













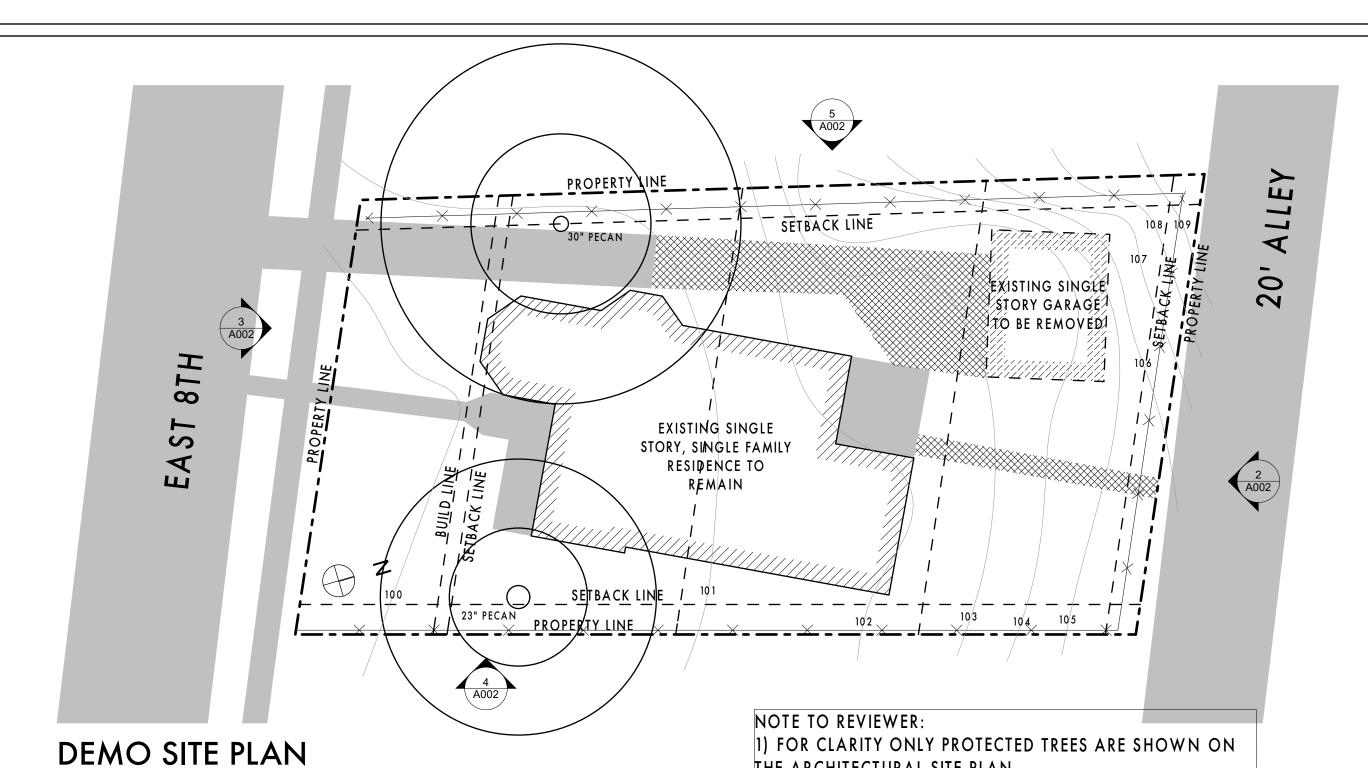


EAST 8TH GUEST HOUSE ATX **ARCHITECTS** p.o. box 81002, austin, tx 78708 512.809.0406 www.atxarchitects.com Project #: 150185 09.22.15 Chkd: **EMP** Sheet Number

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SITE LINE FROM STREET - EAST ELEVATION

SCALE: 1/8" = 1'.0"



SCALE: 1/16" = 1'-0"

PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

THE ARCHITECTURAL SITE PLAN.

NEW GARAGE AND

28.14' (24.00' MIN.)

2ND FLOOR GUEST

35.82' (TENT 3)

SETBACK LINE

EAST 8TH GUEST HOUSE

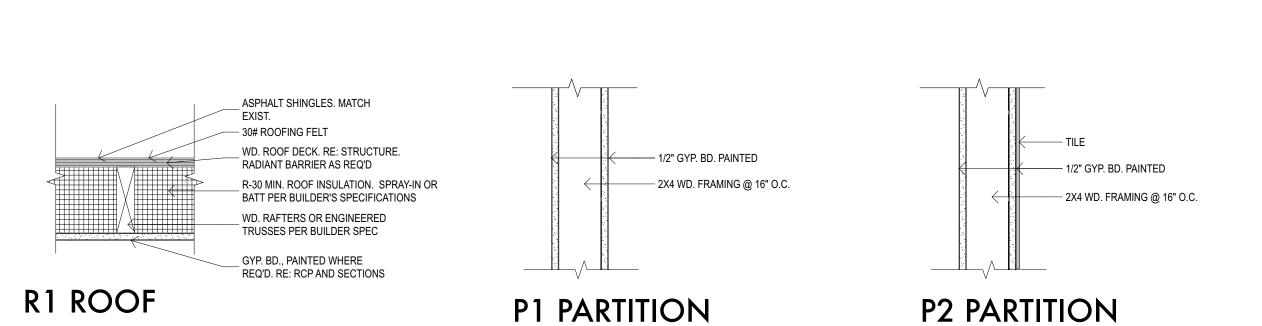
1012 EAST 8TH, AUSTIN, TEXAS



A) 1ST FLOOR CONDITIONED AREA

	UNCOVERED WOOD DECK OR STAIR
	EXISTING DRIVE OR PAVING TO BE REMOVED
	EXISTING DRIVE OR PAVEMENT
	NEW PAVING OR DRIVE
0	OVERHEAD ELECTRICAL SERVICE
	PROPERTY LINE
	SETBACK OR MCMANSION TENT LINE
103.00	TOPO LINE

1			
		ARCHITECTURAL SHEETS	7
	ID	Name	2
	A001	COVER AND GENERAL INFORMATION	
> [A002	SUBCHAPTER F EXHIBITS, SPECIFICATIONS	Ź
	A003	PLANS	2
\ \	A004	ELEVATIONS	
	A005	HISTORIC EXHIBITS	4
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STORY, SINGLE FAMILY RESIDENCE TO

	- NEW 1/2" GYP. BD. PNTD.
	NEW 2X4 WD. FRAMING @ 16" O.C.
	NEW R-19 MIN. BATT INSULATION
	- NEW PLY. WD. SHEATHING.
	— NEW VAPOR BARRIER
	NEW 6" CEMENTITIOUS SIDING, PAINTED
W1 WAL	L

