



HOLLAND  
ARCHITECTURAL  
1413 PRESTON AVENUE  
AUSTIN, TEXAS 78703  
512-577-2061



NASH GOEHRING RESIDENCE  
2502 JARRATT AVENUE  
AUSTIN, TEXAS 78703

SHEET

A-0.0

8-28-2015





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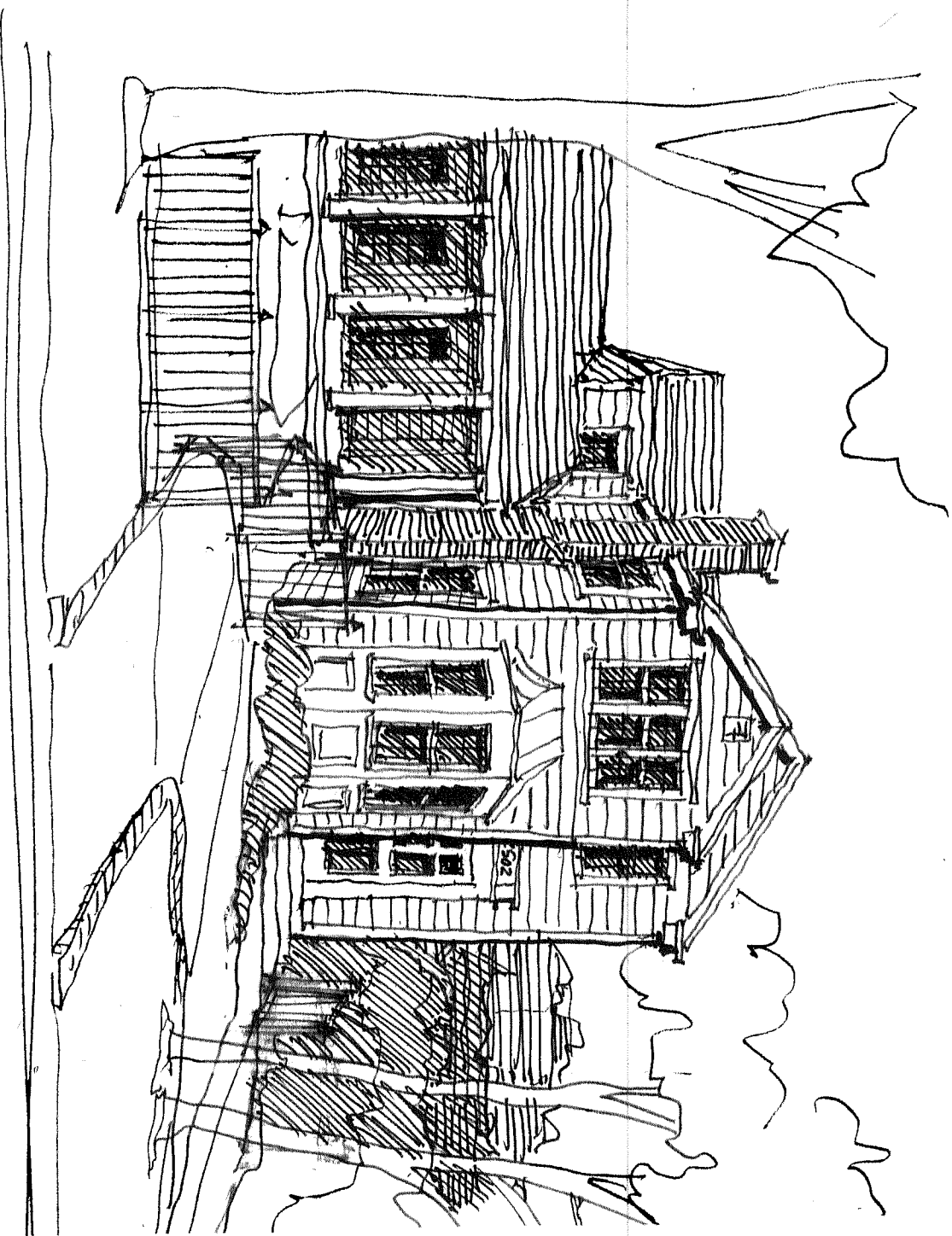


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SCALE  
1/8" = 1' - 0"  
1,709 SF

COVER  
A-0  
8-28-2015

LIST OF SHEETS

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A-1	SITE PLAN
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A-2.4	ROOF PLAN
A-3.1	ELEVATION
A-3.2	ELEVATION
A-3.3	ELEVATION
A-3.4	ELEVATION
A-3.5	ELEVATION
A-3.4	SIDE/SOUTH ELEVATION
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	SITE WORK
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SPEC-3	THERMAL CONTROL
	MOISTURE CONTROL
SPEC-3	THERMAL CONTROL
SPEC-4	DOORS AND WINDOWS
SPEC-5	FINISHES



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COVER  
SHEET  
A-0  
9-19-15

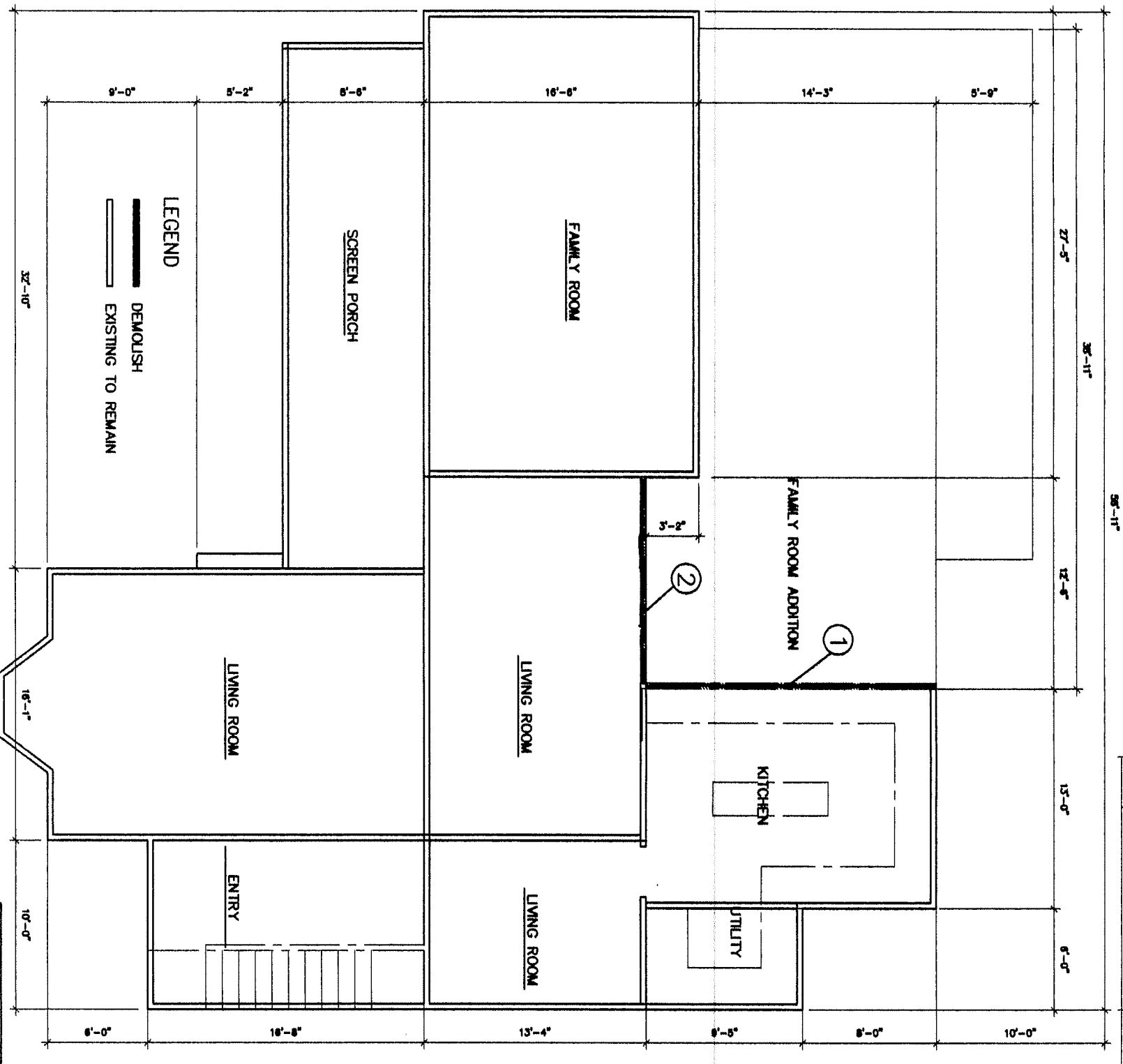
**IMPERVIOUS COVER**

## SITE PLAN



NOTES TO SHEET

- 1 REMOVE THE WALL BETWEEN THE KITCHEN AND FAMILY ROOM ADDITION AS REQUIRED TO RECEIVE THE HEADER BEAM NO.1
- 2 REMOVE WALL BETWEEN THE DINING ROOM AND THE FAMILY ROOM ADDITION AS REQUIRED TO RECEIVE THE HEADER BEAM NO.2



