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SUBJECT TRACT

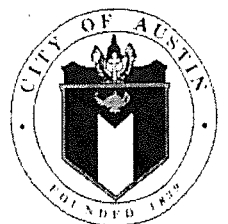


PENDING CASE



ZONING BOUNDARY

CASE#: C15-2015-0116
Address: 2005 Tower Drive



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

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2

**CITY OF AUSTIN
Board of Adjustment
Decision Sheet**

DATE: Monday, September 14, 2015

CASE NUMBER: C15-2015-0116

____ Brooke Bailey
____ Michael Benaglio
____ William Burkhardt
____ n/a Eric Goff
____ Vincent Harding (Chair)
____ Melissa Hawthorne (Vice-Chair)
____ Don Leighton-Burwell
____ out Melissa Neslund
____ James Valadez
____ Michael Von Ohlen

APPLICANT: Jim Bennett

OWNER: Marth Atelia Clarkson

ADDRESS: 2005 TOWER DR

VARIANCE REQUESTED: The applicant has requested variance(s) from:

- A. Section 25-2-492 (D) (Site Development Regulations) to decrease the side setback from 5 feet (required) to 0 feet (requested/existing); and to
- B. Increase the maximum impervious cover from 45% (required/permitted) to 56.51% (requested, existing); and to
- C. Subchapter F: Residential Design and Compatibility Standards, Article 2: Development Standards, Section 2.1 – Maximum Development Permitted to increase the floor-to-area ratio from .4 to 1 (required, permitted) to .634 to 1 (requested, .494 to 1 existing); and to
- D. Section 2.6. A. (Side Setback Plane) to allow for a penetration of the side setback plane/building tent of 4 feet 6 inches vertically and 5 feet 6 inches horizontally in order to construct an addition to an existing single family home in an "SF-3-NP", Family Residence – Neighborhood Plan zoning district. (West Austin Neighborhood Group)
- Other

BOARD'S DECISION: POSTPONED TO SEPTEMBER 14, 2015 AT THE APPLICANT'S REQUEST

RENOTIFICATION REQUEST: The applicant has requested variance(s) from:

- A. Section 25-2-492 (D) (Site Development Regulations) to decrease the side setback from 5 feet (required) to 0 feet (requested/existing); and to
- B. Increase the maximum impervious cover from 45% (required/permitted) to 56.51% (requested, existing); and to
- C. Subchapter F: Residential Design and Compatibility Standards, Article 2: Development Standards, Section 2.1 – Maximum Development Permitted to increase the

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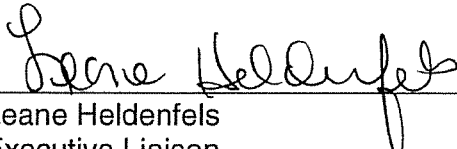
floor-to-area ratio from .4 to 1 (required, permitted) to .634 to 1 (requested, .494 to 1 existing); and to

D. Section 2.6. A. (Side Setback Plane) to allow for a penetration of the side setback plane/building tent of 4 feet 6 inches vertically and 5 feet 6 inches horizontally in order to construct an addition to an existing duplex in an "SF-3-NP", Family Residence - Neighborhood Plan zoning district. (West Austin Neighborhood Group)

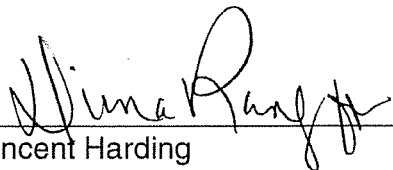
BOARD'S DECISION: POSTPONED TO October 12, 2015 AT THE APPLICANT'S REQUEST

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:
(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:



Leane Heldenfels
Executive Liaison



Vincent Harding
Chairman

16
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CASE # C15-2015-0116
ROW # 11385990
TAX ROLL # 0116030206
TCADV

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 2005 Tower Drive

LEGAL DESCRIPTION: Subdivision – Tarry Town No. 6

Lot(s) 53 pt of 54 Block _____ Outlot _____ Division _____

I Jim Bennett as authorized agent for Atelia Clarkson

_____ affirm that on 5/16/2015 hereby apply for a hearing before the Board of Adjustment for consideration to:

ERECT – ATTACH – COMPLETE – REMODEL – MAINTAIN

An addition to an existing two family dwelling providing a FAR of 0.634:1, providing a vertical tent encroachment of 4'6" and a horizontal tent encroachment of 5' 6"; and maintaining a side yard setback of 0 ft., and providing an existing impervious cover of 56.51%

in a _____ SF-# NP (zoning district) (West Austin Neighborhood Group)

The Austin Electric Utility Department (Austin Energy) enforces electric easements and the setback requirements set forth in the Austin Utility Code, Electric Criteria Manual and National Electric Safety Code. The Board of Adjustment considers variance to the Land Development Code, and a variance granted by the Board of Adjustment does not waive the requirements enforced by Austin Energy. Please contact Christine Esparza with Austin Energy at 322-6112 before filing your application with the Board of Adjustment if your request is for a reduction in setbacks or height limits.

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of

your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

2/15

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

The duplex is existing from a previous building permit and certificate of occupancy issued in 1993, prior to the McMansion requirements.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

The code restricts that portion of lot 54 (3172 sq. ft.), that was purchased from the City of Austin, from being included in the computation of the portion of the adjacent 30 ft of lot 54. The size and shape of the remaining portion of lot 54 cannot be developed and for all practical purposes should be consider as a part of this site. The other remaining portion of lot 54 is owned by the City of Austin and is used for flood plain and drainage. Due to inability to construct on the adjoining portion of lot 54 the integrity, purpose and intent of the ordinance will not be lessened by the granting of the variance and no valid public interest would be served by denying the variance.

(b) The hardship is not general to the area in which the property is located because:

In 1993 the adjacent portion was obtained from the City of Austin and it appears to have been considered as part of lot 53 due to setbacks and other requirements of the time.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The area of character will not change inasmuch as the use of the structure will remain the same and the vacant adjoining portion of lot 54 from appearances will look the same.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with

respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Jim R. Bennett Mail Address 11505 Ridge Dr.
City Austin, State Texas, & Zip 78748

Printed : Jim R. Bennett Phone: (512) 282-3079 Date:

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Atelia Clarkson Mail Address 2005 Tower Dr.
Austin, TX 78703

2005 Tower Drive

Clarke

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Lot 53 (54)

Site area = 7,744 s.f.

Impervious Cover Allowed @ 45% = 3,485 s.f.

Existing Impervious Cover = 4,376 s.f. = 56.51%

Proposed Impervious Cover - unchanged

Existing FAR = 0.494:1

Proposed FAR = 0.634:1

Existing Tent Encroachments – 11'-6" vertically and horizontally. There are others but this is the largest encroachment.

Proposed Tent Encroachment – to maintain the above. Addition will have a 5'-6" encroachment horizontally and a 4'-6" encroachment vertically.

Existing Setbacks – Portion of house protrudes over property line. This will be removed with new permitted construction after waivers are granted. Portions of existing house have a 0' setback.

Proposed Setbacks – To maintain the above and new construction will have a 0' setback.

Lot 53 and 1/2 of adjacent lot

Site area = 11,289 s.f.

Impervious Cover Allowed @ 45% = 5,080 s.f.

Existing Impervious Cover = 4,376 s.f. = 45%

Proposed Impervious Cover - unchanged

Existing FAR = 0.339:1

Proposed FAR = 0.435:1

Existing Tent Encroachments – None

Proposed Tent Encroachment – None

Existing Setbacks – No setback encroachments

Proposed Setbacks – No setback encroachments

Tielner

List of Waivers –

Waiver 1 – Impervious Cover

To Maintain the existing IC on Lot 53 at 56.51%

Waiver 2 – FAR

To increase the FAR on Lot 53 to 0.435:1 — 0.634:1

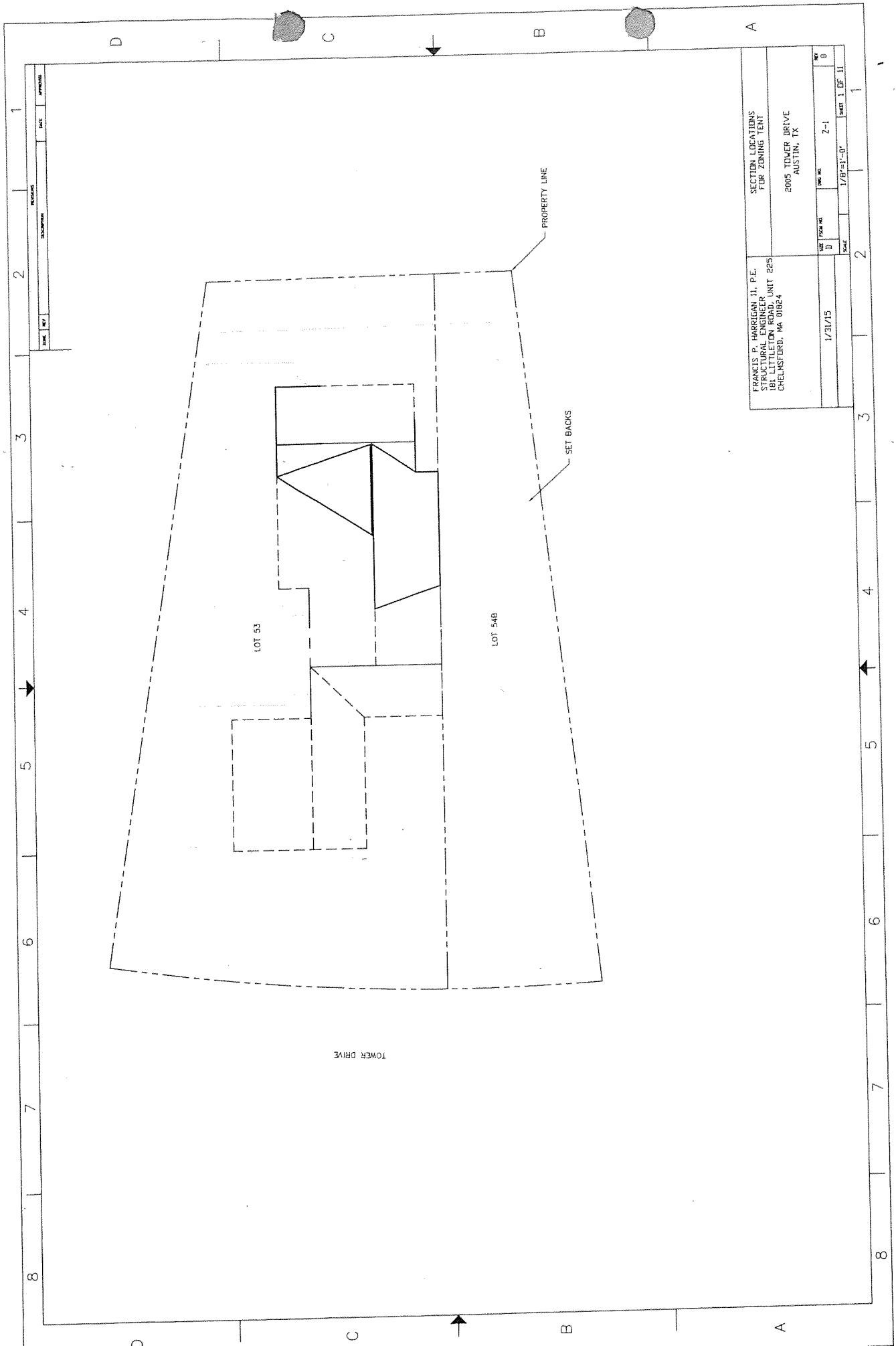
Waiver 3 – Tent Encroachments

To maintain an encroachment up to 11'-6" vertically and horizontally and to have new construction encroachment of 5'-6" horizontally and a 4'-6" vertically.

Waiver 4 – Setbacks

To maintain the setback of 0' and to have new construction at 0' setback.

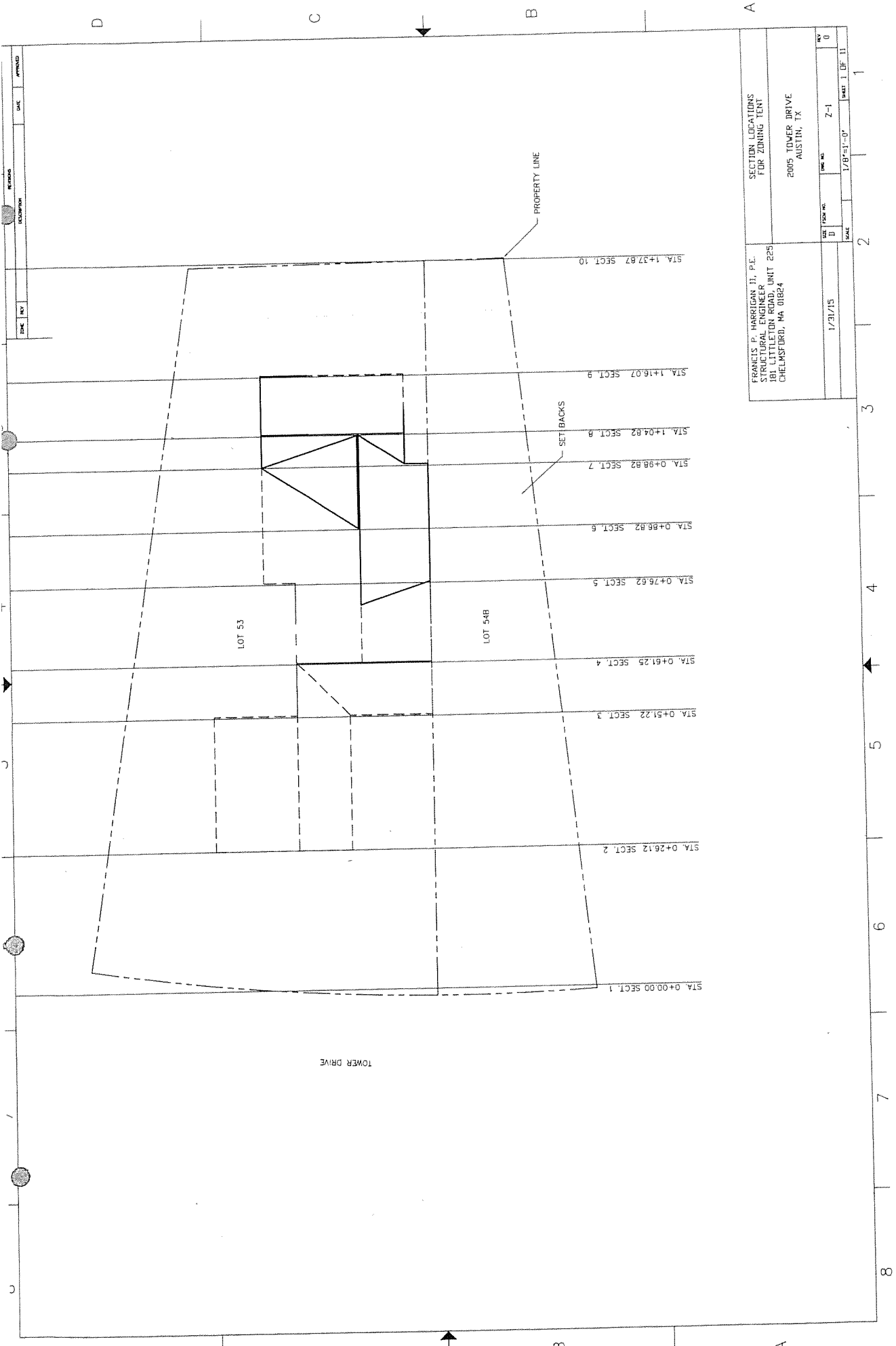
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FRANCIS G. HARRIS, II, P.E. CIVIL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		SECTION LOCATIONS FOR ZONING TENT	
DATE	1/31/15	SCALE	1/8"=1'-0"
REV		DATE	
0		2-1	
1		1	

9/16

10/5



2005 Tower Drive A-00000 [BP]

Folder Property (1) People Info (30) Fee/Charge (1) Process (8) Document File Inspection Req. Comment (2) Clock Attachment Conditions

Folder #	Ref
----------	-----

1946 19960 STS 00 W	19960
1946 B121 WTS 00 W	B121
1982 014637 00 00 BP	8203393
1993 002183 R 0 PR	BP-93-21
1993 007243 00 00 PP	9309027
1993 007243 00 00 MP	9309027
1993 007243 00 00 BP	9309027
1993 007243 00 00 DS	9309027
1993 007243 00 00 EP	9309027
1993 009915 00 00 MP	9309420
1993 009915 00 00 EP	9309420
1993 129168 STS 00 W	129168
1993 G57242 WTS 00 W	G57242
1994 006617 00 00 MP	9407663
1994 006617 00 00 EP	9407663
2000 159646 00 01 PP	BPP-000
2000 187602 00 01 PP	BPP-000
2012 015234 000 00 PP	2012-01E
2012 017213 RM 00 PR	2012-017
2012 017217 000 00 BP	2012-017
2013 124650 000 00 EX	2013-124

Gen	Yr	Sequence	Sec	Rev	Type	Status
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Number	19	93	007243	00	00	BP	Building Permit	Final												
Property																				
House	2005	Prefix	TOWER	Street	DRIVE	Type	Direction	Unit Type												
City	AUSTIN	Postal Code	78703	Postal Code	0116030206	Roll	Property Row ID	Unit												
Location	Tarrytown No 6 Block. Lot 54 Tarrytown No 6 54																			
<table> <tr> <th>Indicators</th><th>Violations</th><th>Properties</th><th>Parent</th><th>Child</th><th>Due</th></tr> <tr> <td></td><td></td><td></td><td></td><td></td><td>\$ 00</td></tr> </table>									Indicators	Violations	Properties	Parent	Child	Due						\$ 00
Indicators	Violations	Properties	Parent	Child	Due															
					\$ 00															

In Date	Jul 23, 1993	Issue/Approval	Jul 23, 1993	Expires	Aug 3, 1994
Reference File #	9309027	By	PIER_ADP	Final Date	Aug 3, 1994

Sub	R-103 Two Family Bldgs	Work	New	Priority	
Name	2005 Tower Drive	A	00000		

Description	Two Story Duplex w/Att Garage & Carport
-------------	---

Conditions	When#G57242, Ww#129168 Verify Utility In Field/Structure Not Residence/Change To Duplex 3/14/94r/See Elec Pmt#9407663r Cnd Elec Contractor Per Builder Let In File
------------	--

Group	Permits	Parent ID		Row ID	615228
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☐ List View ☐ Related View ☐ Show no. of rows on tabs

312

J. M. Frazier

2005 Tower Dr.

156

53

Tarrytown #6

Fr. Addn. to Res. for Duplex

63176

3-12-56

\$5,800.

O. L. Hudson

5

7/13/16

Hiram S. Brown

2005 Tower Drive

156

-

-

53

-

Tarrytown #6

Hollow tile residence

28515 12-26-45

\$5,500.00

Day labor

5

16
RECORDED BY
TEXAS PROFESSIONAL TITLE, INC.

SPECIAL WARRANTY DEED

FILM CODE

00004998241

STATE OF TEXAS §
COUNTY OF TRAVIS §

DATE: June 16, 1993

GRANTOR: City of Austin, a Texas municipal corporation

GRANTOR'S MAILING ADDRESS :

P.O. Box 1088
Austin, Texas 78767-8839
Attn.: Real Estate Services Division

GRANTEE: C.J. Clarkson and wife, Atelia Clarkson

GRANTEE'S MAILING ADDRESS:

4015 Sierra Drive
Austin, Texas 78731

CONSIDERATION: TEN AND NO/100 DOLLARS (\$10.00) and other valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

PROPERTY (including any improvements):

3127 square feet of land, more or less, out of Lot 54, of Tarry-Town 6, a subdivision in Travis County, Texas according to the map or plat thereof recorded in Book 4, Pages 88-89 of the Plat Records of Travis County, Texas, and being more particularly described by metes and bounds in Exhibit "A" attached hereto and incorporated herein.

RESERVATIONS FROM AND EXCEPTIONS TO CONVEYANCE AND WARRANTY:

All restrictions, reservations, easements, mineral interests, conditions and matters of record in Travis County, Texas, other than liens, which affect the property or the use thereof.

