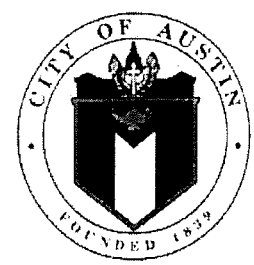


35



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

NOTIFICATIONS
CASE#: C15-2015-0139
LOCATION: 2112 Montclair St.



1" = 224'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

CASE# C15-2015-0139
ROW# 11412694
TAX# 0401090715

35
2

CITY OF AUSTIN TRAD?
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED
INFORMATION COMPLETED.

STREET ADDRESS: 2112 Montclair St, Austin, Texas 78704

LEGAL DESCRIPTION: Subdivision – Rabb Inwood Hills

Lot(s) 8 & 9 Block 9 Outlot _____ Division _____

I/We Jason Fryer on behalf of myself/ourselves as authorized agent for

_____ affirm that on July, 27, 2015,

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below and state what portion of the Land Development
Code you are seeking a variance from)

☒ ERECT ☐ ATTACH ☐ COMPLETE ☐ REMODEL ☐ MAINTAIN

We are seeking a variance from Subchapter F, Article 3: Section 3.3.3:B. 2. The finished floor
of the first story is not more than three feet above the average elevation at the intersections of
the minimum front yard setback line and the side property lines.

in a SF-3 district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence
supporting the findings described below. Therefore, you must complete each of the applicable
Findings Statements as part of your application. Failure to do so may result in your application
being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

- (b) The hardship is not general to the area in which the property is located because:

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The average grade of the property is calculated based on two single elevation points at the front of the property, however the low elevation point is not indicative of the average grade of the property. We are seeking a variance to allow the basement of the existing building to be considered as a basement exemption to the FAR. (See attached for more information).

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

2/5/3

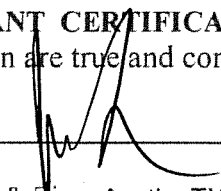
2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

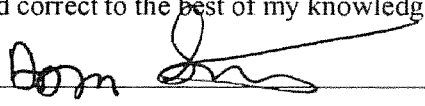
APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 1704 E 5th St

City, State & Zip Austin, TX 78702

Printed Jason Fryer Phone 512-659-6905 Date 07/27/15

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 608 Furlong Dr

City, State & Zip Austin, TX 78746

Printed Don Smith Phone 512.413.6784 Date 7/27/15

135
5

Findings:

Per City of Austin Code the average grade of the property is calculated based on two single elevation points at the front of the property, however the low elevation point is not indicative of the average grade of the property. We are seeking a variance to allow the basement of the existing building to be classified as a basement exemption to the FAR.

88% of the property line along Paramount St is at an elevation above 653' with the last 12% at 646.75', and the entire property line along Montclair St. is at or above 653'. The finish floor height of our building is 654.78'. We are requesting a variance to the requirement that the First floor finish height be within 3'0" of this two point average to satisfy the last requirement of the basement exemption.

We would contend that this variance would maintain the character of the neighborhood, as the building intent is a single story house with a basement. Furthermore, with a basement exemption, our proposed secondary dwelling will meet all of the requirements for such a structure, as well as conforming to the required 40% FAR limit and the 45% Impervious Cover requirement.

12/3
5/13

C15-2015-0139

35

Case Number: C15-2015-0139

RE: Variance Request
2112 Montclair St.
Austin, TX 78704

Project description: Freestanding garage with an apartment above. The project includes a 2 car garage at 777sf and a garage apartment at 841sf (under the 850sf maximum for this type of structure).

Existing structure: 1 story brick building at 1740sf with a basement that adds 700sf to the overall existing structure.

Variance: We are requesting a variance to Chapter 25-2, Subchapter F Article 3.3.3:

- B. A habitable portion of a building that is below grade if:
1. The habitable portion does not extend beyond the first-story footprint and is:
 - a. Below natural or finished grade, whichever is lower; and
 - b. Surrounded by natural grade for at least 50% of its perimeter wall area, if the habitable portion is required to be below natural grade under paragraph 1.a.
 2. The finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

The existing basement meets all of the requirements of 1. - It is below the natural or finished grade and surrounded by natural grade for at 50% of its perimeter wall. However, given that the property at 2112 Montclair St. has been reoriented so that the front lot line is parallel with Paramount St. the finish floor of the project is no longer 3'-0" above the average elevation when calculated with a front yard setback parallel to Paramount St.

We are therefore requesting a variance to allow for a 5'-0" difference rather than a 3'-0" difference between average elevation as defined above and the finish floor. We believe that this will not alter **Area Character** for the following reasons:

1. The space below grade was designed with Montclair St. as the front of the lot: given an average elevation of 653.0' at the Montclair side of the lot, this results in a difference of 1.78' from the average elevation to the 654.78' finish floor of the first story, which satisfies the requirement #2 above.
2. Averaging only the two points where the front yard set back meets the side yard setback along Paramount street is not indicative of a true average elevation. 88% of the property line along Paramount St is at an elevation above 653' with the last 12% at 646.75', and the entire property line along Montclair St. is at or above 653'. This results in a weighted average elevation of 652.25' which also satisfies the requirement #2 above.

Given the information above we would contend that this variance would maintain the character of the neighborhood, as the building satisfies the intent of a single story dwelling with a basement. Furthermore,

with a basement exemption, our proposed secondary dwelling will meet all of the requirements for such a structure, as well as conforming to the required 40% FAR limit and the 45% Impervious Cover requirement.

35
1/2

To help illustrate the above points, the following documents are attached:

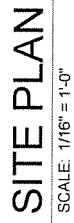
- 8-1/2" x 11" color - Graphic showing basement as it presents to the street and the relevant elevations (1 page)
- 8-1/2"x 11" B&W - Original Variance application (4 pages)
- 11"x17": (7 pages)
 - Site Plan
 - Floor Plans
 - Elevations
 - Additional graphics

Respectfully,



Jason Fryer
Forsite Studio



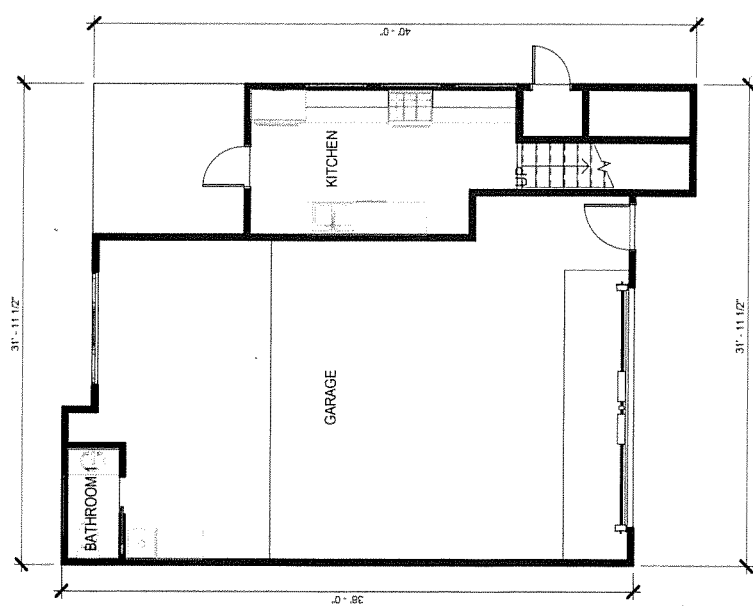


9/3/25



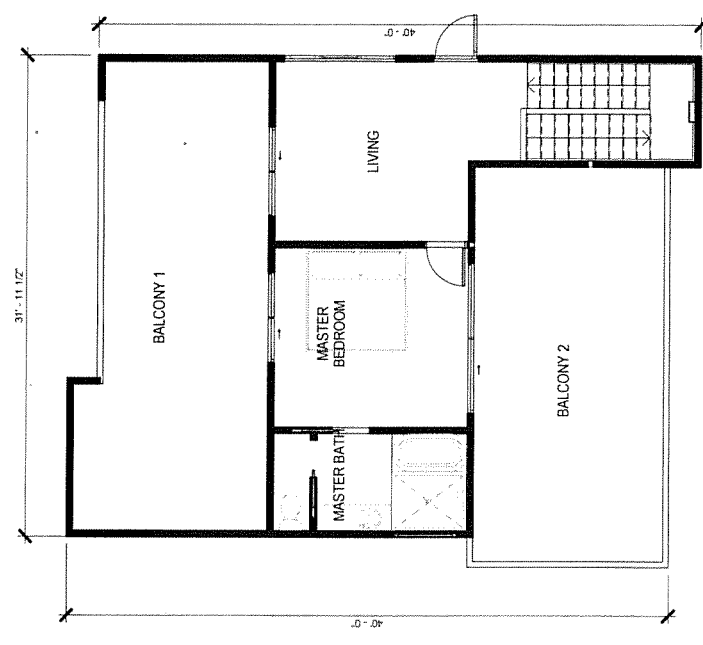
MONTCLAIRE GARAGE APARTMENT

2112 MONTCLAIRE ST, AUSTIN, TX 78704



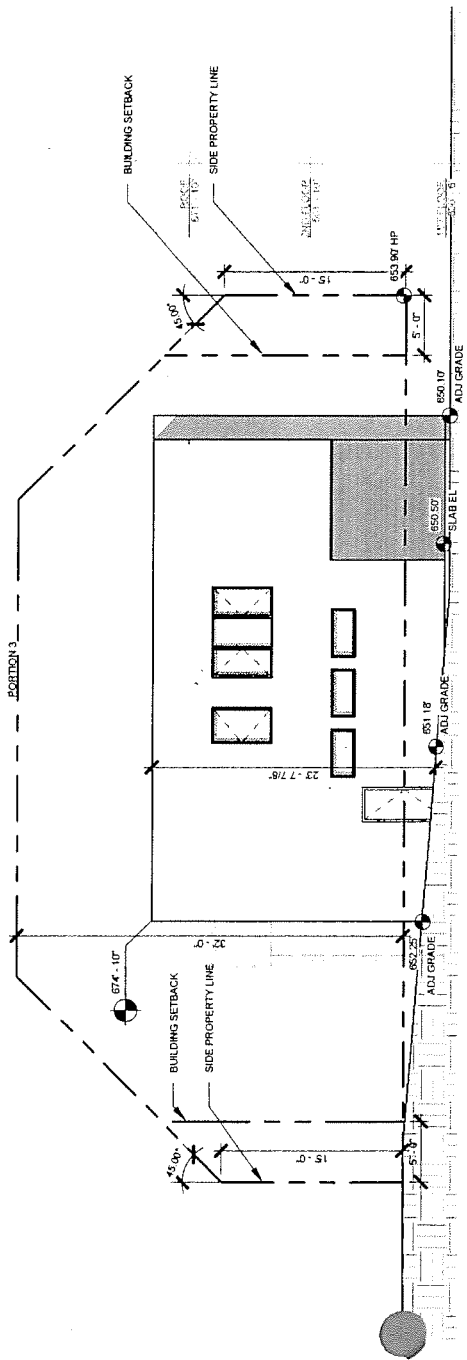
FIRST FLOOR

SCALE: 1/8" = 1'-0"



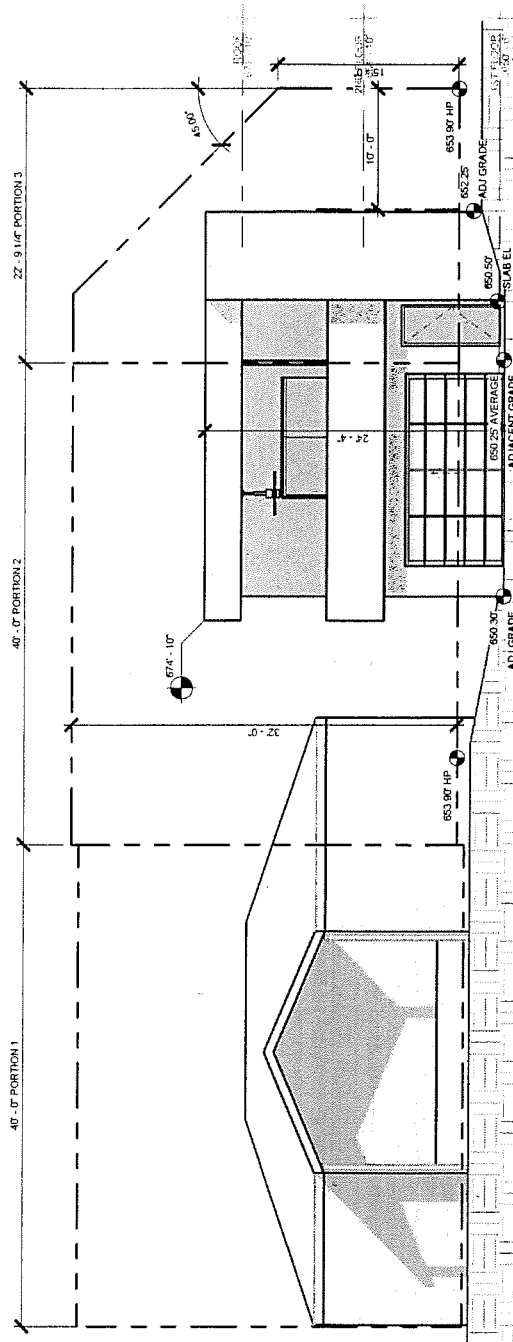
SECOND FLOOR

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1" = 10'-0"