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AUSTIN, TEXAS 78703



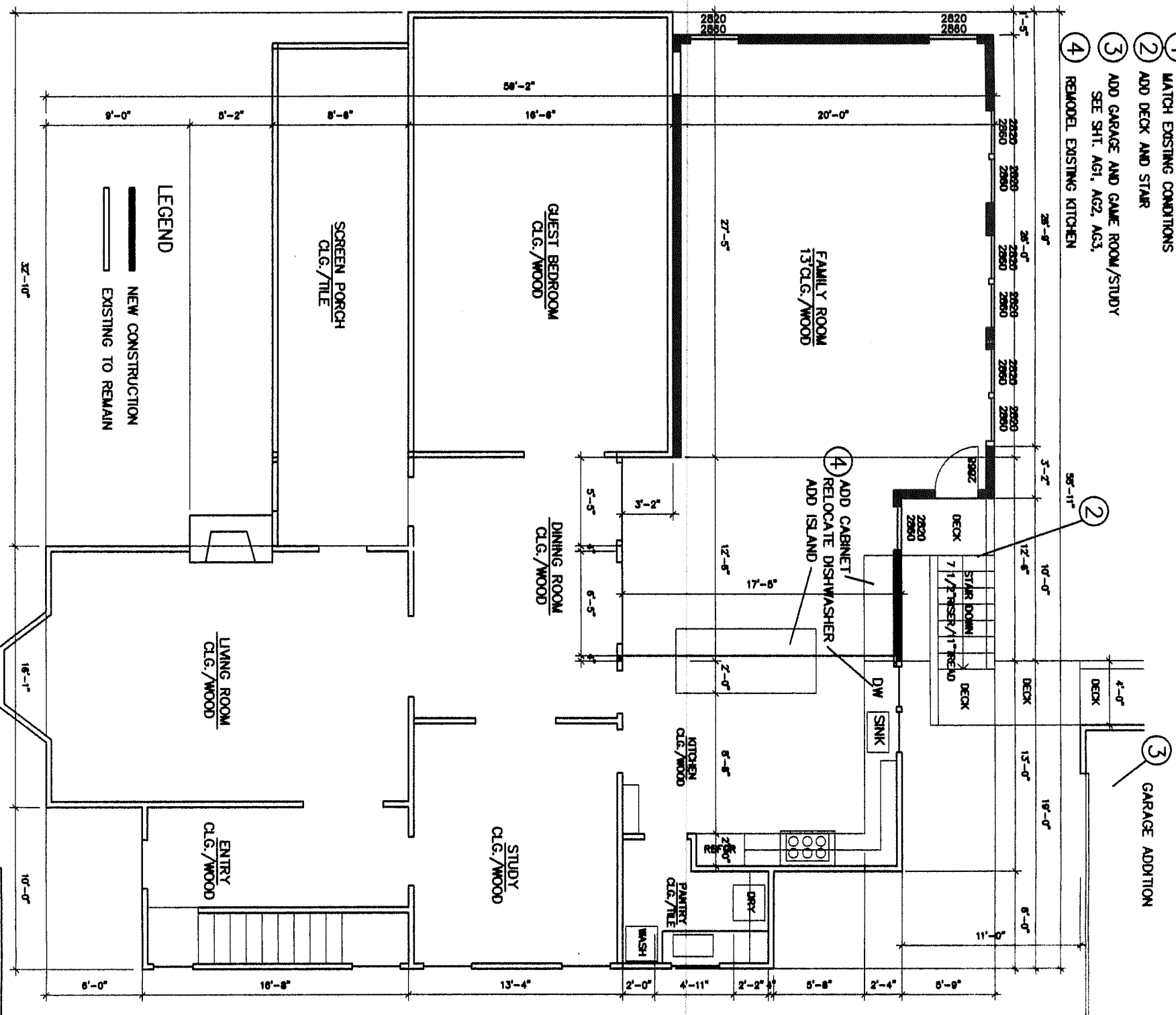
SCALE  
1/8" = 1'-0"

FIRST FLOOR  
DEMO PLAN

A-2.1  
9-19-2015

NOTES TO SHEET

- 1 ADD FAMILY ROOM ADDITION AND REMODEL KITCHEN MATCH EXISTING CONDITIONS
- 2 ADD DECK AND STAIR
- 3 ADD GARAGE AND GAME ROOM/STUDY SEE SHIT. AG1, AG2, AG3.
- 4 REMODEL EXISTING KITCHEN



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SCALE  
1/8" = 1'-0"

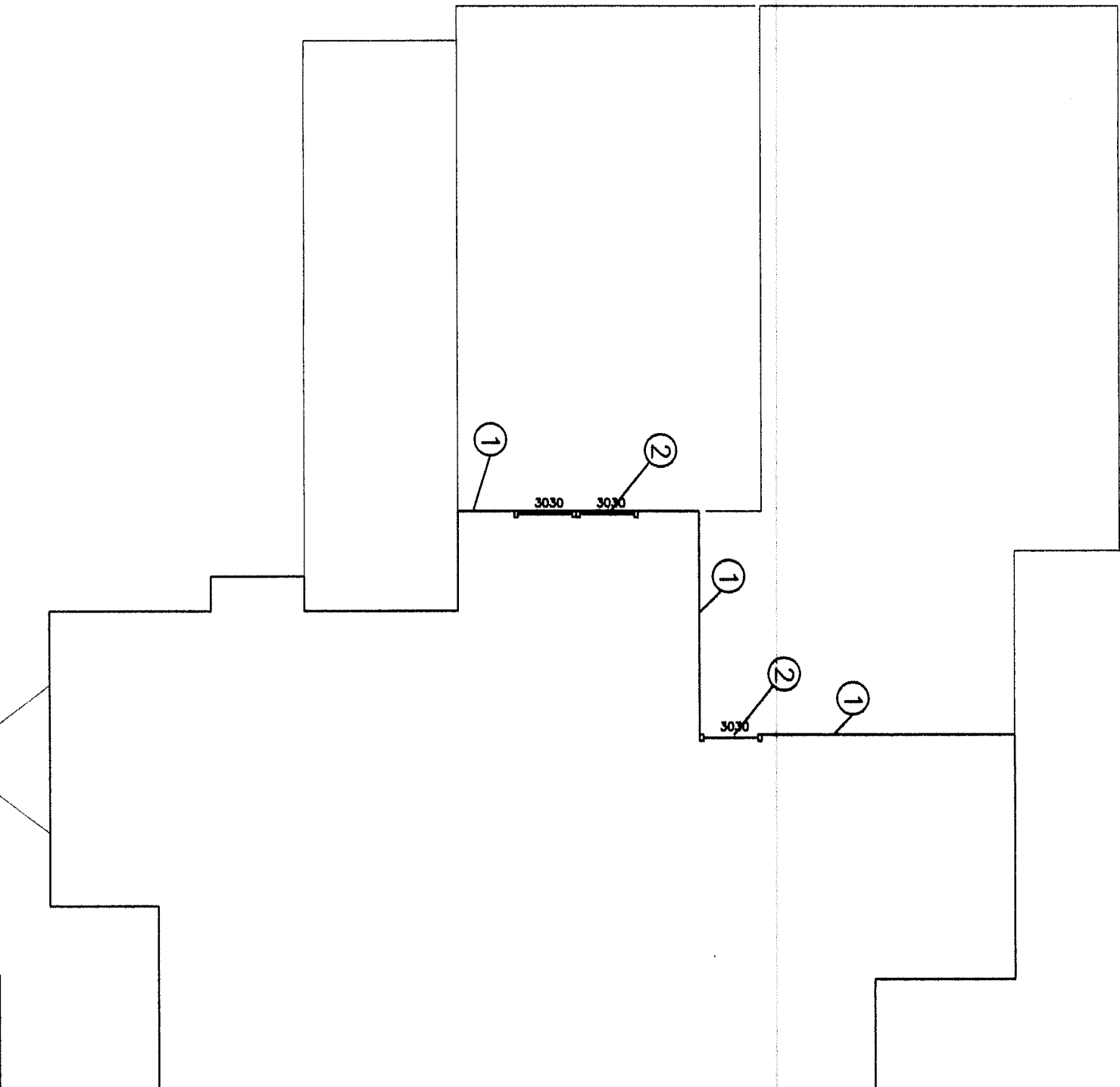
FIRST FLOOR  
REMODEL

A-2.2  
9-18-2015



NOTES TO SHEET

- 1 REPAIR EXISTING WALLS TO RECEIVE NEW ROOFING
- 2 ADD GALV. FLASH AND WEARLAME WATERPROOF
- 3 REPLACE/REPAIR EXISTING WALLS TO MATCH EXISTING CONDITIONS



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SCALE  
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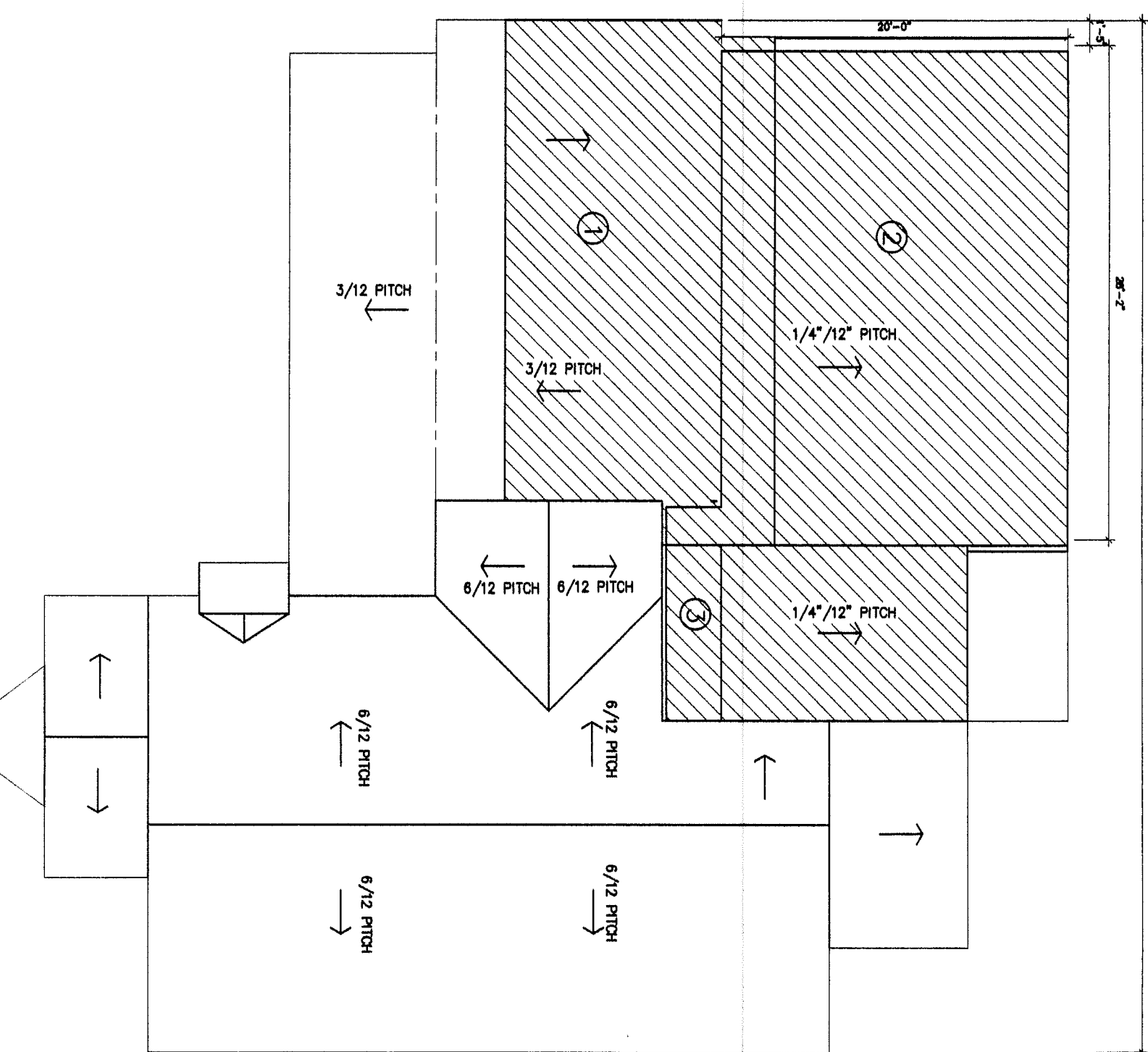


