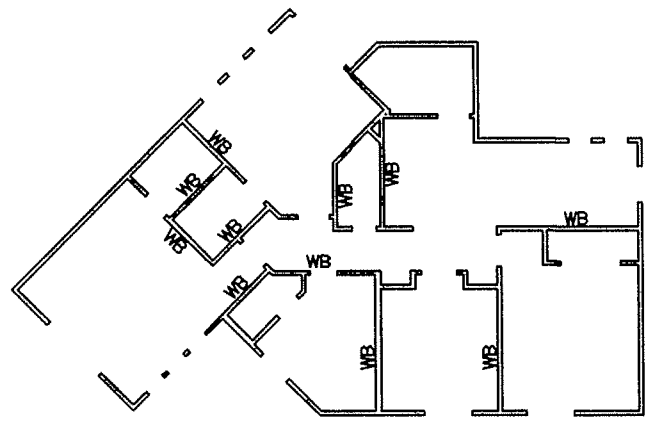


1ST FLOOR WALL BRACING



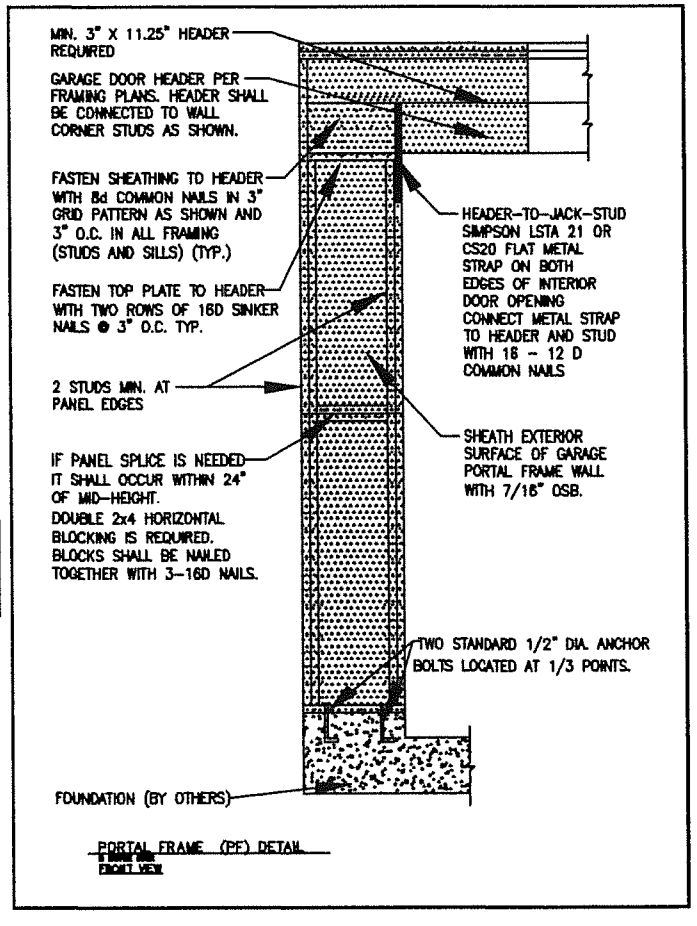
2ND FLOOR WALL BRACING

AT THE BUILDER'S REQUEST, MASONRY LINTELS ARE NOT SPECIFIED HEREIN AND SHALL BE THE RESPONSIBILITY OF THOSE OTHER THAN J. JOHNS STRUCTURAL ENGINEERS.

LEGEND

WB	1X4 LET-IN OR SIMPSON TWB OR TWO SIMPSON WB FLAT STRAPS OR ONE FULL SHEET OF 7/16" OSB OR THERMO-PLY (BLUE)
PF	PORTAL FRAME

NOTE:
SHEET S1.0 & S2.0 STRUCTURAL FRAMING NOTES AND SPECIFICATIONS SHALL BE INCORPORATED INTO THESE PLANS BY REFERENCE AS IF RECITED HEREIN AT FULL LENGTH



PORTAL FRAME (PF) DETAIL
FRONT VIEW

STATE OF TEXAS
JOHN D. JOHNS
82219
REGISTERED PROFESSIONAL ENGINEER
5/28/15

J. JOHNS
STRUCTURAL ENGINEERS
TBPE Firm #10589
JJOHNSPE@GMAIL.COM
(303) 999-6219

Barron Custom Designs

3408 Happy Hollow Lane
Austin, TX

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GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.

2. THE BUILDER SHALL BE RESPONSIBLE FOR PROVIDING THESE NOTES AND DETAILS TO THE CONTRACTOR.

3. CONSTRUCTION SHALL CONFORM WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, CURRENT EDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF ANY OTHER CODES OR ORDINANCES APPLY, AND CONFORMING TO THEM. IF A DISCREPANCY EXISTS BETWEEN THE FRAMING PLANS, DIRECTION GIVEN BY THE SUPERINTENDENT OR THESE NOTES, THE ENGINEER SHALL BE NOTIFIED IN WRITING PRIOR TO FURTHER COMMENCEMENT OF WORK.