\ /

W2 WALL

A) 1ST FLOOR CONDITIONED AREA B) 2ND FLOOR CONDITIONED AREA C) 3RD FLOOR CONDITIONED AREA	2363			547	2363 0 0	0 547 0
D) BASEMENT E) GARAGE (ATTACHED) GARAGE (DETACHED) CARPORT (ATTACHED)		483		246	0 0 0 0	0 0 729 0
CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH	147				0 147	0
G) OTHER COVERED OR ROOFED AREA H) UNCOVERED WOOD DECK	182			72	0 182	0 72
I) POOL J) SPA					2692	1348
TOTAL BUILDING COVERAGE	SQUARE FEET:	4040	% OF LOT SIZE:	38.69%		
TOTAL IMPERVIOUS COVERAGE	SQUARE FEET:	4150	% OF LOT SIZE:	39.75%		
SUBCHAPTER F: GROSS FLOOR AREA (APPL	ICATION PAGE	3)				
		NEW/ADDED	PROPOSED	APPLIED		
1ST FLOOR	EXISTING S.F. 2363	S.F. 0	EXEMPTION N/A	EXEMPTION	TOTAL S.F. 2363	
2ND FLOOR	0	547	N/A		547	
3RD FLOOR AREA W/ CEILINGS > 15'	0	0	N/A FOLLOW 3.3.5 FULL		0	
GROUND FLOOR PORCH BASEMENT	147	0	PORCH/200S.F. FOLLOW 3.3.3B	147	0	
ATTIC GARAGE (ATTACHED)	0	0	FOLLOW 3.3.3C 200	0	0	
GARAGE (DETACTCHED)	483	246	450/200	450	279	
CARPORT (ATTACHED CARPORT (DETACHED)	0	0 0	450/200 450	0 0	0 0	
TOTAL GROSS FLOOR AREA (TOTAL GROSS FLOOR AREA / LOT AREA) X 100					3189 30.54%	
CALCULATION AID (APPLICATION PAGE 7)		NEW/ADDED	I			
	EXISTING S.F.	S.F.	TOTAL S.F.			
A) 1ST FLOOR CONDITIONED AREA B) 2ND FLOOR CONDITIONED AREA	2363 0	0 547	2363 547			
C) 3RD FLOOR CONDITIONED AREA	o o	0	0			
D) BASEMENT E) GARAGE (ATTACHED)	0	0	0			
		1 0	0			
GARAGE (DETACHED)	0 483	0 246	0 729			
GARAGE (DETACHED) CARPORT (ATTACHED)	483 0	246 0	729 0			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED)	483	246	729			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS	483 0 0	246 0 0	729 0 0			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS H) COVERED PATIO/PORCH I) BALCONY	483 0 0 147	246 0 0 0	729 0 0 147			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS H) COVERED PATIO/PORCH I) BALCONY J) OTHER	483 0 0 147	246 0 0 0	729 0 0 147			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS H) COVERED PATIO/PORCH I) BALCONY J) OTHER TOTAL BUILDING AREA	483 0 0 147 0	246 0 0 0	729 0 0 147 36			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS H) COVERED PATIO/PORCH I) BALCONY J) OTHER TOTAL BUILDING AREA TOTAL BUILDING COVERAGE K) DRIVEWAY	483 0 0 147 0 2993 2993	246 0 0 0	729 0 0 147 36 3822 3275 605			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS H) COVERED WOOD DECKS H) COVERED PATIO/PORCH U) BALCONY U) OTHER TOTAL BUILDING AREA TOTAL BUILDING COVERAGE K) DRIVEWAY L) SIDEWALKS M) UNCOVERED PATIO	483 0 0 147 0 2993 2993 869 267	246 0 0 0 72 -264 -124	729 0 0 147 36 3822 3275 605 143 0			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH G) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS H) COVERED PATIO/PORCH I) BALCONY J) OTHER TOTAL BUILDING AREA TOTAL BUILDING COVERAGE K) DRIVEWAY L) SIDEWALKS M) UNCOVERED PATIO N) UNCOVERED WOOD DECKS (COUNTED AT 50%) O) AC PADS AND OTHE CONCRETE FLAT WORK	483 0 0 147 0 2993 2993	246 0 0 0 72	729 0 0 147 36 3822 3275 605 143			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH G) COVERED PATIO, DECK OR PORCH H) BALCONY J) OTHER TOTAL BUILDING AREA TOTAL BUILDING COVERAGE (K) DRIVEWAY L) SIDEWALKS M) UNCOVERED PATIO N) UNCOVERED PATIO N) UNCOVERED WOOD DECKS (COUNTED AT 50%) O) AC PADS AND OTHE CONCRETE FLAT WORK P) OTHER (POOL COPING, RETAINING WALLS, ETC.)	483 0 0 147 0 2993 2993 869 267	246 0 0 0 72 -264 -124	729 0 0 147 36 3822 3275 605 143 0 127 0			
GARAGE (DETACHED) CARPORT (ATTACHED)	483 0 0 147 0 2993 2993 869 267	246 0 0 0 72 -264 -124	729 0 0 147 36 3822 3275 605 143 0 127 0			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) P) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS H) COVERED WOOD DECKS H) COVERED PATIO/PORCH J) BALCONY J) OTHER TOTAL BUILDING AREA TOTAL BUILDING COVERAGE K) DRIVEWAY L) SIDEWALKS M) UNCOVERED PATIO N) UNCOVERED WOOD DECKS (COUNTED AT 50%) O) AC PADS AND OTHE CONCRETE FLAT WORK P) OTHER (POOL COPING, RETAINING WALLS, ETC.) TOTAL SITE IMPERVIOUS COVERAGE	483 0 0 147 0 2993 2993 869 267	246 0 0 0 72 -264 -124	729 0 0 147 36 3822 3275 605 143 0 127 0			
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GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) P) COVERED PATIO, DECK OR PORCH G) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS H) COVERED PATIO/PORCH I) BALCONY J) OTHER TOTAL BUILDING AREA TOTAL BUILDING COVERAGE K) DRIVEWAY L) SIDEWALKS M) UNCOVERED PATIO N) UNCOVERED PATIO N) UNCOVERED WOOD DECKS (COUNTED AT 50%) O) AC PADS AND OTHE CONCRETE FLAT WORK P) OTHER (POOL COPING, RETAINING WALLS, ETC.) TOTAL SITE IMPERVIOUS COVERAGE Q) POOLS R) SPA BUILDING COVERAGE INFORMATION	483 0 0 147 0 2993 2993 869 267 182	246 0 0 0 72 -264 -124	729 0 0 147 36 3822 3275 605 143 0 127 0	28.67%		
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) P) COVERED PATIO, DECK OR PORCH G) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS H) COVERED WOOD DECKS H) COVERED PATIO/PORCH J) BALCONY J) OTHER TOTAL BUILDING AREA TOTAL BUILDING COVERAGE K) DRIVEWAY L) SIDEWALKS M) UNCOVERED PATIO N) UNCOVERED WOOD DECKS (COUNTED AT 50%) O) AC PADS AND OTHE CONCRETE FLAT WORK P) OTHER (POOL COPING, RETAINING WALLS, ETC.) TOTAL SITE IMPERVIOUS COVERAGE Q) POOLS R) SPA BUILDING COVERAGE INFORMATION LOT AREA	483 0 0 147 0 2993 2993 869 267 182 4311	246 0 0 0 72 -264 -124 72	729 0 0 147 36 3822 3275 605 143 0 127 0 0	28.67% 31.37%		
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH G) COVERED PATIO, DECK OR PORCH H) BALCONY J) OTHER TOTAL BUILDING AREA TOTAL BUILDING COVERAGE K) DRIVEWAY L) SIDEWALKS M) UNCOVERED PATIO N) UNCOVERED WOOD DECKS (COUNTED AT 50%) O) AC PADS AND OTHE CONCRETE FLAT WORK P) OTHER (POOL COPING, RETAINING WALLS, ETC.) TOTAL SITE IMPERVIOUS COVERAGE Q) POOLS R) SPA BUILDING COVERAGE INFORMATION LOT AREA	483 0 0 147 0 2993 2993 869 267 182 4311	246 0 0 0 72 -264 -124 72	729 0 0 147 36 3822 3275 605 143 0 127 0 0 4150			
GARAGE (DETACHED) CARPORT (ATTACHED) CARPORT (DETACHED) F) COVERED PATIO, DECK OR PORCH G) COVERED PATIO, DECK OR PORCH G) COVERED WOOD DECKS H) COVERED WOOD DECKS H) COVERED PATIO/PORCH I) BALCONY J) OTHER TOTAL BUILDING AREA TOTAL BUILDING COVERAGE (K) DRIVEWAY L) SIDEWALKS M) UNCOVERED PATIO N) UNCOVERED WOOD DECKS (COUNTED AT 50%) O) AC PADS AND OTHE CONCRETE FLAT WORK P) OTHER (POOL COPING, RETAINING WALLS, ETC.) TOTAL SITE IMPERVIOUS COVERAGE Q) POOLS R) SPA BUILDING COVERAGE INFORMATION LOT AREA EXISITING BUILDING COVERAGE FINAL BUILDING COVERAGE	483 0 0 147 0 2993 2993 869 267 182 4311	246 0 0 0 72 -264 -124 72	729 0 0 147 36 3822 3275 605 143 0 127 0 0 4150			