All visible and apparent easements, and unrecorded easements which affect the property or the use thereof.

1 of 4

REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS

11982 1268

1-1603-0206

DOC. NO:
93082744

20
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14

8:18 AM 0156 15.00 INDX
2 4 07/21/93
8:18 AM 0156 5.00 RECH
2 4 07/21/93
22.21-CHK+
930827.44-DOC+

115260

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15

The restrictions set forth and the easements retained in this instrument.

Taxes for the current year, and all subsequent years, and taxes for prior years due through change in usage or ownership of the property, payment of which taxes is hereby assumed by Grantee.

Grantor, for the consideration and subject to the reservations from and exceptions to conveyance and warranty, grants, sells, and conveys to Grantee the property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and hold it to Grantee, Grantee's heirs, successors or assigns forever. Grantor binds Grantor and Grantor's successors and assigns to warrant and forever defend all and singular the property to Grantee and Grantee's heirs, successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the reservations from and exceptions to conveyance and warranty expressly stated herein, when the claim is by, through or under the Grantor, but not otherwise.

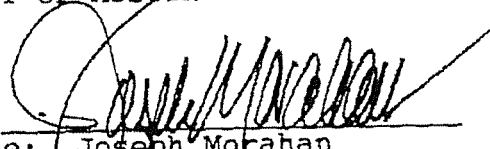
The property is subject to the following restriction, which constitutes a covenant running with the land, and which will be binding on Grantee, their heirs, successors and assigns:

* [NO BUILDING OR OTHER STRUCTURE OR IMPROVEMENT SHALL BE ERECTED, BUILT UPON, OR MOVED ONTO THE PROPERTY WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF AUSTIN.]

Grantor hereby reserves a drainage and public utility easement over, under, above and across the property for the construction, installation, upgrade, maintenance and removal of drainage and public utility facilities, and for all purposes related to such use, and the right of ingress and egress across the property for the use of the drainage and public utility easement.

When the context requires, singular nouns and pronouns, include the plural.

GRANTOR:
CITY OF AUSTIN

By: 
Name: Joseph Morahan
Title: Manager, Real Estate
Services Division

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14

Approved as to form:

Doris C. Coker
Assistant City Attorney

CONSENTED AND AGREED TO:

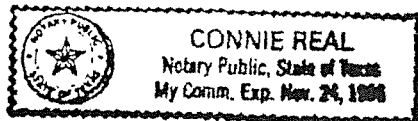
C.J. Clarkson
C.J. Clarkson

Atelia Clarkson
Atelia Clarkson

ACKNOWLEDGMENTS

THE STATE OF TEXAS §
§
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the
16th day of June, 1993, by Joseph Morahan, Manager,
Real Estate Services Division, Department of Public Works and
Transportation of the City of Austin, a Texas municipal
corporation, on behalf of said corporation.



(Seal)

Connie Real
Notary Public in and for the State of
Texas

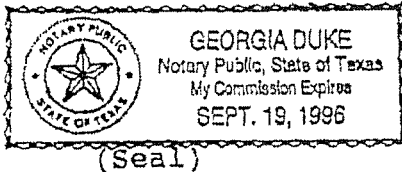
Printed Name of Notary

My commission expires: _____

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17

THE STATE OF TEXAS §
§
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the
12th day of ~~June~~ JULY, 1993, by C.J. Clarkson.



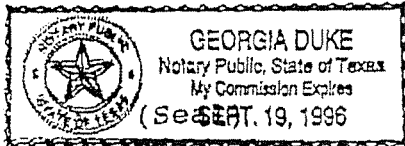
Georgia Duke
Notary Public in and for the State of Texas

Printed Name of Notary

My commission expires: _____

THE STATE OF TEXAS §
§
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the
12th day of ~~June~~ JULY, 1993, by Atelia Clarkson.



Georgia Duke
Notary Public in and for _____

Printed Name of Notary

My commission expires: _____

AFTER RECORDING, RETURN TO:

City of Austin
Department of Public Works and Transportation
P.O. Box 1088
Austin, Texas 78767-8839
Attention: Connie Real, Real Estate Services Division
File No. P-222

44
18FIELD NOTES FOR
3127 SQUARE FEET OF LAND

FIELD NOTES FOR 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING OUT OF AND A PART OF THE GEORGE W. SPEAR LEAGUE IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, BEING FURTHER DESCRIBED AS BEING OUT OF AND A PART OF LOT 54 OF "TARRY-TOWN 6", A SUBDIVISION IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, OF RECORD IN PLAT BOOK 4 AT PAGES 88-89 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAID 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS :

Beginning for reference, at an iron pin, found, being the Northeast corner of Lot 55 and the Southeast corner of Lot 56, said lots being out of and a part of "Tarry-Town 6", a subdivision of record in Plat Book 4 at Pages 88-89 of the Plat Records of Travis County, Texas and being located on the West curving R.O.W. line of Tower Drive;

Thence along the Northeast Lot line of the aforementioned Lot 55 and the West R.O.W. line of Tower Drive, being a curve to the right with a radius of 443.69 feet and an arc distance of 65.06 feet whose chord bears S 47°46' E for a distance of 65.00 feet to an iron pin, set, being the Southeast corner of the aforementioned Lot 55 and being the Northeast corner of Lot 54 of the aforementioned subdivision, "Tarry-Town 6";

Thence continuing along the West R.O.W. line of Tower Drive, also being along the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 35.05 feet whose chord bears S 41°18' E for a distance of 35.04 feet to the PLACE OF BEGINNING, being an iron pin, set and being the Northeast corner of Subject Tract;

THENCE continuing along the West R.O.W. line of Tower Drive and the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 30.01 feet whose chord bears S 37°06' E for a distance of 30.00 feet to an iron pin, set, being the Southeast corner of the aforementioned Lot 54, also being the Northeast corner of Lot 53 of the aforementioned subdivision, "Tarry-Town 6" and being the Southeast corner of Subject Tract;

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EXHIBIT "A"
Page 1

FIELD NOTES FOR
3127 SQUARE FEET OF LAND

FIELD NOTES FOR 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING OUT OF AND A PART OF THE GEORGE W. SPEAR LEASE IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, BEING FURTHER DESCRIBED AS BEING OUT OF AND A PART OF LOT 54 OF "TARRY-TOWN 6", A SUBDIVISION IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, OF RECORD IN PLAT BOOK 4 AT PAGES 88-89 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAID 3127 SQUARE FEET OF LAND, MORE OR LESS, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Beginning for reference, at an iron pin, found, being the Northeast corner of Lot 55 and the Southeast corner of Lot 56, said lots being out of and a part of "Tarry-Town 6", a subdivision of record in Plat Book 4 at Pages 88-89 of the Plat Records of Travis County, Texas and being located on the West curving R.O.W. line of Tower Drive;

Thence along the Northeast lot line of the aforementioned Lot 55 and the West R.O.W. line of Tower Drive, being a curve to the right with a radius of 443.69 feet and an arc distance of 65.06 feet whose chord bears S 47°46' E for a distance of 65.00 feet to an iron pin, set, being the Southeast corner of the aforementioned Lot 55 and being the Northeast corner of Lot 54 of the aforementioned subdivision, "Tarry-Town 6";

Thence continuing along the West R.O.W. line of Tower Drive, also being along the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 35.85 feet whose chord bears S 41°19' E for a distance of 35.04 feet to the PLACE OF BEGINNING, being an iron pin, set and being the Northeast corner of Subject Tract;

THENCE continuing along the West R.O.W. line of Tower Drive and the Northeast lot line of the aforementioned Lot 54, being a curve to the right with a radius of 443.69 feet and an arc distance of 30.01 feet whose chord bears S 37°06' E for a distance of 30.00 feet to an iron pin, set, being the Southeast corner of the aforementioned Lot 54, also being the Northeast corner of Lot 53 of the aforementioned subdivision, "Tarry-Town 6" and being the Southeast corner of Subject Tract;

REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS

11982 1273

REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS

12240 1335

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Exhibit "A"

Page 2

THENCE S 55°30' W leaving the West R.O.W. line of Tower Drive and traveling along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 53, for a distance of 139.20 feet to an iron pin set, being the Southwest corner of the aforementioned Lot 54, also being the Northwest corner of the aforementioned Lot 53, also being located on the Northeast lot line of Lot 64 of the aforementioned subdivision, "Tarry-Town 6" and being the Southwest corner of Subject Tract;

THENCE N 35°29' W along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64, for a distance of 15.00 feet to an iron pin set, being the Northwest corner of Subject Tract;

THENCE N 49°21' E leaving the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64 and traveling into and through the aforementioned Lot 54, for a distance of 138.90 feet to the PLACE OF BEGINNING, containing 3127 square feet to land, more or less.

I, L. GORDON STEARNS, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR, DO CERTIFY THAT THE COURSES, DISTANCES AND AREA WERE DETERMINED BY A SURVEY ON THE GROUND AND ARE TRUE AND CORRECT. GIVEN UNDER MY HAND AND SEAL, THIS THE 17TH DAY OF MARCH, 1992 A.D.

L. Gordon Stearns, Jr.
L. GORDON STEARNS, JR.
REGISTERED PROFESSIONAL LAND SURVEYOR / NO. 4649
STEARNS AND ASSOCIATES, INC.
103 TEDFORD STREET / AUSTIN, TEXAS / 78753
PHONE NUMBER : (512) 836-2533
JOB NUMBER : 10362

COUNTY OF TRAVIS
I hereby certify that this instrument has been filed and
has been duly recorded in the public records of the County of
Travis, Texas, in the volume and page of the
public records of Travis County, Texas.

JUL 21 1992

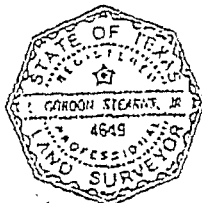


COUNTY CLERK
TRAVIS COUNTY, TEXAS

FILED

93 JUL 21 PM 8:01

DANA DE BEAUVILLE
COUNTY CLERK
TRAVIS COUNTY, TEXAS



REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS

1982 1274

RECORDERS MEMORANDUM - As the form of
recording this instrument was found to be inadequate
for the best photographic reproduction, because of
illegibility, carbon, or photo copy, discolored paper,
etc. All blackouts, additional handwritten changes, or
at the time the instrument was filed and recorded.

REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS

12240 1336

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THENCE S 55°32' W leaving the West R.O.W. line of Tower Drive and traveling along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 53, for a distance of 139.20 feet to an iron pin, set, being the Southwest corner of the aforementioned Lot 54, also being the Northwest corner of the aforementioned Lot 53, also being located on the Northeast lot line of Lot 64 of the aforementioned subdivision, "Tarry-Town 6" and being the Southwest corner of Subject Tract;

THENCE N 35°29' W along the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64, for a distance of 15.00 feet to an iron pin, set, being the Northwest corner of Subject Tract;

THENCE N 49°21' E leaving the common lot line between the aforementioned Lot 54 and the aforementioned Lot 64 and traveling into and through the aforementioned Lot 54, for a distance of 138.90 feet to the PLACE OF BEGINNING, containing 3127 square feet of land, more or less.

I, L. GORDON STEARNS, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR, DO CERTIFY THAT THE COURSES, DISTANCES AND AREA WERE DETERMINED BY A SURVEY ON THE GROUND AND ARE TRUE AND CORRECT. GIVEN UNDER MY HAND AND SEAL, THIS THE 17TH DAY OF MARCH, 1992 A.D.

L. Gordon Stearns, Jr.

L. GORDON STEARNS, JR.
REGISTERED PROFESSIONAL LAND SURVEYOR / NO. 4649
STEARNS AND ASSOCIATES, INC.

STATE OF TEXAS

COUNTY OF TRAVIS

I hereby certify that this instrument was filed on the date and at the time stamped herein by me, and was duly RECORDED, in the Volume and Page of the named RECORDS of Travis County, Texas, on

1003 TEDFORD STREET / AUSTIN, TEXAS / 78753
PHONE NUMBER : (512) 836-0533
JOB NUMBER : 10582

JUL 21 1993



Dana De Beauvoir
COUNTY CLERK
TRAVIS COUNTY, TEXAS

FILED

93 JUL 21 PM 4:01

DANA DE BEAUVOIR
COUNTY CLERK
TRAVIS COUNTY, TEXAS



REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS

11982 1274

RECORDER'S MEMORANDUM - At the time of recordation this instrument was found to be inadequate for the best photographic reproduction, because of illegibility, carbon or photo copy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.

FILED

94 AUG -1 PM 4:24

DANA CEBEAUVOIR
COUNTY CLERK
TRAVIS COUNTY, TEXAS

44
22

STATE OF TEXAS COUNTY OF TRAVIS
I hereby certify that this instrument was FILED on
the date and at the time stamped herein by me, and
was duly RECORDED, in the Volume and Page of the
named RECORDS of Travis County, Texas, on

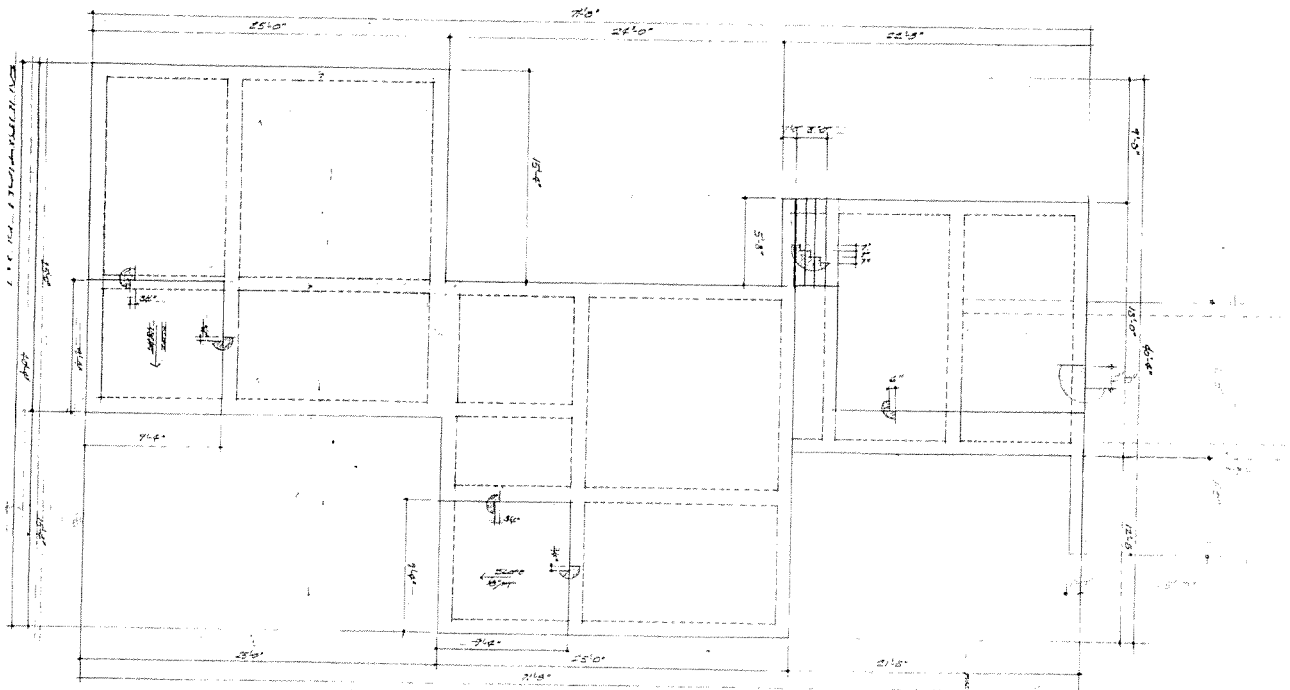
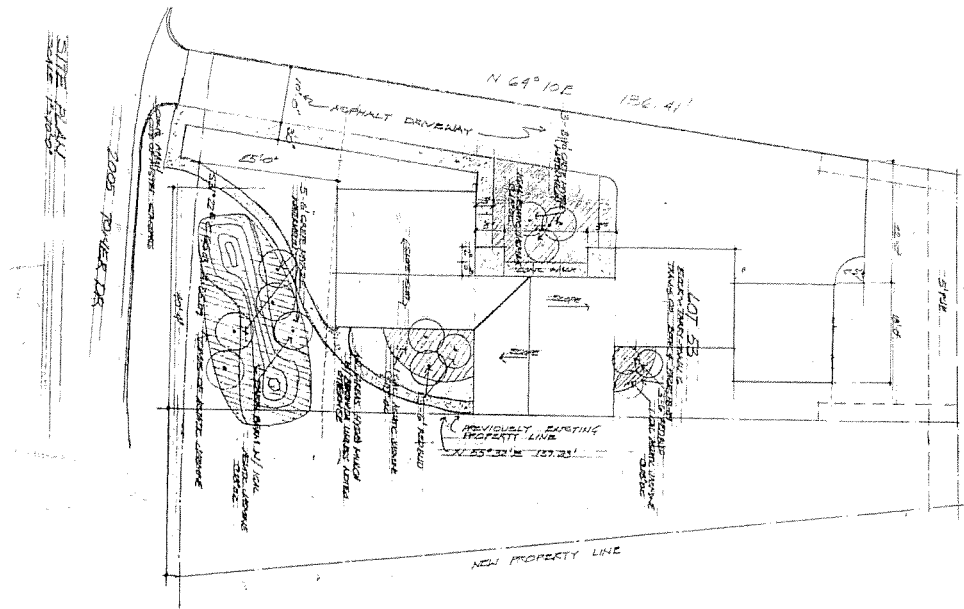
AUG 1 1994



Dana Cebauvoir
COUNTY CLERK
TRAVIS COUNTY, TEXAS

REAL PROPERTY RECORDS
TRAVIS COUNTY, TEXAS

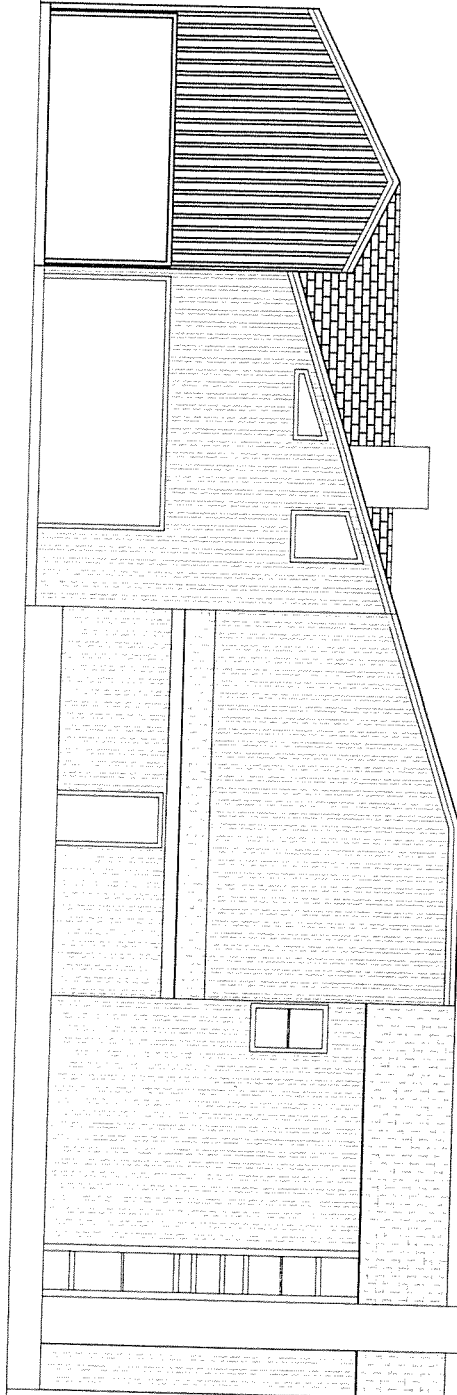
12240 1337



A hand-drawn floor plan of a garage. The plan shows a rectangular layout with several dimensions and labels. On the left side, there is a vertical dimension of 12' and a horizontal dimension of 12' 0". The top right corner has a vertical dimension of 10' 0" and a horizontal dimension of 10' 0". The bottom right corner has a vertical dimension of 10' 0" and a horizontal dimension of 10' 0". The bottom left corner has a vertical dimension of 10' 0" and a horizontal dimension of 10' 0". The plan includes a central rectangular area labeled "GARAGE" and a smaller rectangular area labeled "STORAGE". The overall dimensions are 24' 0" wide by 20' 0" deep. The plan is drawn on a grid with 1/4" squares. The drawing is labeled "GARAGE FLOOR PLAN" and "DATE 10/10/10".