SECOND  
FLOOR PLAN

A-2.3  
9-19-2015

NOTES TO SHEET

- 1 ADD COPPOSITION SHINGLE ROOF EXTENSION OF EXISTING FRAMING
- 2 MATCH EXISTING CONDITIONS
- 3 MATCH EXISTING 3/12 PITCH ROOF
- 4 VERIFY EXISTING CONDITIONS
- 5 ADD TORCH DOWN FLAT ROOF UNDER WINDOWS
- 6 SEE SHIT. A4.1 BUILDING SECTION
- 7 SEE SHIT. A4.2 FOUNDATION PLAN
- 8 SEE SHIT. A4.3 ROOF FRAMING PLAN



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SCALE  
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ROOF PLAN  
REMODEL

A-2.4  
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NOTES TO SHEET

- 1

ADD ONE STORY ADDITION

2

REPLACE WITH 30X30 WINDOWS

3

MATCH EXISTING 3/12 PITCH ROOF  
VERIFY EXISTING CONDITIONS

4

MATCH EXISTING SIDING W/ HARD PLANT SIDING  
REPLACE AND/OR REPAIR AS REQUIRED

5

FLAT ROOF UNDER WINDOW  
REPLACE AND/OR REPAIR AS REQUIRED
- 6

ADD HEADER BEAM NO. 1  
AT EXISTING KITCHEN WALL

7

ADD HEADER BEAM NO. 2  
AT EXISTING DINING WALL

8

TRANSFER SECOND FLOOR LOAD TO BEAM  
VERIFY EXISTING CONDITIONS

9

ADD 2X6 STUD WALL  
REPLACE AND/OR REPAIR AS REQUIRED

10

FLAT ROOF UNDER WINDOW  
REPLACE AND/OR REPAIR AS REQUIRED
- 6

ADD HEADER BEAM NO. 1  
AT EXISTING KITCHEN WALL

7

ADD HEADER BEAM NO. 2  
AT EXISTING DINING WALL

8

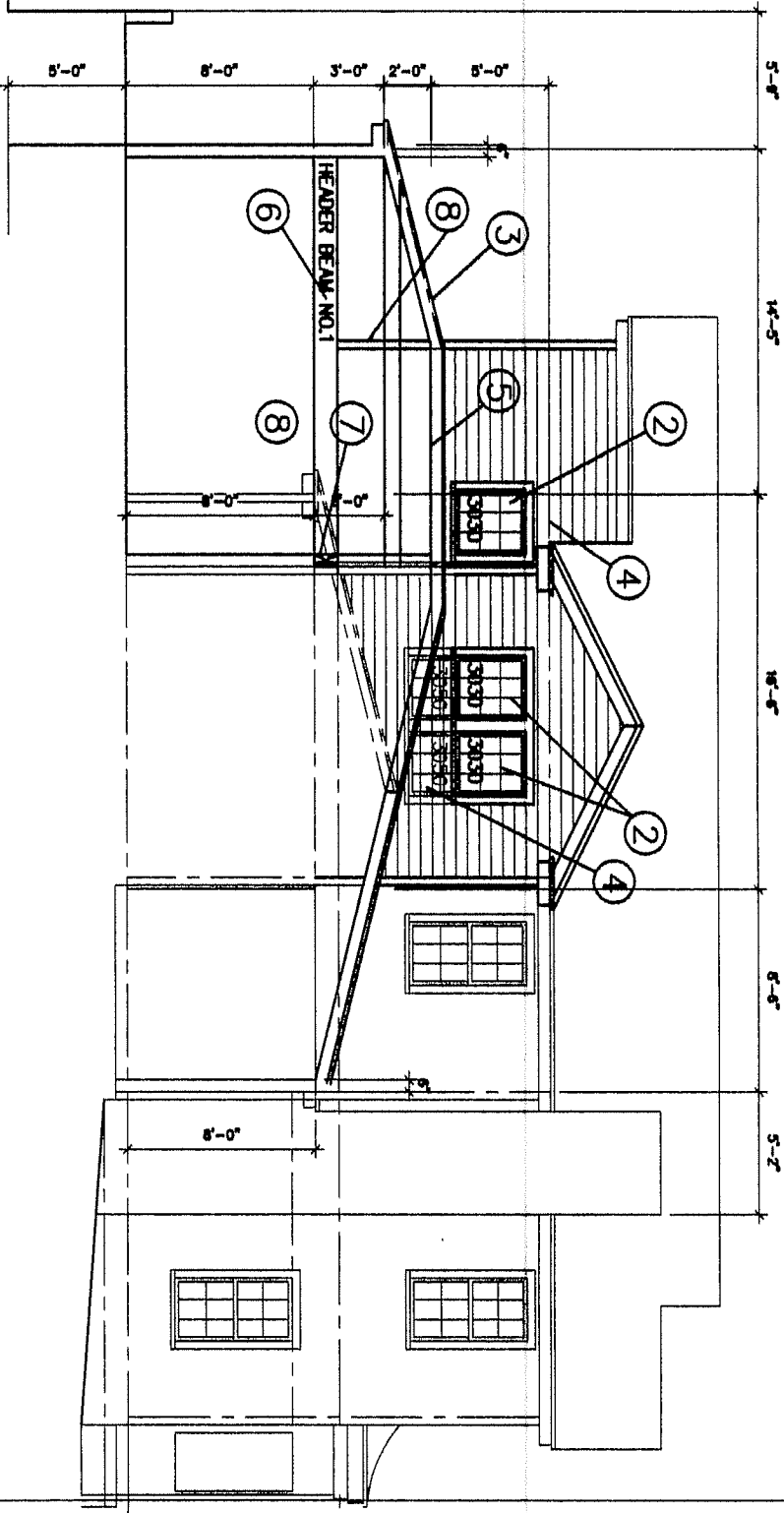
TRANSFER SEC. FLOOR LOAD TO BEAM  
VERIFY EXISTING CONDITIONS

9

ADD 2X6 STUD WALL  
REPLACE AND/OR REPAIR

10

FLAT ROOF UNDER WINDOW  
REPLACE AND/OR REPAIR



SOUTH ELEVATION/BUILDING SECTION

SCALE 1/8" = 1'-0"