GUEST HOUSE 8TH

ARCHITECTS

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OWNER

ELIZABETH AND **NICHOLAS STEINOUR** 1012 EAST 8TH, AUSTIN,

GENERAL CONTRACTOR

(ADDRESS) (CITY, STATE ZIP) (CONTACT)

STRUCTURAL ENGINEER

(ADDRESS) (CITY, STATE ZIP) (CONTACT)

SURVEYOR

(NAME) (ADDRESS) (CITY, STATE ZIP) (CONTACT)

GEOTECHNICAL ENGINEER

(ADDRESS) (CITY, STATE ZIP) (CONTACT)

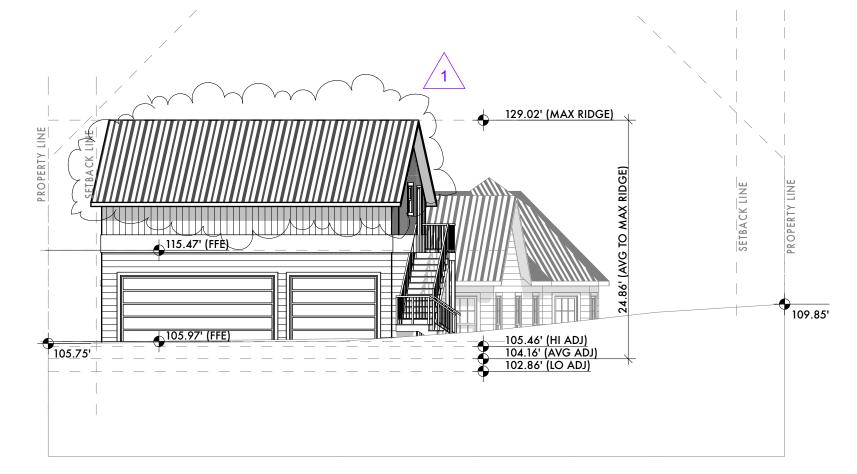
MEP ENGINEER

(NAME) (ADDRESS) (CITY, STATE ZIP) (CONTACT)

CIVIL ENGINEER

(NAME) (ADDRESS) (CITY, STATE ZIP) (CONTACT)





NORTH SITE ELEVATION

1. GENERAL

1. CONTRACT DOCUMENTS - THE DRAWINGS AND SPECIFICATIONS ISSUED BY THE ARCHITECT DATED 10.20.15, AND AS MAY BE AMENDED BY THE ARCHITECT IN SUBSEQUENT ISSUANCES. 2. EXISTING CONDITIONS - BEFORE BEGINNING WORK EXAMINE THE SITE FOR COMPLIANCE WITH THE DRAWINGS. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED FOR REASONS OF ERROR OR OMISSION.

3. STANDARDS, CODES AND ORDINANCES - REFER TO INDUSTRY STANDARDS AND MANUFACTURER'S INSTRUCTIONS. WHERE THE CONTRACT DOCUMENTS CONFLICT WITH INDUSTRY STANDARDS OR MANUFACTURER'S INSTRUCTIONS INFORM THE OWNER AND DO NOT PROCEED WITHOUT PRIOR APPROVAL.

4. ALL WORK WILL COMPLY WITH ALL PRESIDING CODES AND ORDINANCES. WHERE THE CONTRACT DOCUMENTS CONFLICT WITH PRESIDING CODES AND ORDINANCES INFORM THE OWNER AND DO NOT PROCEED WITHOUT PRIOR APPROVAL. 5. PURPOSE OF THE CONTRACT DOCUMENTS IS TO PROVIDE THE INFORMATION REQUIRED TO

ACHIEVE THE ARCHITECTURAL INTENT. WHERE DETAILS OR PROCEDURES ARE IN CONFLICT WITH ANY OF THE TERMS OF THESE SPECIFICATIONS INFORM THE OWNER AND DO NOT PROCEED WITHOUT PRIOR APPROVAL.