4. ABBREVIATIONS DEFINED:
U.N.O. – UNLESS NOTED OTHERWISE
S.P.I.B. – SOUTHERN PINE INSPECTION BUREAU
SP – SOUTHERN PINE
O.C. – ON CENTER (SPACING OF MEMBERS)
P.T. – PRESSURE TREATED
I.R.C. – INTERNATIONAL RESIDENTIAL CODE, CURRENT EDITION
BB2FB – BLOCK BELOW 2ND FLOOR BEAM
FTSD – FLOOR TRUSS SPAN DIRECTION
SB – STRONG BACK
UWA – UNDER WALL ABOVE

5. DESIGN MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS:
INTERIOR FLOOR 40 PSF
ROOF 20 PSF
ATTICS WITH STORAGE 20 PSF
DECKS 40 PSF
BALCONY 60 PSF

BASIC DESIGN WIND SPEED 90 MPH

6. MATERIALS: WOOD FRAMING MEMBERS (JOIST, RAFTERS, 2X BEAMS, BRACES, ETC.) SHALL BE NO. 2 SP U.N.O. SILL PLATES AND DECK FRAMING MEMBERS SHALL BE P.T. NO.2 SP.

7. ALL WOOD FRAMING MEMBERS SHALL BE FREE OF WARPS, CHECKS, EXCESSIVE KNOTS, CRACKS, ETC. AND SHALL CONFORM TO THE REQUIREMENTS OF THE S.P.I.B.

8. WALL CONSTRUCTION:
2x4 STUDS SHALL BE USED FOR WALLS LESS THAN 14-FEET IN HEIGHT AND 2x6 STUDS SHALL BE USED FOR WALLS 14-FEET AND GREATER IN HEIGHT. STUDS SHALL BE SPACED AT A MAXIMUM OF 16" O.C. U.N.O. AND SHALL BE A MINIMUM NO. 3, STANDARD OR STUD GRADE LUMBER. CAP WALLS WITH DOUBLE TOP PLATE, OVERLAPPED AT CORNERS AND INTERSECTIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET AT LEAST 24".

FOR TWO-STORY STRUCTURES, ONE OF THE FRAMING METHODS LISTED BELOW SHALL BE INSTALLED ABOVE ALL 1ST FLOOR WALLS WHICH HAVE A 2ND FLOOR WALL ABOVE: VERTICAL 2x4 BLOCKING AT 24" O.C., OR A LADDER TRUSS, OR A FLOOR TRUSS OR TJI.

FOR WALLS WHICH ARE NOT ATTACHED TO EITHER CEILING JOISTS OR FLOOR JOISTS, PROVIDE FLAT 2x4 BLOCKS ATTACHED TO CEILING JOISTS AND WALL TOP PLATE AT 24" O.C. TO BRACE TOP OF WALL.

WALL COLUMNS MADE UP OF MULTIPLE STUDS, FOR SUPPORT OF BEAMS AND OTHER POINT LOADS, SHALL BE CONTINUOUS FROM SECOND FLOOR WALLS TO FOUNDATION WHERE POSSIBLE. THE NUMBER OF WALL STUDS REQUIRED TO SUPPORT THE ENDS OF THE BEAMS SHALL BE ONE GREATER THAN THE NUMBER OF PLIES MAKING UP THE BEAM. FOR EXAMPLE: A THREE PLY LVL (3-14" LVL) WILL REQUIRE 4 STUDS.

STUDS MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF THE STUDS WIDTH. STUDS MAY BE DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40 PERCENT OF THE STUDS WIDTH, THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8" TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A NOTCH OR CUT.

STUDS THAT HAVE MORE THAN 10-FEET IN HEIGHT SHALL HAVE HORIZONTAL BLOCKING PROVIDED AT THEIR MID-HEIGHT.

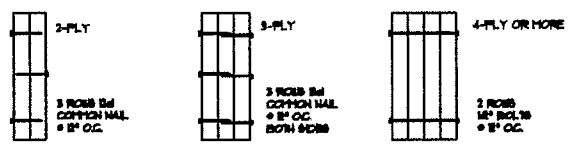
THE NUMBER OF JACK STUDS (TRIMMER STUDS) REQUIRED TO SUPPORT WINDOW AND DOOR HEADERS SHALL BE ONE AT EACH END OF THE HEADER FOR ALL DOUBLE 2X10 HEADERS AND SMALLER AND TWO AT EACH END OF THE HEADER FOR ALL DOUBLE 2X12 AND LARGER HEADERS.