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ELEVATION

SHEET

A-3.3

9-19-2015



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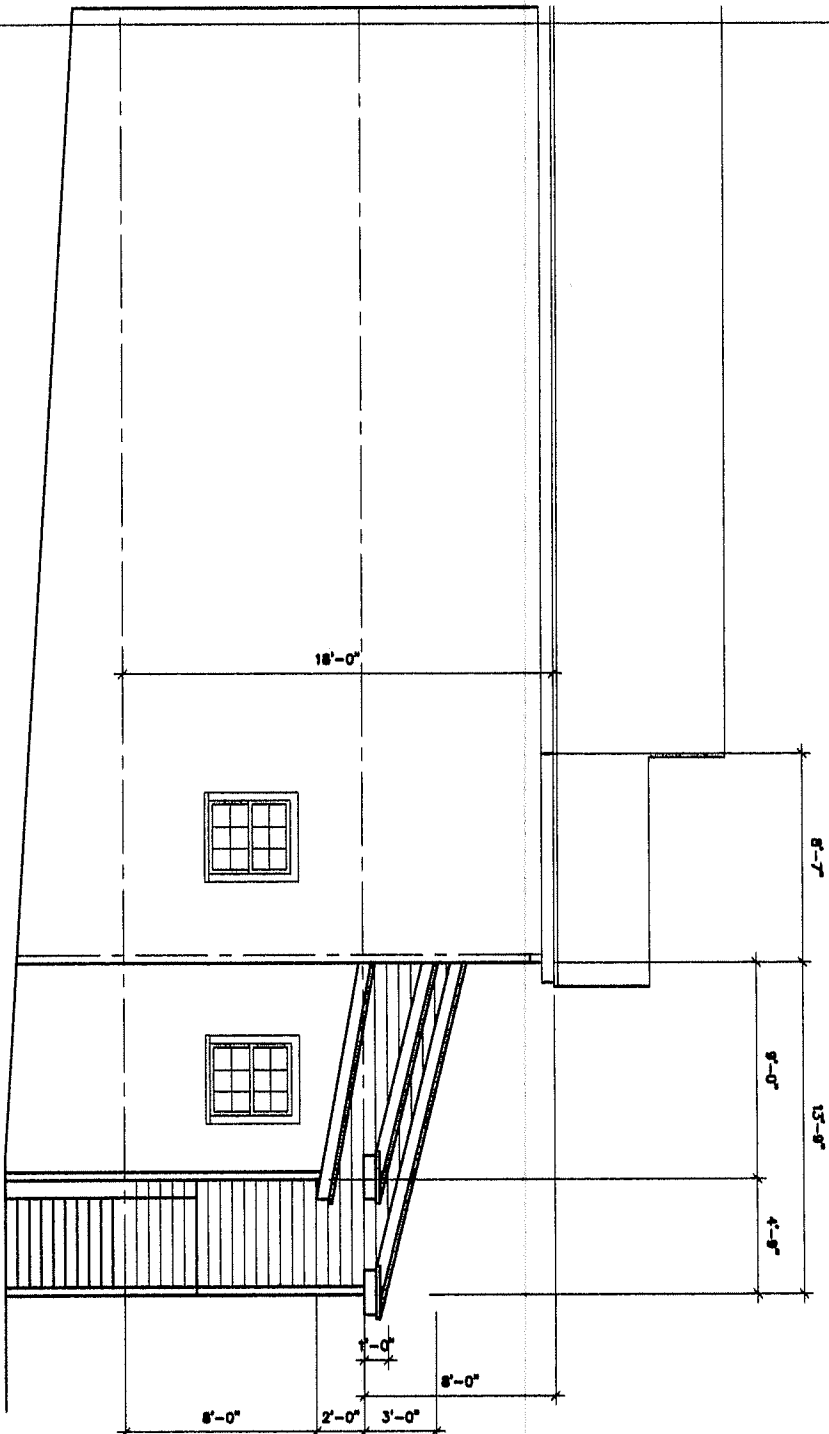
KKK 9-19-15

ELEVATION

SHEET

A-3.4

9-19-2015

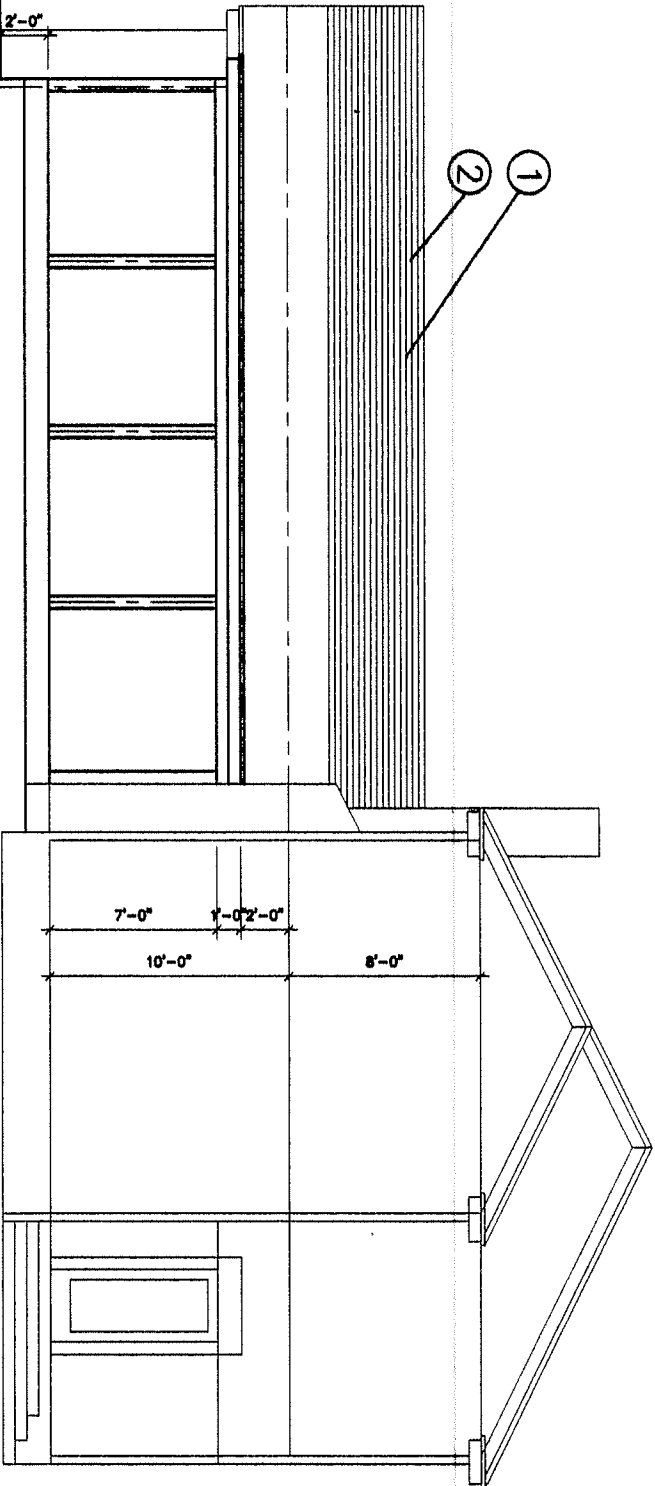


NORTH - SIDE ELEVATION

SCALE 1/8" = 1'-0"



- NOTES TO SHEET
- ① EXTEND EXISTING ROOF
- ② MATCH EXISTING 3/12 PITCH ROOF
- ② VERIFY EXISTING CONDITIONS



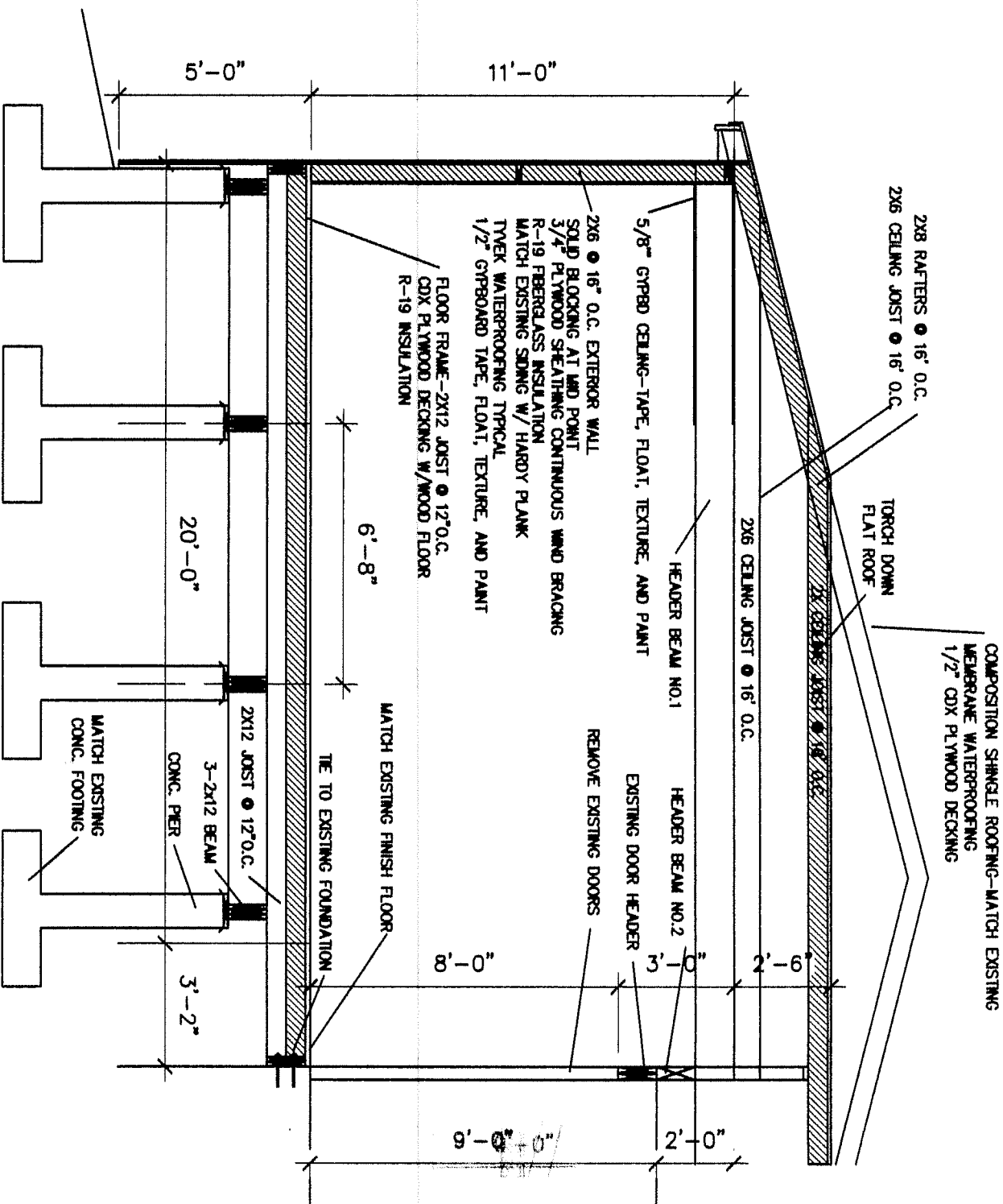
BUILDING SECTION – EAST FRONT ELEVATION

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FRONT  
ELEVATION  
SHEET  
A-3.5  
9-19-15