6. SAFETY - ERECT SUCH SAFETY EQUIPMENT AND SIGNAGE AS REQUIRED AND MAINTAIN THESE ELEMENTS FOR THE DURATION OF THE PROJECT. 7. SUPPORT FACILITIES - CONTRACTOR IS RESPONSIBLE FOR PAYING FOR ALL TEMPORARY FEATURES SUCH AS UTILITIES, TRASH AND RECYCLING, AND SANITARY FACILITIES. ALL

TEMPORARY FEATURES MUST BE REMOVED BEFORE FINAL CLEANING. 8. INSURANCE - PROVIDE AND COORDINATE ALL INSURANCE REQUIREMENTS AS PRESCRIBED BY THE CONSTRUCTION CONTRACT.

9. WARRANTY - ALL WORK SHALL BE WARRANTED AS COMPLYING WITH THE CONTRACT DOCUMENTS AND AGAINST DEFECTS FOR THE PERIOD REQUIRED BY LAW AND THE CONSTRUCTION CONTRACT. REPAIRS REQUIRED DURING THE WARRANTY PERIOD WILL BE PROVIDED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER. 10. PROTECTION OF EXISTING CONDITIONS - PROTECT ALL EXISTING CONDITIONS TO REMAIN

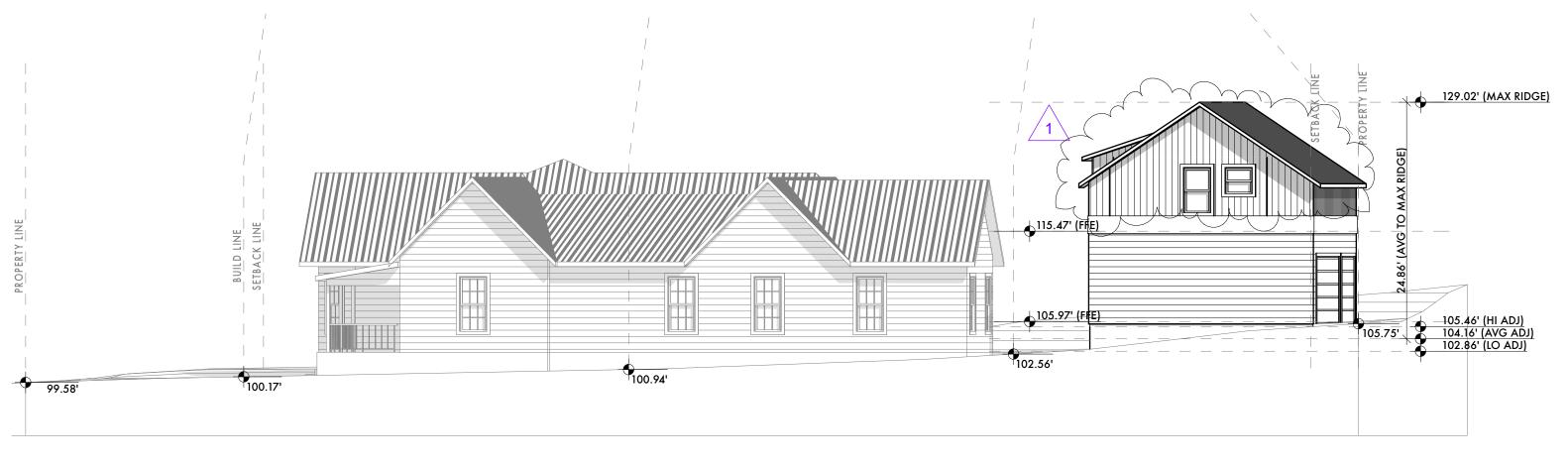
OR TO BE REUSED DURING CONSTRUCTION. FINAL CLEANING WILL INCLUDE ALL EXTERIOR AND INTERIOR SURFACES. PATCHING AND REPAIRING WILL BE PERFORMED SUCH THAT NEW AND EXISTING ELEMENTS MAY NOT BE DIFFERENTIATED. 11. SUBSTITUTIONS - WHERE A PARTICULAR MATERIAL, COLOR OR PRODUCT IS SPECIFIED AN

ALTERNATE MAY ONLY BE SUBSTITUTED WITH THE EXPRESS PERMISSION OF THE OWNER. 12. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING "AS-BUILT" DRAWINGS TO BE PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT.

13. CONTRACTOR WILL RETAIN THE SERVICES OF RELEVANT ENGINEERS WHERE REQUIRED TO COMPLETE THE WORK. 14. ALL PARTITION TYPES INDICATED ON THIS DRAWING MAY NOT NECESSARILY BE USED ON

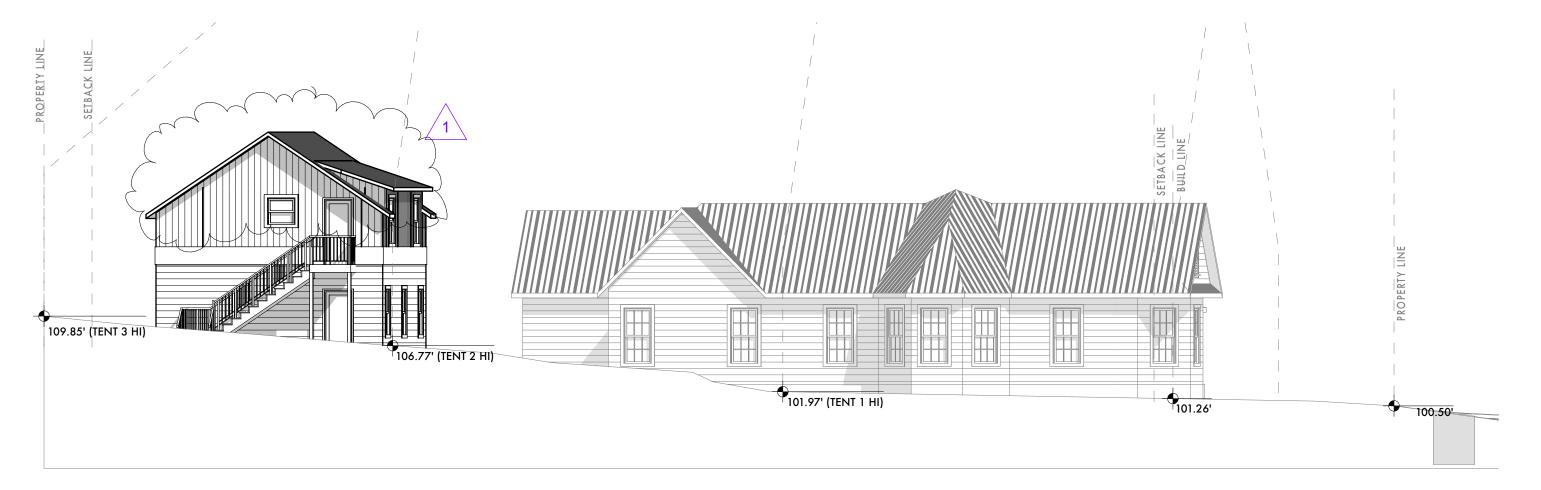
THIS SPECIFIC PHASE OF THE PROJECT. 15. VERIFY THE THE REQUIREMENTS OF ALL OWNER SUPPLIED APPLIANCES AND PRODUCTS

BEFORE BEGINNING THE WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED FOR REASONS OF ERROR OR OMISSION.