NORTH ELEVATION

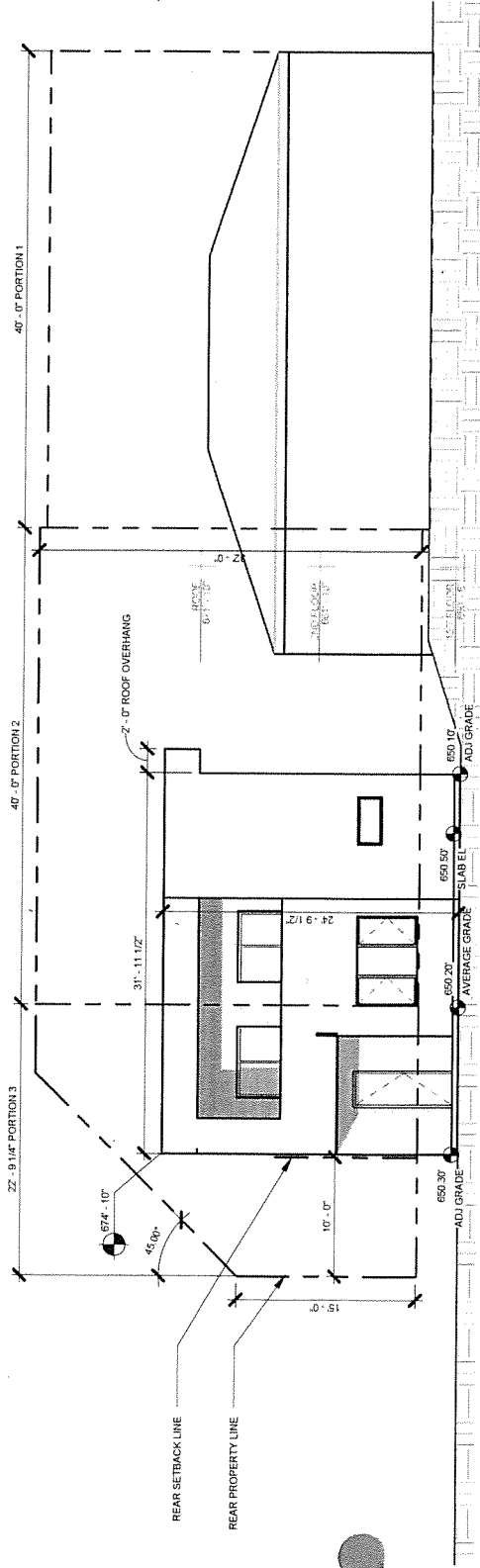
SCALE: 1" = 10'-0"

FORBES STUDIO

MONTCLAIRE GARAGE APARTMENT

2112 MONTCLAIRE ST, AUSTIN, TX 78704

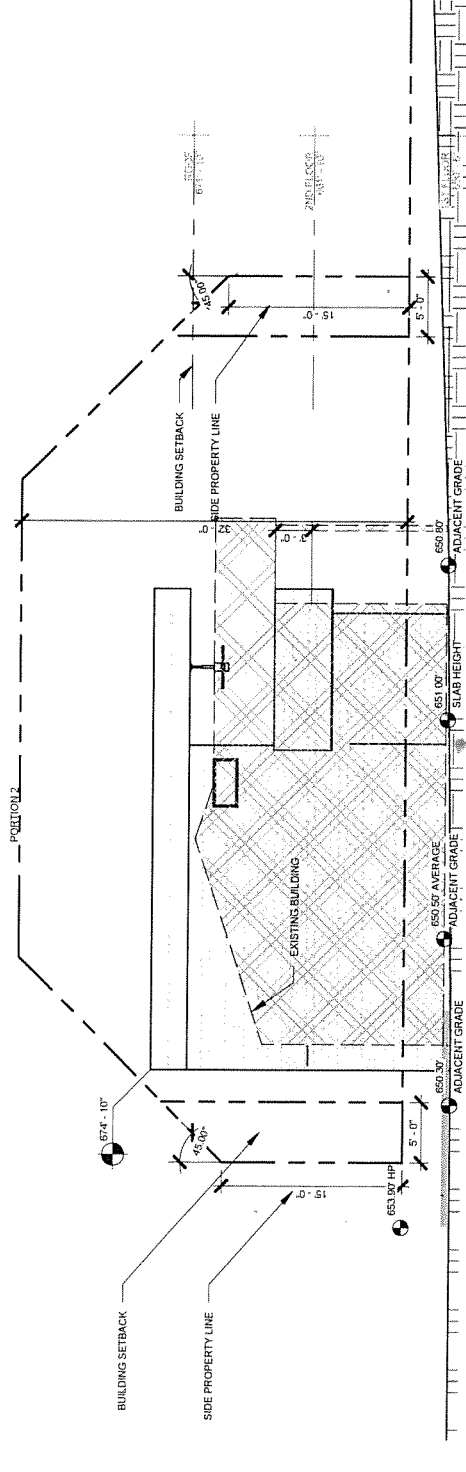
10/25



VARIANCE - SOUTH ELEVATION

SCALE: 1" = 10'-0"

2112 MONTCLAIRE ST, AUSTIN, TX 78704



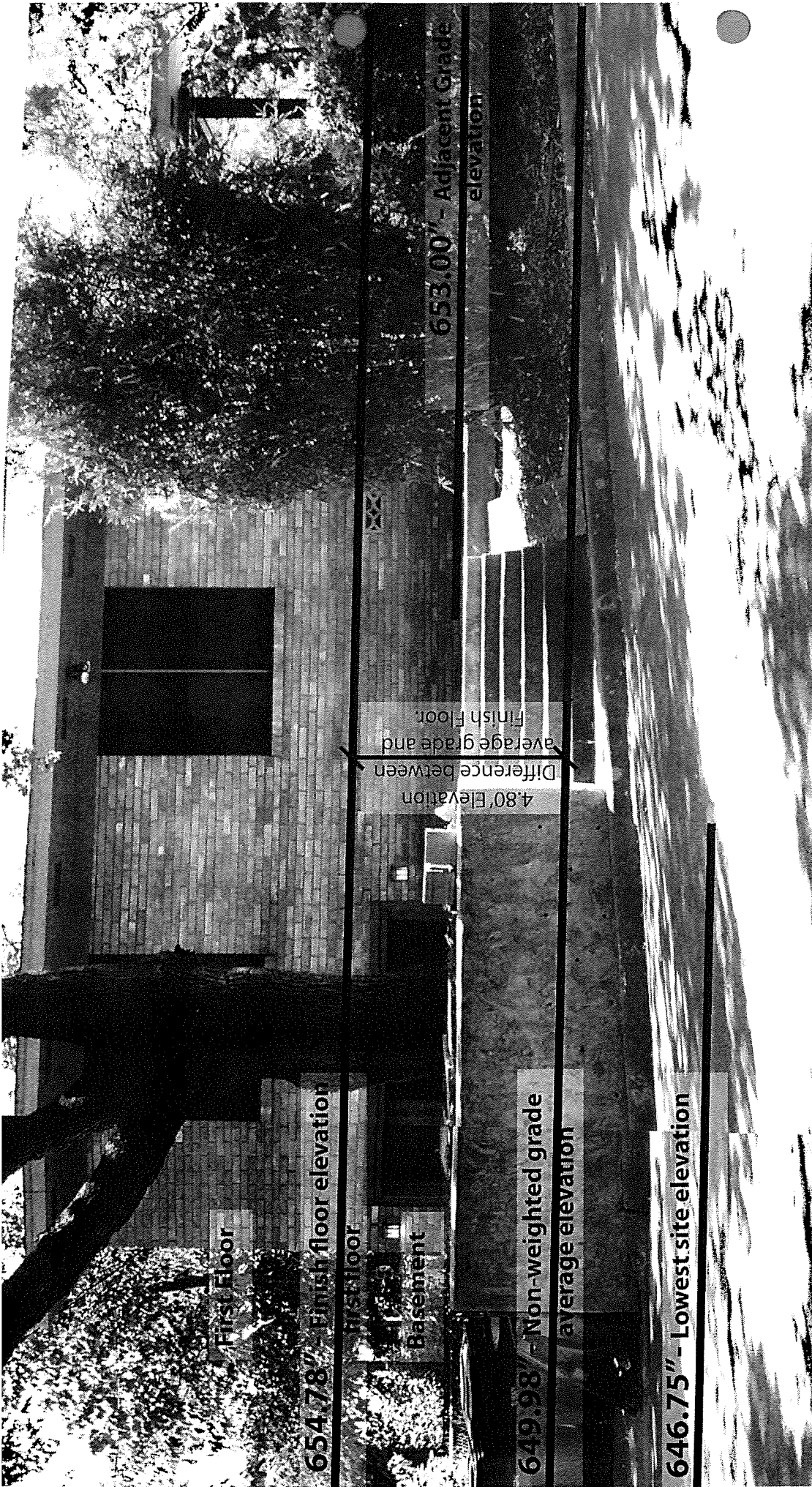
VARIANCE - WEST ELEVATION

SCALE: 1" = 10'-0"

MONTCLAIRE GARAGE APARTMENT



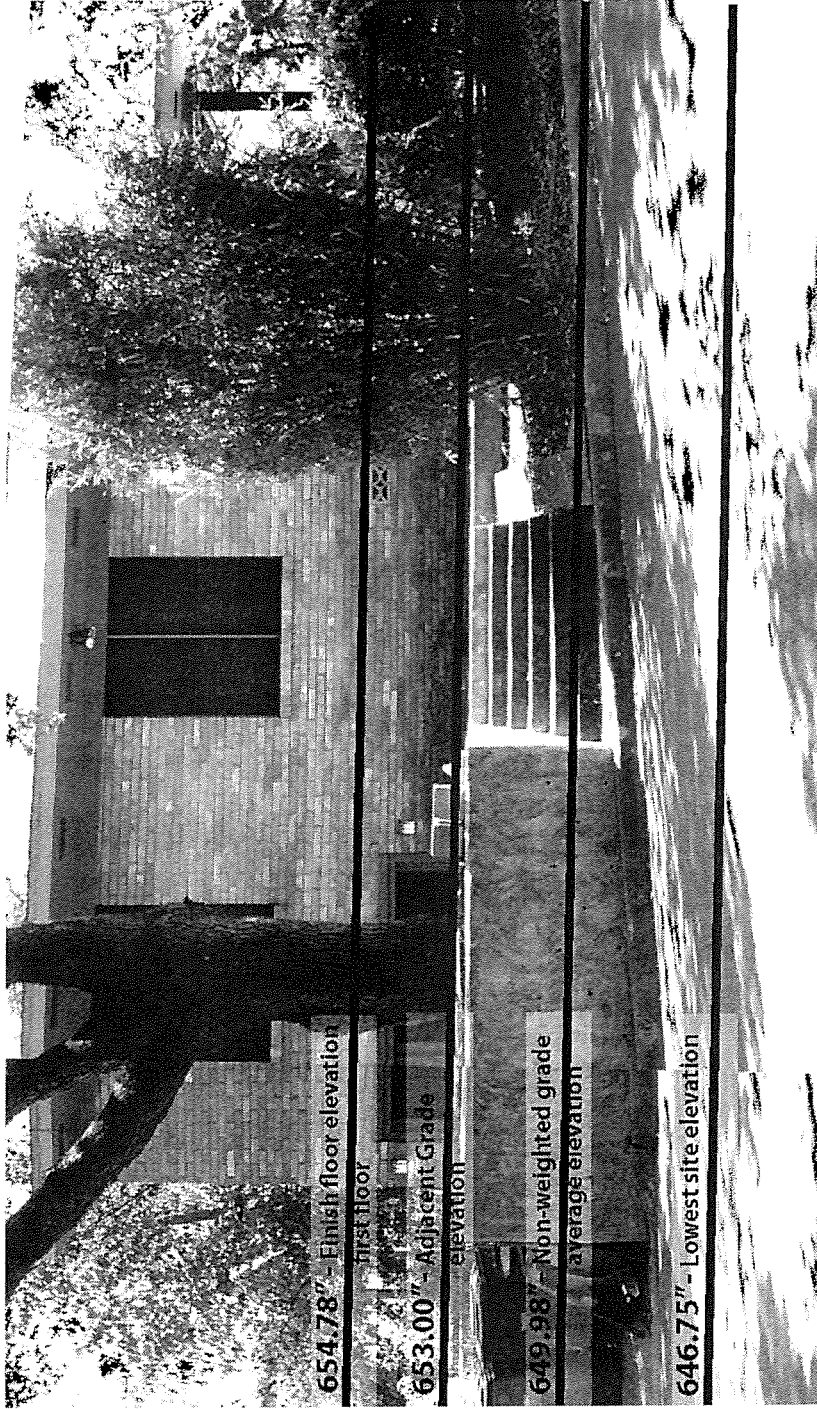
-135



Paramount Street - Graphic illustrating relative elevations as they apply to the property where it faces Paramount Street. These numbers are derived from the Paramount Street elevations.