Handwritten signature
8/2/12

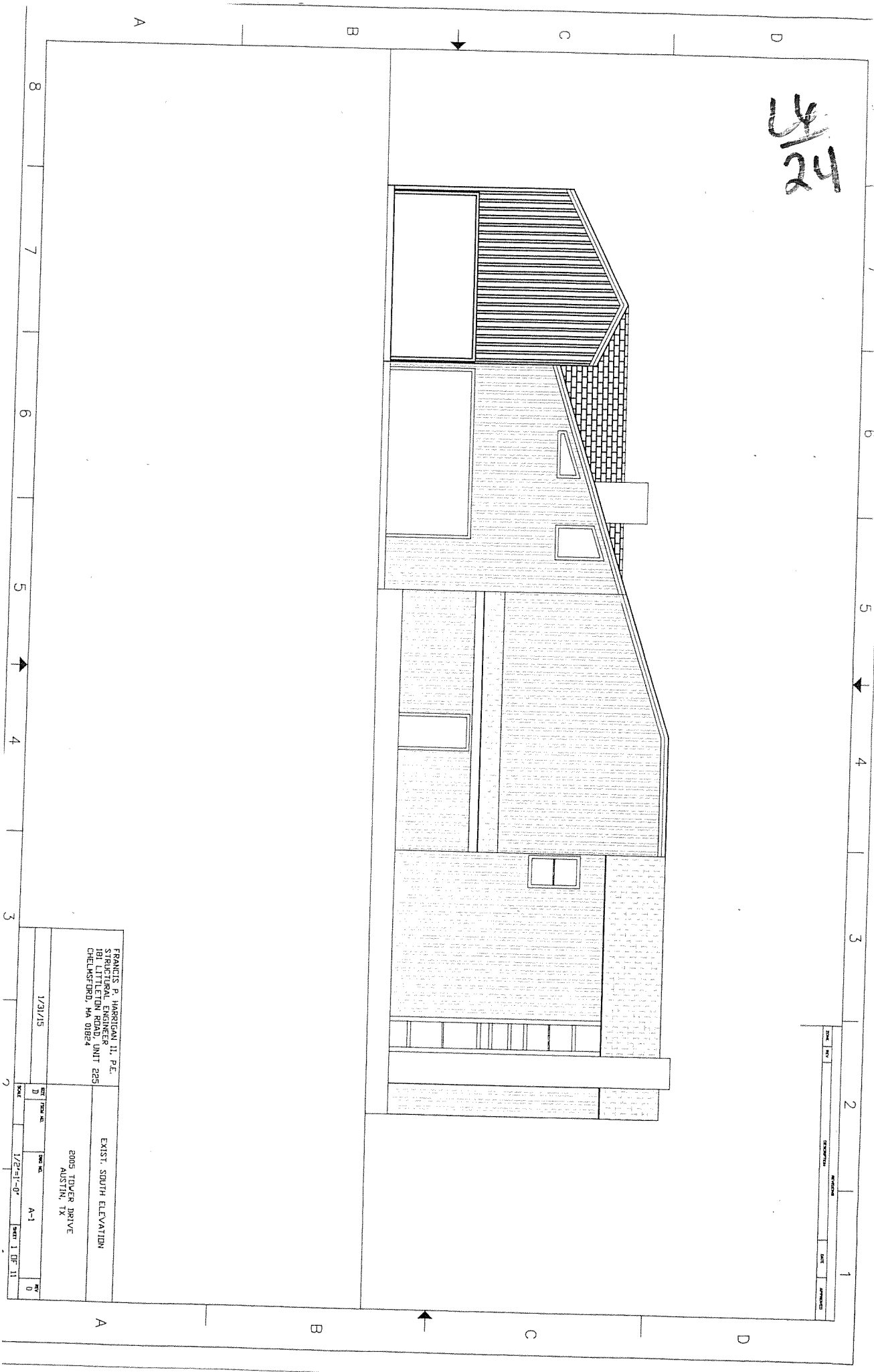
24/24



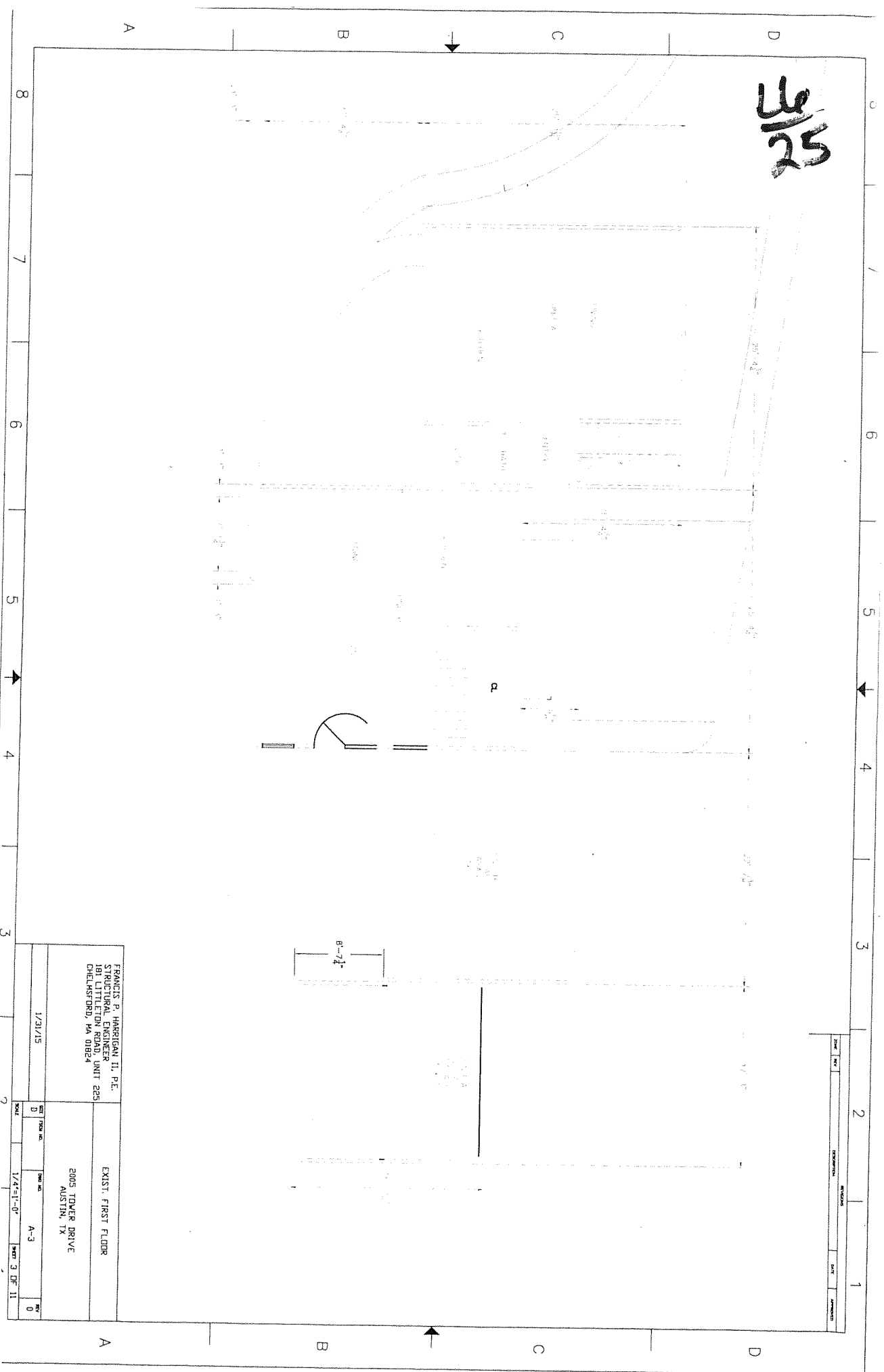
FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 2009 TOWER DRIVE AUSTIN, TX 78704			
1/31/15	DATE	1/27/15	DATE
1	REV	A-1	REV
1	DATE	1/27/15	DATE

EXIST. SOUTH ELEVATION

2009 TOWER DRIVE
AUSTIN, TX

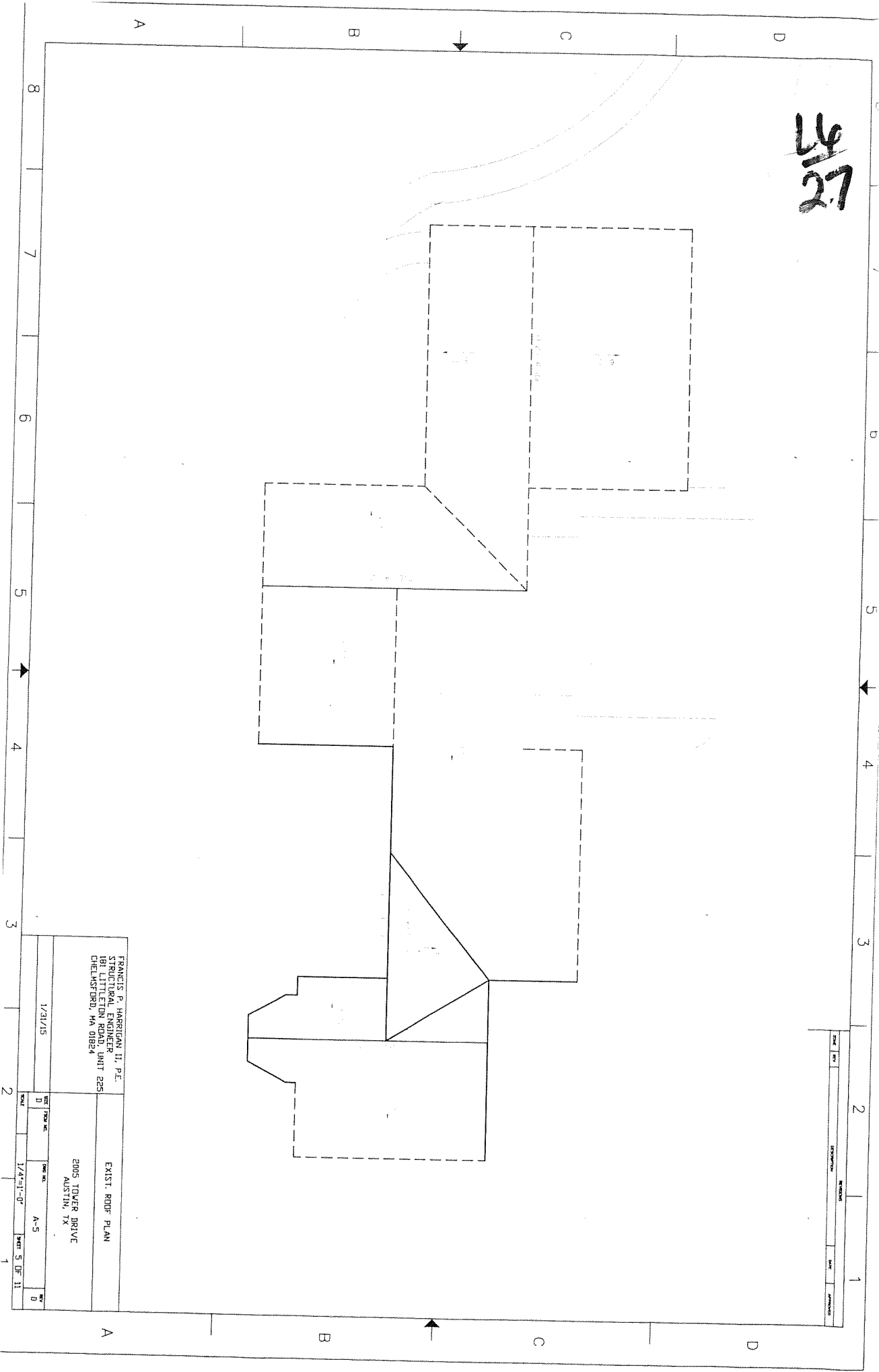


46
25



FRANCIS P. HARBEGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824		EXIST. FIRST FLOOR 2005 TOWER DRIVE AUSTIN, TX	
1/31/15	REV	DATE	BY
1/31/15	D	1/4/11-07	A-3
			REV 0

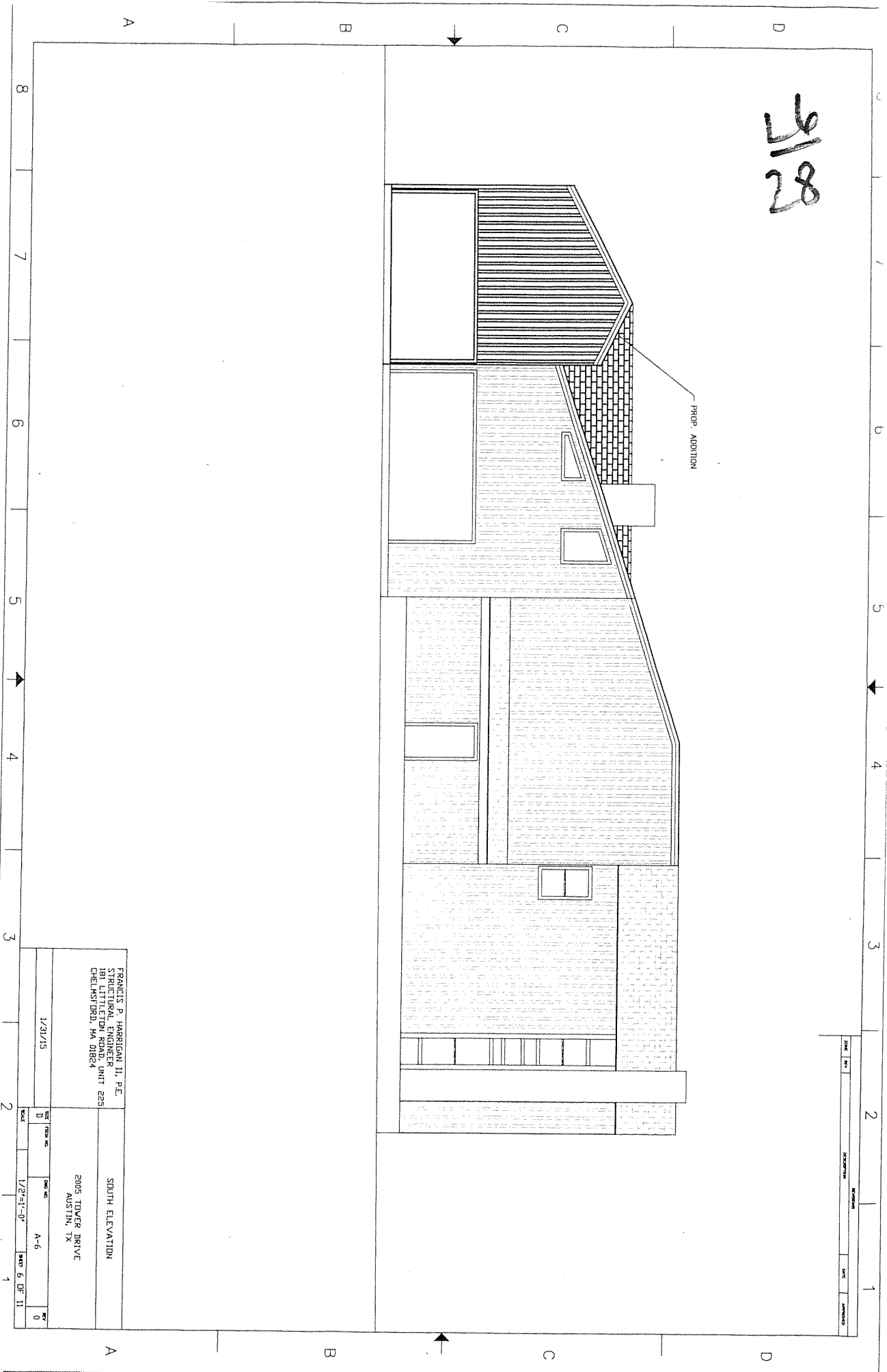
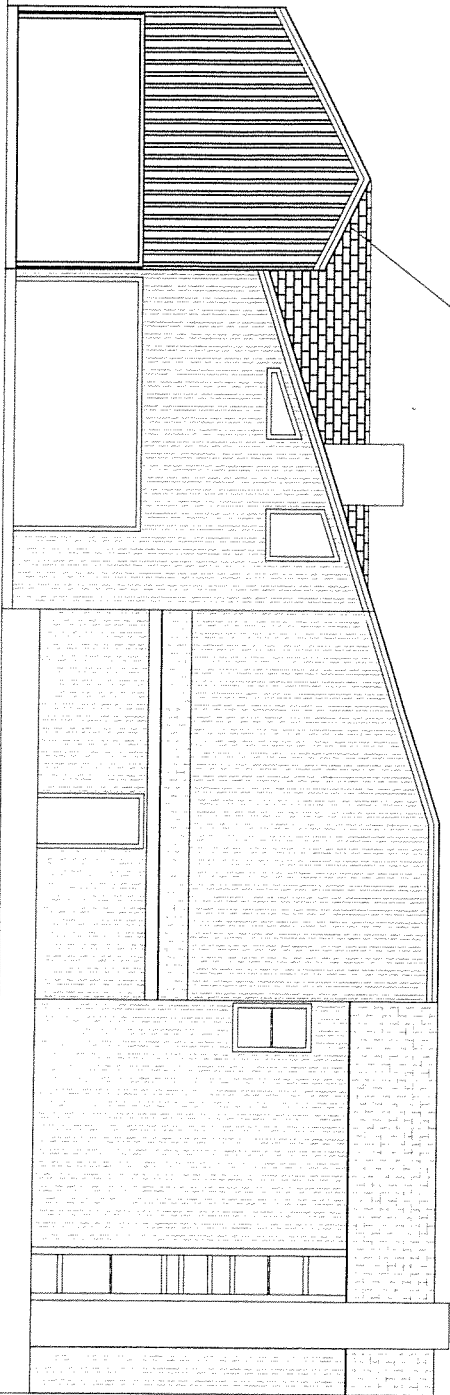
44
2.7



FRANCIS P. HARRIS II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		EXIST. ROOF PLAN	
1/31/15		2005 TOWER DRIVE AUSTIN, TX	
REV	DATE	REV	DATE
1	1/31/15	1	1/31/15
2	1/31/15	2	1/31/15
3	1/31/15	3	1/31/15
4	1/31/15	4	1/31/15
5	1/31/15	5	1/31/15
6	1/31/15	6	1/31/15
7	1/31/15	7	1/31/15
8	1/31/15	8	1/31/15