EAST SITE ELEVATION





WEST SITE ELEVATION

2. SITE WORK 1. PROTECTION

> 1. SEE SURVEY FOR EXISTING CONDITIONS AND PROTECTED TREES. 2. MINIMIZE IMPACT ON EXISTING SITE TO THE EXTENT POSSIBLE.

3. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING LOCATION OF ON SITE UTILITIES. 4. PROTECT SITE ELEMENTS TO REMAIN DURING CONSTRUCTION. 2. DRAINAGE - NO WORK WILL INTERFERE WITH EXISTING DRAINAGE SYSTEMS WITHOUT CREATING EQUALLY EFFECTIVE SYSTEMS.

3. ROOF DRAINS AND FRENCH DRAINS WILL TIE INTO EXISTING DRAINAGE SYSTEMS WHERE

3. WOOD

ROUGH FRAMING

2. FRAMING TO BE INSTALLED TO RECEIVE INTERIOR FINISHES. 3. CONTRACTOR RESPONSIBLE FOR COORDINATION OF LUMBER TAKE OFFS, TRUSS

SUBMITTALS, AND SHOP DRAWINGS. 4. STUD SPACING TO BE 16" O.C. U.N.O. THE PROJECT MANDATORY MAXIMUM

ALLOWABLE DEFLECTION DESIGN CRITERIA RATIO IS L/240 USING STUDS @ 16" O.C. 5. WHERE "BRITTLE" FINISHES WILL BE APPLIED SUCH AS PLASTER OR CERAMIC TILE, MAX. ALLOWABLE DEFLECTION CRITERIA RATIO IS L/360. 2. EXTERIOR CARPENTRY

 RESERVED 3. INTERIOR FINISH CARPENTRY - ALL WORK TO COMPLY WITH MOST RECENT QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK INSTITUTE. 1. ALL FASTENERS TO BE COUNTERSUNK AND FILLED, SANDED SMOOTH AND PAINTED.

2. CORNERS TO BE MITERED UNLESS NOTED OTHERWISE. 3. INSTALL BLOCKING AS REQUIRED.

4. CABINETRY AND MILLWORK FINISHES TO BE COORDINATED WITH THE OWNER. 4. ALL PARTITION TYPES INCLUDED IN THE DRAWINGS MAY NOT NECESSARILY BE USED ON THIS SPECIFIC PHASE OF THE PROJECT.

4. THERMAL AND MOISTURE PROTECTION

1. BUILDING WRAP - DUPONT TYVEK HOMEWRAP OR ALTERNATE APPROVED BY OWNER 2. FENESTRATION FLASHING - SELF ADHERED FLASHING TAPES WITH CORNER DETAILING SYSTEMS TO CREATE CONTINUOUS WATERPROOFED DETAILS. INSTALL WINDOW AND DOOR FLASHING PER FLASHING TAPE MANUFACTURER'S INSTRUCTIONS. 3. INSULATION - CAVITY INSULATION AT ROOF AND WALLS TO BE SPRAY-IN FOAM INSULATION. MINIMUN R-VALUES PER CITY REQUIREMENTS AND OWNER'S PREFERENCE.

5. JOINT SEALANTS - ELASTOMERIC SEALANTS AT

1. DISIMILAR MATERIAL JOINTS 2. BETWEEN DOORS AND WINDOWS

3. SEALANT COLORS TO BE COMPATIBLE WITH ADJACENT FINISHES. 6. SIDING TO BE REAL WOOD GRAIN CEMENTITIOUS FIBERBOARD, PAINTED. SEE ALSO

7. EXTERIOR ACCENT BANDS TO BE SMOOTH FINISH CEMENTITIOUS FIBERBOARD, PAINTED. 8. WHERE NOT DETAILED EXTERIOR SIDING CORNERS TO BE TRIMMED IN EITHER SMOOTH FINISH CEMENTITIOUS FIBERBOARD, PAINTED, OR MITERED. 9. ALL FLASHING DETAILS PER SMACNA.

5. FINISHES

1. GYPSUM BOARD ASSEMBLIES 1. WALLS IN DRY LOCATIONS TO BE STANDARD 1/2 INCH GYPSUM BOARD. 2. WALLS IN WET LOCATIONS TO BE 1/2 INCH CEMENTITIOUS PANEL

3. CEILINGS TO BE 5/8" GYPSUM BOARD 4. CEILINGS IN WET AREAS TO BE 5/8" WATER RESISTANT GYPSUM BOARD 5. ALL OUTSIDE CORNERS TO HAVE CORNER BEADS 2. TILE

1. USE COMPATIBLE WATERPROOFING AND THIN SET CEMENT 2. TILE FLOORS TO BE THIN SET TILE OVER PLIABLE, SHEET-APPLIED, BONDED WATERPROOF MEMBRANE AND VAPOR RETARDER WITH CRACK-BRIDGING CAPABILITIES 3. TILE WALLS TO BE THIN SET TILE OVER SHEET-APPLIED, BONDED WATERPROOF MEMBRANE AND VAPOR RETARDER WITH CRACK-BRIDGING CAPABILITIES, OR APPROVED ALTERNATE, OVER CEMENTITIOUS BOARD

4. COORDINATE TILE AND GROUT COLOUR SELECTIONS WITH OWNER. 5. TILE TRANSITIONS TO BE BULL-NOSE FINISH, O.A.A. PAINT 1. COORDINATE PAINT COLOURS WITH OWNER.

2. EXTERIOR PAINTED WOOD TO MATCH EXISTING COLOR AND QUALITY. 3. PAINTED GYPSUM BOARD TO MATCH EXISTING COLOR AND QUALITY. 4. FILL ALL HOLES, LEVEL ALL SURFACES, SEAL ALL JOINTS, CRACKS AND INTERSECTIONS AND SAND SURFACES SMOOTH.

5. REMOVE HARDWARE PRIOR TO PAINTING. 6. PROVIDE MINIMUM ONE COAT OF PRIMER AND TWO COLOR COATS. 7. COORDINATE PAINT COLOUR SELECTIONS WITH OWNER.

6. DOORS AND WINDOWS

1. NEW WINDOWS TO MATCH EXISTING TYPE, QUALITY, INSTALLATION AND TRIMS. 2. NEW DOORS TO MATCH EXISTING TYPE, QUALITY, INSTALLATION AND TRIMS. 3. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.