9. SEE WALL BRACING NOTES AND DETAILS IN THESE SPECIFICATIONS.

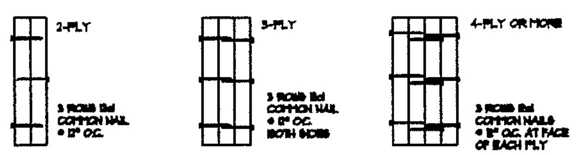
10. BEAMS IDENTIFIED AS LVL'S SHALL BE 1 3/4" MICROLLAM LAMINATED VENEER LUMBER (LVL) AND SHALL CONFORM TO THE FOLLOWING DESIGN PARAMETERS:
E = 1,900,000 PSI Fb = 2,600 PSI Fv = 285 PSI

AN ENGINEERED GIRDER TRUSS (DESIGN BY OTHERS) MAY BE SUBSTITUTED FOR ANY MICROLLAM LVL CEILING BEAM SPECIFIED IN THE FRAMING PLANS. SEE NOTE #15 HEREIN FOR ADDITIONAL REQUIREMENTS.

MULTI-PLY LVL BEAMS SHALL BE CONNECTED TOGETHER AS DETAILED BELOW:



MICROLLAM LVL BEAM
MULTI-PLY CONNECTION DETAIL



2X DIMENSION LUMBER BEAM
MULTI-PLY CONNECTION DETAIL

BEAMS WILL REQUIRE A TAPERED END CUT WHEN TOP OF BEAM AT BEARING PROJECTS ABOVE ROOF DECKING SURFACE. THAT IS, THE TOP CORNER OF THE BEAM WILL HAVE TO BE CUT. THE BEAM SHOULD BE MINIMALLY CUT SO AS TO FIT TIGHTLY AGAINST THE BOTTOM OF THE ROOF DECKING.
THE RESULTING BEAM DEPTH LEFT AFTER THE CUT IS MADE MEASURED VERTICALLY AT THE INSIDE FACE OF WALL SHOULD BE SIX-INCHES (6"). IF THE RESULTING BEAM DEPTH IS LESS THAN THIS MINIMUM, THEN THE WALL SHALL BE FURR-OUT BENEATH THE END OF BEAM IN QUESTION TO THE EXTENT REQUIRED TO PROVIDE THE BEAM MINIMUM BEAM DEPTH AT BEARING FACE.

BEAMS WHICH TERMINATE AT A COFFERED CEILING BREAK LINE SHALL BE SUPPORTED BY A PAIR OF RAFTERS AND JACK RAFTERS.
THE JACK RAFTERS SHALL BE OF THE SAME SIZE AS THE ADJACENT RAFTERS (TYPICALLY 2X8'S) AND SHALL FIT TIGHT AGAINST BOTTOM OF BEAM AND TOP OF WALL TOP PLATE.
THE TOP OF THE JACK RAFTERS SHALL BE CUT LEVEL TO PROVIDE A BEARING SURFACE FOR THE BEAM AND SHALL BE NAILED TO THE ADJACENT RAFTER AND JACK RAFTER WITH A MINIMUM OF 14-12d NAILS.
A RAFTER SHALL BE PROVIDED ON BOTH SIDES OF THE BUILT-UP BEAM, THEREBY "SANDWICHING" THE BEAM. THE EXTRA RAFTER PROVIDED HERE MAY BE TERMINATED AT THE FIRST SUPPORT POINT PRESENT ABOVE THE BEAM (PURLIN, HIP, ETC.)
THE BEAM SHALL BE CONNECTED TO THE ADJOINING RAFTER WITH A MINIMUM OF 8-12d NAIL.

11. UNLESS OTHERWISE NOTED ON THE FRAMING PLANS:
ALL CEILING JOISTS SHALL BE 2x6'S SPACED AT 24" O.C.
FOR SHINGLE ROOF COVERING ALL RAFTERS SHALL BE 2x6'S SPACED AT 24" O.C.
FOR TILE ROOF COVERING ALL RAFTERS SHALL BE 2x8'S SPACED AT 24" O.C.
THE CONTRACTOR SHALL USE THE FOLLOWING CEILING JOIST AND RAFTER SPAN TABLES TO VERIFY THAT THESE MEMBERS HAVE NOT EXCEEDED THE ALLOWABLE SPANS SPECIFIED.