STRUCTURAL ENGINEER NOTES

1. ENGINEER DESIGN TO BE VERIFIED WITH SOILS REPORT RECOMMENDATIONS.
2. FOOTING DESIGN TO MATCH EXISTING TO BE VERIFIED AFTER DEMOLITION PERMIT APPROVED AND EXISTING CONDITIONS EXPOSED.
3. FLOOR FRAMING AND CONNECTION TO EXISTING TO BE VERIFIED AFTER DEMOLITION AND EXISTING CONDITIONS EXPOSED.
4. ROOF FRAMING AND HEADER BEAM DESIGN VERIFIED AFTER DEMOLITION TO EXPOSED EXISTING CONDITIONS.
5. ENGINEER WILL SERVE AS SPECIAL INSPECTOR AS PER COA SPECIFICATIONS.
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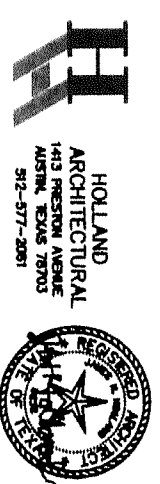
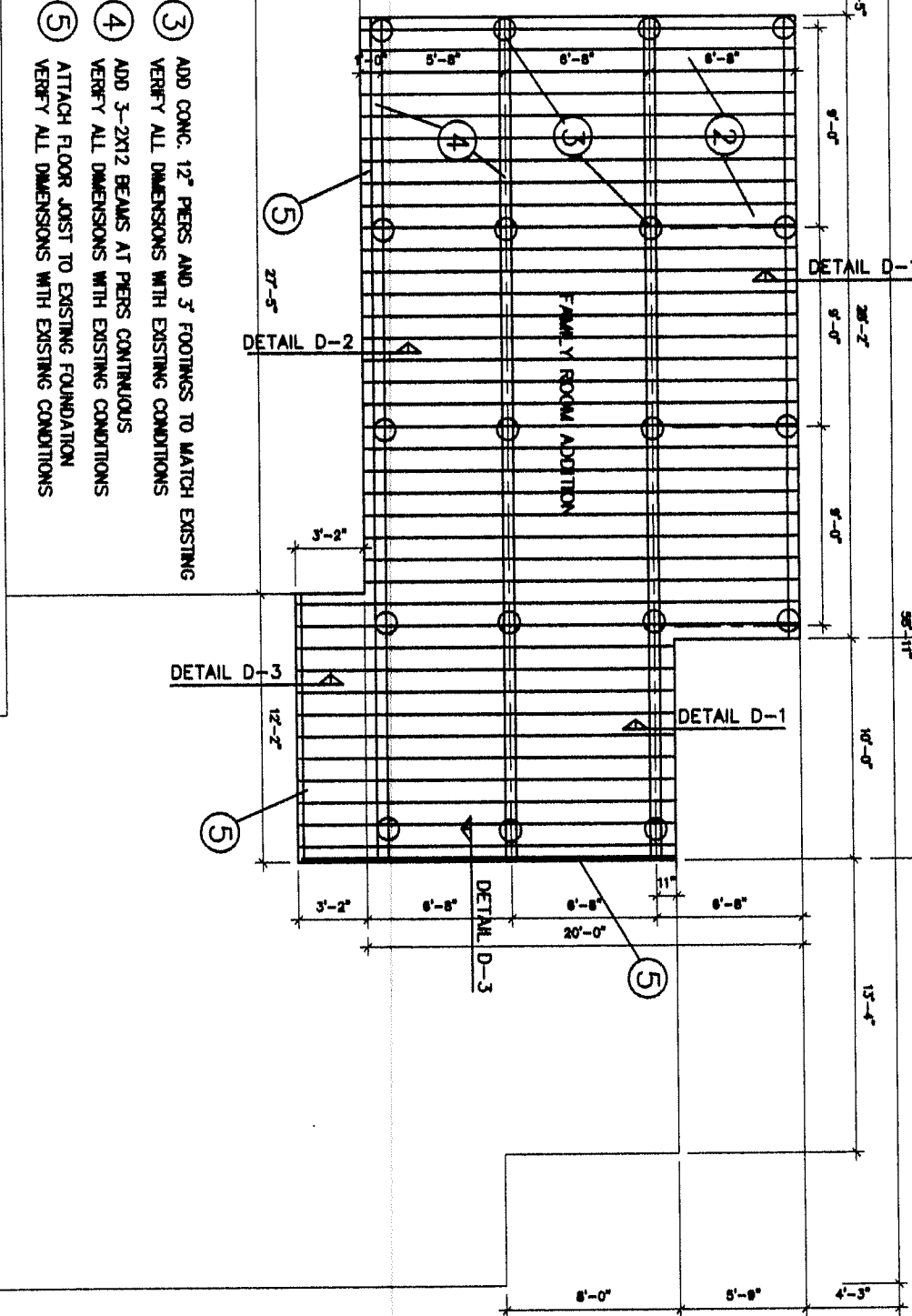
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SCALE 1/4" = 1'-0"

BUILDING  
SECTION  
S-1.1  
9-23-2015

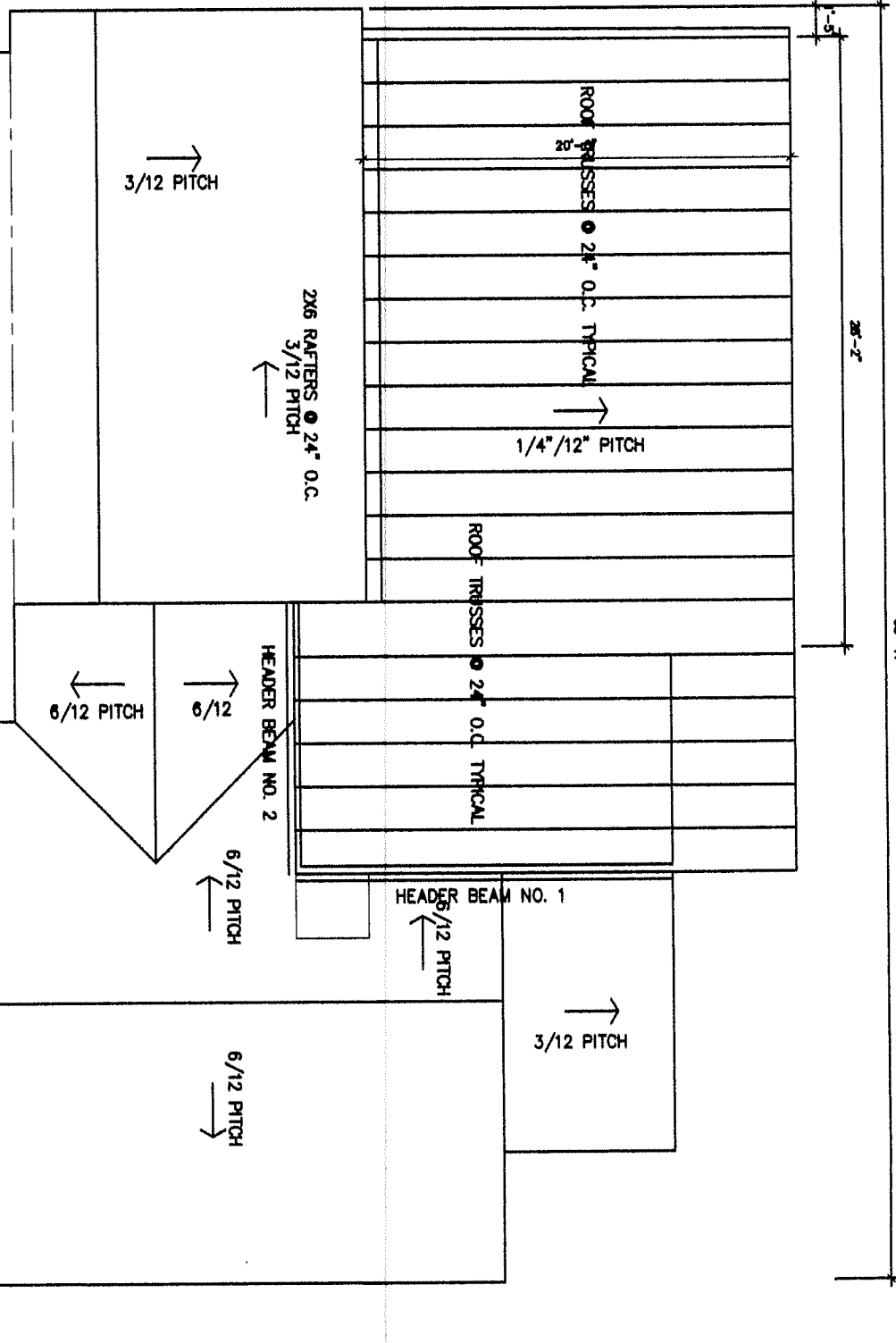
BUILDING  
SECTION  
A-4.1  
9-23-2015

NOTES TO SHEET

- 1 ADD PIER AND BEAM FOUNDATION SIMILAT TO EXISTING  
VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS
- 2 ADD 2X12 FLOOR JOISTS @ 12" O.C. TYPICAL  
ADD 3/4" CDX PLYWOOD DECKING SIMILAR TO EXISTING