Per Chapter 25-2, Subchapter F, Article 3.3.3 this basement is not eligible for the exemption to FAR because the difference between the average site elevation and the finish floor elevation of the First Floor is 4.80' which is greater than the allowable 3'-0" difference. We are requesting a variance on this article to extend the difference to 5'-0" so that the basement will be eligible for the FAR basement exemption.

12/3



Paramount Street - Graphic illustrating relative elevations as they apply to the property where it faces Paramount Street. These numbers are derived from the Paramount Street elevations.



Montclair Street - Graphic illustrating relative elevations as they apply to the property where it faces Montclair Street. These numbers are derived from the Paramount Street elevations.



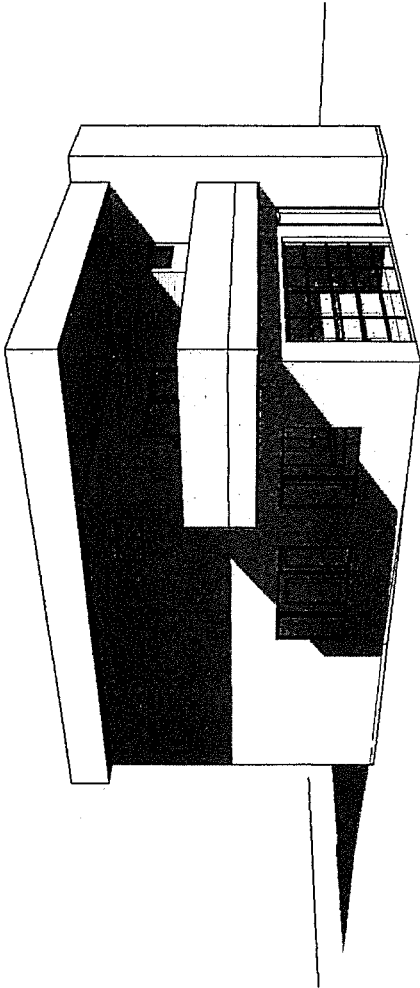
MONTCLAIRE GARAGE APARTMENT

4/25



Montclair Street - Graphic illustrating relative elevations as they apply to the property where it faces Montclair Street. These numbers are derived from the Montclair Street elevations.

2112 MONTCLAIRE



DRAWING INDEX - PERMITTING

1.02	AREA PLANS
0.00	TITLE PAGE
1.00	SITE PLAN
3.01	CONSTRUCTION PLAN
4.01	BUILDING ELEVATIONS
9.00	MC MANSON ELEVATION
9.01	MC MANSON ELEVATION

GENERAL WINDOW NOTES - PERMITTING

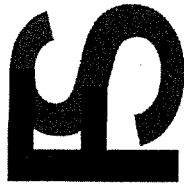
- WINDOWS MUST HAVE GUARDS OR SAFETY GLAZING IF THEY MEET THE FOLLOWING FOUR (4) CONDITIONS: AREA OF GLAZING IS 9 SF OR LARGER, SILL HEIGHT IS LESS THAN 18" AFF, HEAD HEIGHT IS MORE THAN 36" AFF AND GLAZING IS WITHIN 36" OF A WALKWAY PER IRC R312.2
- WINDOWS WITHIN 24" INCHES OF ALL DOORS AND WITH A SILL LESS THAN 60" TO BE SAFETY GLAZING PER IRC R308.4.2
- ALL OTHER WINDOWS TO HAVE SAFETY GLAZING AS NOTED
- EGRESS WINDOWS TO BE A MINIMUM SIZE OF 20" X 24" / 5.7 SQ FT, PER IRC R310

VISIBILITY NOTES - PERMITTING

- PER ORDINANCE NO. 20140130-21, IN REFERENCE TO LEVEL 1 BATHROOM.
- MINIMUM CLEAR OPENING OF 30" IS REQUIRED
- LATERAL 2" X 8" OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
- THE BOTTOM LINE OF THE BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF WALL LOCATED DIRECTLY BEHIND THE LAVATORY
- LIGHT SWITCHES, ENVIRONMENTAL CONTROLS & ELECTRICAL OUTLETS MUST BE NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL AND COMPLY WITH ALL REACH RANGE REQUIREMENTS IF LOCATED ABOVE COUNTERTOPS

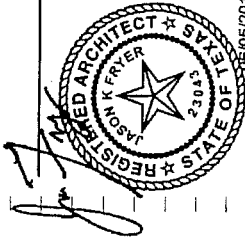
GENERAL NOTES - PERMITTING

- ALL CEILINGS TO BE MINIMUM 8'-0" AFF. UNO
- ALL CEILINGS TO BE 5/8" GYPSUM UNO
- NEW SMOKE DETECTORS (S) TO BE INSTALLED AS INDICATED & NO CLOSER THAN 3' TO AN AIR SOURCE, PER IRC R314
- NEW CARBON MONOXIDE DETECTORS (C) TO BE INSTALLED AS INDICATED & NO CLOSER THAN 3' TO AN AIR SOURCE, PER IRC R315
- LOCAL EXHAUST SYSTEMS (E) INDICATED ON PLAN IN BATHROOMS, TO BE VENTED DIRECTLY TO THE OUTDOORS PER IRC R303.3
- LIGHT FIXTURES IN CLOSETS TO COMPLY WITH 4003.12
- LIGHT SWITCHES & ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL
- STAIR DESIGN CONFIGURATION AND CONSTRUCTION TO COMPLY WITH ALL 2012 IRC REQUIREMENTS. MINIMUM CLEAR WIDTH 36" OPEN RISER MAXIMUM HEIGHT TO BE 4", MAX RISER 7 1/2" AND MINIMUM TREAD DEPTH 10"
- IN ADDITION TO OUTLETS NOTED ON PLANS, PROVIDE ELECTRICAL OUTLETS PER CITY OF AUSTIN CODE



FORSITE STUDIO
SUSTAINABLE DESIGN AND CONSTRUCTION
ARCHITECTS
1000 N. 10TH
AUSTIN, TEXAS 78701

CONSULTANTS



NOTES

No
REVISION ISSUE

2112 MONTCLAIRE

MONTCLAIRE
TITLE PAGE

SHEET 0.01

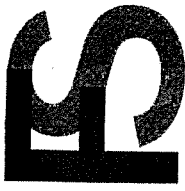
SCALE

ISSUE DATE 02/21/201

JOB # 141

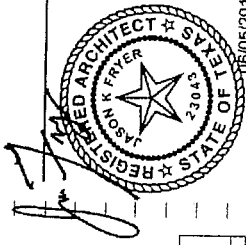
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1635



FORSITE STUDIO
ARCHITECTURAL DESIGN AND CONSTRUCTION
11111 N. MONTCLAIRE
AUSTIN, TEXAS 78753
512.453.1111

CONSULTANTS



NOTES

No

REVISION ISSUE

AS1.01

05/15/2015

2112 MONTCLAIRE

MONTCLAIRE

SITE PLAN

SHEET 1.00

SCALE As Indicate

ISSUE DATE 02/21/2015

JOB # 1412

13

FLOOR TO AREA RATIO = 36.5%

Name	Area	Comments
SITE	8059 SF	
SITE	8059 SF	
GARAGE - 608 TOTAL	304 SF	
GARAGE EXEMPTION	450 SF	
FLOOR AREA - SECONDARY APARTMENT	110 SF	
FIRST FLOOR AREA - SECONDARY APARTMENT	50 SF	
SECOND FLOOR AREA - SECONDARY APARTMENT	60 SF	
FLOOR AREA - EXISTING	1740 SF	
FIRST FLOOR EXISTING	1740 SF	

FAR CALCULATIONS:

TOTAL GARAGE AREA = 608 SF
GARAGE AREA FOR FAR = 608 SF
FAR CALCULATION = 360 SF
EXISTING BUILDING = 1740 SF
NEW BUILDING = 608 SF
FAR TOTAL = 3941 SF
FAR RATIO: 3033 SF / 8059 SF = 36.5%

REVIEWED

JUN 10 2015

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

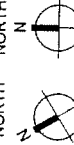
IMPERVIOUS COVER - 45%

Name	Area	Comments
COVERED PORCH	137 SF	BUILDING
DECK	100 SF	BUILDING
EXISTING BLDG	1740 SF	BUILDING
NEW BUILDING	1200 SF	BUILDING
PARKING	3147 SF	PARKING
SITE	415 SF	SITE
	8059 SF	

KEYNOTE LEGEND.

109	TWO CAR GARAGE TO SATISFY SITE PARKING REQUIREMENTS
110	EXISTING SINGLE PARKING SPACE TO SATISFY PARKING REQUIREMENTS - 12'-0" WIDE BY 18'-0" INSIDE PROPERTY LINE
111	PARKING STRIPS PER CITY OF AUSTIN ORDINANCE
151	STANDARD TYPE 1 RESIDENTIAL DRIVEWAY, 12'-0" WIDE AT PROPERTY AND WITH A 5'-0" RADIUS CONNECTION AT RIGHT OF WAY. DETAILS FOR CONSTRUCTION WILL SATISFY ALL REQUIREMENTS OF CITY OF AUSTIN STANDARD NO. 433S-1