CEILING JOISTS
MAXIMUM SPAN FOR #2 SP
LIMITED ATTIC STORAGE SPACE
LL = 20 PSF, DL = 10 PSF, DEFL = L/240

JOIST SIZE	JOIST SPACING		
	24"	16"	12"
2 x 6	9'-10"	12'-0"	13'-11"
2 x 8	12'-6"	15'-3"	17'-7"
2 x 10	14'-9"	18'-1"	20'-11"

RAFTERS (CEILING NOT ATTACHED)
MAXIMUM SPAN FOR #2 SP
LL = 20 PSF, DL = 10 PSF, DEFL = L/180

RAFTER SIZE	RAFTER SPACING		
	24"	16"	12"
2 x 6	10'-7"	12'-11"	14'-9"
2 x 8	13'-4"	16'-4"	18'-11"
2 x 10	15'-11"	19'-5"	22'-5"

CEILING JOISTS AND RAFTERS SHALL BEAR A MINIMUM OF 1 1/2" AT ALL SUPPORTS. 2x6 STRONG BACKS SHALL BE PROVIDED AT THE MID-SPAN OF ALL JOIST SPANNING MORE THAN 7'-0". THE STRONG-BACK SHALL BE BUILT WITH A 2x6 VERTICAL MEMBER AND A FLAT 2x4 MEMBER. LOOSE ENDS OF JOIST SHALL BE BRACED WITH A CONTINUOUS 1x4 RAT RUN.

ALL ATTIC AREAS, EXCEPT VAULTED CEILINGS, ARE DESIGNED FOR LIMITED ATTIC STORAGE WITH NO FUTURE ROOMS ABOVE THE CEILING. ATTIC STORAGE IS NOT PERMITTED ON CEILINGS WHERE JOISTS ARE SUPPORTED BY RAFTERS.

CEILING JOISTS SUPPORTING HVAC PLATFORMS AND/OR WATER HEATERS AS WELL AS ALL ATTIC AREAS WITH DECKING BEARING ON THE CEILING JOISTS SHALL BE THE SIZE SPECIFIED ON THE FRAMING PLAN BUT SPACED AT 12" O.C. OR DOUBLED.

PROVIDE RAFTER PURLINS AT THE LOCATIONS SHOWN ON THE PLANS.
BRACE THE PURLIN AT LEAST EVERY 4 FEET WHEN PURLIN IS SAME SIZE AS LARGEST RAFTER SUPPORTED. BRACE THE PURLIN AT LEAST EVERY 6 FEET WHEN PURLIN IS ONE SIZE LARGER THAN THE LARGEST RAFTER SUPPORTED. BRACES FOR PURLINS SHALL BE CONSTRUCTED WITH TWO MEMBERS IN A "T" SHAPE AND SHALL BE BUILT WITH: TWO 2x4's FOR BRACES LESS THAN 8-FEET IN LENGTH.
OR A 2x4 AND 2x6 FOR BRACES GREATER THAN 8-FEET IN LENGTH.

PROVIDE A ROOF BRACE AT THE INTERSECTIONS OF ALL RIDGES, HIPS AND VALLEYS AND ALL OTHER LOCATIONS SHOWN ON THE FRAMING PLANS.
BRACES FOR RIDGES, HIPS AND VALLEYS SHALL BE CONSTRUCTED WITH TWO MEMBERS IN
A "T" SHAPE AND SHALL BE BUILT WITH:
A 2x4 AND 2x6 FOR BRACES LESS THAN 10-FEET IN LENGTH.
OR TWO 2x6's FOR BRACES GREATER THAN 10-FEET IN LENGTH.

RAFTER TIES (COLLAR TIES) SHALL BE PROVIDED AT EVERY OTHER RAFTER. THE TIES SHALL BE APPROXIMATELY 4'-0" LONG AND LOCATED WITHIN 2'-0" OF THE RIDGE.

SPLICES IN RIDGES, HIPS, AND VALLEYS SHALL BE CONSTRUCTED AS DETAILED HEREIN AND BRACED TO WALLS OR BEAMS AS SHOWN ON THE RAFTER LAYOUT PLAN.

ALL JOIST-BEAM AND BEAM-BEAM CONNECTIONS SHALL BE MADE WITH JOIST HANGERS (SIMPSON'S OR APPROVED EQUAL). 2"X2" LEDGERS MAY BE USED TO SUPPORT CEILING JOISTS OF SIZE 2X8 AND LARGER. LEDGER SHALL BE FASTENED TO SUPPORTING BEAM, HEADER OR WALL WITH 10d NAILS SPACED AT 4" O.C.

FOR CLAY AND CONCRETE TILE ROOF COVERINGS MINIMUM 1x4 @ 14" O.C. CEDAR OR PRESSURE TREATED PINE BATTON BOARDS SHALL BE INSTALLED ON ROOF DECKING PERPENDICULAR TO RAFTERS. BATTON BOARDS SHALL BE CONNECTED TO EACH RAFTER
WITH 2 - 12d NAILS.

12. NAILING/FASTENING SHALL CONFORM WITH THE REQUIREMENTS OF I.R.C. TABLE 602.3(1) FASTENING SCHEDULE FOR STRUCTURAL MEMBERS. FLOOR DECKING SHALL BE GLUED AND NAILED TO FLOOR JOISTS WITH 8d RING SHANK NAILS SPACED AT 6" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS IMMEDIATELY UPON INSTALLATION. GLUE ALL EDGES. SECOND FLOOR WALL BOTTOM PLATES SHALL BE NAILED AND GLUED TO FLOOR DECKING.