7. MECHANICAL - HVAC AND PLUMBING 1. U.N.O. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INTEGRATION OF NEW AND

EXISTING HVAC SYSTEMS AND PRODUCTS. 2. DUCT WORK, GRILLS AND TERMINATIONS

1. PROVIDE SHEET METAL PRIMARY TRUNKS WITH FLEX DUCT SECONDARY DUCTS. 2. PROVIDED DUCTED RETURNS AT BEDROOM. 3. ROOF TERMINATIONS TO MATCH EXISTING.

4. NO VISIBLE EQUIPMENT, PENETRATIONS, GRILLS, METERS OR OTHER EQUIPMENT WITHOUT OWNER'S CONSENT. RESERVED.

4. U.N.O. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INTEGRATION OF NEW AND

EXISTING PLUMBING SYSTEMS AND PRODUCTS. 5. CONTRACTOR RESPONSIBLE FOR COORDINATION OF ROOF PENETRATIONS AND ROOFING. 6. PROVIDE AND INSTALL PLUMBING FIXTURES PER CONTRACT DOCUMENTS.

7. CONTRACTOR TO COORDINATE FIXTURE SELECTIONS WITH OWNER. 8. ENSURE PROPER CONNECTION OF NEW AND EXISTING PLUMBING SYSTEMS TO CITY SUPPLY AND SEWER.

8. ELECTRICAL

1. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INTEGRATION OF NEW ELECTRICAL SYSTEMS AND PRODUCTS.

2. SMOKE DETECTORS INSTALLED PER CODE REQUIREMENTS 3. INTEGRATE NEW DOORS AND WINDOWS WITH EXISTING SECURITY SYSTEMS

4. ALL RECEPTICALS IN WET AREAS TO BE GFCI OR WATERPROOF GFCI AS REQUIRED BY CODE

9. ACOUSTICAL

1. USE ACOUSTICAL SEALANT AT TOP AND BOTTOM OF STUD WALLS. 2. ACOUSTICALLY SEAL AROUND ALL PENETRATIONS IN GYP BD WALLS AND CEILINGS

3. STAGGER GYP BD JOINTS 4. PROVIDE AT LEAST ONE STUD BETWEEN PLUGS, SWITCHES, J-BOXES, ETC., THAT BACK UP TO EACH OTHER

1. PROTECT ALL EXISTING, STRUCTURES, FENCING, LANDSCAPING, TREES, WALKS, ASPHALT PAVING TO REMAIN DURING CONSTRUCTION.

2. PROTECT ALL TREES AND LANDSCAPING TO REMAIN. 3. ANY EXISTING ELEMENTS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION WILL BE REPLACE BY THE CONTRACTOR.

4. LOCATION AND PROTECTION OF UTILITIES TO REMAIN IS THE RESPONSIBILITY OF THE

5. ALL AREAS OF DISTURBED LANDSCAPE WILL BE REPLANTED WITH NEW GRASS SEED. 6. RE: FLOOR PLAN FOR LOCATION OF WINDOWS TO BE REMOVED AND PATCHED AND WINDOWS TO BE REMOVED AND REPLACED.

7. ALL EXTERIOR SIDING TO BE REMOVED AND REPLACED. RE: ELEVATIONS 8. ALL ROOFS TO BE REMOVED AND REPLACED. RE: ROOF PLAN, ELEVATIONS AND STRUCTURE.

10. EXTERIOR SPECIALTIES RESERVED

11. ALTERNATES RESERVED

HOUS EST 8TH

ATX **ARCHITECTS**

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ISSUED FOR PERMITTING

SUBCHAPTER F EXHIBITS SPECIFICATIONS

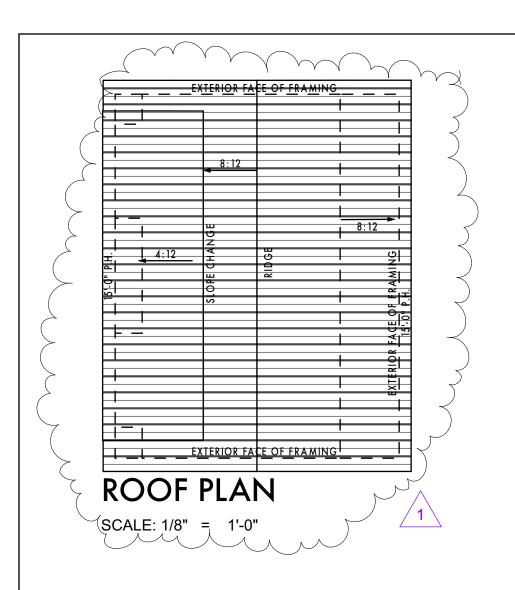
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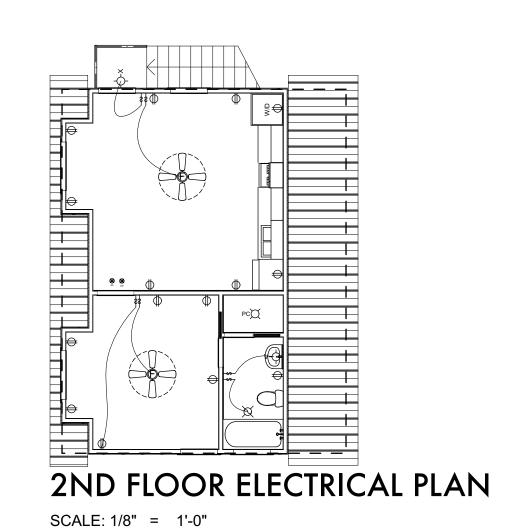
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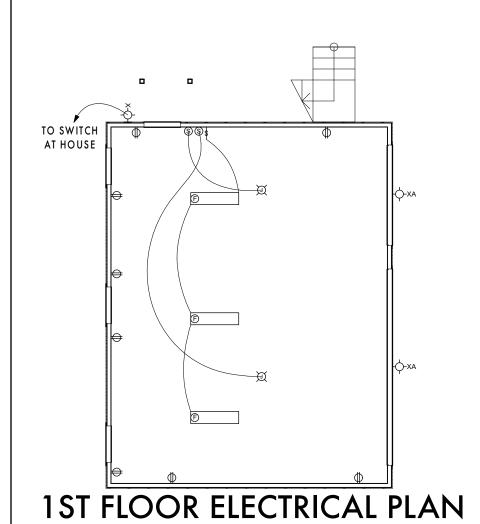
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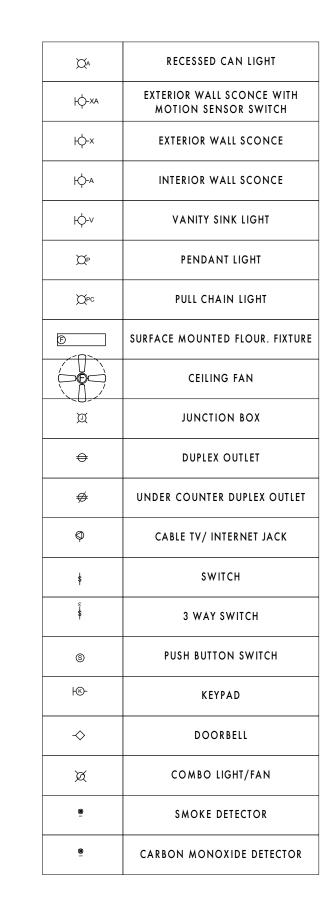
Sheet Number