TRUE NORTH



AE-APPROVED
JUN 10 2015
RJS 161-4

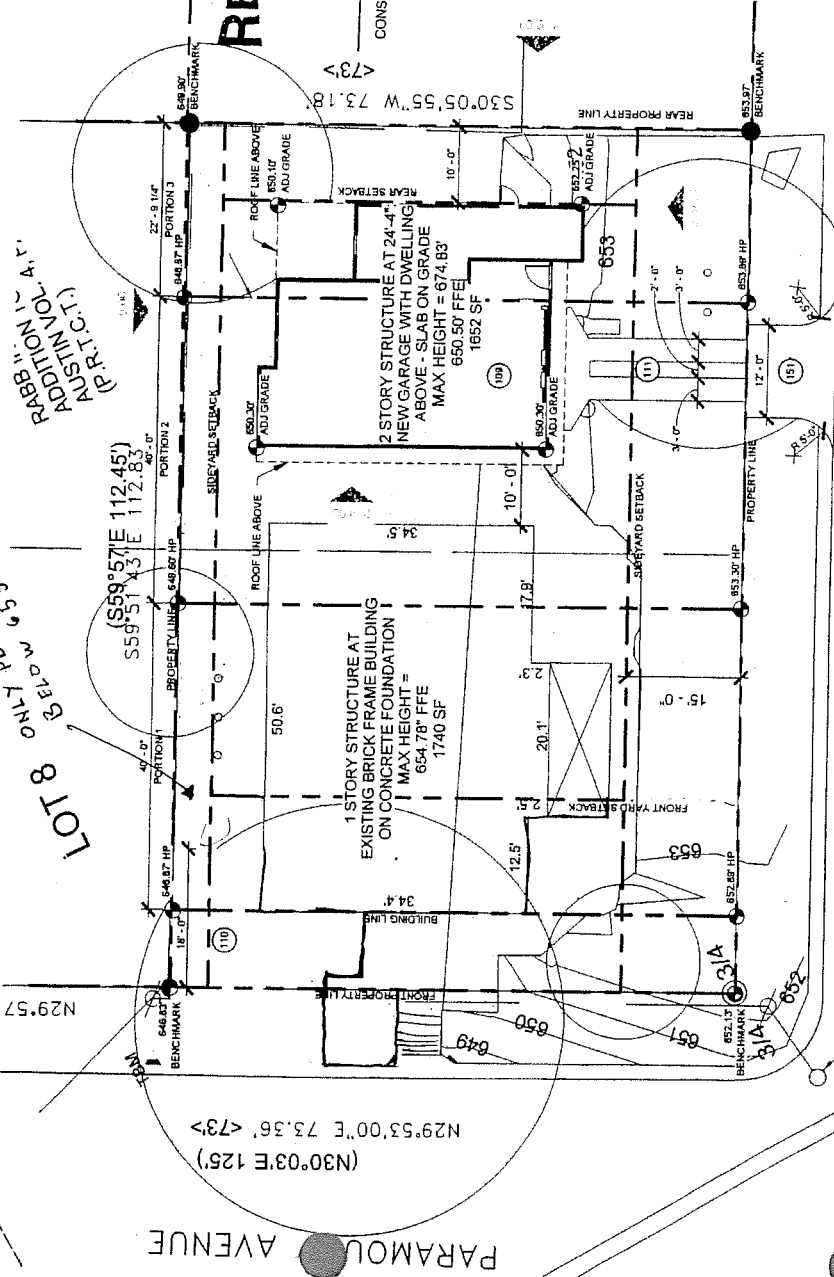
N59°57'00"W 112.55' (112.45')
BEARING BASIS

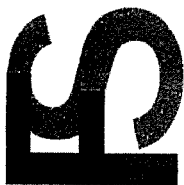
MONTCLAIRE STREET

SITE PLAN - PERMITTING

SCALE: 1/16" = 1'-0"

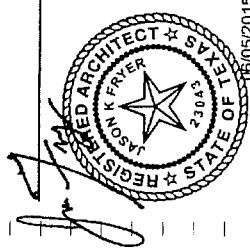
All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.





FORSITE STUDIO
SUSTAINABLE DESIGN AND CONSTRUCTION
1000 N. 10th St., Suite 100
Austin, TX 78701
Phone: 512.477.1770
Fax: 512.477.1771

CONSULTANTS



NOTES

No
REVISION ISSUE

2112 MONTCLAIRE

MONTCLAIRE
SITE DEMO

SHEET 1.01

SCALE As Indicated

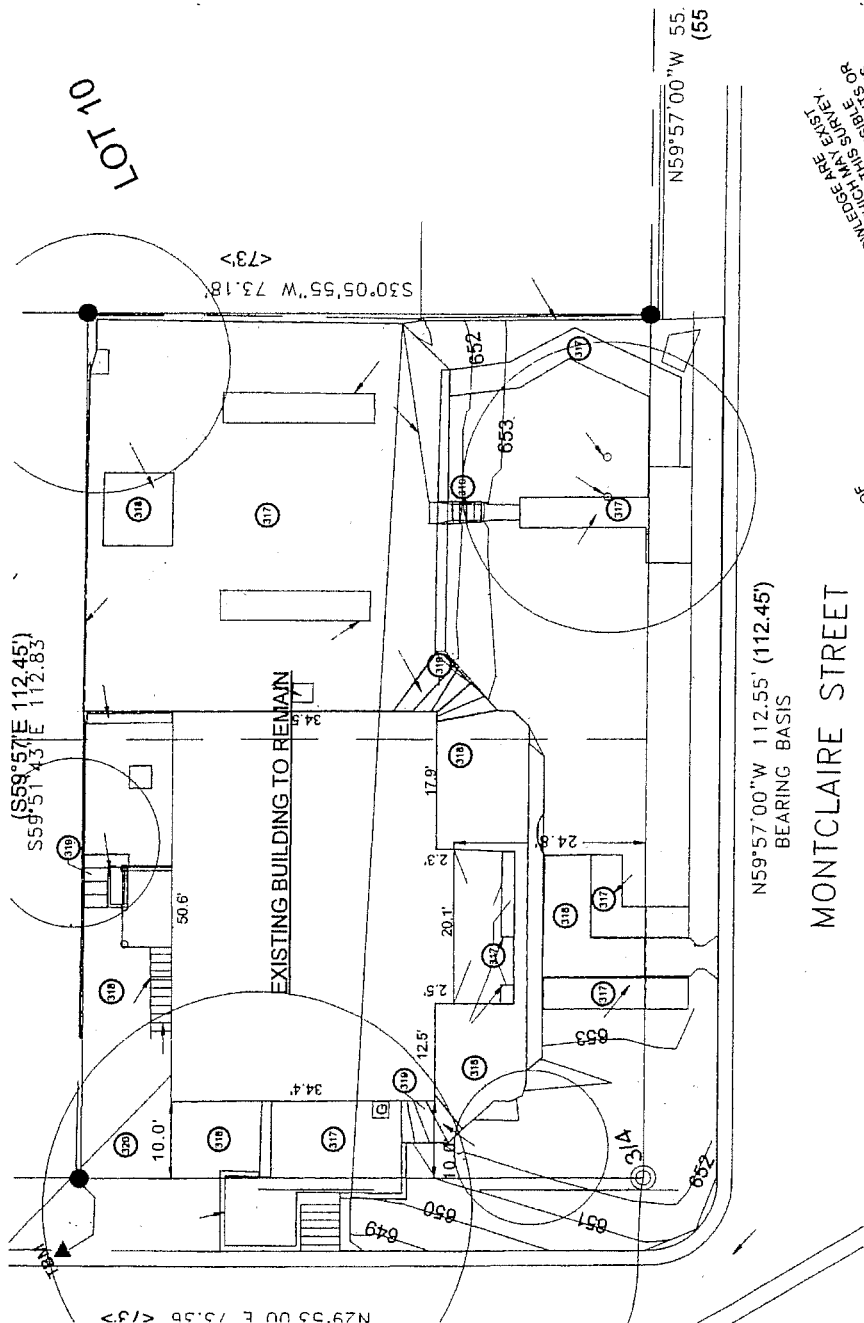
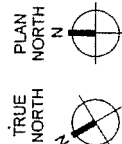
ISSUE DATE 02/21/2015

JOB # 141

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KEYNOTE LEGEND.

317	PAVERS TO BE REMOVED
318	DEMO FLAT WORK AS INDICATED
319	DEMO STAIRS IN THIS AREA
320	FLATWORK TO REMAIN AS INDICATED



SITE PLAN DEMO - PERMITTING

SCALE: 1/16" = 1'-0"

1825

FIRST FLOOR AREA -
SECONDARY
APARTMENT

34 SF

GARAGE

360 SF

FIRST FLOOR AREA -
SECONDARY
APARTMENT

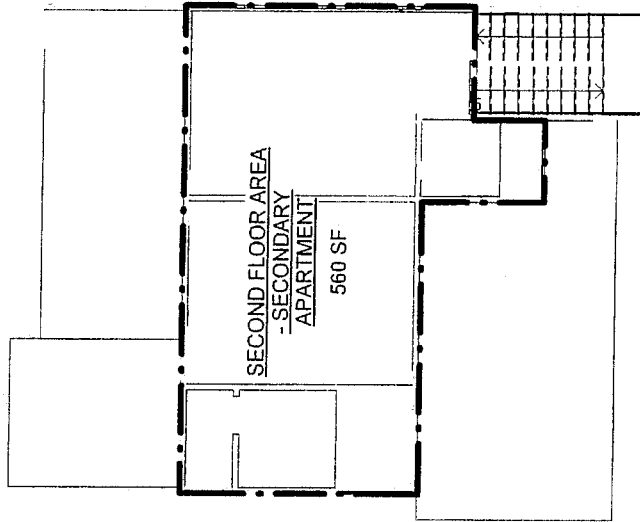
256 SF

GARAGE EXEMPTION

450 SF

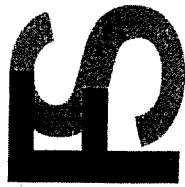
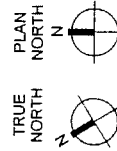
FAR - FIRST FLOOR

SCALE: 1/8" = 1'-0"



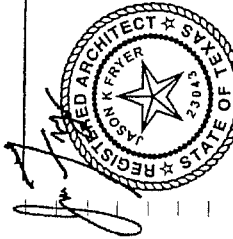
FAR - SECOND FLOOR

SCALE: 1/8" = 1'-0"



FORSITE STUDIO
SUSTAINABLE DESIGN AND CONSTRUCTION
ARCHITECTS
1000 10TH AVENUE
SUITE 100
DENVER, CO 80202
(303) 733-1000
WWW.FORSITESTUDIO.COM

CONSULTANTS



NOTES

06/05/2015

No

REVISION ISSUE

2112 MONTCLAIRE

MONTCLAIRE

AREA PLANS

SHEET 1.02

SCALE As indicated

ISSUE DATE 02/21/2015

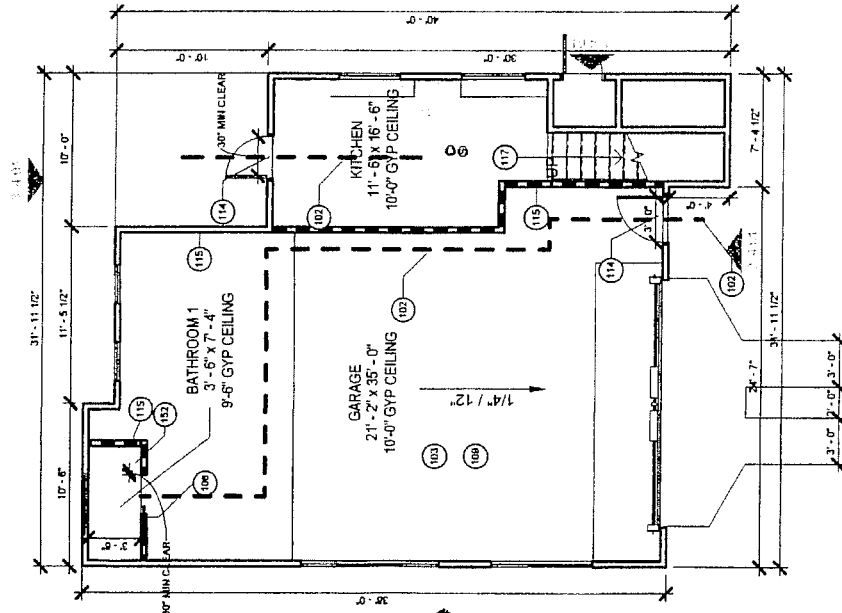
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DATE

19/35

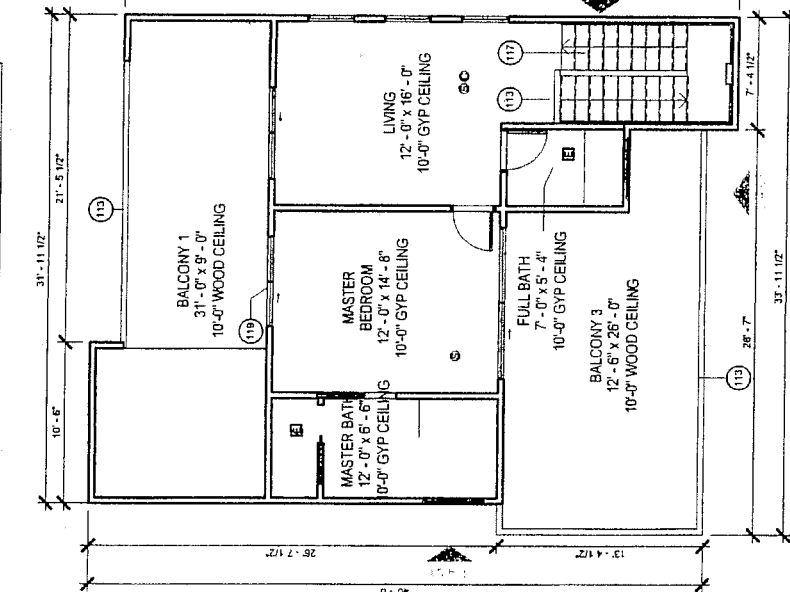
VISITABILITY NOTES - PERMITTING

- PER ORDINANCE NO. 20140130-21, IN REFERENCE TO LEVEL 1 BATHROOM.
- MINIMUM CLEAR OPENING OF 30" IS REQUIRED.
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- THE BOTTOM LINE OF THE BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF WALL LOCATED DIRECTLY BEHIND THE LAVATORY.
- LIGHT SWITCHES, ENVIRONMENTAL CONTROLS & ELECTRICAL OUTLETS MUST BE NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL AND COMPLY WITH ALL REACH RANGE REQUIREMENTS IF LOCATED ABOVE COUNTERTOPS.