28
216

PROP. ADDITION



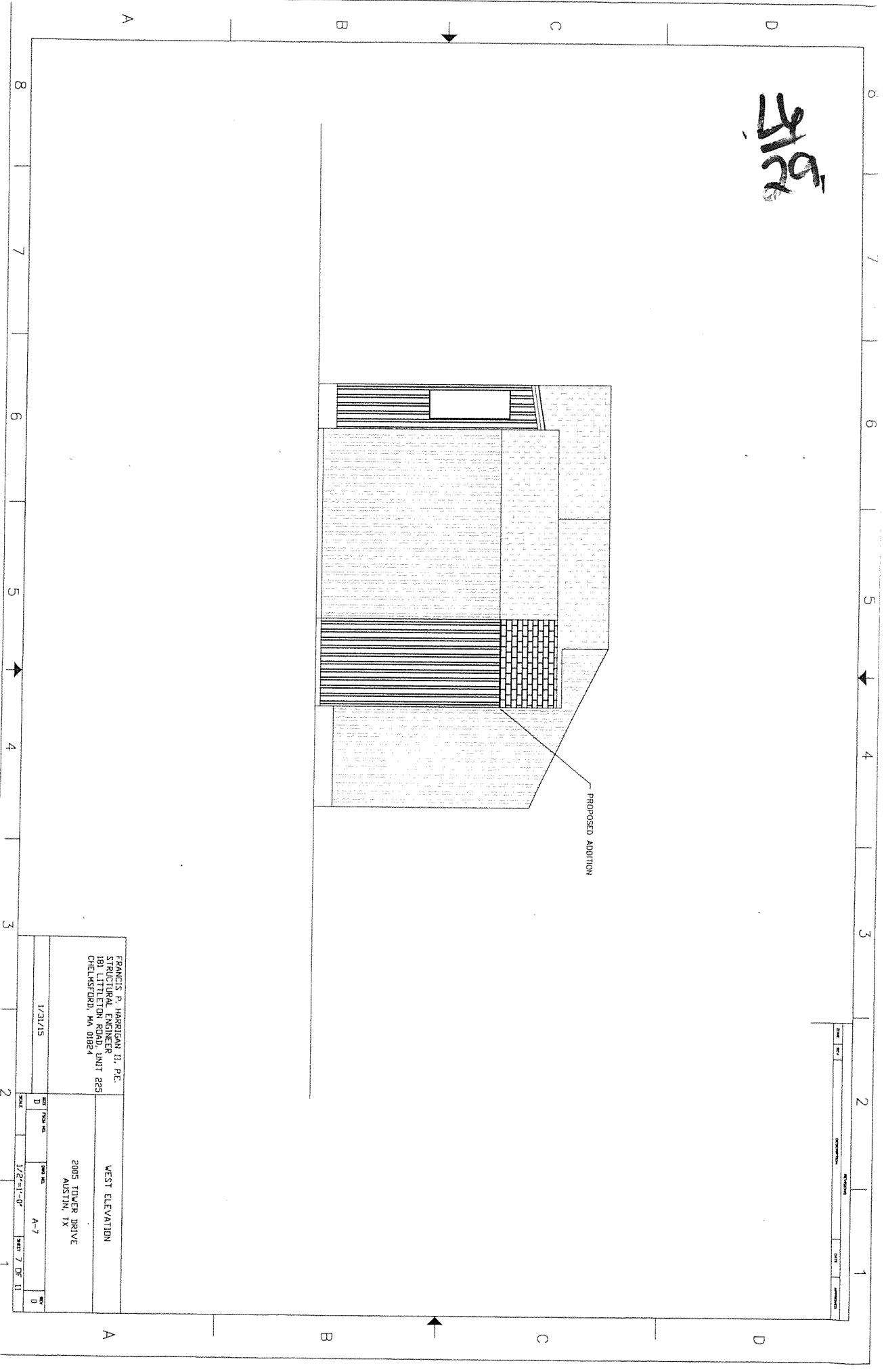
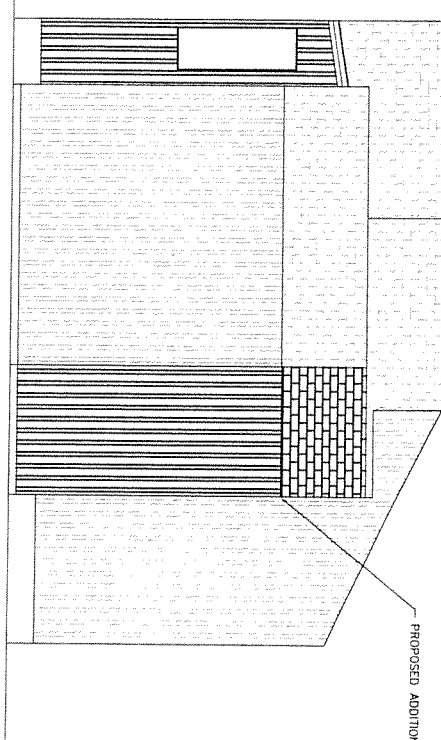
FRANCIS P. HARRIS II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELSEA, MA 01824

SOUTH ELEVATION
2005 TOWER DRIVE
AUSTIN, TX

1/31/15	REV	DATE	BY	CHK	APP
1/21/15	1	1/21/15	0	1	1

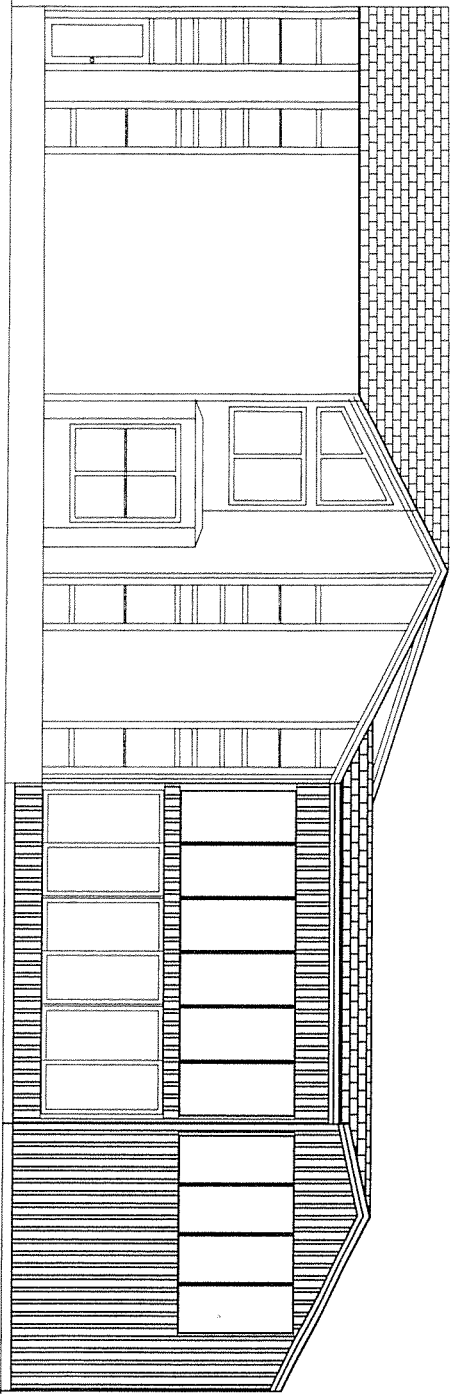
DATE	REV	DESCRIPTION	DATE	APPROVED

7/16/20



FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824				WEST ELEVATION			
1/31/15				2005 TOWER DRIVE AUSTIN, TX			
REV	DATE	BY	APP'D	REV	DATE	BY	APP'D
D	1/31/15			A-7	1/27/15		
Total				Sheet 7 of 11			

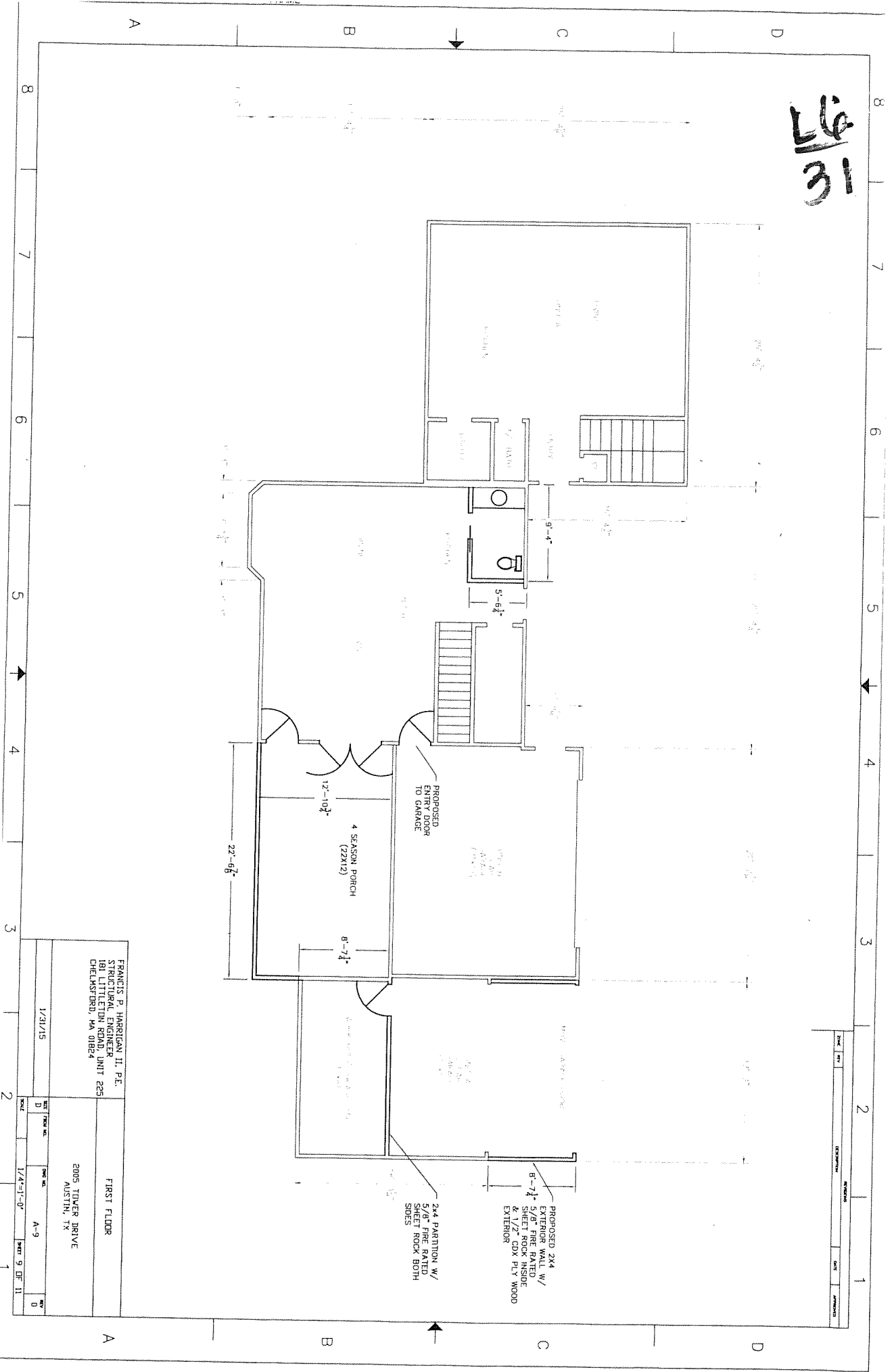
16
30



NOT FOR CONSTRUCTION

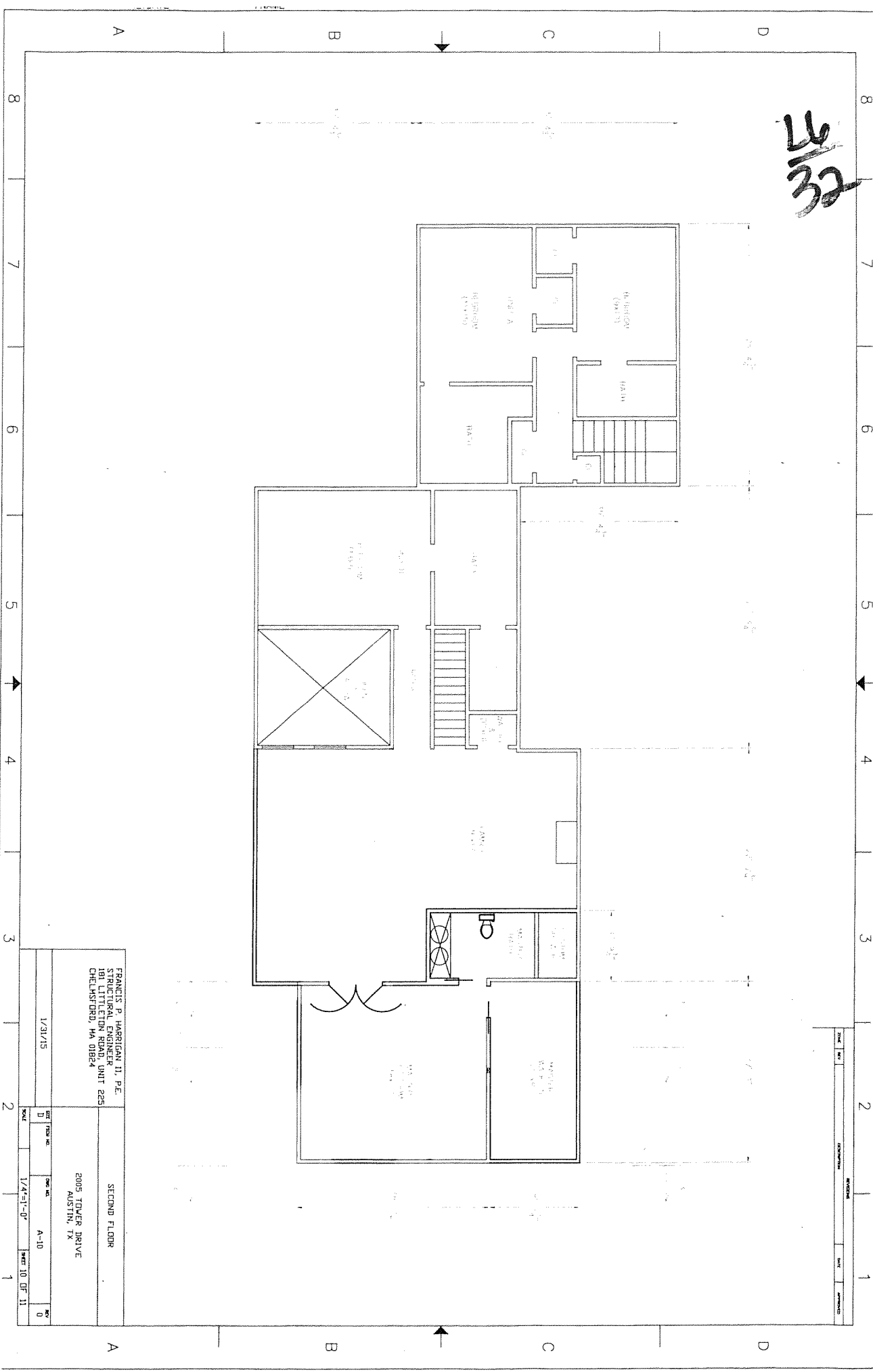
FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824				NORTH ELEVATION			
1/31/15				2005 TOWER DRIVE AUSTIN, TX			
DATE	BY	CHKD	APP'D	DATE	BY	CHKD	APP'D
1/31/15	J			1/21/15	A-B		
0				11			

LG
31



FRANCIS D. HARRISON II, P.E.			
STRUCTURAL ENGINEER			
181 LITTLETON ROAD, UNIT 225			
CHELSEA, MA 01824			
1/31/15			
FIRST FLOOR		2005 TOWER DRIVE	
AUSTIN, TX		A-9	
REV		REV	
0		11	

16
32

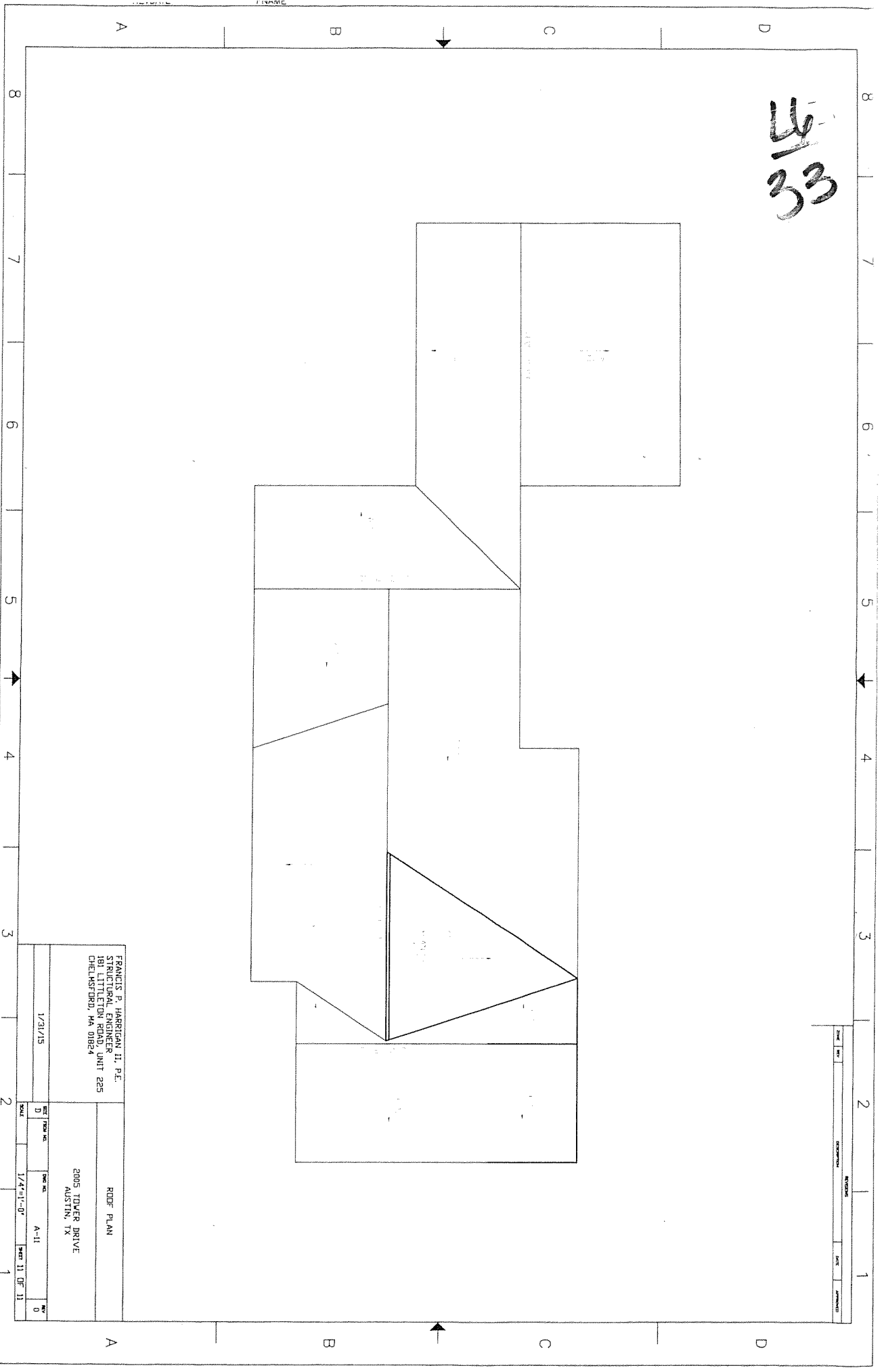
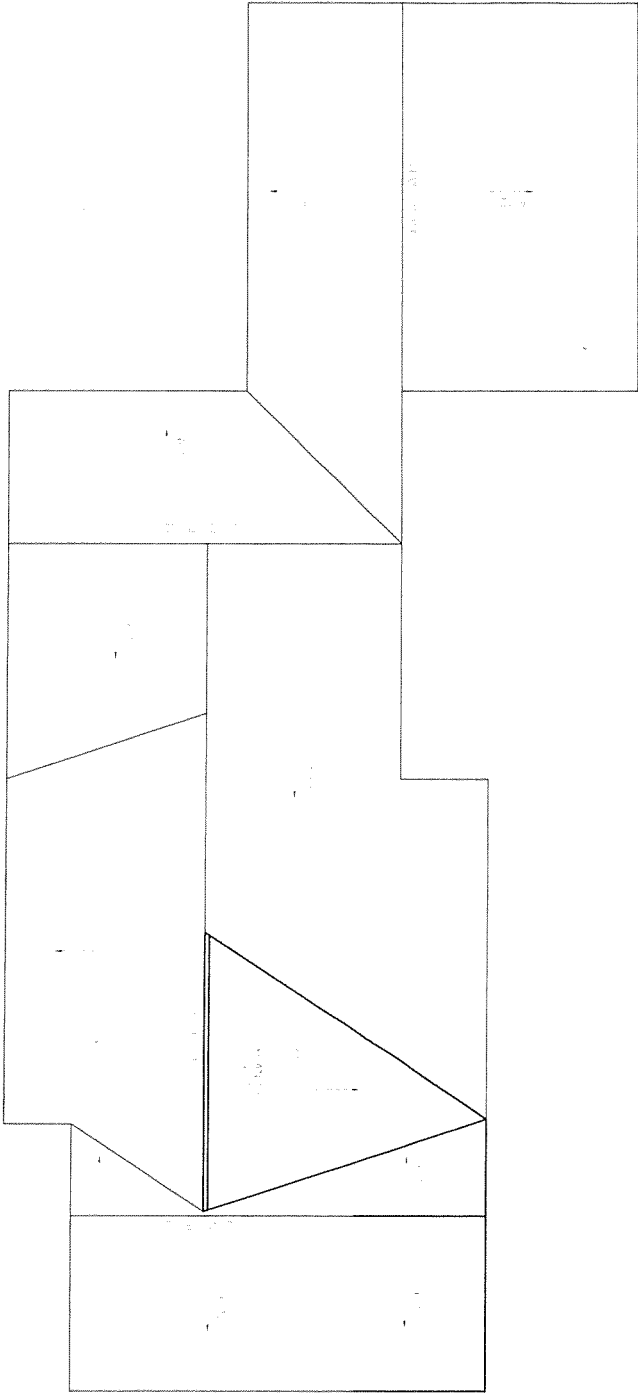


FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELSEA, MA 01824

SECOND FLOOR
2005 TOWER DRIVE
AUSTIN, TX

1/31/15	REV	1/4"=1'-0"	Sheet 10 OF 11
D	1/4"=1'-0"	A-10	REV
D	1/4"=1'-0"	A-10	REV

44/33



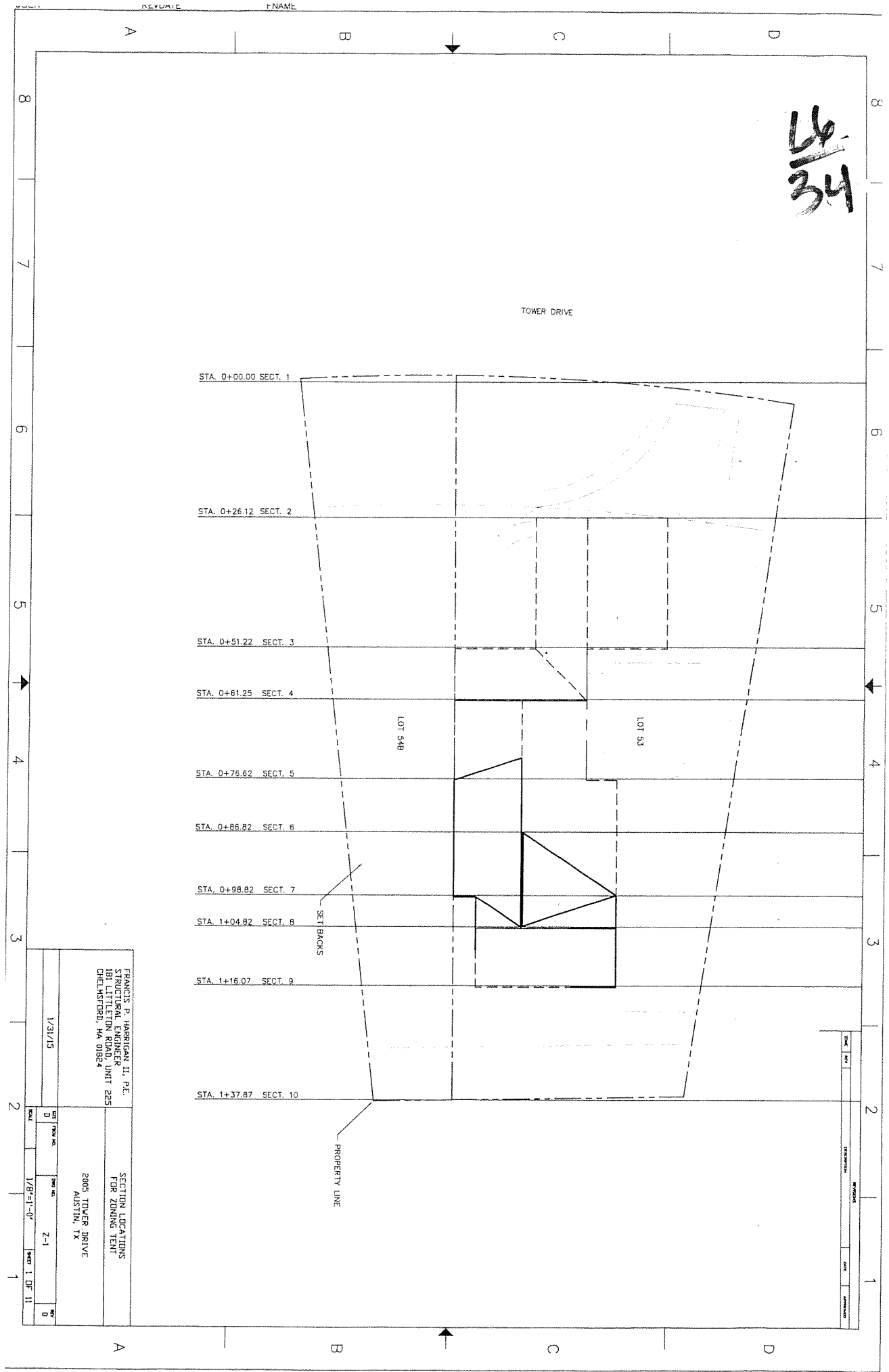
DATE	BY	REVISION	DATE	BY	REVISION

FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELSEA, MA 01824

ROOF PLAN
2005 TOWER DRIVE
AUSTIN, TX

1/31/15	DATE	1/4/11-07	SCALE	11	OF	11
0						

66
34



FRANCIS P. HARRISON II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824		SECTION LOCATIONS FOR ZONING TENT 2005 TOWER DRIVE AUSTIN, TX	
1/31/15	0	1/8"=1'-0"	2-1
TOTAL	0	1 OF 11	0

DATE	REVISION	DATE	APPROVAL

46
35

LOT 53 R
● FRONT OF LOT

LOT 53
LOT 54B

LOT 54B R
● FRONT OF LOT

FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELSEA, MA 01824

TENT SECTION 1 - STA. 0+00.00
● FRONT PROPERTY LINE

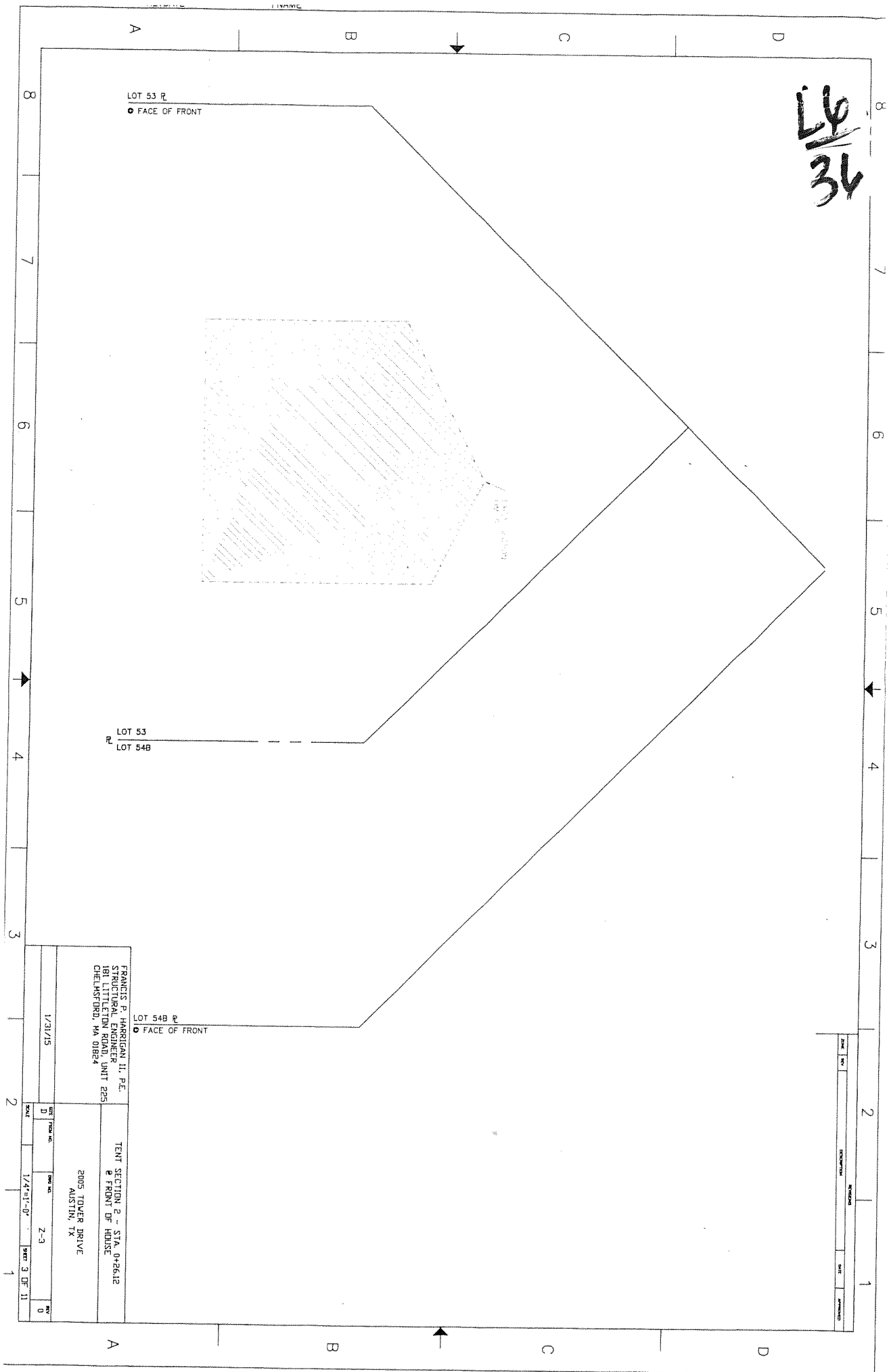
2005 TOWER DRIVE
AUSTIN, TX

1/31/15

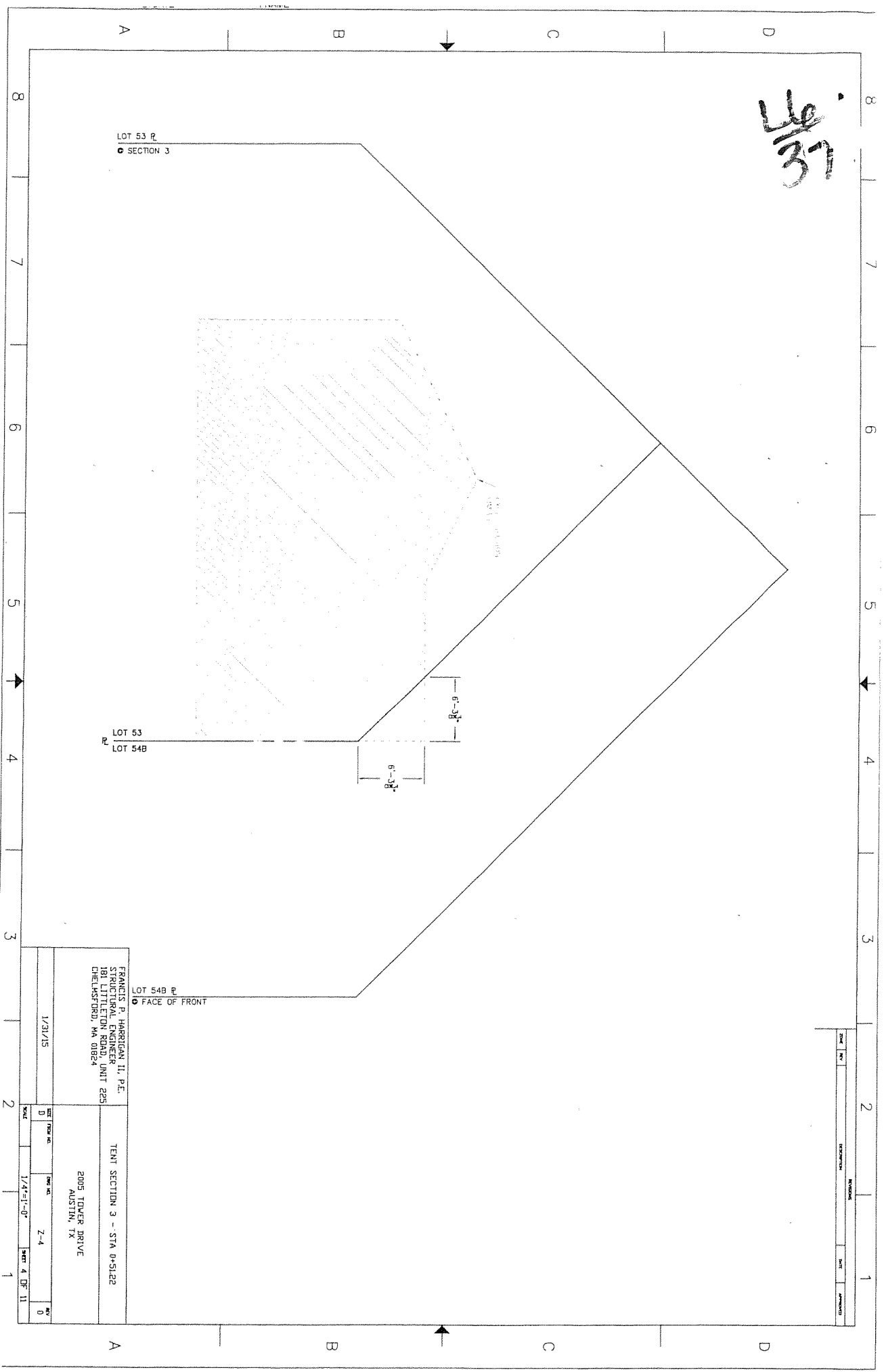
REV	DATE	BY	APP
1	1/31/15	1/4"=1'-0"	11

DATE	REV	BY	APP
1/31/15	1	1/4"=1'-0"	11

16
 34



46
37



LOT 53 R
SECTION 3

LOT 53
LOT 54B

LOT 54B R
FACE OF FRONT

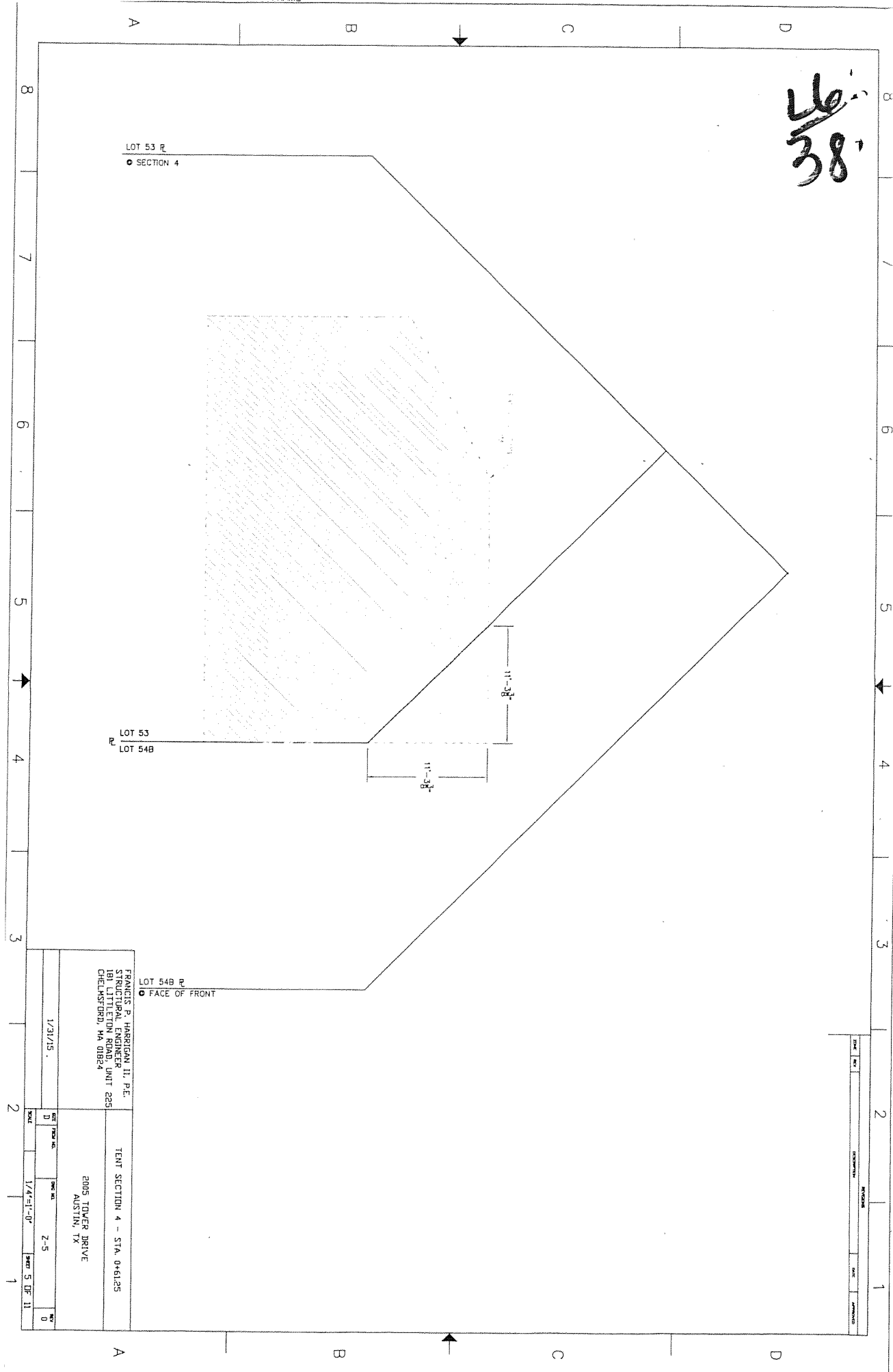
FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
DALLAS, TX 75244

TENT SECTION 3 - STA 0+51.22
2005 TOWER DRIVE
AUSTIN, TX

1/31/15	1/4"=1'-0"	REV	0
DATE	SCALE	BY	DATE
1/31/15	1/4"=1'-0"	REV	0

NO.	DATE	DESCRIPTION	BY	APPROVED
1	1/31/15	1/4"=1'-0"	REV	0

46
38'