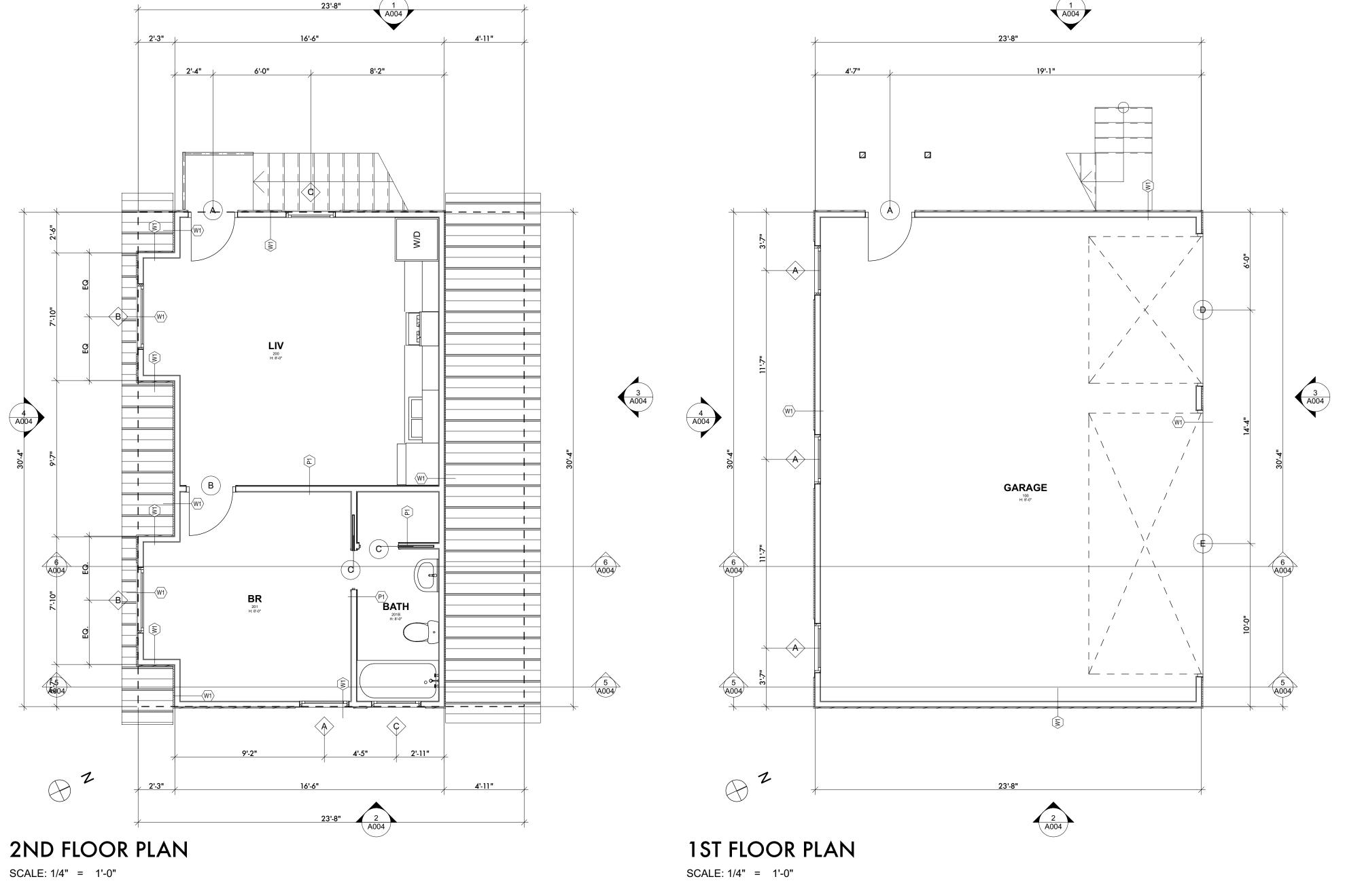


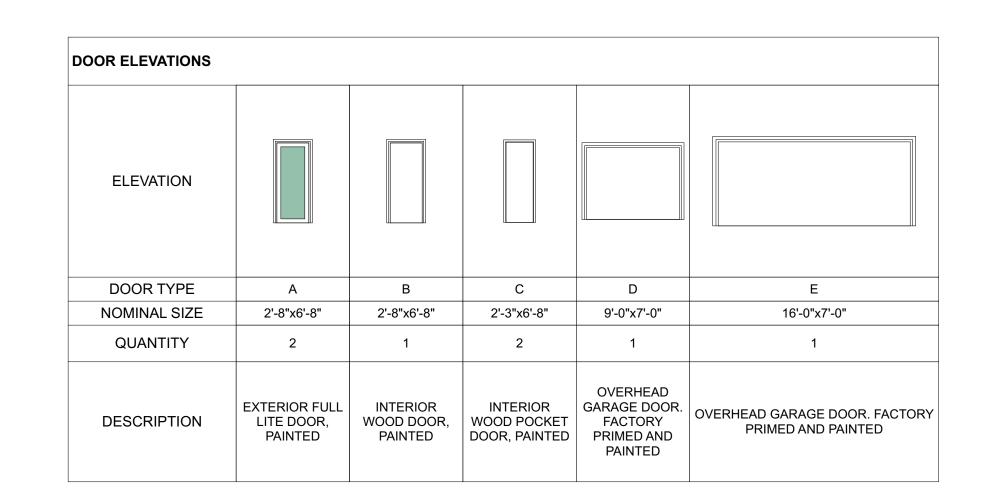


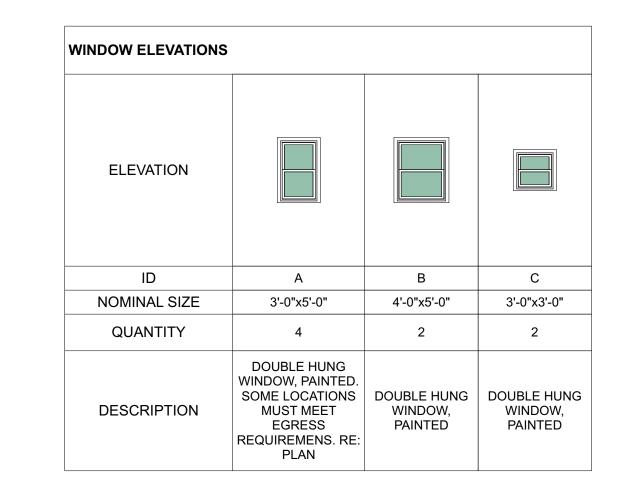


SCALE: 1/8" = 1'-0"