PERMITTING - FIRST FLOOR

SCALE: 1/8" = 1'-0"



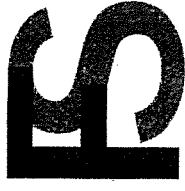
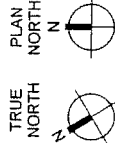
PERMITTING - SECOND FLOOR

SCALE: 1/8" = 1'-0"

- ## GENERAL NOTES - PERMITTING
- ALL CEILINGS TO BE MINIMUM 8'-0" AFF. UNO
 - ALL CEILINGS TO BE 5/8" GYPSUM UNO
 - NEW SMOKE DETECTORS (S) TO BE INSTALLED AS INDICATED & NO CLOSER THAN 3" TO AN AIR SOURCE, PER IRC R314
 - NEW CARBON MONOXIDE DETECTORS (C) TO BE INSTALLED AS INDICATED & NO CLOSER THAN 3" TO AN AIR SOURCE, PER IRC R315
 - LOCAL EXHAUST SYSTEMS (E) INDICATED ON PLAN IN BATHROOMS, TO BE VENTED DIRECTLY TO THE OUTDOORS PER IRC R303.3
 - LIGHT FIXTURES IN CLOSETS TO COMPLY WITH 4003.12
 - LIGHT SWITCHES & ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL
 - STAIR DESIGN CONFIGURATION AND CONSTRUCTION TO COMPLY WITH ALL 2012 IRC REQUIREMENTS. MINIMUM CLEAR WIDTH 36". OPEN RISER MAXIMUM HEIGHT TO BE 4", MAX RISER 7 1/2" AND MINIMUM TREAD DEPTH 10"
 - IN ADDITION TO OUTLETS NOTED ON PLANS, PROVIDE ELECTRICAL OUTLETS PER CITY OF AUSTIN CODE

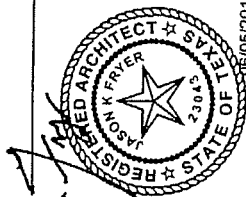
KEYNOTE LEGEND.

102	VISITABLE PATH WITH NO-STEP ENTRANCE THRESHOLD PER R320
103	CEILING TO HAVE 1-HOUR FIRE RATED CONSTRUCTION - 5/8" TYPE X GYP BOARD ON GARAGE CEILING
108	VISITABLE BATHROOM WITH MIN 30" CLEAR DOOR OPENING PER R320
109	TWO CAR GARAGE TO SATISFY SITE PARKING REQUIREMENTS
113	PER R312 - MINIMUM WALL HEIGHT 36"
114	VISITABLE ENTRANCE WITH MIN 30" CLEAR DOOR OPENING A PER R320
115	WALL TO HAVE 1-HOUR FIRE RATED CONSTRUCTION - MINIMUM 1/2" TYPE GYP BOARD ON GARAGE SIDE
117	STAIRS TO COMPLY WITH IRC 2012 - REFERENCE GENERAL STAIR NOTES
119	SLIDING DOOR TO BALCONY FOR EGRESS
152	SWITCHES, ENVIRONMENTAL CONTROLS & RECEPTACLES TO SATISFY VISIBILITY REQUIREMENTS - REFERENCE NOTES FOR DETAILS



FORSITE STUDIO
ARCHITECTURE, INTERIOR DESIGN & CONSTRUCTION
1100 N. DALLAS ST. SUITE 200
AUSTIN, TEXAS 78701
512.452.1234

CONSULTANTS



NOTES

No
REVISION ISSUE

2112 MONTCLAIRE

MONTCLAIRE
CONSTRUCTION PLAN

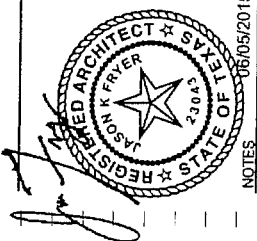
SHEET	3.01
SCALE	As Indicate
ISSUE DATE	02/21/2015
JOB #	141
DRAWN BY	Author

25
20



FORSITE STUDIO
ARCHITECTS
1000 N. 10TH ST.
SUITE 100
DALLAS, TX 75207
PH: 214.742.1177
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CONSULTANTS



NOTES

No.
REVISION ISSUE

2112 MONTCLAIRE
MONTCLAIRE
BUILDING ELEVATION

SHEET 4.01

SCALE 1/8" = 1'-0"

ISSUE DATE 02/21/2015

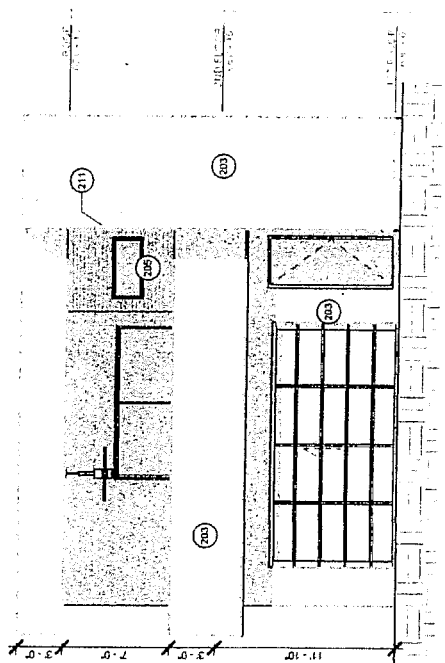
JOB # 1412

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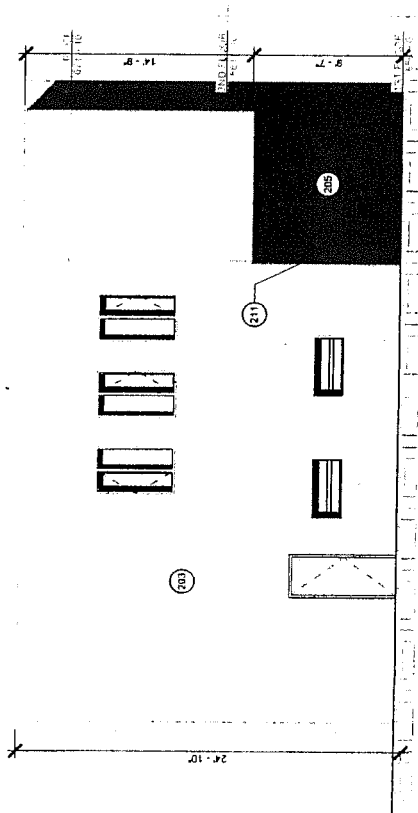
2/3

KEYNOTE LEGEND.

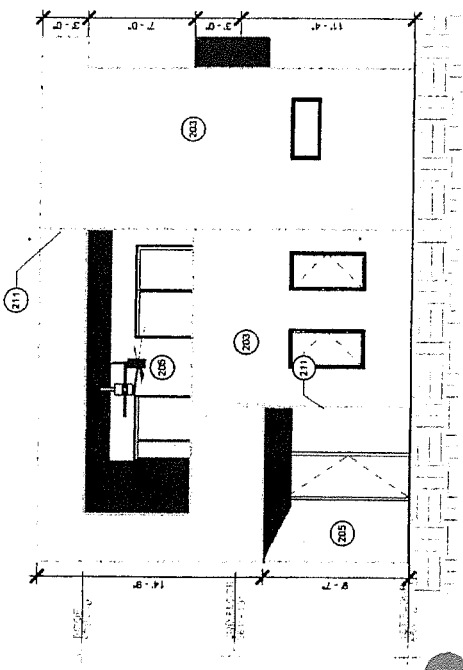
113	PER R312 - MINIMUM WALL HEIGHT 36"
203	STUCCO
205	WOOD SIDING
211	CHANGE OF WALL PLANE - REFERENCE PLAN



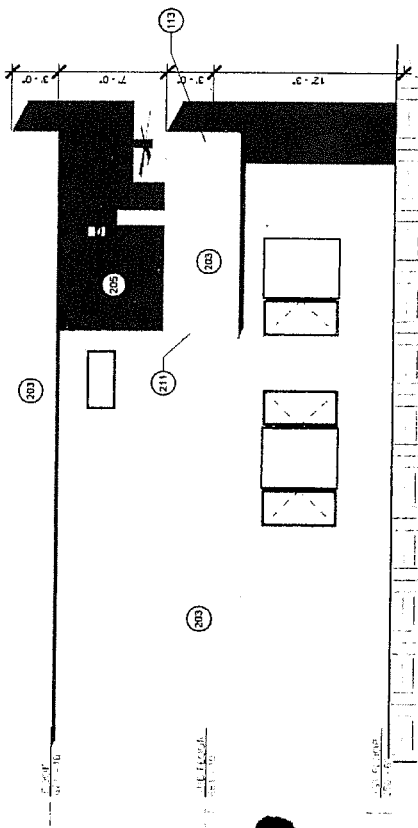
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

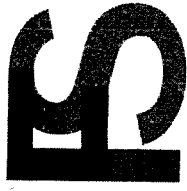


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



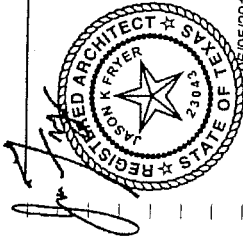
WEST ELEVATION
SCALE: 1/8" = 1'-0"

ms
22



FORSITE STUDIO
ARCHITECTURE, INTERIOR DESIGN AND CONSTRUCTION
1000 N. TEXAS
SUITE 1000
DALLAS, TEXAS 75201
PHONE: 214.760.1000
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CONSULTANTS



NOTES

No
REVISION ISSUE

2112 MONTCLAIRE

MONTCLAIRE

MCMANSION ELEVATION

SHEET **9.00**

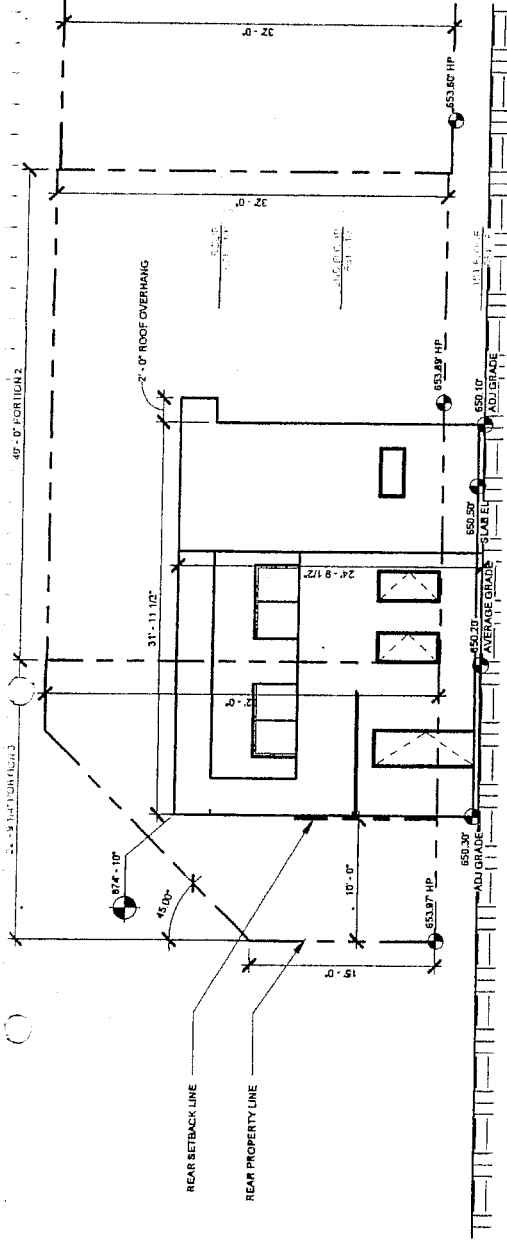
SCALE 1" = 10'-0"