13. ALL ROOF AND FLOOR TRUSSES, TJI FLOOR JOISTS AND FLOOR SYSTEM BEAMS SHALL BE DESIGNED UNDER THE RESPONSIBLE SUPERVISION AND SEALED BY A TEXAS REGISTERED PROFESSIONAL ENGINEER OTHER THAN J. JOHNS STRUCTURAL ENGINEERS. WOOD TRUSS AND TJI JOISTS DESIGN SHALL CONFORM WITH THE REQUIREMENTS OF THE I.R.C. INCLUDING BUT NOT LIMITED TO SECTION R502.10. FLOOR AND ROOF TRUSSES SHALL SUPPORT ALL IMPOSED LOADS INCLUDING FLOORS, WALLS, CEILING, ROOF AND MASONRY. THE MAXIMUM SPACING OF FLOOR TRUSSES OR JOISTS SHALL BE 24" WITH 3/4" T&G PLYWOOD FLOOR SHEATHING APPROPRIATELY RATED FOR THE APPLICATION.

14. LUMBER LENGTHS PROVIDED ARE FOR ESTIMATING PURPOSES ONLY.

15. ALL SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS SPACED AT A MAXIMUM 6'-0" O.C. AND SHALL EXTEND A MINIMUM OF 7" INTO THE CONCRETE FOUNDATION. THERE SHALL BE TWO ANCHOR BOLTS AT EACH EXTERIOR WALL CORNER IN EACH DIRECTION LOCATED 8" AND 12" FROM THE OUTSIDE FACE OF THE WALL CORNER.

WHERE ANCHOR BOLTS ARE NOT SUFFICIENTLY PRESENT, POWER-ACTUATED PINS MAY BE USED. PINS SHALL BE A MINIMUM 3" LONG, 9/32" DIAMETER AND HAVE 3/4" DIAMETER WASHERS. PINS SHALL BE EMBEDDED SUFFICIENTLY IN CONCRETE TO PROVIDE FULL CONTACT OF WASHER ON SILL PLATE. PINS SHALL NOT BE SPACED MORE THAN 32" APART. THERE SHALL BE A MINIMUM OF TWO PINS PER PIECE OF SOLE PLATE, WITH ONE PIN LOCATED WITHIN 6" OF EACH END OF EACH PIECE OF SILL PLATE.

16. FIRE STOPPING SHALL CONFORM WITH THE I.R.C. SECTION R602.8.

17. ROOF DECKING SHALL BE 7/16" ORIENTED STRAND BOARD (OSB), FASTENED TO THE RAFTERS OR ROOF TRUSSES IN ACCORDANCE WITH THE I.R.C. TABLE 602.3(1). DECKING SHALL LIE ON TOP OF FASCIA BOARD. PROVIDE PLYWOOD CLIPS ON HORIZONTAL EDGES MID-WAY BETWEEN EACH RAFTER. VERTICAL JOINTS SHALL BE SUPPORTED ON FRAMING MEMBERS. DECKING JOINTS SHALL BE STAGGERED.

18. DECKS:
DECK LEDGERS SHALL BE PRESSURE-PRESERVATIVE-TREATED SOUTHERN PINE BAND JOIST SHALL BE 2-INCH NOMINAL LUMBER BEARING ON A SILL PLATE OR WALL PLATE.
CONNECTION BETWEEN DECK LEDGER AND BAND JOIST SHALL BE CONSTRUCTED WITH 1/2-INCH LAG SCREWS OR BOLTS WITH WASHERS IN ACCORDANCE WITH IRC TABLE R507.2. LAG SCREWS, BOLTS AND WASHERS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
THE LAG SCREWS OR BOLTS IN DECK LEDGERS AND BAND JOISTS SHALL BE PLACED IN ACCORDANCE WITH IRC TABLE R507.2.1 AND FIGURES R507.2.1(1) AND R507.2.1(2).

DECK LATERAL LOAD CONNECTION SHALL BE PERMITTED TO BE IN ACCORDANCE WITH IRC FIGURE R507.2.3. WHERE THE LATERAL LOAD CONNECTION IS PROVIDED IN ACCORDANCE WITH FIGURE R507.2.3, HOLD-DOWN TENSION DEVICES SHALL BE INSTALLED IN NOT LESS THAN TWO LOCATIONS PER DECK, AND EACH DEVICE SHALL HAVE AN ALLOWABLE STRESS DESIGN CAPACITY OF NOT LESS THAN 1500 POUNDS.

19. WALL BRACING:
SHEATH ALL EXTERIOR WALLS WITH 7/16" OSB. FASTEN OSB TO FRAMING WITH 8d COMMON NAILS (2.5" x 0.131") SPACED 6" OC ON ALL PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS.
ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER STUDS. BLOCK ALL HORIZONTAL JOINTS.
OSB WALL SHEATHING SHALL BE COVERED BY AN APPROVED WATER-REPELLENT SHEATHING.