HOUSE

GUEST

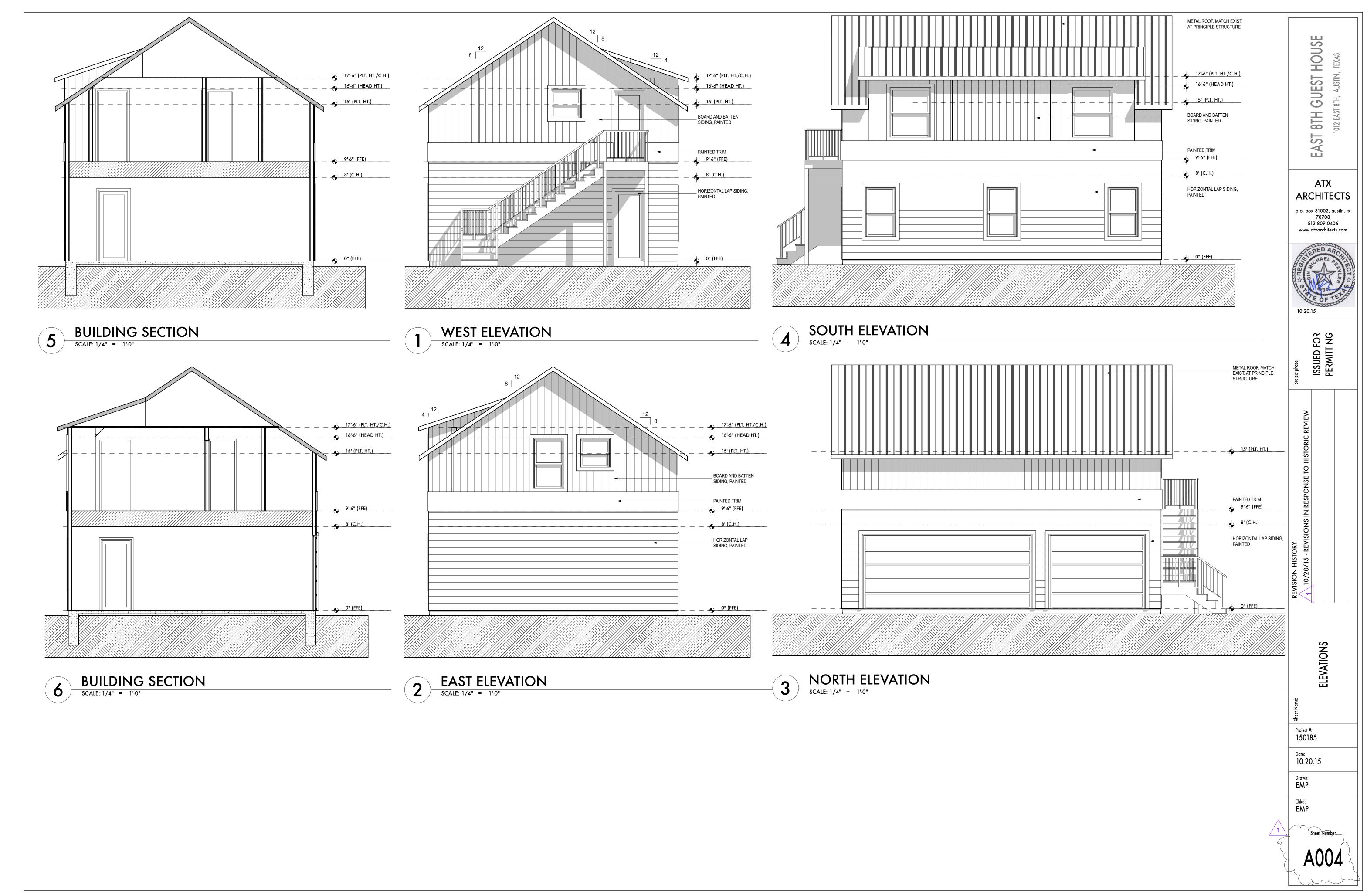
8TH

ATX

ARCHITECTS

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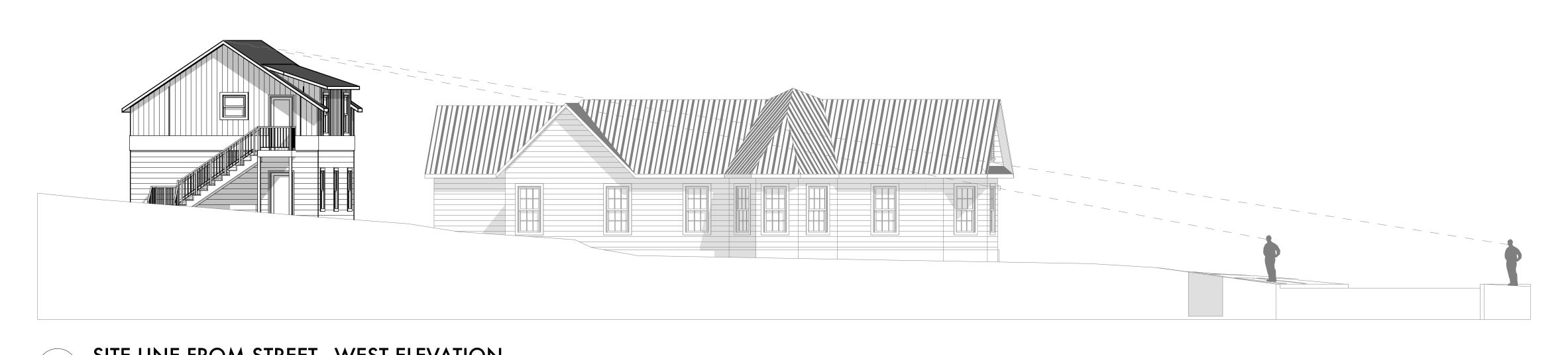














SITE LINE FROM STREET - EAST ELEVATION

SCALE: 1/8" = 1'-0"

EAST 8TH GUEST HOUSE ATX **ARCHITECTS** p.o. box 81002, austin, tx 78708 512.809.0406 www.atxarchitects.com ISSUED FOR PERMITTING Project #: 150185 10.20.15 Drawn: **EMP** Chkd: **EMP**