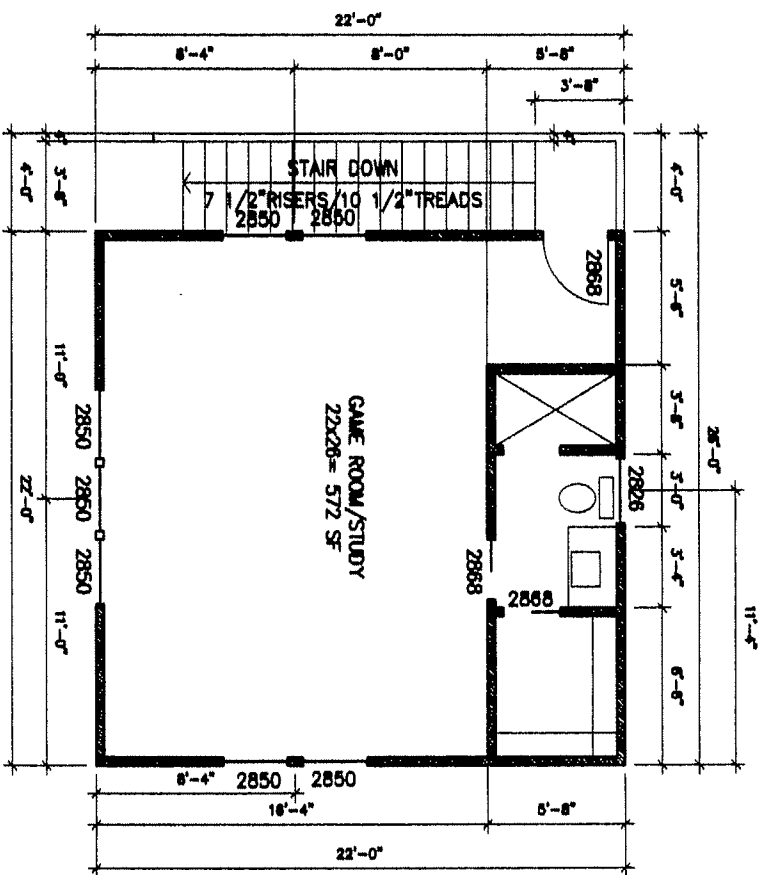


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A-4.2  
9-19-2015



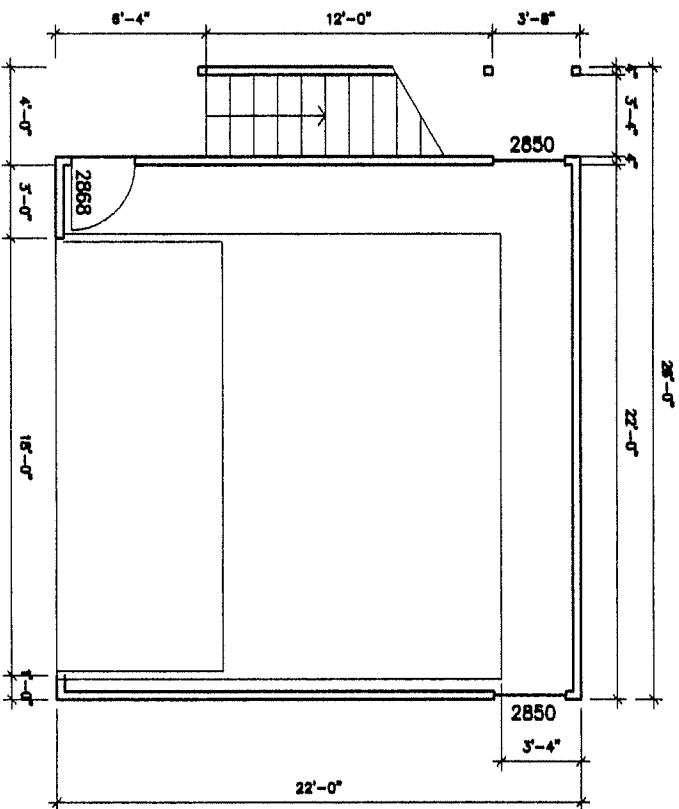
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A-4.3  
9-19-2015





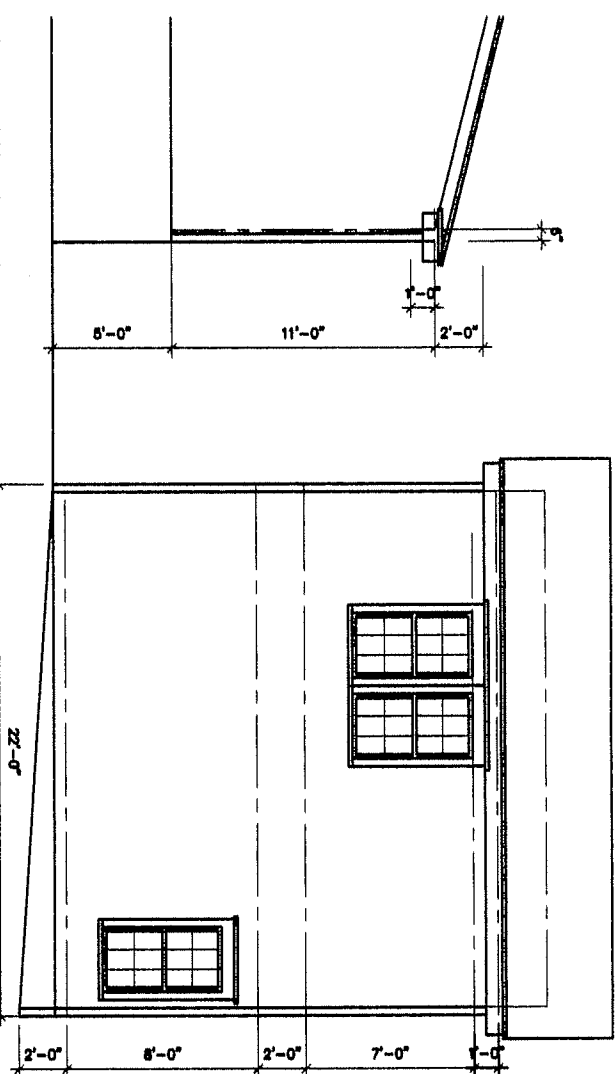
SECOND FLOOR PLAN

1/8" = 1'-0"



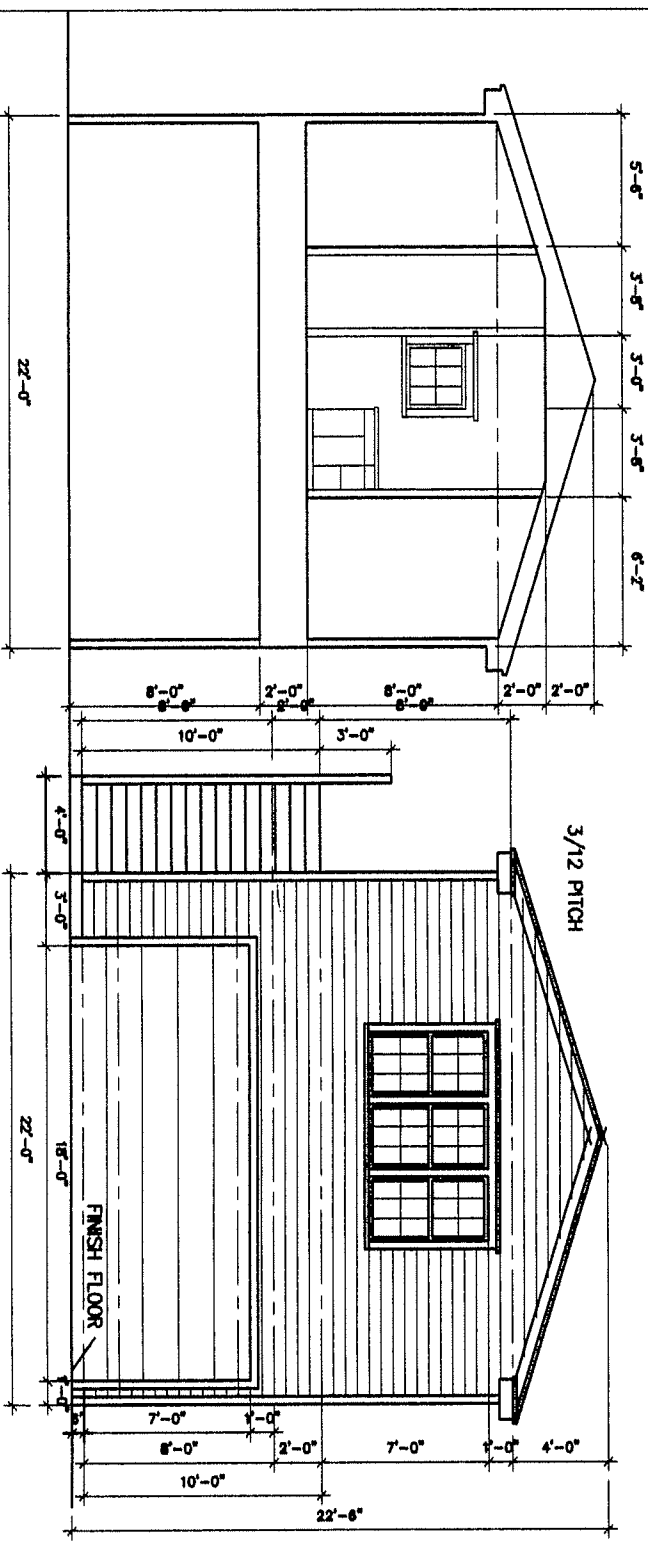
FIRST FLOOR PLAN

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"

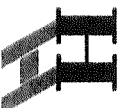


BUILDING SECTION

1/8" = 1'-0"

EAST ELEVATION

1/8" = 1'-0"



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SCALE  
1/8" = 1'-0"