WHERE 1x4 LET-IN BRACE IS USED FOR WALL BRACING, IT SHALL BE SET INTO THE TOP AND BOTTOM PLATES AND THE INTERVENING STUDS, PLACED AT NOT MORE THAN 60 DEGREES OR LESS THAN 45 DEGREES FROM THE HORIZONTAL AND ATTACHED TO EACH STUD AND PLATE WITH A MINIMUM OF 2-8d NAILS.

FOUNDATION DESIGN (BY OTHERS) SHALL CONSIDER FORCES CREATED BY WALL BRACING ELEMENTS AND SHALL ADHERE TO MANUFACTURE'S RECOMENDATIONS REGARDING THE INSTALLATION OF THOSE ELEMENTS.

20. MASONRY:
MASONRY CONSTRUCTION SHALL CONFORM TO THE I.R.C. SECTION R703.7.

MASONRY VENEER SHALL BE ATTACHED TO THE WOOD FRAME WITH CORROSION RESISTANT METAL TIES NOT LESS THAN NO. 22 GA. x 7/8" CORRUGATED. TIES SHALL BE SPACED NOT MORE THAN 16 INCHES HORIZONTALLY AND NOT MORE THAN 24" VERTICALLY AND SHALL BE LOCATED AT ALL EXTERIOR WALL STUDS. PROVIDE WEEP HOLES AT A MAX. OF 33" O.C. PROVIDE EXPANSION JOINTS IN ACCORDANCE WITH THE IRC.

STEEL LINTELS SHALL BE ANGLES FABRICATED OF GRADE A36 STEEL AND SHALL BE USED TO SUPPORT ALL MASONRY OVER ALL MASONRY OPENINGS EXCEPT CIRCULAR ARCHES. THE LINTEL SHALL EXTEND BEYOND THE FACE OF THE MASONRY OPENING A MINIMUM OF 3 INCHES AND BEAR ON A BED OF MORTAR. 8, 9, 16 AND 18 FOOT GARAGE DOOR LINTELS SHALL EXTEND BEYOND THE FACE OF THE MASONRY OPENING A MINIMUM OF 6 INCHES AND BEAR ON A BED OF MORTAR. LINTEL LENGTHS SPECIFIED ARE THE TOTAL LENGTH OF THE LINTEL REQUIRED INCLUDING THE BEARING ENDS. THE LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION.

STATE OF TEXAS
JOHN D. JOHNS
82219
LICENSED PROFESSIONAL ENGINEER
5/29/15
J. JOHNS
STRUCTURAL ENGINEERS

Barron Custom Design, LLC

FRAMING
NOTES & DETAILS

3408 Happy Hollow
Austin, TX

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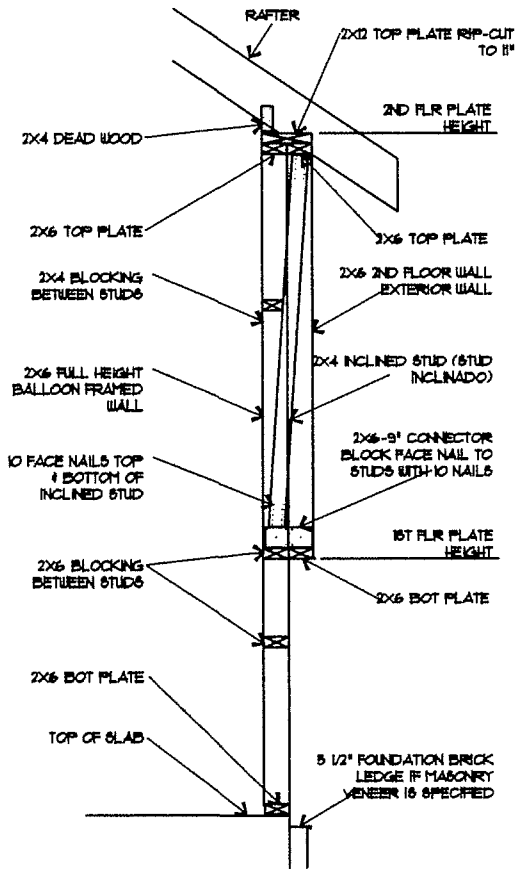
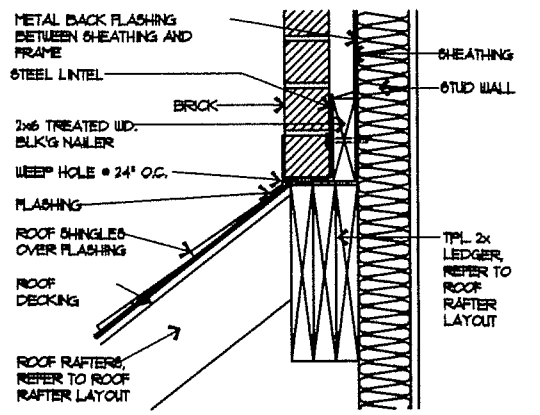
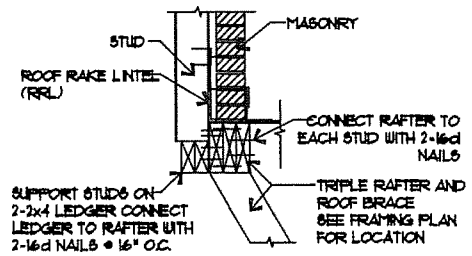