ISSUE DATE 02/21/2015

JOB # 1414

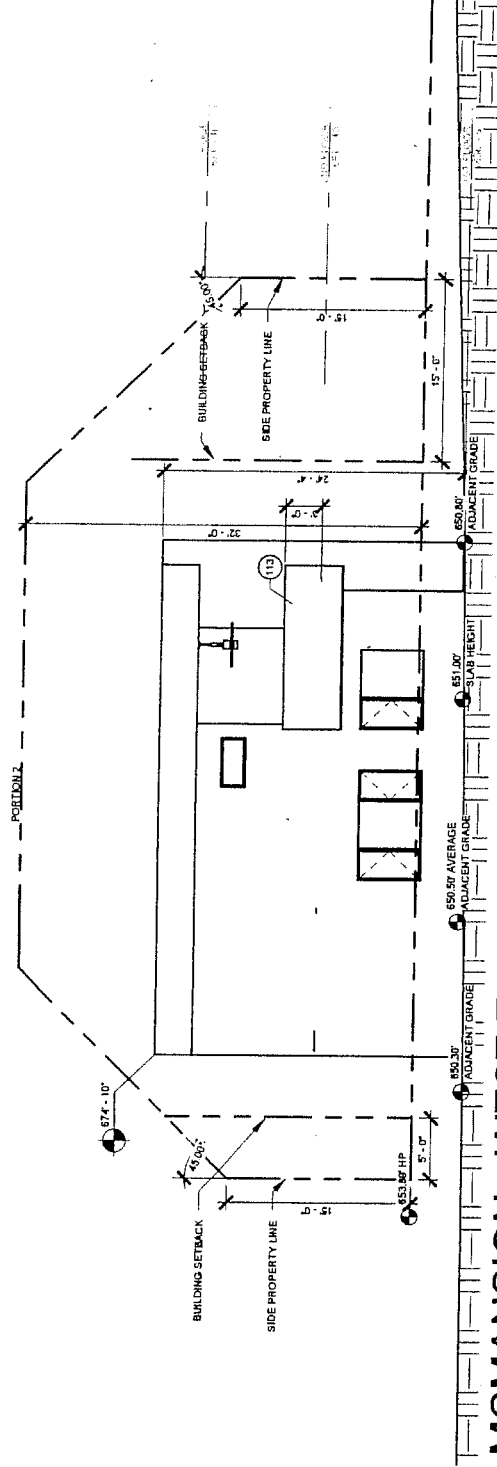
FOOTING

2/3/25



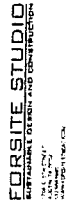
MCMANSION - NORTH ELEVATION

SCALE: 1" = 10'-0"

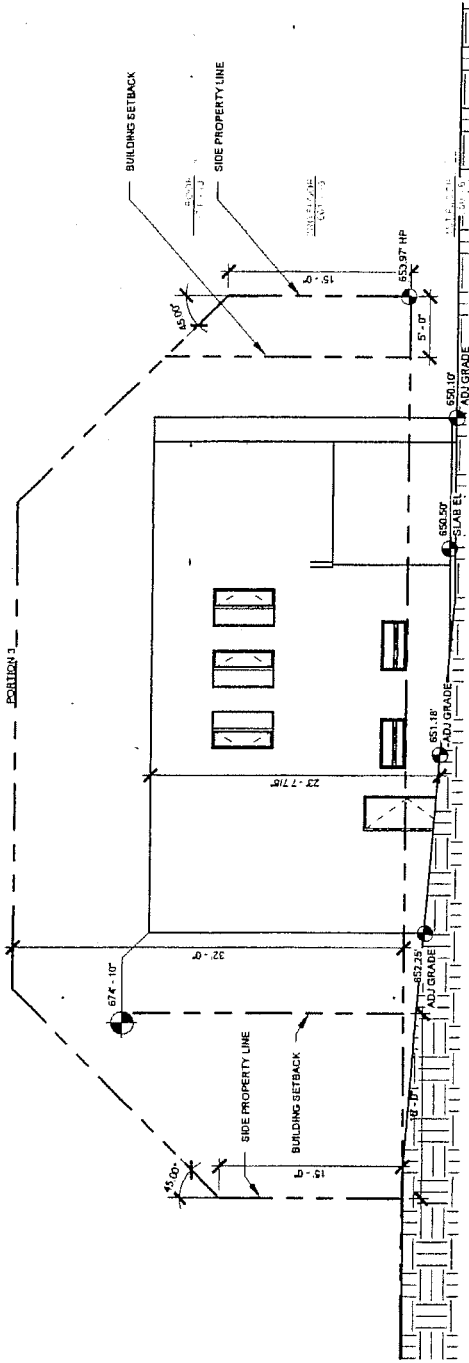


MCMANSION - WEST ELEVATION

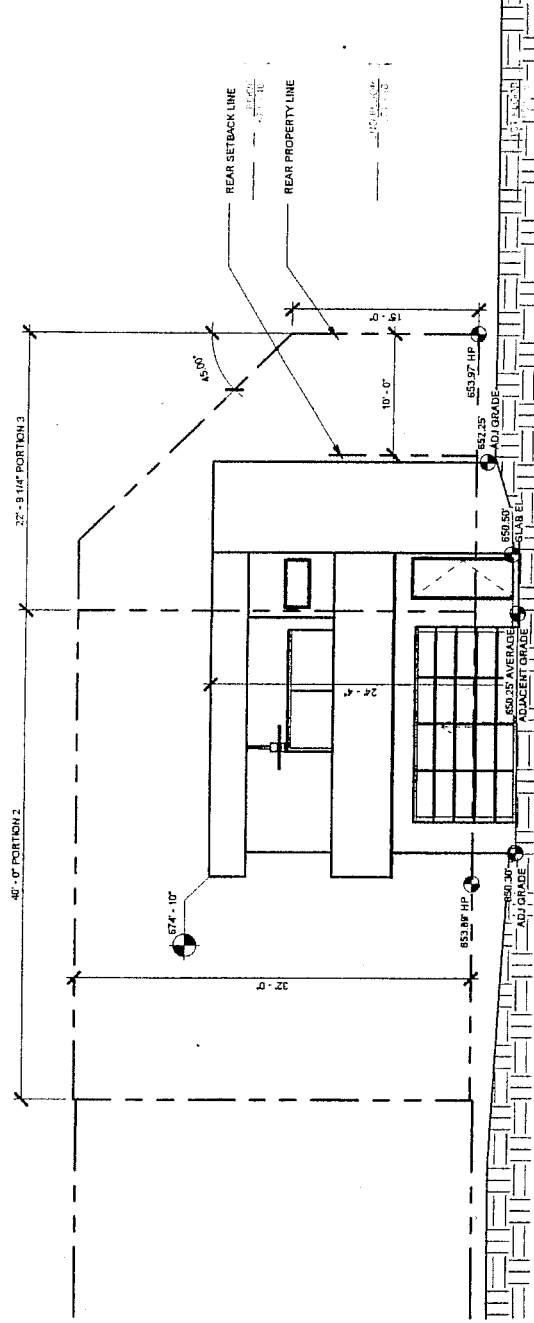
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Author

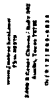
ms
24



SCALE: 1" = 10'-0"



SCALE: 1" = 10'-0"



Montclair Residence
2112 Montclair
AUSTIN, TX 78671

Date	04/21/15
Project Number	
Reviewers	

Conclusions

\$0.00

ms
/25

STRUCTURAL SPECIFICATIONS

[illegible]

STRUCTURAL ENGINEERING
University of California, Berkeley
Berkeley, CA 94720
Tel: (415) 875-5555

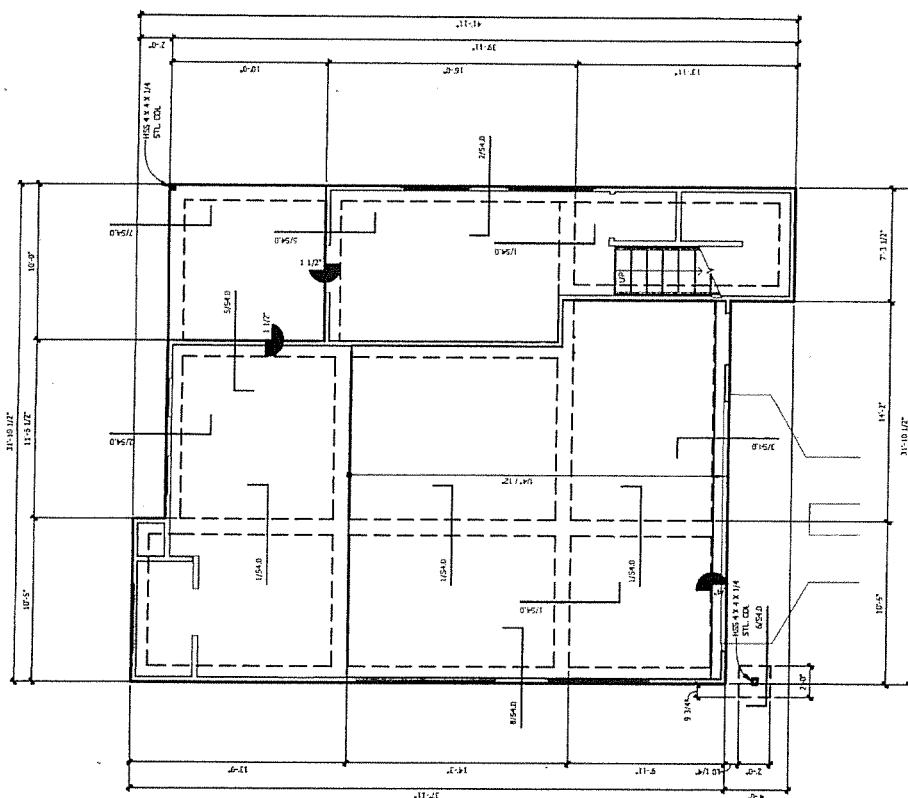


Date	06/18/13
Project Number	
Reviewer	

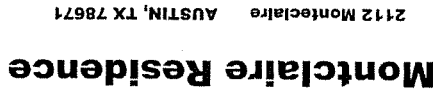
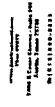
Foundation Plans

\$1.0

ms
26



FOUNDATION PLAN
1/8" = 1'-0"

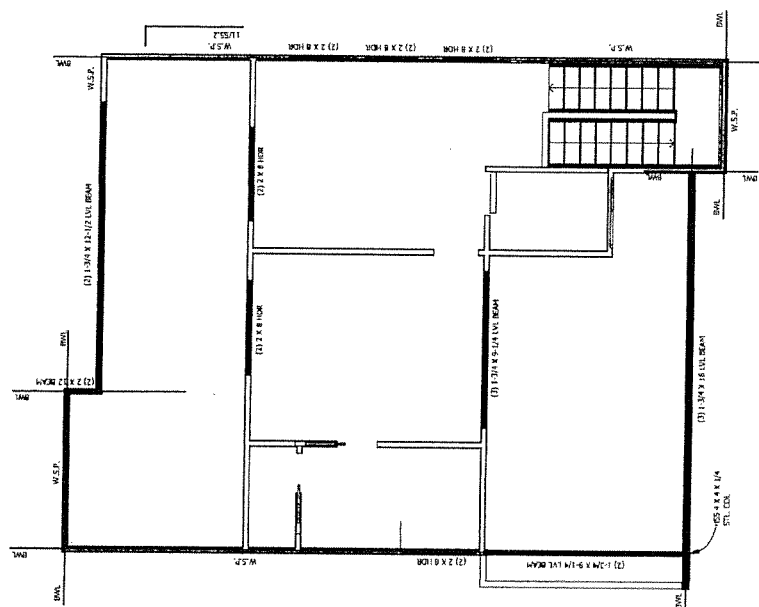


Date:	04/21/15
Project Number:	
Revision:	