LOT 53 R
SECTION 4

LOT 53
LOT 54B

LOT 54B R
FACE OF FRONT

FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CIRCLEWOOD, WA 9824

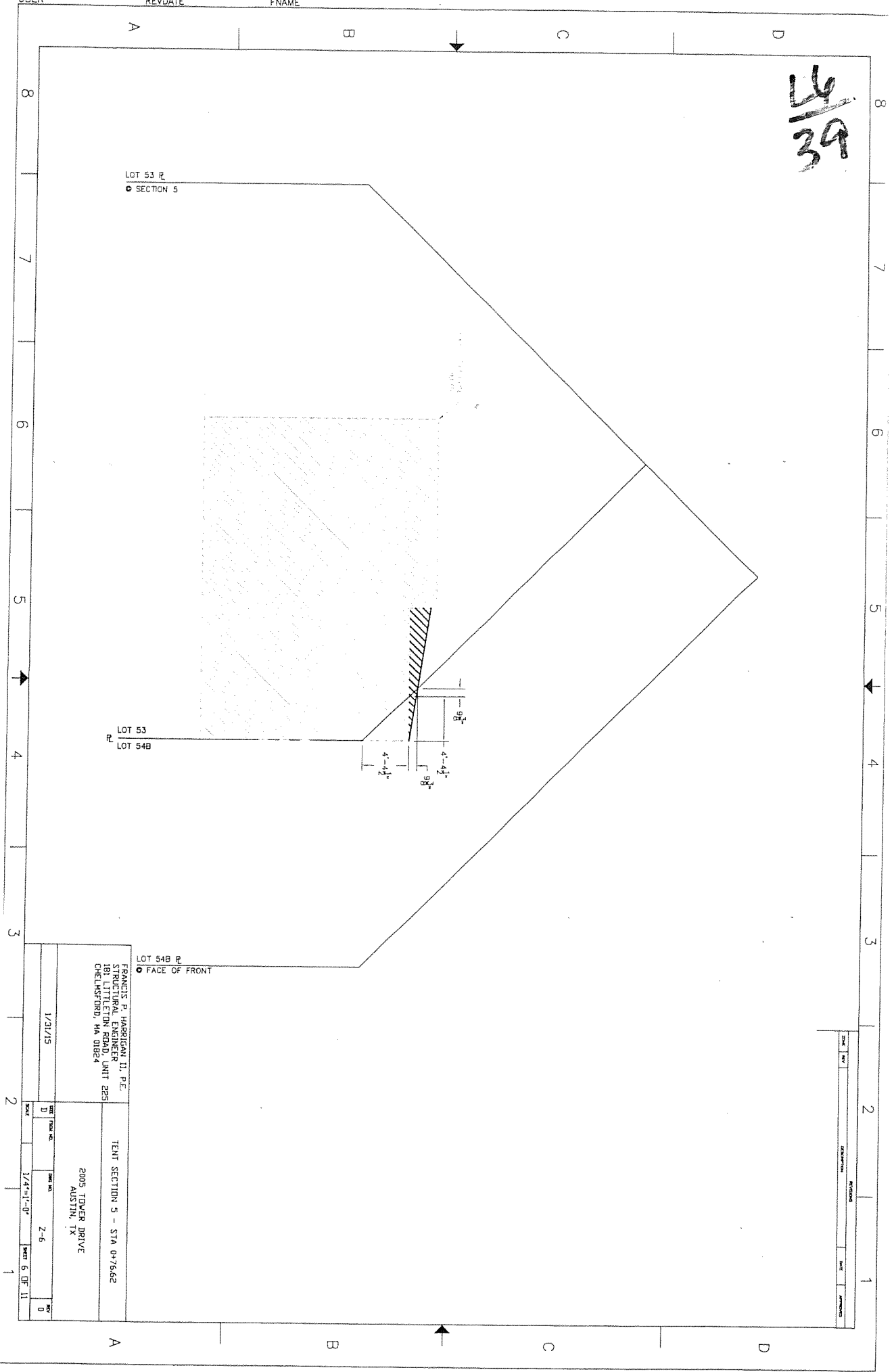
TENT SECTION 4 - STA. 0+61.25

2005 TOWER DRIVE
AUSTIN, TX

1/31/15		1/4"=1'-0"		SHEET 5 OF 11	
DATE	BY	DATE	BY	DATE	BY
1/31/15	D	1/31/15	D	1/31/15	D

DATE	BY	REVISION	DATE	BY

46
39



LOT 53 R
SECTION 5

LOT 53
LOT 54B

LOT 54B R
FACE OF FRONT

FRANCIS P. HARRISON II, P.E.
REGISTERED ENGINEER
1811 LITTLETON ROAD, SUITE 225
CHELSEA, MA 01824

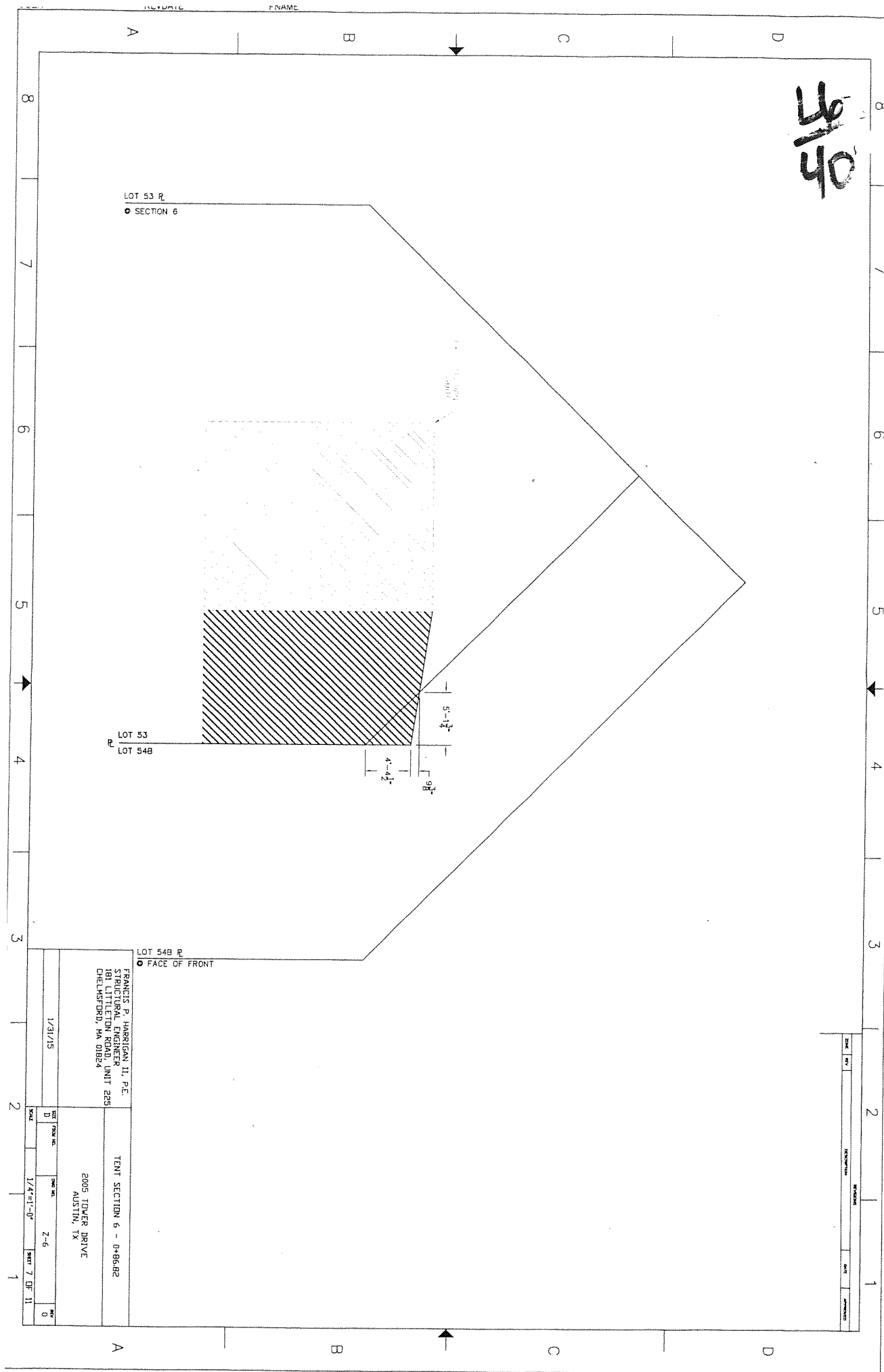
TENT SECTION 5 - STA 0+76.62

2005 TOWER DRIVE
AUSTIN, TX

1/31/15	1/4"=1'-0"	6	11	0
11	11	11	11	11

DATE	BY	REVISION	DATE	BY

36
40



LOT 53 R
SECTION 6

LOT 53
LOT 54B

LOT 54B R
FACE OF FRONT

FRANCIS D. JARRISAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

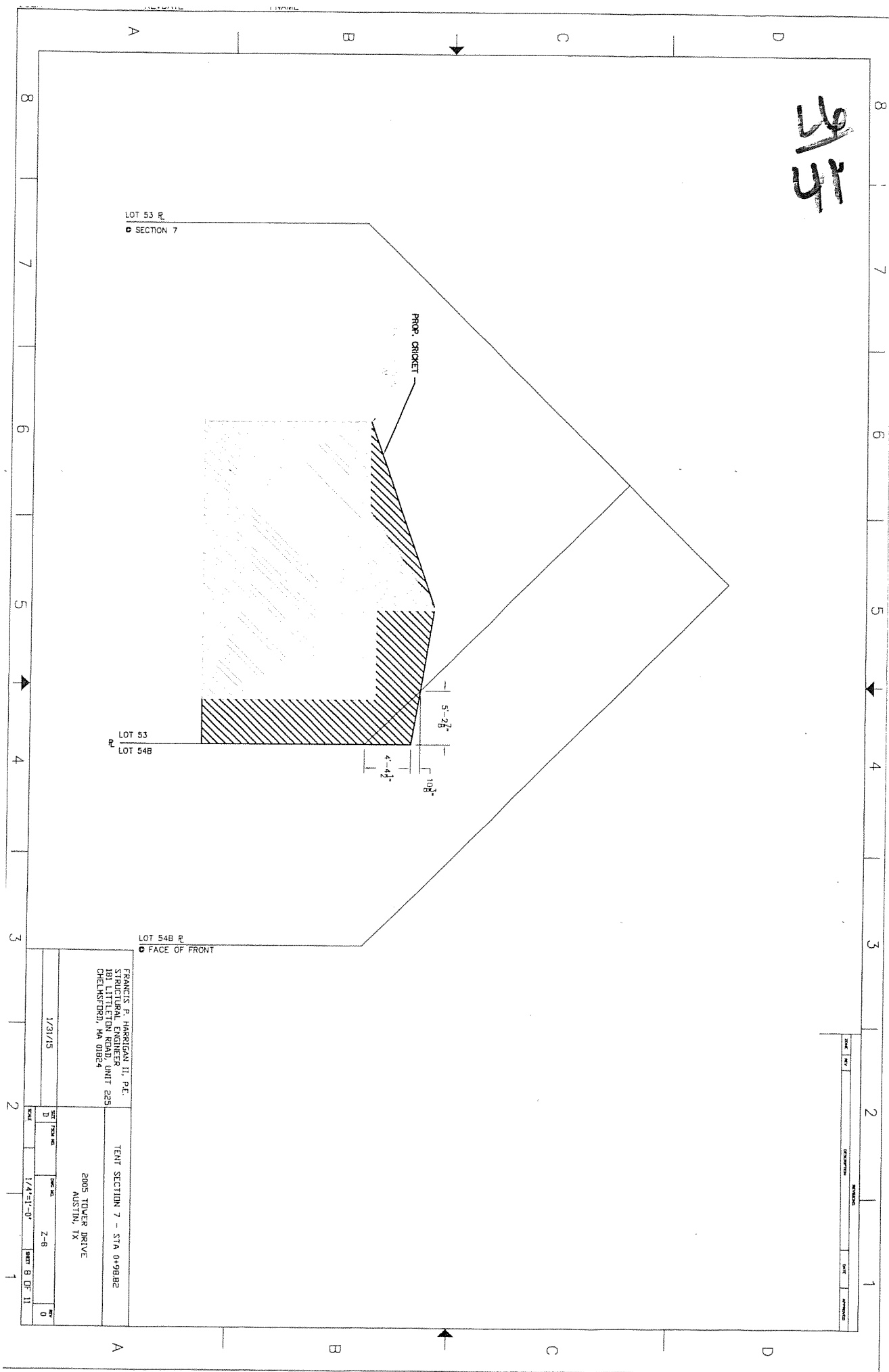
TENT SECTION 6 - 0-06-02

2005 TOWER DRIVE
AUSTIN, TX

1/31/15		1/4"=1'-0"		SHEET 7 OF 11	
D	FROM A.C.	DATE	Z-6	REV	0

DATE	REVISION	DATE	APPROVAL

A vertical number line with tick marks at 1, 2, 3, 4, 5, 6, 7, and 8. The number 4 is marked with a triangle and labeled "halfway between 3 and 5".