5 1/2" OFFSET WALL DETAIL



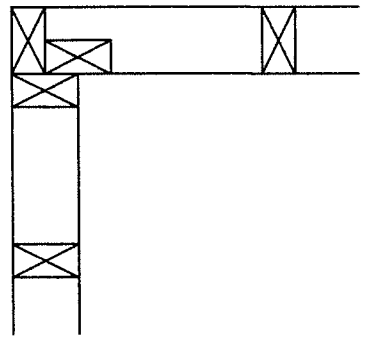
BRICK ABOVE RAFTERS IN SECTION

HORIZONTAL



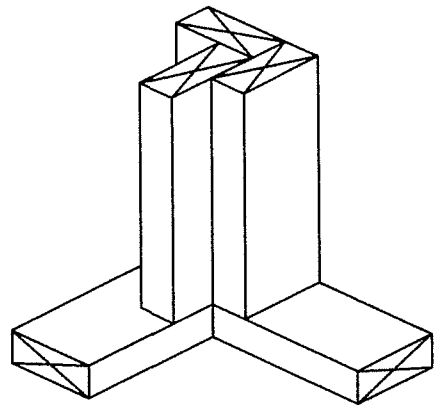
NOTE: ROOF CONSTRUCTION WITH SLOPES GREATER THAN 7:12 SHALL HAVE STOPS OF A MINIMUM 3"x3"x1/4" STEEL PLATE WELDED TO THE STEEL ANGLE LINTEL AT 24" O.C. ALONG THE ANGLE.

ROOF RAKE LINTEL (RRL) DETAIL



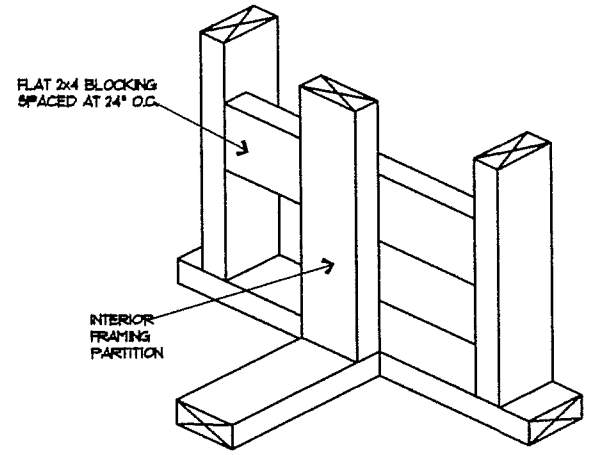
CALIFORNIA CORNER DETAIL

PLAN VIEW



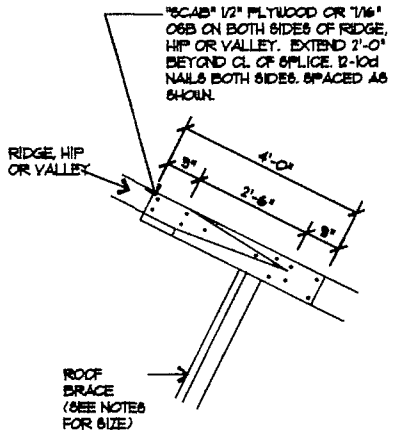
CALIFORNIA CORNER DETAIL

ISOMETRIC VIEW



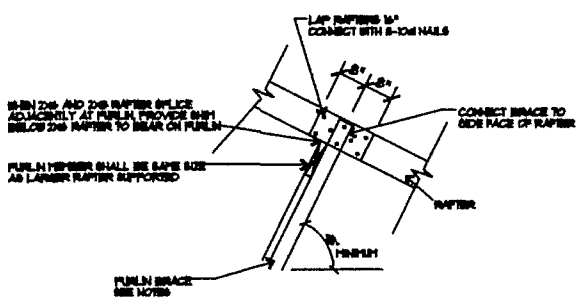
T-WALL INTERSECTION LADDER BLOCKING DETAIL