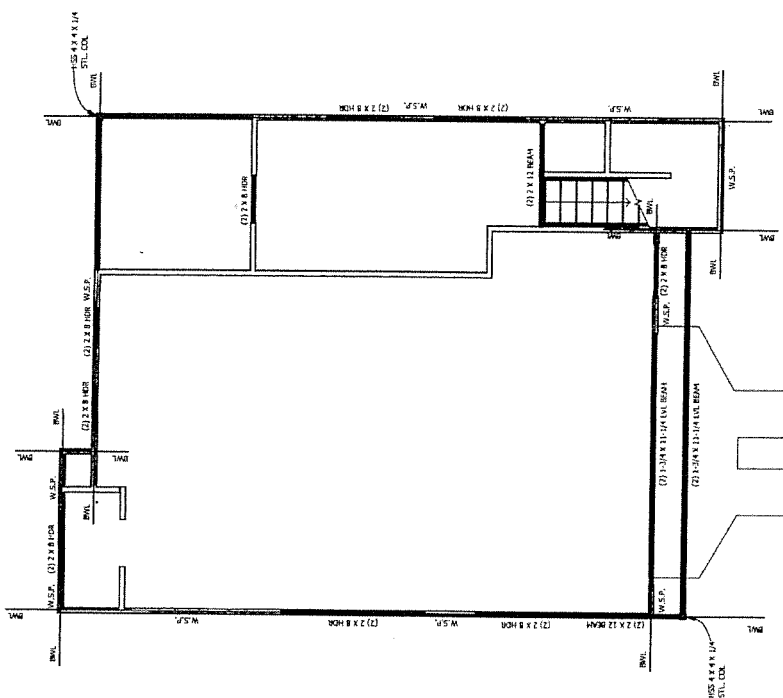
\$2.0

$$\frac{m}{2}$$


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28



ROOF BRACING PLAN
1/8" = 1'-0"



FLOOR BRACING PLAN
1/8" = 1'-0"

BRACING NOTES:

- WOODING NOTES:
W.S.P. = "BRACE WALL LINE"
W.S.P. = "WOOD STRUCTURAL PANEL"
ALL BRACE LINES AS INDICATED BY PLAN ARE SHOWN TO
COMPLY WITH IBC TABLE R502.1.2.3 WOOD STRUCTURAL PANEL
INTERMITTENT BRACING METHOD.
WOOD STRUCTURAL PANELS TO BE USED IN CONFORMANCE TO IBC
SECTION R504.
WOOD STRUCTURAL PANELS SPACING SHALL BE ATTACHED TO
FRAMING IN ACCORDANCE TO TABLE R602.2.3(3)



J.M. Construction
10000 N. Loop West
Suite 100
Houston, Texas 77040
713.733.8888



04-21-15

Monteclair Residence

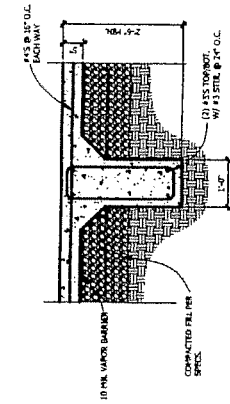
2112 Monteclair Austin, TX 78702

Drawn: DASH/15
Project Number:
Revisions:

Foundation Details

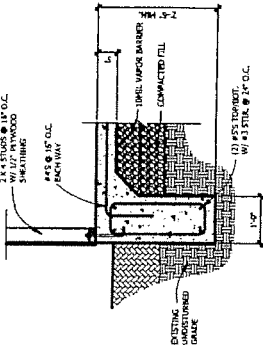
S4.0

35
29



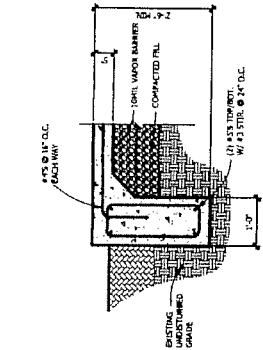
1-TYP. INTERIOR BEAM

3/8" = 1'-0"



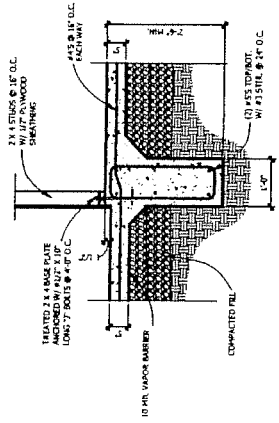
2-TYP. PERIMETER BM.

3/8" = 1'-0"



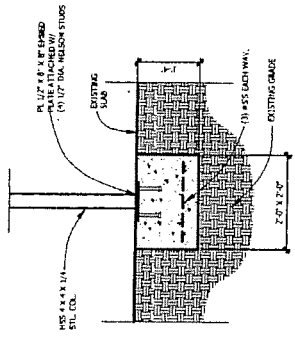
4-TYP. PERIMETER BM. @ PATIO

3/8" = 1'-0"



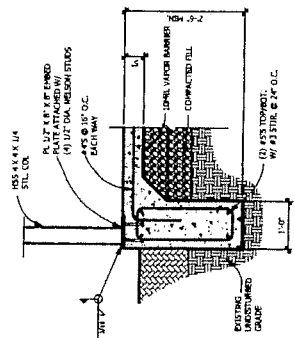
5- INTERIOR BEAM @ PATIO

3/8" = 1'-0"



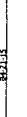
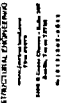
6- STL. COL. TO FOOTING

3/8" = 1'-0"



7- PERIMETER BEAM @ COL.

3/8" = 1'-0"



AUSTIN, TX 78746

State	102714
Project Numbers	
Environmental	

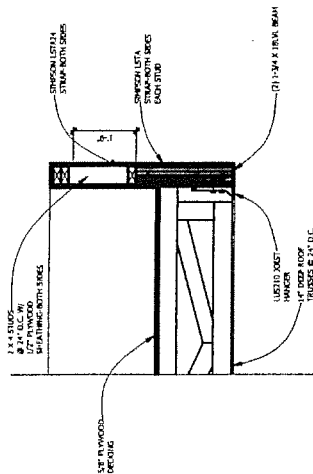
Forming the table

\$5.0

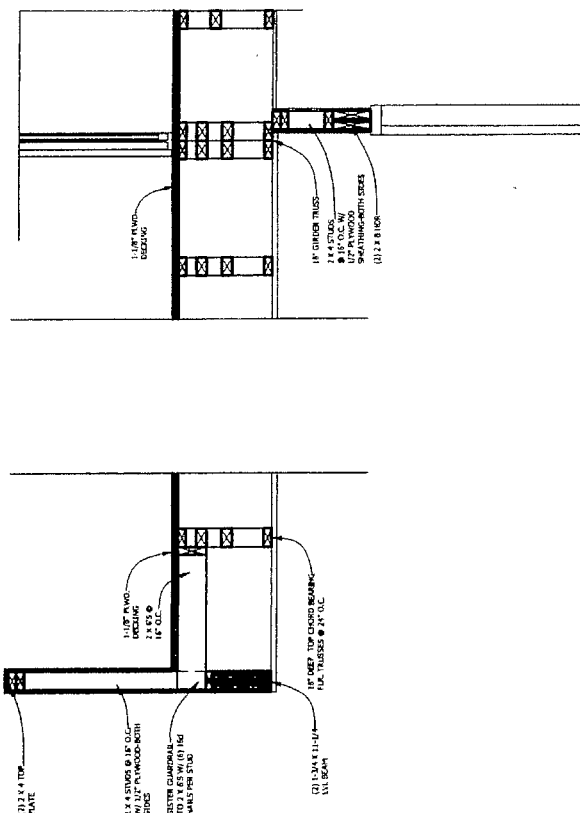
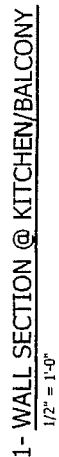
ms
30



3-WALL SECTION @ GARAGE
1/2" = 1'-0"



4- ROOF PARAPET @ BALCONY
1/2" = 1'-0"





J.M. STRUCTURAL ENGINEERING
Professional Engineer
No. 111,111 State of Texas
Austin, Texas 78746
Tel. 512.444.1111



Montclair Residence

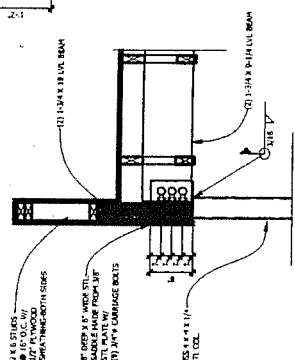
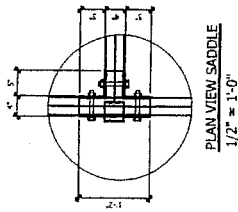
AUSTIN, TX 78746

Sheet
Project Number
Revisions

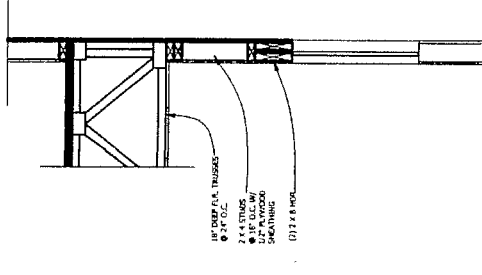
Framing Details

S5.1

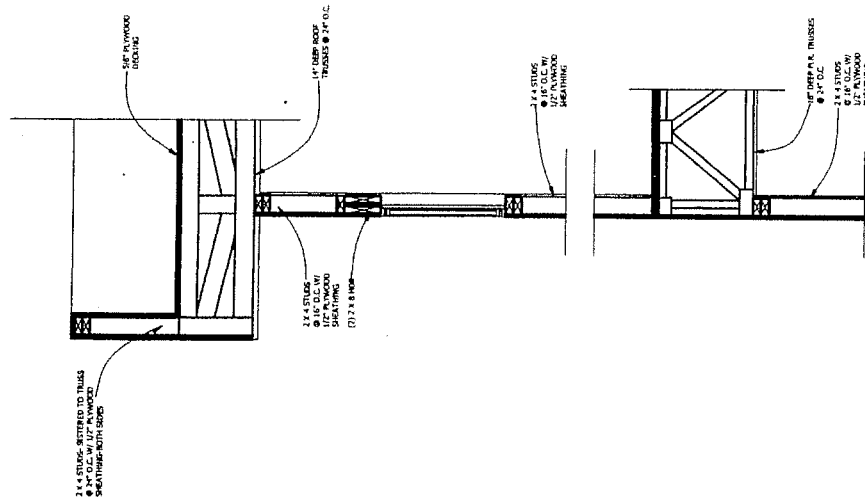
3/31/3



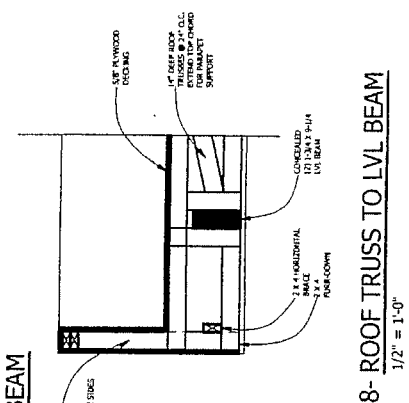
7- STL. COL TO LVL BEAM
1/2" = 1'-0"



6- WALL SECTION @ KITCHEN/LIVING
1/2" = 1'-0"



5- WALL SECTION @ GARAGE/BATH
1/2" = 1'-0"



8- ROOF TRUSS TO LVL BEAM
1/2" = 1'-0"



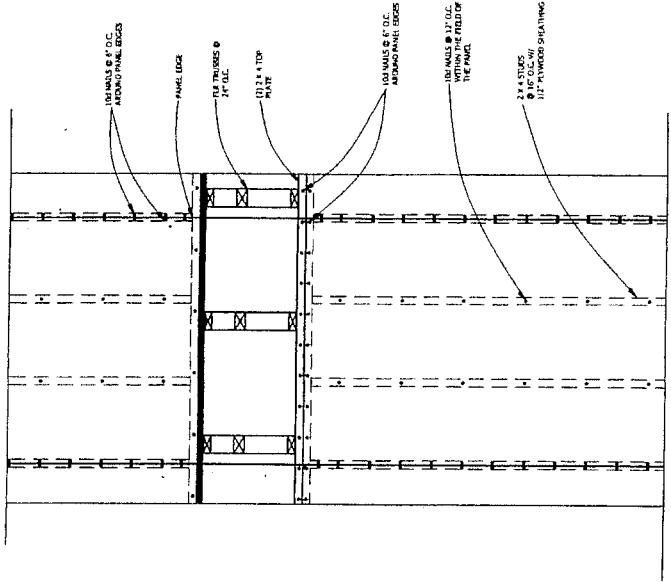
STRUCTURAL ENGINEERING
 10000 North Loop West, Suite 100
 Houston, Texas 77037
 Tel: 713-865-1111
 Fax: 713-865-1112