GARAGE  
PLAN  
AG-1  
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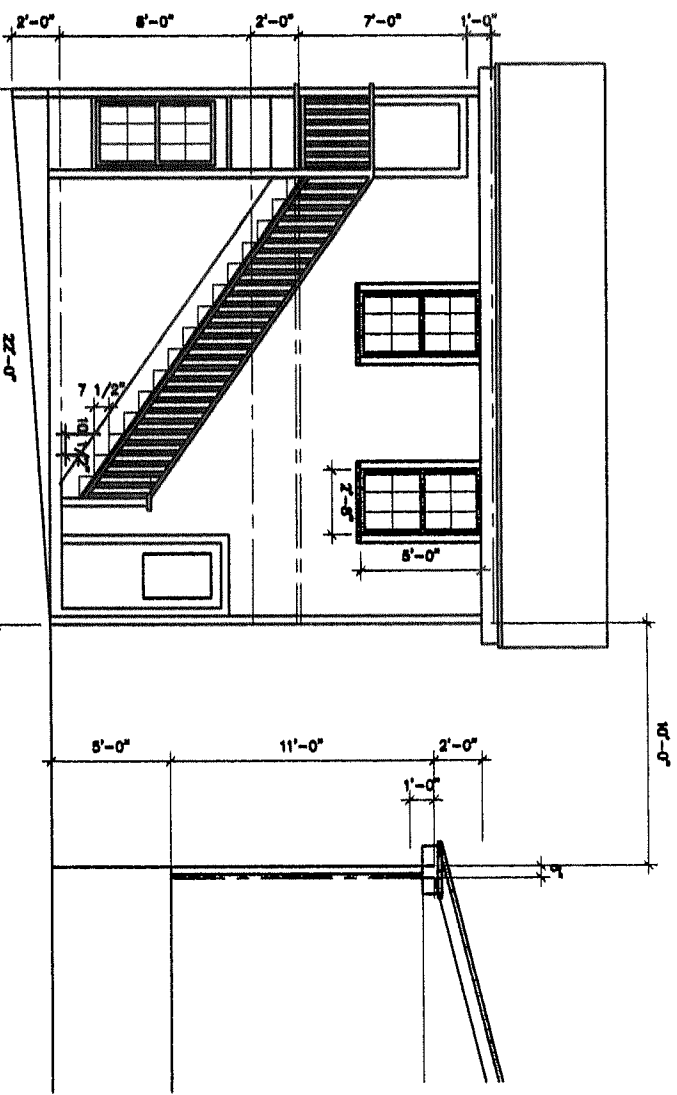


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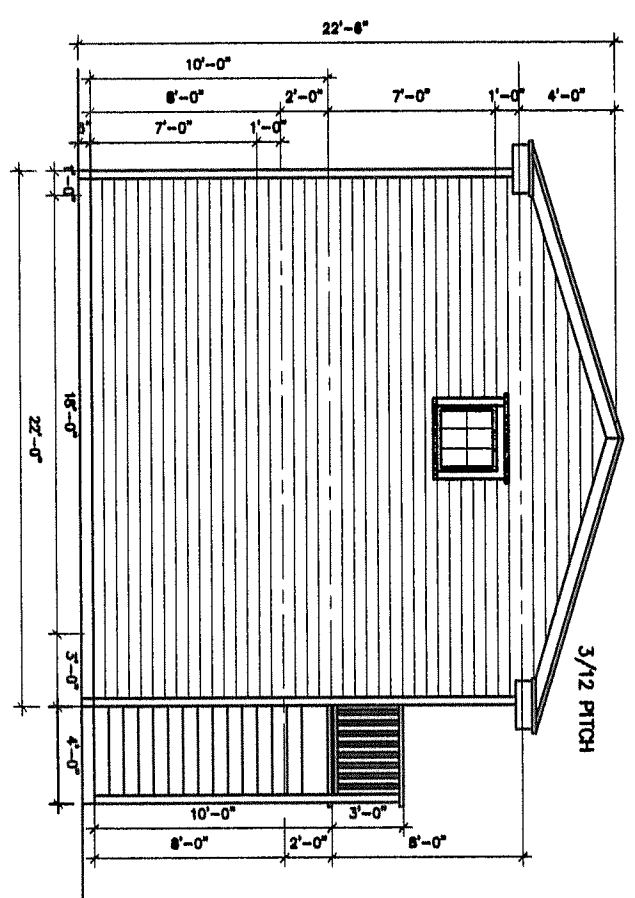
SCALE  
1/8" = 1'-0"

GARAGE  
PLAN  
AG-2  
9-19-15



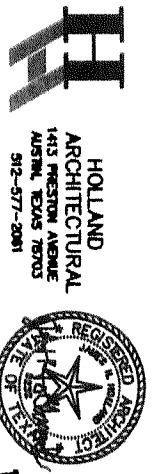
SOUTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"



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GARAGE  
PLAN  
AG-3  
9-19-2015

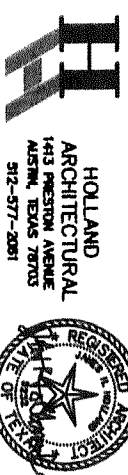
## DIVISION 1 GENERAL CONDITIONS

### A. SUMMARY OF WORK

1. ALL CONSTRUCTION TO BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER ACCORDING TO THE A.I.A. GENERAL CONDITIONS, ALL APPLICABLE CODES AND GENERALLY ACCEPTED BUILDING PRACTICES, AND THE UNIFORM BUILDING CODE, AS REQUIRED TO CONSTRUCT A COMPLETE PROJECT.
  2. CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB BEFORE ORDERING ANY MATERIALS OR COMMENCING WITH ANY WORK.
  3. CONTRACTOR TO NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES IN THE PLANS, SPECIFICATIONS, OR ACTUAL CONDITIONS THAT AFFECT THE CONSTRUCTION COST OR EXECUTION.
  4. CONTRACTORS ARE TO OBTAIN AND PAY FOR ANY BUILDING PERMITS.
  5. CONTRACTORS TO EXECUTE THE CONSTRUCTION AS REQUIRED TO GET ALL GREEN TAGS AND THE CERTIFICATE OF OCCUPANCY.
  6. SUBSTITUTIONS FOR PRODUCTS OF EQUAL QUALITY TO BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO INSTALLATION.
  7. PROVIDE SAMPLES OR MOCKUPS OF ALL MATERIALS TO BE SELECTED.
  8. CONTRACTORS TO REMOVE ALL THEIR DEBRIS FROM THE SITE, LEAVING THE PROJECT CLEAN AND ALL INSTALLATIONS IN OPERATING CONDITION.
- ### B. ALTERNATES AND CHANGE ORDERS
1. TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO INSTALLATION.
  2. ALL CHANGE ORDERS TO BE IN WRITING.
  3. DESCRIBE ALL CHANGES AS TO CHANGE IN CONSTRUCTION AND MATERIAL, IN COST, AND IN CONSTRUCTION TIME EXTENSION OR REDUCTION.
- ### C. INSURANCE
1. PROVIDE BUILDERS RISK.
  2. PROVIDE GENERAL LIABILITY
  3. PROVIDE WORKERS COMP.
- ### D. MAINTENANCE AND WARRANTIES
1. GENERAL CONST. WARRANTY FOR ONE YEAR FROM COMPLETION.
  2. RELEASE OF LIENS FOR LABOR AND MATERIALS FROM ALL SUPPLIERS AND ALL SUB CONTRACTORS.
  3. EQUIPMENT WARRANTIES.

## DIVISION 2 SITE WORK

- ### A. SUBSURFACE INVESTIGATION AND SURVEY BY OWNER, SEE ENGINEER.
1. OWNER TO PROVIDE BUILDING LAY OUT SURVEY OF BUILDING, EASEMENTS, SET BACKS, AND EXISTING TREES.
  2. CONTRACTOR TO PROVIDE SLAB SURVEY CERTIFYING THAT ALL BUILDINGS DO NOT ENCROACH INTO SET BACKS OR EASEMENTS.
- ### B. SITE PREP AND GRADING
1. ROUGH GRADE AND FILL ALL EXCAVATED AREAS AS REQUIRED TO ALLOW SURFACE WATER TO DRAIN AWAY FORM THE STRUCTURES.
  2. FINISH GRADE AT ALL LANDSCAPED AREAS WITH A MINIMUM OF 4" OF SANDY LOAN TOP SOIL AS REQUIRED TO RECEIVE PLANTINGS.
- ### C. UTILITIES:
1. ELECTRIC: EXISTING OVERHEAD SERVICE AND METER TO REMAIN.
  2. WATER: EXISTING SERVICE AND METER TO BE REMAIN.
  3. WASTE WATER: EXISTING SERVICE TO REMAIN.
- ### D. TEMPORARY FACILITIES
1. GENERAL CONTRACTOR TO PROVIDE TEMPORARY SANITARY FACILITIES.
  2. OWNER TO PROVIDE CONTINUOUS MAINTENANCE AND PAYMENT OF ALL TEMPORARY UTILITIES: POWER, WATER, AND GAS.



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SPEC-1  
9-19-2015



DIVISION 7 THERMAL/MOISTURE PROTECTION

- A. INSULATION
1. FIBERGLASS BLANKET INSULATION.
    - ATTIC: R-42
    - EXTERIOR WALLS: R-13 @ 2X4 STUDS AND R-19 @ 2X6 STUDS
    - BETWEEN FLOORS: R-19
    - INTERIOR WALLS: R-13 TYPICAL ALL WALLS UNLESS OTHERWISE NOTED.
  2. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
    - OWENS CORNING OR APPROVED EQUAL
- B. ROOFING
1. COMPOSITION SHINGLE ROOFING, TYPICAL
    - COLOR: PROVIDE SAMPLE FOR SELECTION BY OWNER
    - MANUFACTURER: BARRIAGE OR APPROVED EQUAL.
    - INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
    - ALTERNATE SEE PLANS FOR LOCATION
  2. SINGLE MEMBRANE ROOFING
    - COLOR: PROVIDE SAMPLE FOR SELECTION BY OWNER
    - MANUFACTURER: BARRIAGE OR APPROVED EQUAL.
    - INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
- C. WATERPROOFING
1. FLASHING - COR-R-TEX DUPLEX 3 OZ. BY YORK OR APPROVED EQUAL.
  2. DAMP PROOFING
    - GLASFAB 6" WIDE FIBERGLASS MASTIC JOINT SEALANT OR APPROVED SHEATHING WATERPROOFING TAPE.
    - WATERPROOF ALL HORIZON. AND VERT. JOINTS AS REQ'D.
  3. CAULKING
    - GUN APPLIED NON STAINING BUTYL TYPE BY KAUKIT OR EQUAL.
    - PERMANENTLY FLEXIBLE, PRINTABLE QUALITY.
  4. BACKER ROD
    - PRE FORMED CLOSED CELL ETHALFOAM BY DOW OR EQUAL.
    - APPLY TO CRACKS OVER 1/8" WIDE PRIOR TO CAULKING.
  5. SEALANT
    - SONOLASTIC BY SONNBOERNE OR EQUAL.
    - PERMANENTLY FLEXIBLE, PRINTABLE QUALITY.
  6. WALL PLATE SEALANT UNDER ALL SILLS AND AROUND ALL OPENINGS
    - POLCELONE BY COPLANAR OR EQUAL.
  - D. 6" GUTTERS AND DOWN SPOUTS @ ALL EAVES AS REQUIRED.
    - GALV. METAL GUTTERS AND DOWN SPOUTS OR APPROVED EQUAL.
    - COLOR SELECTION BY OWNER
  2. DRAIN ALL GUTTERS & DOWN SPOUTS TO RAIN WATER COLLECTION PONDS.
- E. INSTALLATION
1. PROVIDE AND INSTALL ALL LABOR AND MATERIALS REQUIRED TO FURNISH A COMPLETE INSTALLATION.
  2. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.