ISOMETRIC VIEW



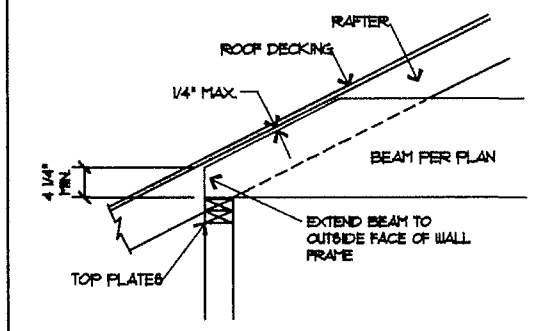
RIDGE, HIP & VALLEY BRACE

BRACES FOR RIDGES, HIPS AND VALLEYS SHALL BE CONSTRUCTED WITH TWO MEMBERS IN A "T" SHAPE AND SHALL BE BUILT WITH:
A 2x4 AND 2x6 FOR BRACES LESS THAN 10-FEET IN LENGTH.
OR TWO 2x6's FOR BRACES GREATER THAN 10-FEET IN LENGTH.

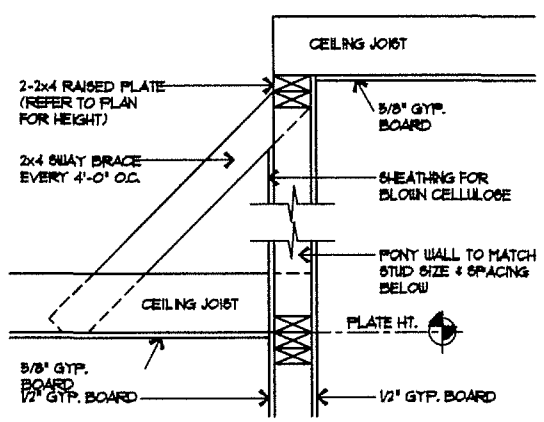


PURLIN BRACE

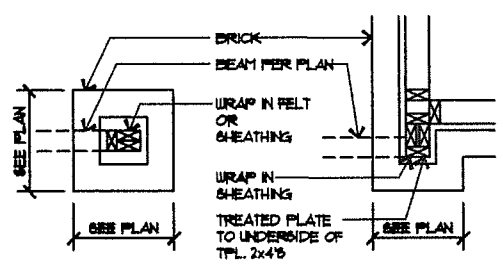
BRACES FOR PURLINS SHALL BE CONSTRUCTED WITH TWO MEMBERS IN A "T" SHAPE AND SHALL BE BUILT WITH:
TWO 2x4's FOR BRACES LESS THAN 8-FEET IN LENGTH.
OR A 2x4 AND 2x6 FOR BRACES GREATER THAN 8-FEET IN LENGTH.



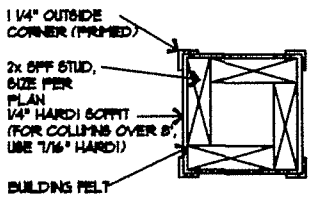
BEAM TAPERED END CUT



INTERIOR PONY WALL SECTION

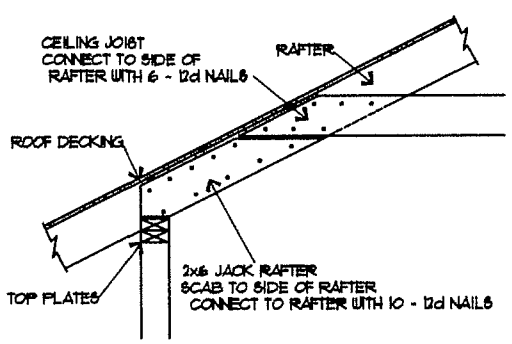


BRICK PORCH COLUMN DETAIL

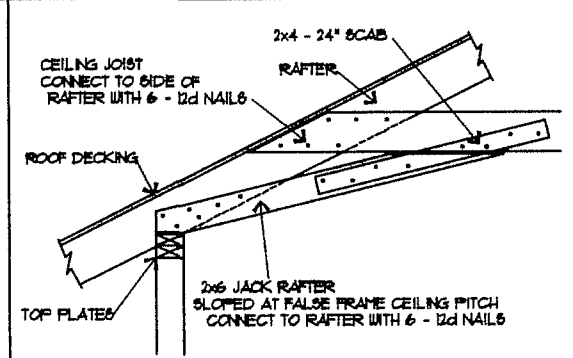


NOTE:
INSTALL PRESSURE TREATED SOLE PLATE.

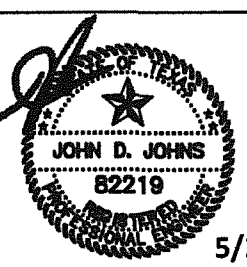
JOB BUILT COLUMN DETAIL



SLOPED CEILING FRAMING DETAIL



SLOPED CEILING FRAMING DETAIL AT FALSE FRAMED CEILING AREA



5/29/15

J. JOHNS
STRUCTURAL ENGINEERS
TBPE FIRM #00000
JOHNSPE@GMAIL.COM
(000) 000-0000

Barron Custom Design, LLC

3408 Happy Hollow
Austin, TX

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