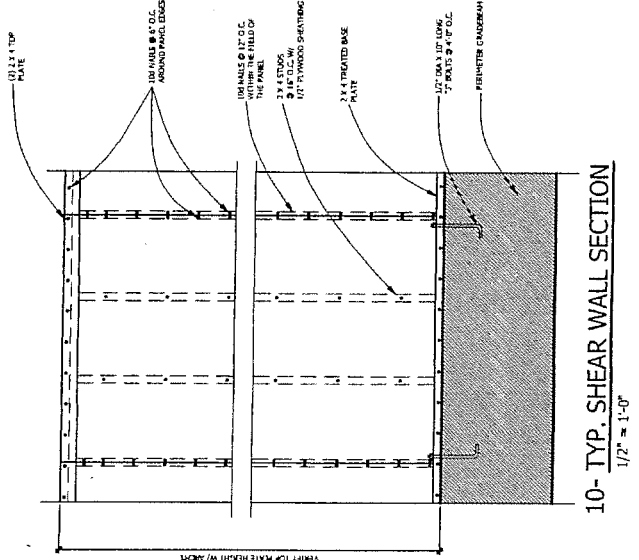
Mountclair Residence AUSTIN, TX 78746

Sheet	180214
Project Number	
Revision	
Drawing Details	
S5.2	

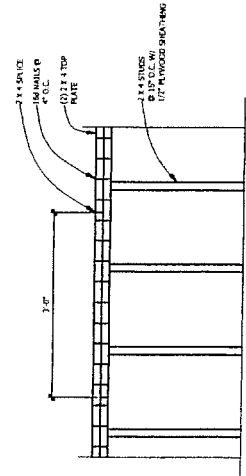
3/23/25



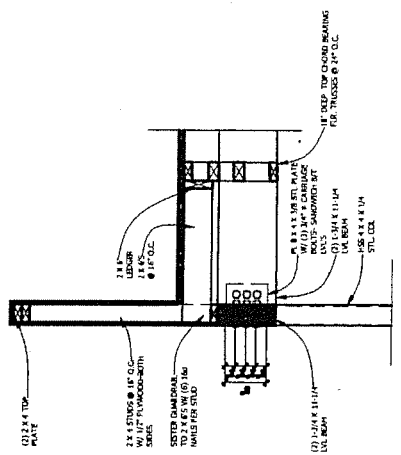
12- SHEAR WALL SECOND LEVEL TRANSITION
 1/2" = 1'-0"



10- TYP. SHEAR WALL SECTION
 1/2" = 1'-0"



11- TYP. TOP PLATE SPLICE
 1/2" = 1'-0"



9- ROOF TRUSS TO LVL BEAM
 1/2" = 1'-0"

City of Austin Residential Permit Application

Residential Review, 2nd floor, One Texas Center
505 Barton Springs, Austin, TX 78704
(512) 978-4000

125
33

Project Information

Project Address: 2112 MONTCLAIRE ST	Tax Parcel ID: 303389
Legal Description: S 73FT OF LOT 8-9 BLK 9 RABB INWOOD HILLS	
Zoning District or PUD: SF-3	Lot Size (square feet): 8,059
Neighborhood Plan Area (if applicable):	Historic District (if applicable):
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? ☒ Y ☐ N Note: Boundaries are defined under Title 25-2 Subchapter F of the Land Development Code.	
Does this site currently have water availability? ☒ Y ☐ N wastewater availability? ☒ Y ☐ N If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.	
Does this site have or will it have an auxiliary water source? ☐ Y ☒ N If yes, submit approved auxiliary and potable plumbing plans (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site have a septic system? ☐ Y ☒ N If yes, submit a copy of approved septic permit to construct	
Does this site require a cut or fill in excess of four (4) feet? ☐ Y ☒ N If yes, contact the Development Assistance Center for a Site Plan Exemption	
Does this site front a paved street? ☒ Y ☐ N Is this site adjacent to a paved alley? ☐ Y ☒ N	
Does this site have a Board of Adjustment (BOA) variance? ☐ Y ☒ N Case # (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? ☐ Y ☒ N If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.	
Does the project impact a tree protected by ordinance? This includes canopy and/or critical root zone impacts to nearby trees. ☐ Y ☒ N Note: If yes, application for a tree permit with the City Arborist may be required.	
Is this site within one hundred-fifty (150) feet of the one hundred (100) year floodplain? ☐ Y ☒ N Note: Proximity to a floodplain may require additional review time.	

Description of Work

Existing Use: ☐ vacant ☒ single-family residential ☐ duplex residential ☐ two-family residential other _____	
Proposed Use: ☐ vacant ☒ single-family residential ☐ duplex residential ☐ two-family residential other _____	
Project Type: ☒ new construction ☐ addition ☐ addition/remodel ☐ remodel/repair other _____	
# of existing bedrooms: 3 # of bedrooms upon completion: 4 # of existing baths: 2 # of baths upon completion: 5	
Will all or part of an existing exterior wall be removed as part of the project? ☐ Y ☒ N Note: Removal of all or part of a structure requires a demolition permit.	
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary) - NEW CONSTRUCTION OF GARAGE WITH DWELLING UNIT ABOVE _____ _____ _____ _____	
Trades Permits Required: ☒ electric ☒ plumbing ☒ mechanical (HVAC) ☐ concrete (right-of-way) (circle all that apply)	

Job Valuation

Total Job Valuation: \$ 150,000	Portion of Total Job Valuation Dedicated to Addition/New Construction: \$ 150,000 Bldg: \$ 113,000 Elec: \$ 14,000 Plmbg: \$ 15,000 Mech: \$ 8,000 Primary Structure: \$ _____ Accessory Structure: \$ _____	Portion of Total Job Valuation Dedicated to Remodel/Repair: \$ _____ Bldg: \$ _____ Elec: \$ _____ Plmbg: \$ _____ Mech: \$ _____
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.		

Area Description		Building and Site Area		
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.		Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
a)	1 st floor conditioned area	1749	291	2031
b)	2 nd floor conditioned area		560	560
c)	3 rd floor conditioned area			
d)	Basement			
e)	Covered Parking (garage or carport)		809	809
f)	Covered Patio, Deck or Porch		157	157
g)	Balcony		596	596
h)	Other			
i)	Uncovered Wood Deck	100		100
Total Gross Building Area (total A through I)				4253
j)	Pool			
k)	Spa			

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Site Development Information	
Building Coverage Information Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21) Total Building Coverage (sq ft): <u>2951</u> % of lot size: <u>36.5%</u>	
Impervious Cover Information Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23) Total Impervious Cover (sq ft): <u>3613</u> % of lot size: <u>44.8</u>	
Setbacks Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-513) ☒ Y ☐ N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) ☐ Y ☒ N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3) ☐ Y ☒ N	
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Building Height: <u>24'-4"</u> ft Number of Floors: <u>2</u>	Parking (LDC 25-6 Appendix A & 25-6-478) # of spaces required: <u>3</u> # of spaces provided: <u>3</u>
Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC 6-353) ☒ Y ☐ N *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more. Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? ☒ Y ☐ N Width of approach (measured at property line): <u>12</u> ft Distance from intersection (for corner lots only): _____ ft Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? ☐ Y ☒ N	

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls. Areas with ceiling height over 15 feet are counted twice.

	Existing	New	Exemption	Total
1 st Floor	1740	291		2031
2 nd Floor		560		560
3 rd Floor				
Basement				
Attic				
Garage (attached)		809	450	360
(detached)				
Carport (attached)				
(detached)				
Accessory building(s)				
(detached)				
Ceilings over 15 ft				
TOTAL GROSS FLOOR AREA				2951

(Total Gross Floor Area /lot size) = 36.5 Floor-To-Area Ratio (FAR)

Is this project claiming a "parking area" exemption as described under Article 3? ☐ Y ☒ N

Is this project claiming a "ground floor porch" exemption as described under Article 3? ☐ Y ☒ N

Is this project claiming a "basement" exemption as described under Article 3? ☐ Y ☒ N

Is this project claiming a "habitable attic" exemption as described under Article 3? ☐ Y ☒ N

Is a sidewall articulation required for this project? ☐ Y ☒ N

Does any portion of the structure extend beyond a setback plane? ☐ Y ☒ N

Are any ceilings over 15 feet in height? ☐ Y ☒ N

Parking Area exemption: Up to 450 square feet of a parking area may be deducted if it is a detached rear parking area that is separated from the principal structure by not less than 10 feet, or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width, or a parking area that is open on two or more sides, if it does not have habitable space above it, and the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport. Up to 200 square feet may be deducted if it is an attached parking area used to meet the minimum parking requirement, or a garage that is less than 10 feet from the rear of the principal structure, provided that the garage is either detached from the principal structure, or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width. An applicant may receive only one 450-square foot exemption per site under Article 3. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under Article 3, but only for an attached parking area used to meet minimum parking requirements.

Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway, and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower, and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fully percent or more of the area has a ceiling height of seven feet or less.



Water & Wastewater Service Plan Verification (WWWSPV)

M5
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Service Address: 2112 Montclair St.
Lot: 89 Block: 9 Subdivision: Labbs Inwood hills
Existing Use: Single family Res.
Proposed Use: Single-Family Res. Two-Family Res. Duplex Mobile Home Secondary Apt. Cottage Urban Home
Guest House Accessory Dwelling Accessory Apt. Other _____
Existing # Baths 2 Additional # Baths 5 Total number of bathrooms the meter will serve 5 2/3

AJ Smith, Forsite Studio 4/10/15 512 459 4905
Applicant's Name & Title Date Phone

City of Austin Office Use

Water main size _____ Service stub size 3/4" Service stub upgrade required: ☒ Y ☐ N
Shared Dual Service? Y ☐ N If yes, state meter size(s) on shared service _____
Existing meter # 90793 Existing meter size _____
Existing water service line/meter location 12' R/L in Monclair
Upgrade required: ☒ Y ☐ N New meter(s) size 3/4"
WW main size _____ WW Service line/clean-out location 3' S of NW in Paved area
Secondary address needed at property: Y ☐ N ☒
AWU Pipeline Engineering approval required: Y ☐ N ☒
Utility Tap Plan required: Y ☐ N ☒
Comments: chg. to original WWCSPV from 2/20/15 - 2 guest house now.

AWU Engineer Representative

REVIEWED

Date

Phone

AWU Taps Representative

June 10 2015

Phone

Water meters & wastewater clean-outs are not permitted in sidewalks or driveways.

Relocation of services to remove them from proposed sidewalks or driveways shall be performed at applicant's expense.

If the existing water meter was pulled for non-billing account during demolition contact Customer Care at 512-494-9400 to have account set up and the same size meter reinstalled within 120 days of meter removal (with active building permit) to avoid city re-connect charges being applied.

One Stop Shop
505 Barton Springs Rd
(512) 974-2632 – phone
(512) 974-9112 – phone
(512) 974-9109 – fax
(512) 974-9779 – fax



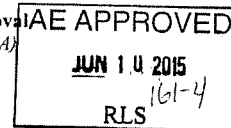
Austin Energy
Building Service Planning Application (BSPA)

M5
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This form to be used for review of Building Permit only

Responsible Person for Service Request		AJ SMITH, FORSITE STUDIO	
Email	AJ@FORSITESTUDIO.COM	Fax	512-659-6905
☒ Residential ☐ Commercial ☒ New Construction ☐ Remodeling			
Project Address		2112 MONTCLAIRE ST OR	
Legal Description		Lot	Block
Who is your electrical provider? ☒ AE ☐ Other			
☒ Overhead Service ☐ Underground Service ☒ Single-phase (1Ø) ☐ Three-phase (3Ø)			
Location of meter LR			
Number of existing meters on gutter (show all existing meters on riser diagram)			
Expired permit #			
Comments Detached 2-story garage			
All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.			
ESPA Completed by (Signature & Print Name)		Date	Phone
AE Representative		Approved ☒ Yes ☐ No	Date Phone

Application expires 180 days after the date of approval
(Any change to the above information requires a new ESPA)



DATE: 6/14/2015