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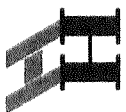
JKK 9-14-15

SPEC-3

9-19-2015

DIVISION 6 CARPENTRY

1. EXTERIOR PARTITIONS
  - 2X4 SPF WOOD STUDS @ 16" O.C. TYPICAL UNLESS OTHERWISE NOTED.
  - 2X6 SPF WOOD STUDS AT 16" O.C. AT PLUMBING WALLS, SEE PLANS.
  - PROVIDE WALL ANCHORS MIN. 1/2"x6" STL. HOOKED BAR 6" INTO CONC. @ 4'O.C.
  - TREATED SILL PLATE WITH WATERPROOFING BARRIER, TYPICAL.
  - ANCHOR BASE PLATE AS REQUIRED, SEE STRUCTURAL.
  - FIRE BLOCK: 2X4 OR 2X6 SOLID BETWEEN STUDS @ 4' O.C. VERTICAL TYPICAL.
  - SIMILAR BLOCKING FOR EQUIPMENT AND WALL PENETRATIONS, TYPICAL.
  - WIND BRACING: 7/16" OSB BOARD SHEATHING CONTINUOUS ALL EXTERIOR WALLS.
  - WATERPROOF TAPE ALL EXPOSED JOINTS AS PER MANUF. REC'S.
  - CORNER BRACING SIMILAR TO WIND BRACING.
  - INSTALL PLUMB, TRUE, LEVEL, AND STRAIGHT AS REQ'D.
  - R-13 FIBERGLASS BLANKET INSULATION, TYPICAL ALL WALLS.
2. INTERIOR PARTITIONS
  - 2X4 SPF WOOD STUDS @ 16" O.C. TYPICAL UNLESS OTHERWISE NOTED.
  - 2X6 SPF WOOD STUDS @ 16" O.C. AT ALL PLUMBING WALLS.
  - 1/2" GYPBOARD BOTH SIDES OF STUD: TAPE, FLOAT, TEXTURE, PAINT.
  - R-13 FIBERGLASS BLANKET INSULATION, TYPICAL ALL WALLS.
  - PAINT ALL EXPOSED SURFACES
3. FLOOR FRAMING
  - TREATED WOOD FLOOR JOIST AND BEAMS, SEE ENGINEERING.
  - FLOOR DECKING: STURDY FLOOR PLYWOOD, INSTALL W/ GLUE ALL JOINTS
  - INSULATION: R-19 BLANKET FIBERGLASS INSULATION, TYPICAL
  - INSTALL W/ RING SHANK NAILS AS PER MANUFACTURER RECOMMENDATIONS.
  - MAINTAIN 12" CLEAR BETWEEN FRAMING AND FINISH GRADE TYPICAL.
4. ROOF FRAMING
  - MIN. 2X8 RAFTERS AND 2X6 CEILING JOIST 16" O.C. TYPICAL.
  - SEE ROOF FRAMING PLAN AND STRUCTURAL
  - DECK: 1/2" CDX PLYWOOD TYPICAL.
  - SINGLE MEMBRANE ROOFING W/ 1X2 LATHDECK AND TILE ROOFING TYPICAL.
5. INTERIOR TRIM
  - BASE: 1X6 WOOD PAINTED, MATCH EXISTING.
  - JAMB: 1X3 WOOD PAINTED, MATCH EXISTING.
  - SILL: ROUNDED WOOD OR CONC., MATCH EXISTING OR APPROVED EQUAL
6. SIDING
  - 8" LAP HORIZ. HARDY SIDING.
  - PAINT ALL EXPOSED SURFACES, TYPICAL.
7. CABINETS
  - PLYWOOD AND HARDWOOD FRAMES ONLY.
  - STAIN GRADE EXPOSED MATERIALS TYPICAL.
  - SOLID SURFACE COUNTERS AND BACK SPASH TYPICAL.
  - SEE INTERIOR ELEVATIONS.
  - INSTALL A COMPLETE PRODUCT PLUMB AND LEVEL AS REQ'D.
  - VERIFY EXISTING CONDITIONS BEFORE ORDERING OR INSTALLING.



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NASH GOEHRING RESIDENCE  
2502 JARRATT AVENUE  
AUSTIN, TEXAS 78703  
SCALE 1/4" = 1'-0"

JKK 9-14-15

SPEC-2

9-19-2015

DIVISION 9 FINISHES

A. EXTERIOR FINISHES

1. SITE

- DRIVEWAY - CONCRETE W/ BROOM FINISH
- SIDEWALK - MUD SET FIELDSTONE W/ CONCRETE BASE
- PATIO - MUD SET FIELD STONE ON CONCRETE SLAB
- COURTYARD - GRANITE GRAVEL ON SAND BASE W/ 6"x1/2" STEEL EDGE
- INSTALLATION - SEE DETAILS

2. RESIDENCE

- ROOF - COMPOSITION SHINGLE - STYLE AND COLOR SELECTION BY OWNER
- WALLS - HARDI SIDING - COLOR AND FINISH SELECTION BY OWNER.
  - REPAIR EXISTING U.O.N.
- WINDOWS - WOOD ALUM CLAD -SEE SCHEDULE
  - MANUF. JELL WEN OR EQUAL
- DOORS - WOOD PAINTED - COLOR SELECTION BY OWNER.
  - HARDWARE - BALDWIN DARK BRONZE - MATCH EXISTING LEVER TYPE
- TRIM - MATCH EXISTING MOULDING, COLOR SELECTION BY OWNER.

B. INTERIOR FINISHES

1. FLOORS

- OAK - 3" ENGINEERED STAINED ON SITE, COLOR BY OWNER ALLOW \$ 30/SF
- TILE - MUD SET AND THIN SET ( BATHROOMS AND UTILITY ) ALLOW \$ 30/SF
- PROVIDE SAMPLES OF MATERIAL AND FINISH FOR OWNER SELECTION
- INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.

2. WALLS AND CEILINGS

- GYPBOARD: TAPE, FLOAT, TEXTURE (SAND FINISH), AND PAINT
- TILE WAINSCOT - MUD SET W/ ALL EDGE, END, AND SILL PIECES REQUIRED.
- PROVIDE SAMPLES OF MATERIAL AND FINISH FOR OWNER SELECTION
- INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.

3. PAINT AND STAIN

- COLOR: PROVIDE SAMPLE FOR SELECTION BY OWNER
- MANUFACTURER: SHERMAN WILLIAMS HIGHEST QUALITY OR APPROVED EQUAL.
- MANUFACTURER: BENJAMIN MOORE HIGHEST QUALITY OR APPROVED EQUAL.
- INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
- PAINT ALL EXPOSED SURFACES AS REQUIRED.

4. COUNTER TOPS, EDGE, AND SPLASH - SOLID SURFACE

ALLOW \$ 60/SF

- COLOR: PROVIDE SAMPLE FOR SELECTION BY OWNER
- INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.

5. CASEWORK, MILLWORK, CABINETS - WOOD PAINTED - SEE DETAILS

- COLOR: PROVIDE SAMPLE FOR SELECTION BY OWNER

6. TRIM - MATCH EXISTING - WOOD PAINTED - SEE DETAILS

DIVISION 8 DOOR AND WINDOWS

A. DOOR TYPES: SEE SCHEDULES

1. EXTERIOR METAL CLAD WOOD.  
- SINGLE PANEL.

2. WOOD SLIDING GLASS DOOR, ALTERNATE  
- METAL PANEL PAINTED.

3. EXTERIOR WOOD ENTRY DOORS  
- WOOD FRENCH DOORS  
- 1 3/4" W/ GLASS PANELS. SEE SCHEDULE  
- SAFETY GLASS AS REQUIRED.

4. INTERIOR DOORS.  
- 1 3/8" WOOD 1-PANEL, MATCH EXISTING.  
- SAFETY GLASS AS REQUIRED.

5. DOOR HARDWARE - SEE SCHEDULE

- ENTRY: ACCESSIBLE LEVER LOCK SET AND DEAD BOLT
- INTERIOR: ACCESSIBLE LEVER LOCK SET OR PASSAGE SET
- MANUF' BALDWIN OR APPROVED EQUAL.
- INSTALL AS PER MANUF. SPECIFICATIONS

B. WINDOWS

1. WOOD WINDOWS ALUM. CLAD W/ PRIMED WOOD INTERIORS.  
- COLOR, PROVIDE SAMPLE FOR SELECTION BY OWNER  
- FRAME: VERIFY WIDTH WITH PARTITION TYPE AS REQUIRED.  
- INTERIOR FINISH: WOOD PAINTED.  
- GLASS: DOUBLE PANE LOW E INSULATED, CLEAR GLASS, TYPICAL.  
- EXTERIOR FINISH: ALUM CLAD, COLOR SELECTION BY OWNER.

2. WINDOW TYPES:

- TYPE 1 - DOUBLE HUNG
- TYPE 2 - DOUBLE HUNG EGRESS
- SEE ELEVATIONS AND SCHEDULES

3. MANUFACTURER.

- JELL WEN OR APPROVED EQUAL.

4. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.



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