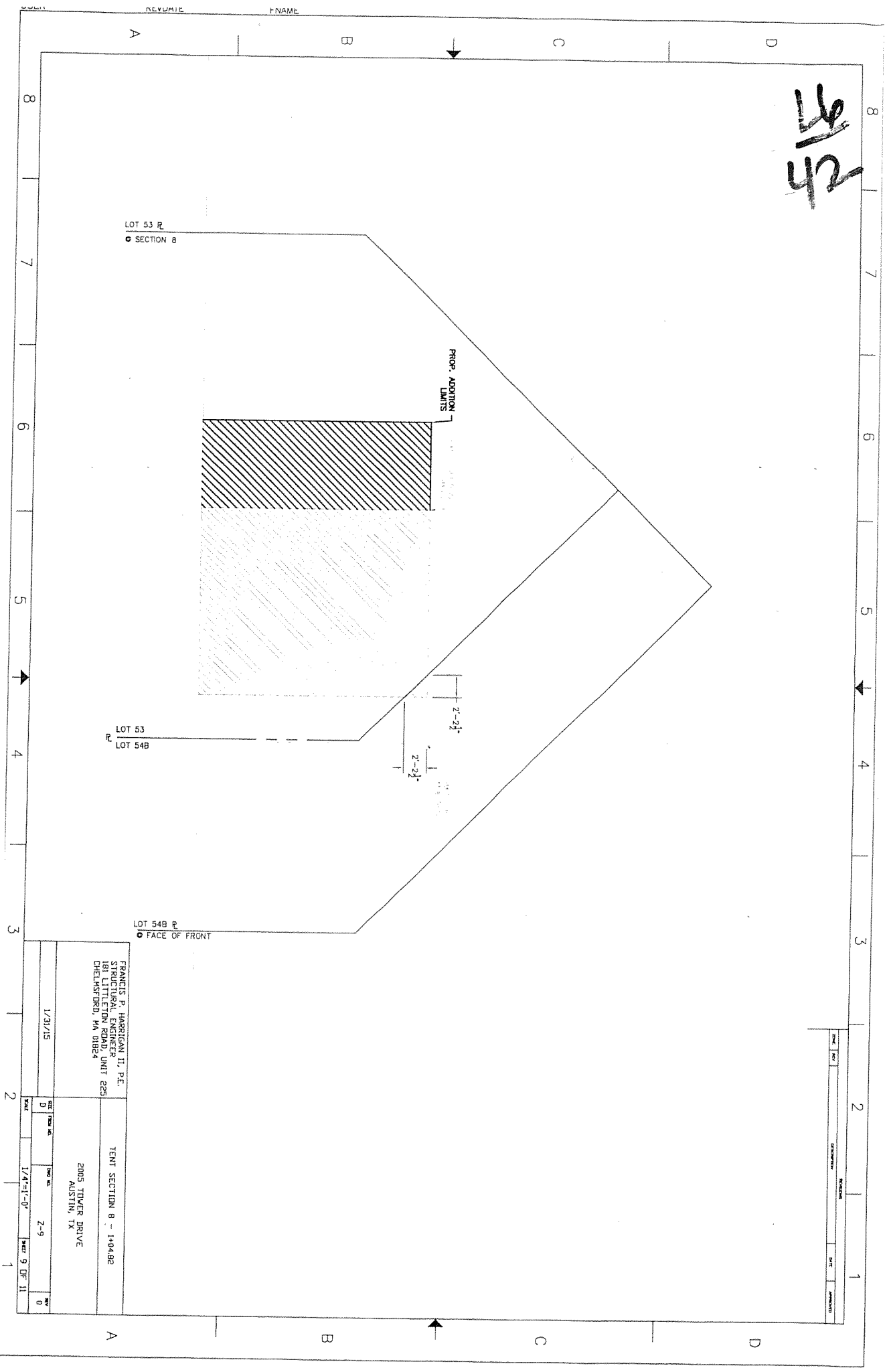
LOT 54B R
 © FACE OF FRONT

2005 TOWER DRIVE
AUSTIN, TX

11

2

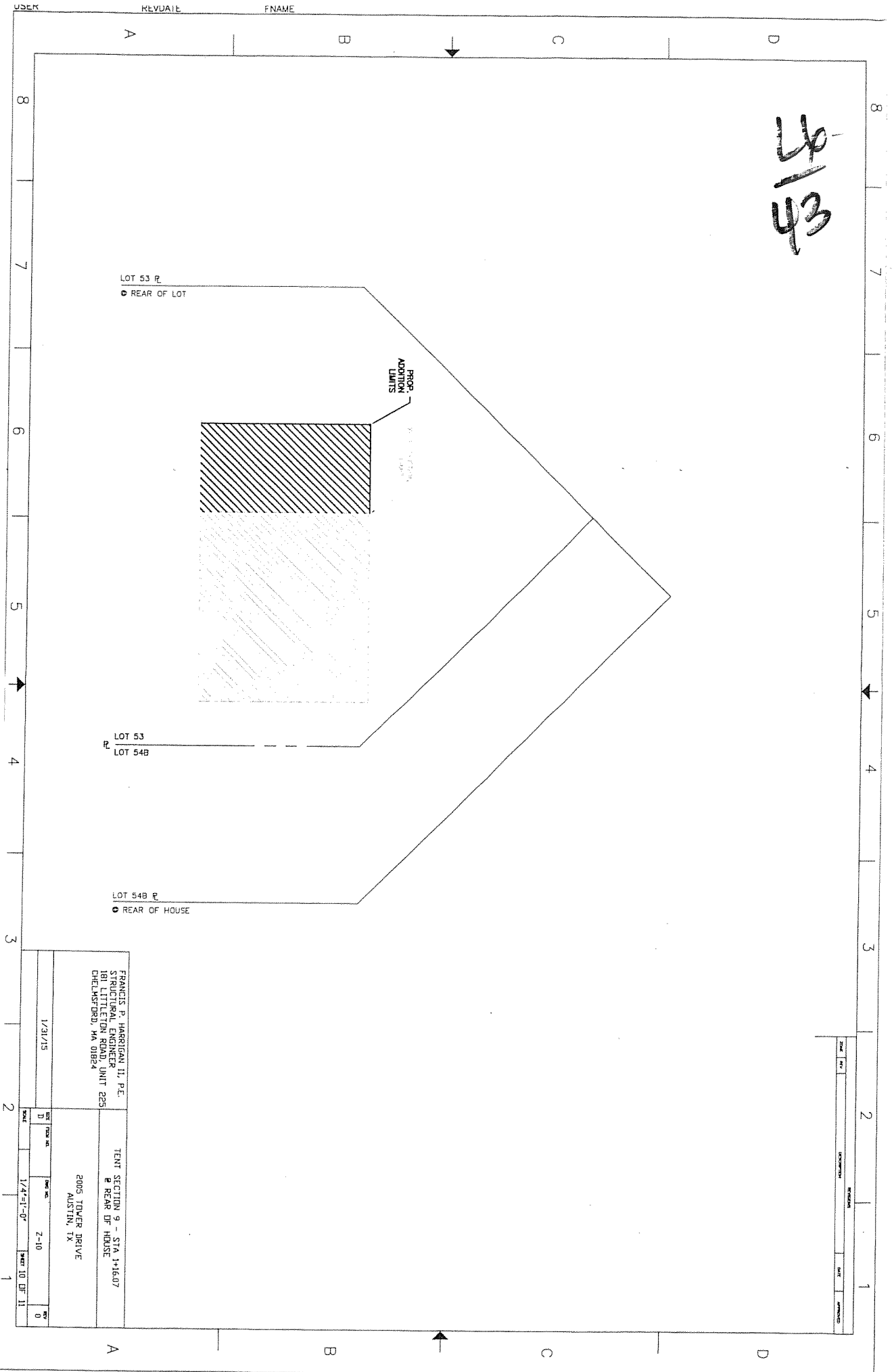
16
42



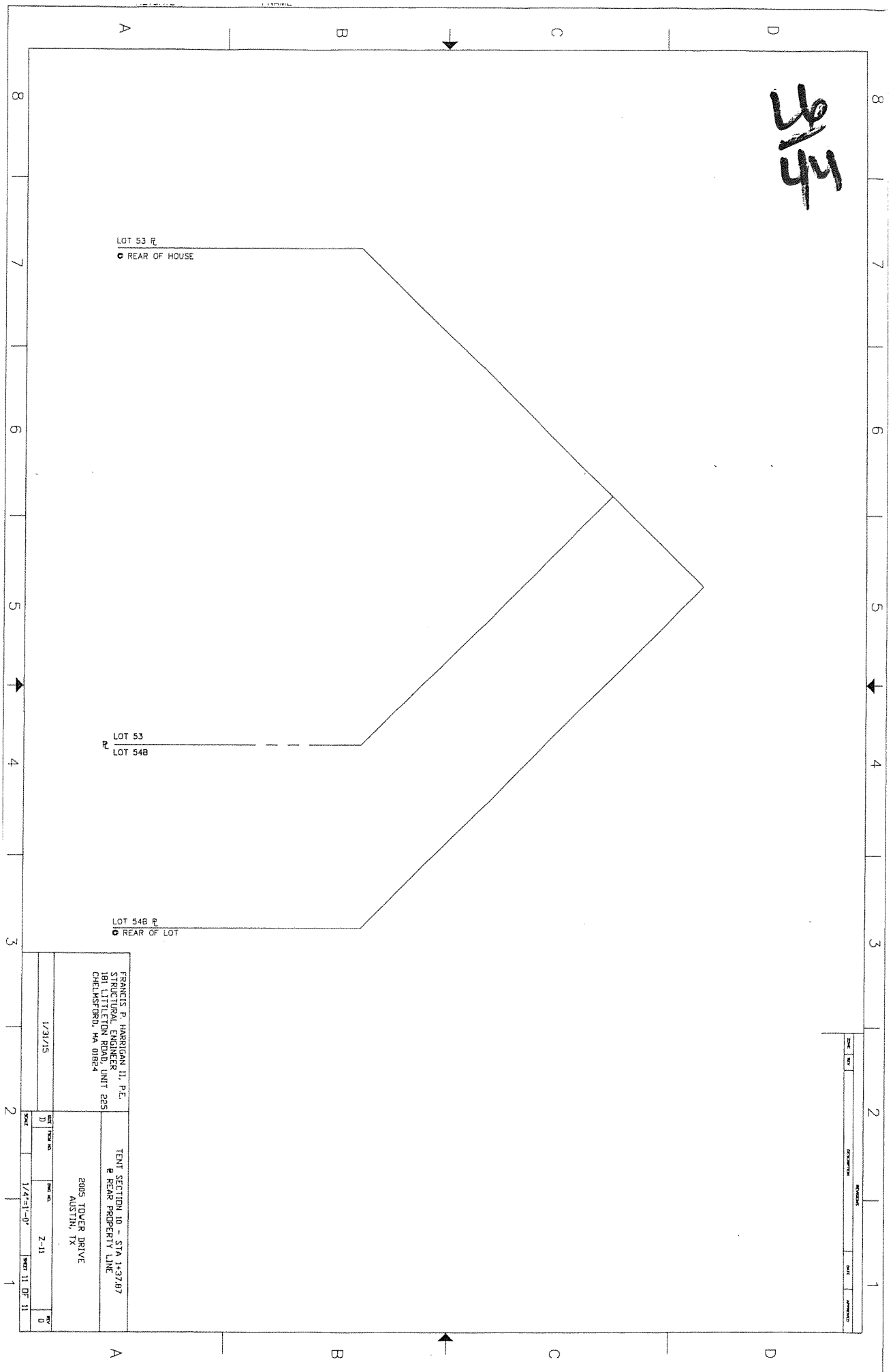
FRANCIS P. HARRIGAN II, P.E. REGISTERED ENGINEER 18011 LITTON ROAD, SUITE 203 CHELSEA, MA 01824				TENT SECTION 8 - 1+04.82			
2005 TOWER DRIVE AUSTIN, TX				Z-9			
1/31/15				1/4"=1'-0"			
D				9 OF 11			

DATE	REV	DESCRIPTION	BY	APP

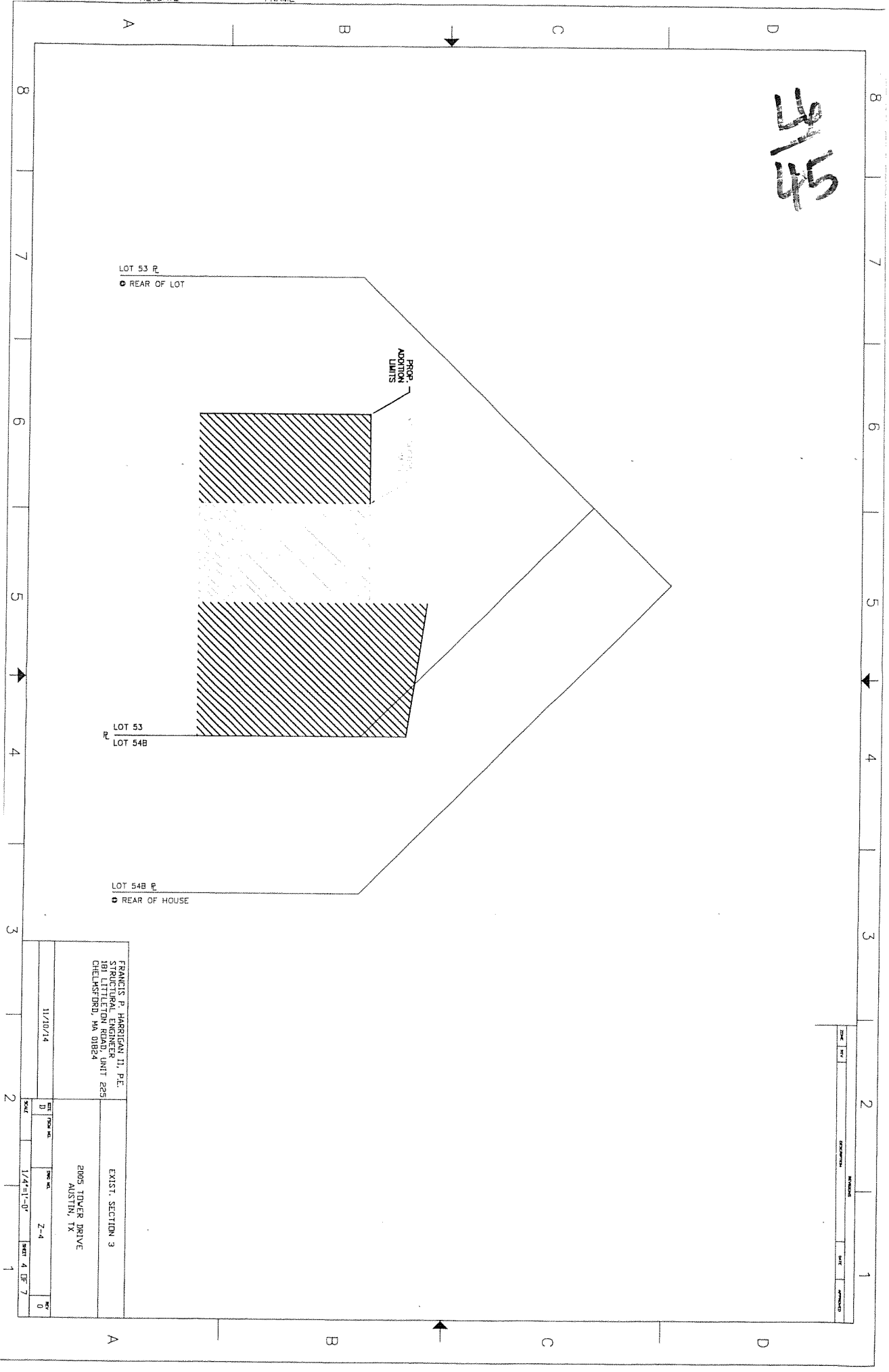
46
43



46
44



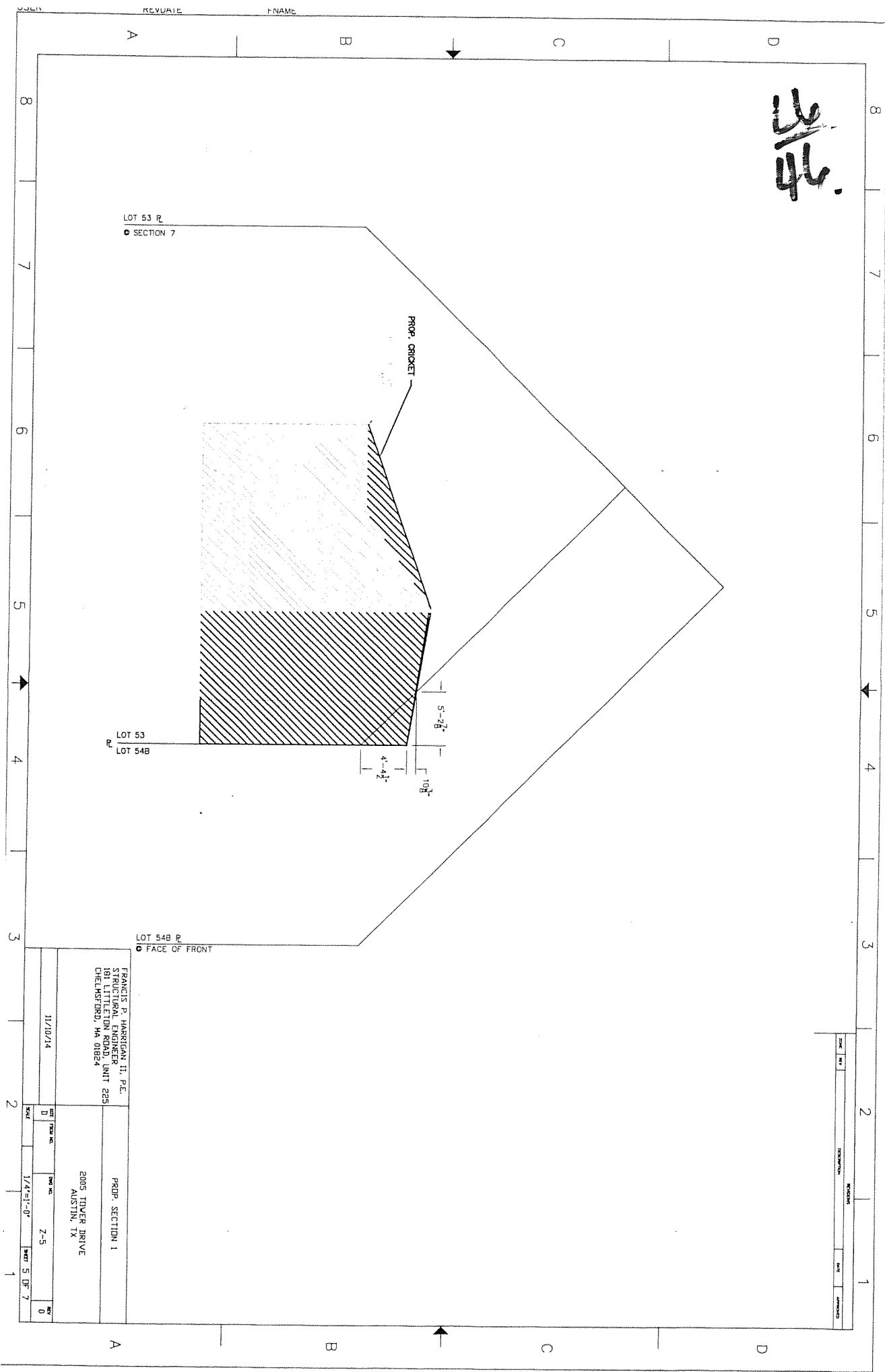
46
45



FRANCIS P. HARRISAN II, P.E.		EXIST. SECTION 3	
STRUCTURAL ENGINEER		2005 TOWER DRIVE	
801 LITTLETON ROAD, UNIT 225		AUSTIN, TX	
DUBLIN, OH 43004			
11/10/14	11/10/14	1/4"=1'-0"	1/4"=1'-0"
11/10/14	11/10/14	1/4"=1'-0"	1/4"=1'-0"

DATE	REV	DESCRIPTION	BY	APP

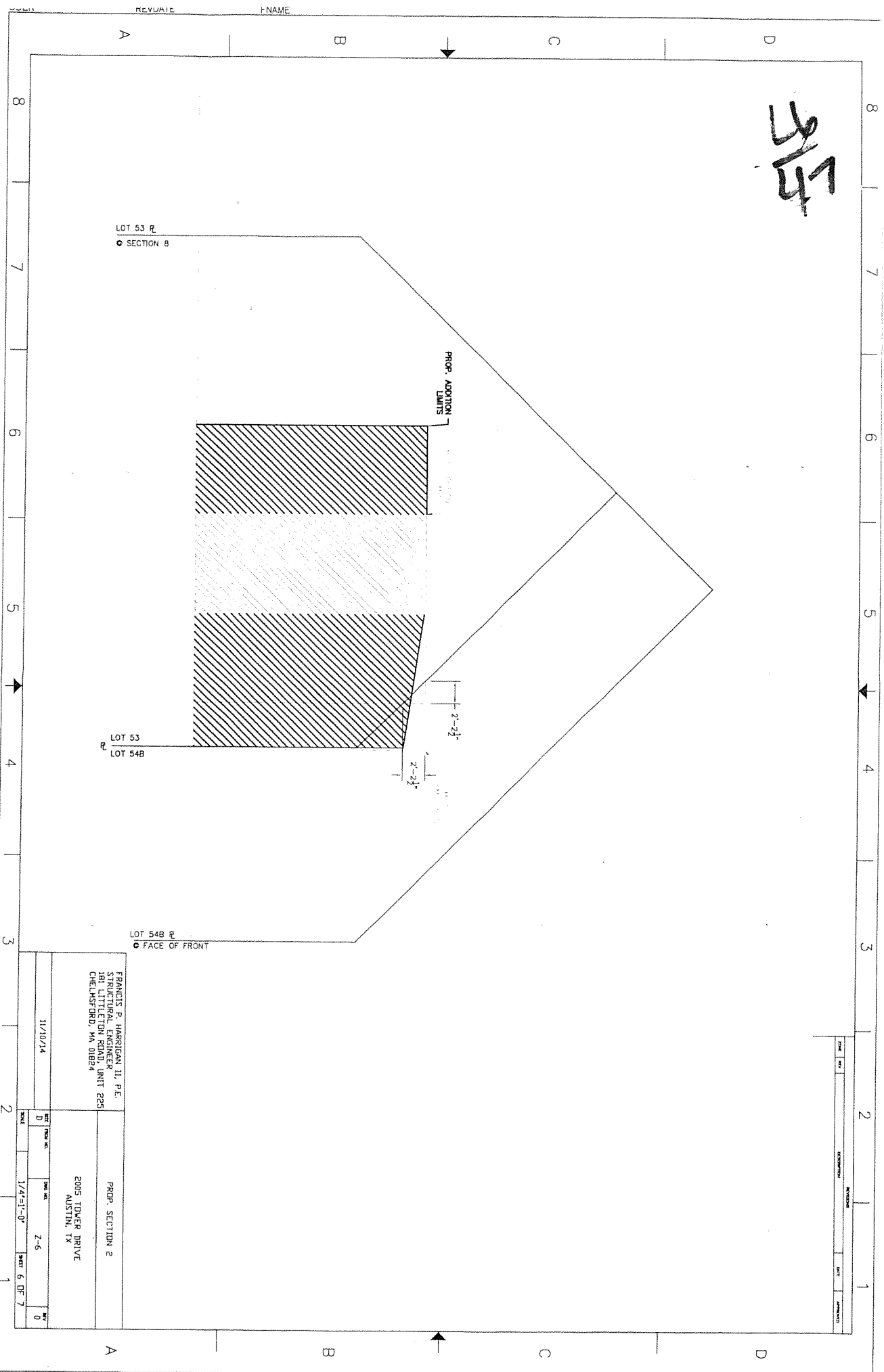
3/4



FRANCIS P. HARRISON II, P.E. STATE OF TEXAS 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824			
11/10/14		PROP. SECTION 1	
11/10/14	11/10/14	2005 TOWER DRIVE AUSTIN, TX	
11/10/14	11/10/14	1/4"=1'-0"	5' 0" 7'

Zone	Map	Location	Notes	Remarks

314



LOT 53 R
SECTION B

PROP. ADDITION
LIMITS

LOT 53
LOT 54B R

LOT 54B R
FACE OF FRONT

FRANCIS P. HARRISON II, P.E.
ENGINEER
181 LITTLE SPUR
CHELSEA, MA 01824

PROP. SECTION 2

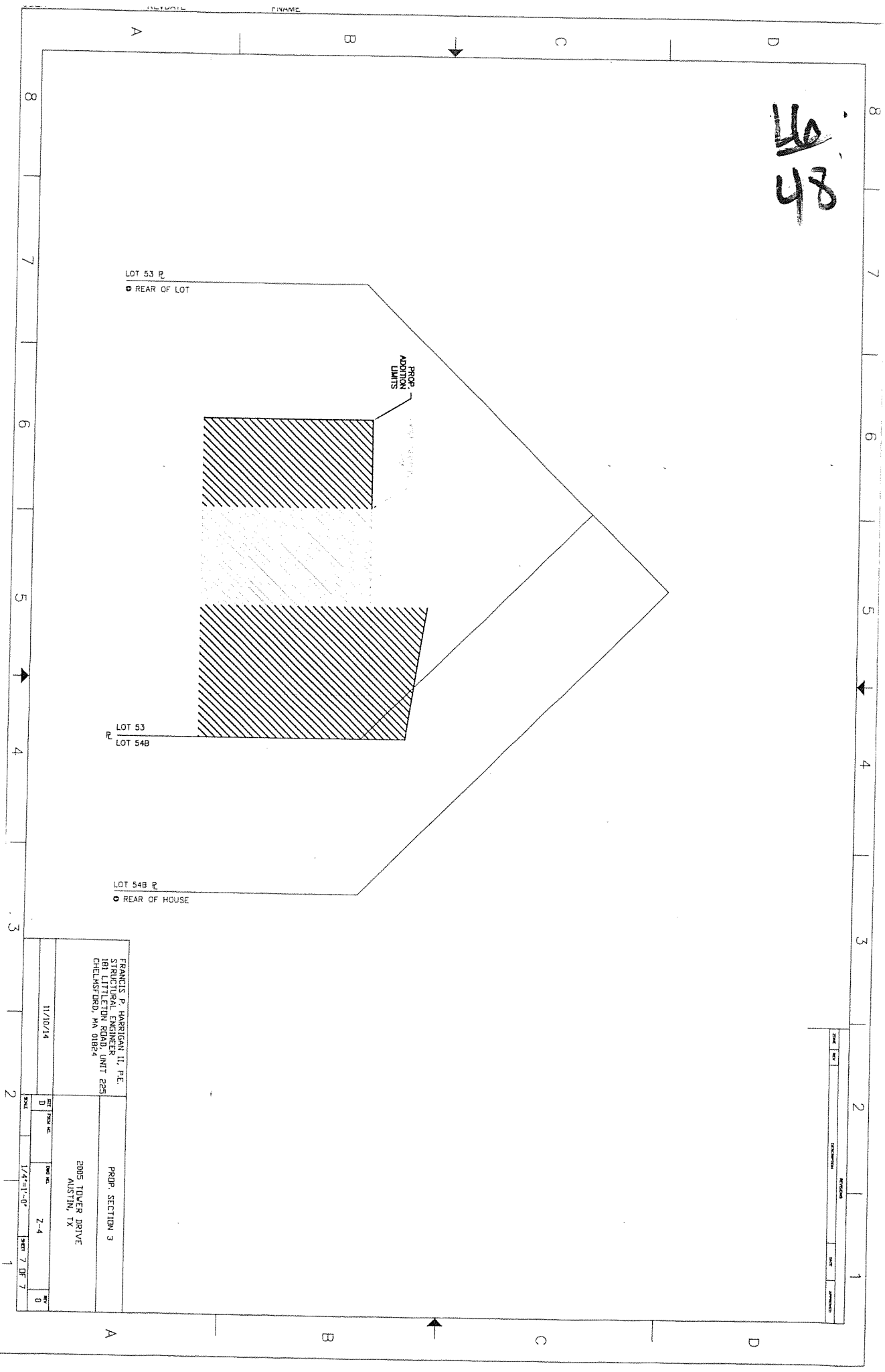
2005 TOWER DRIVE
AUSTIN, TX

11/10/14

REV	DATE	DESCRIPTION
1	11/10/14	1/4"=1'-0"
2		6 0" 7

DATE	BY	REVISION	DATE	BY	REVISION

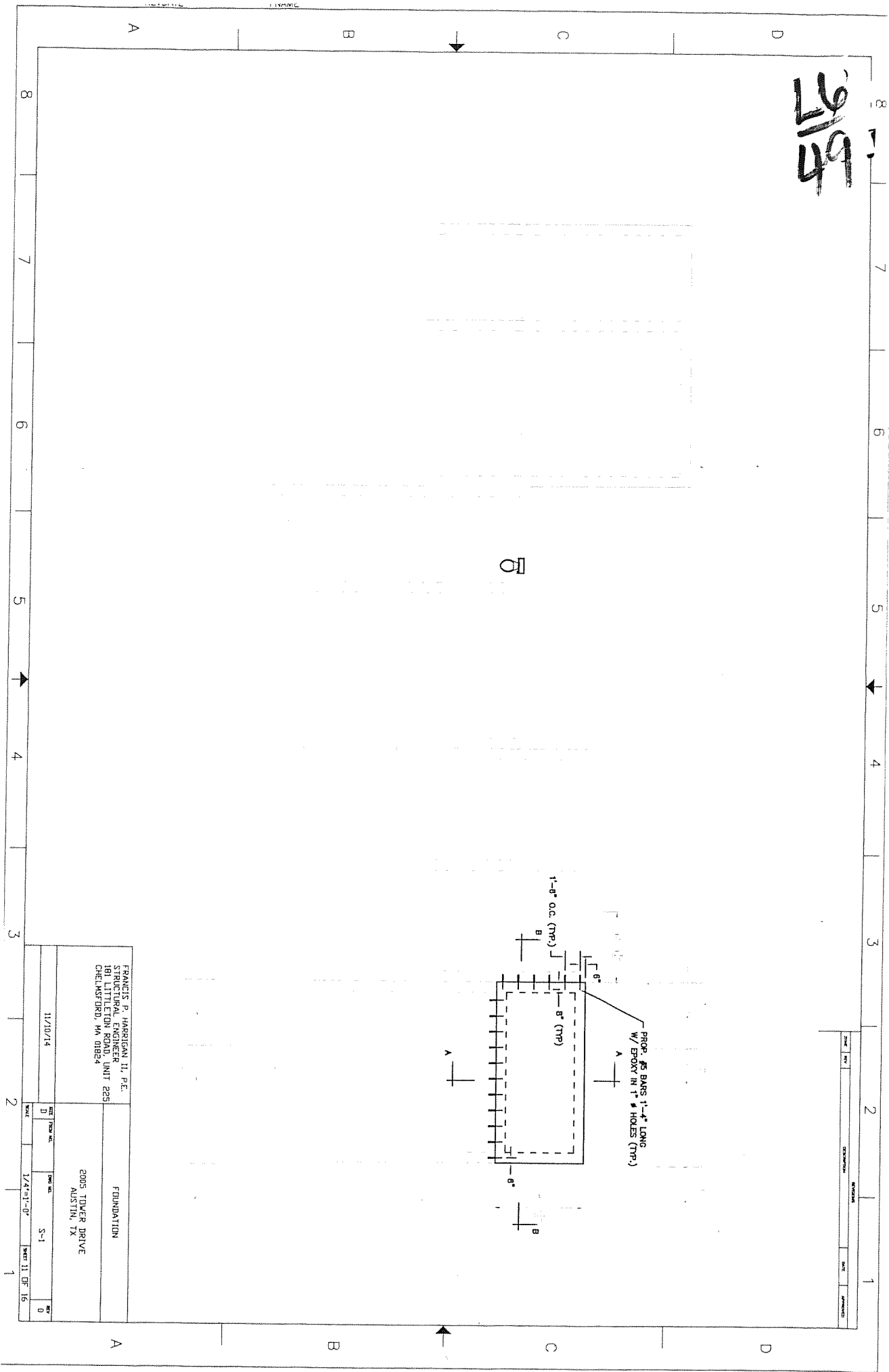
46
48



FRANCIS P. HARRIS II, P.E. REGISTERED PROFESSIONAL ENGINEER 18111 CEDAR CIRCLE CHELSEA, MA 01924				PROP. SECTION 3			
11/10/14				2005 TOWER DRIVE AUSTIN, TX			
DATE	BY	SCALE	NO.	DATE	BY	SCALE	NO.
11/10/14	PH	1/4"=1'-0"	2-4	11/10/14	PH	1/4"=1'-0"	2-4
SHEET 7 OF 7				SHEET 7 OF 7			

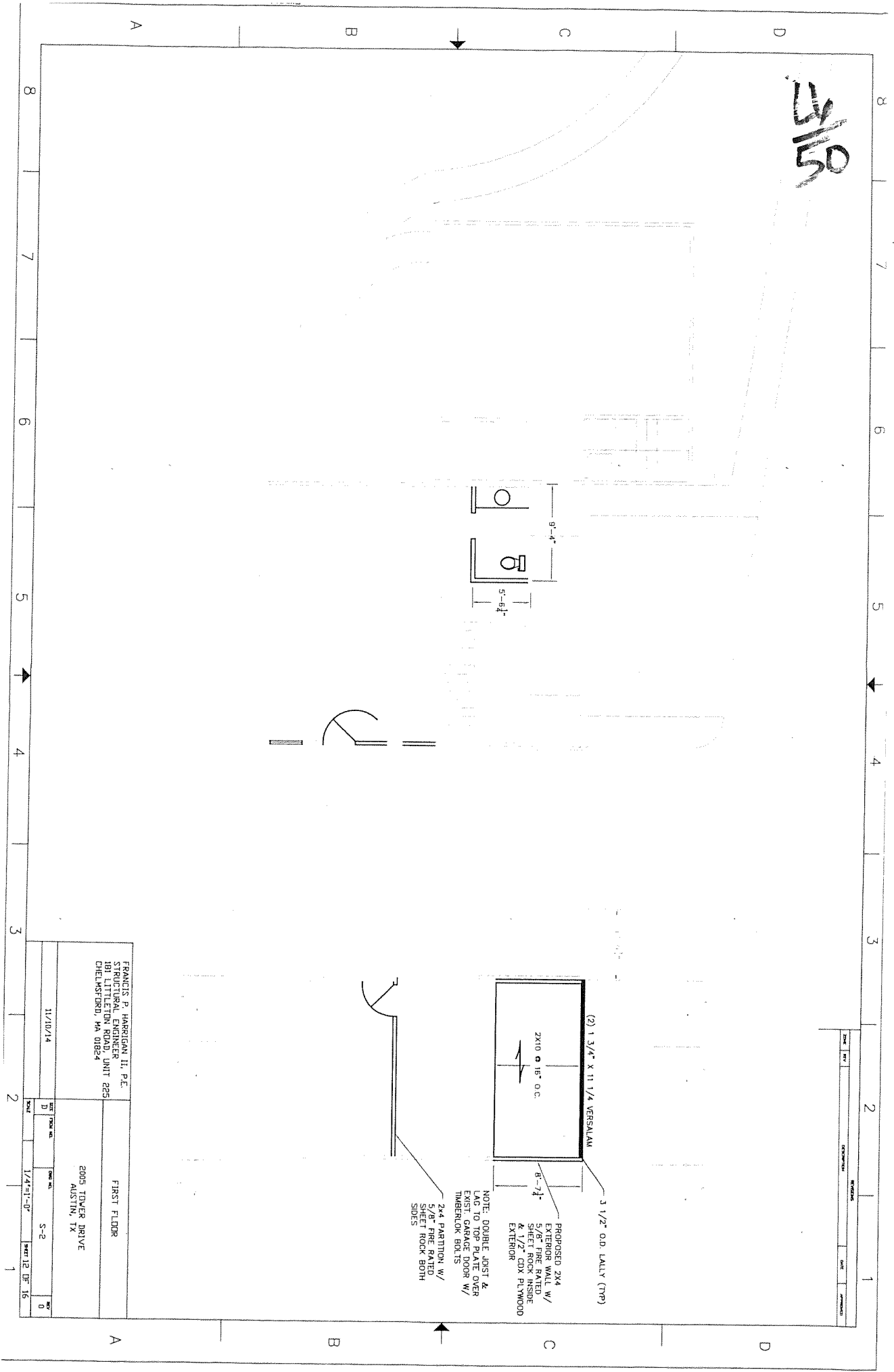
DATE	BY	REVISION	DATE	BY	REVISION

26
49



FRANCIS P. HARGREAVES II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELMSFORD, MA 01824				FOUNDATION			
11/10/14				2005 TOWER DRIVE AUSTIN, TX			
DATE	DESIGNED BY	CHECKED BY	APPROVED BY	DATE	DESIGNED BY	CHECKED BY	APPROVED BY
11/10/14	FP	FP	FP	11/10/14	FP	FP	FP

11/15



FRANCIS P. HARRIGAN II, P.E.
STRUCTURAL ENGINEER
181 LITTLETON ROAD, UNIT 225
CHELMSFORD, MA 01824

2005 TOWER DRIVE
AUSTIN, TX

11/10/14

REV	DATE	BY	CHKD
0	11/10/14	D	11/10/14

NO.	REV.	DATE	DESCRIPTION
1			

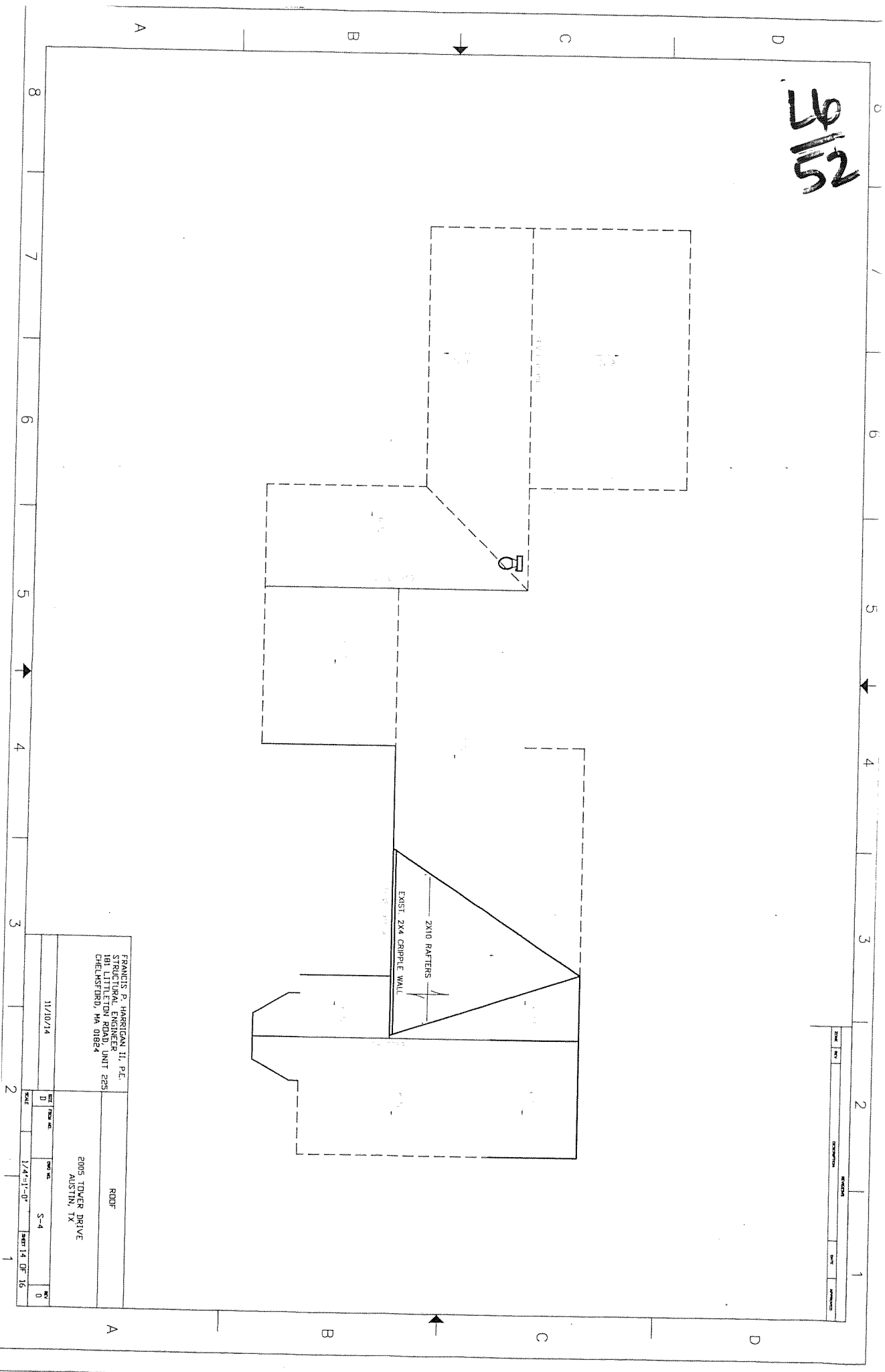
NOTE: DOUBLE JOIST &
LAG 10 TOP PLATE OVER
TIMBERLON BOLTS
2X4 PARTITION W/
5/8" FIRE RATED
SHEET ROCK BOTH
SIDES
PROPOSED 2X4
EXTERIOR WALL W/
5/8" FIRE RATED
SHEET ROCK INSIDE
& 1/2" O.D. PLYWOOD
EXTERIOR
3 1/2" O.D. LALLY (TYP)
8'-7 1/2"

1 2 3 4 5 6 7 8

FRANCIS HARRISON II, P.E. STRUCTURAL ENGINEER 181 LITTLETON ROAD, UNIT 225 CHELSEA, MA 01824	SECOND FLOOR			
	2005 TOWER DRIVE AUSTIN, TX			
11/10/14	ID	NAME, DATE	REV	REV
			S-3	0
	SCALE	1/4"=1'-0"	SHEET 13 OF 16	

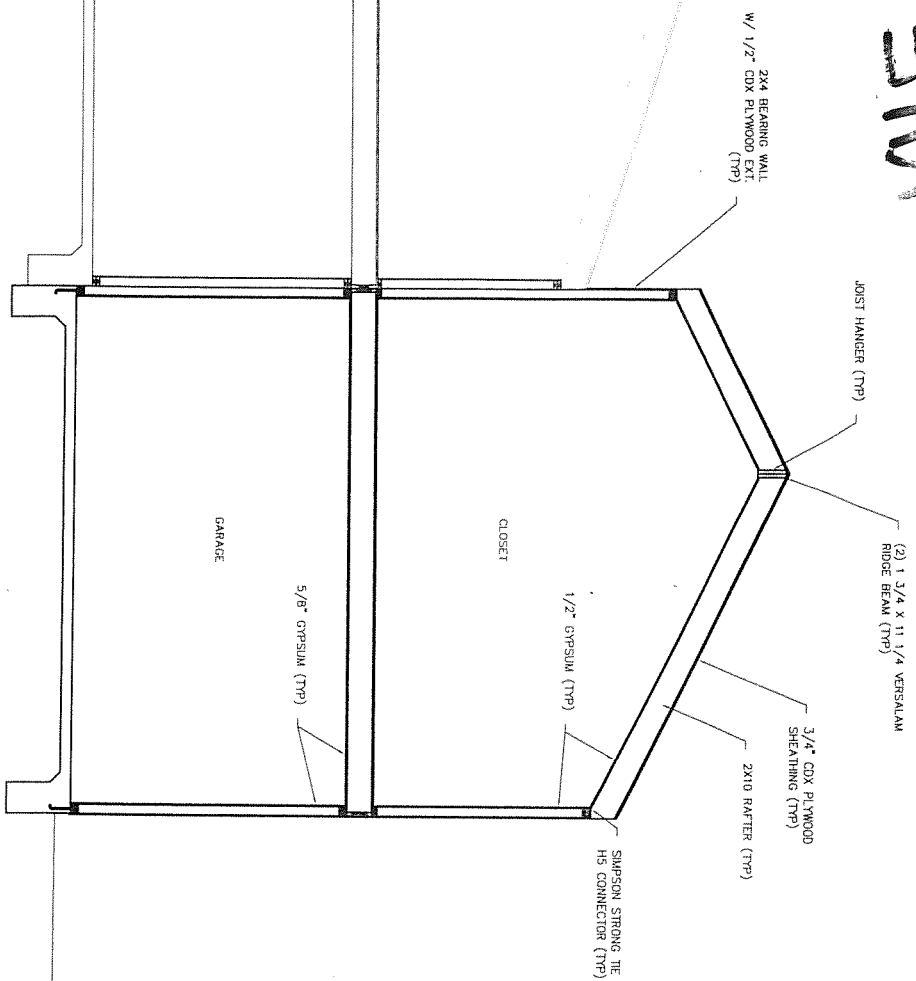
☐

76
52



FRANCIS R. HARRIGAN II, P.E. STRUCTURAL ENGINEER 181 LITTLETON RD. UNIT 225 CHELMSFORD, MA 01824			
ROOF			
11/10/14	1/4"=1'-0"	Sheet 14	Of 16
11/10/14	1/4"=1'-0"	Sheet 14	Of 16
2005 TOWER DRIVE AUSTIN, TX			

315



- STRUCTURAL NOTES:
1. ALL DIMENSIONAL LUMBER SHALL BE NO. 2 SPRUCE-PINE-FIR OR BETTER.
 2. ALL RAFTERS SHALL BE CONNECTED TO ROOF RIDGE BEAM WITH PROPERLY SIZED SIMPSON STRONGTIE JOIST HANGERS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 3. ALL STUDS SHALL BE CONNECTED TO TOP WALL PLATE WITH SIMPSON STRONGTIE HS CONNECTORS.
 4. ENGINEERED LUMBER BEAM SECTIONS SHALL BE BOISE-CASCADE VERSA-LAM 2.0 2100.
 5. STUD COLUMNS SHALL BE F=C=3000 PSI.
 6. CONCRETE SHALL BE F'=4000 PSI.
 7. REBAR SHALL BE F'=60KSI.
 8. ANCHOR BOLTS SHALL BE ASTM A307.

FRANCIS P. HARRIS II, P.E. STRUCTURAL ENGINEER 18117 HARRIS DRIVE CHELSEA, MA 01824		TYPICAL FRAMING	
11/10/14		2005 TOWER DRIVE AUSTIN, TX	
REV	DATE	BY	CHK
0	11/10/14	S-5	0
1/2"=1'-0"		MAX 15' 0" 16'	

215

SECTION A-A
(SCALE: 1/2"=1'-0")

SECTION B-B
(SCALE: 1/2"=1'-0")

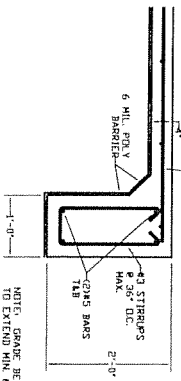
- STRUCTURAL NOTES
1. ALL DIMENSIONAL LUMBER SHALL BE NO. 2 SPRUCE-PINE-FIR OR BETTER.
 2. ALL RAFTERS SHALL BE CONNECTED TO ROOF RIDGE BEAM WITH PROPERLY SIZED SIMPSON STRONGTIE JOIST HANGERS INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 3. ALL RAFTERS SHALL BE CONNECTED TO TOP WALL PLATE WITH SIMPSON STRONGTIE HES5A CONNECTORS.
 4. REQUIRED FOUNDATION CAPACITIES ARE INDICATED ON THE PLANS IN PARENTHESES, FOR EXAMPLE: (42 KIPS).
 5. ALL FOUNDATION SUBSTRUCTURES SHALL SUBMIT DOCUMENTATION VERIFYING THAT THE FOUNDATION DESIGN IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC).
 6. REQUIRED LUMBER BEAM SECTIONS SHALL BE BOISE-CASCADE VERSA-LAM 2.0 3100 E250 COLUMNS.
 7. ENGINEERED LUMBER COLUMNS AND POSTS SHALL BE BOISE-CASCADE VERSA-LAM 18 E250 COLUMNS.

SECTION A-A
(SCALE: 1/2"=1'-0")

DETAIL 1
(SCALE: 1/2"=1'-0")

NOTE: SCREW BEAM TO EXTEND MIN. 6" INTO UNDISTURBED SOIL.

FRANCIS P. HARRIGAN II, P.E. STRUCTURAL ENGINEER, UNIT 225 1110 SOUTH LUTHER ROAD CHELSEA, MA 01824		FOUNDATION DETAILS	
2005 TOWER DRIVE AUSTIN, TX		S-6	
11/10/14	11	AS NOTED	16



DETAIL 1
(SCALE: 1/2"=1'-0")

