





N



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

CASE#: C15-2015-0158
Address: 4217 SHOAL CREEK BOULEVARD



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1" = 200'

CASE# C15-2015-0158
ROW# 11424758
TAX# 022300042

*miu
1/2*

CITY OF AUSTIN TCAD
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 4217 Shoal Creek Blvd

LEGAL DESCRIPTION: Subdivision - _____

Lot(s) 4 Block A Outlot _____ Division Shoal Creek Village

I/We Michael & Nicole McCormick on behalf of myself/ourselves as

authorized agent for Michael & Nicole McCormick affirm that on September

24, 2015, hereby apply for a hearing before the Board of Adjustment for

consideration to:

(check appropriate items below and state what portion of the Land Development Code you are seeking a variance from)

☐ ERECT ☐ ATTACH ☐ COMPLETE ☒ REMODEL ☐ MAINTAIN

Current attic space requires variance to
Subchapter F Section 33.4 for FAR exemption.
No change to exterior elevation.

in a ~~SF-2~~ ~~3~~ ~~25~~ district. SF-2-CO
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

M/10
3/3

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

Trying to build within an otherwise empty attic space without any changes to existing roofline. Proposed is under existing roof structure.

Ordinance compliance would be 40% F.A.R and we are asking for approval on plans to utilize more of the attic resulting in 44.91% F.A.R. within the envelope of the existing attic and roof structure.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

Existing roofline will not change as result of finishing the attic.

- (b) The hardship is not general to the area in which the property is located because:

Currently existing structure is one of the few single story homes on the block and below the average sq. ft. of the neighboring homes (avg. sq. ft. is 2332 of neighboring 16 homes). Current sq. ft. for our home is 1803 sq. ft.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

There will be no changes to the existing roofline of the structure.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

N/A

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

MIO
4

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Nicole McCormick Mail Address 4217 Shoal Creek Blvd

City, State & Zip Austin, TX 78756

Printed Nicole McCormick Phone 512-619-6262 Date 09/24/2015

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Nicole McCormick Mail Address 4217 Shoal Creek Blvd

City, State & Zip Austin, TX 78756

Printed Nicole McCormick Phone 512-619-6262 Date 09/24/2015

C15-2015-0158

M10
11/5

To the members of the Board of Adjustments

10/26/15

Cover Letter and Timeline
re: Variance Request- 4217 Shoal Creek Blvd

Seeking variance to finish out already existing attic space

My husband and I and have lived in our home in central Austin for over a decade. We have an existing attic space that we would like to finish out for more room in our home (currently the smallest square footage home amongst the 15+ homes built in the late 90's by the same builder). Our hardship is that we are working within our existing structure and are not changing our roofline.

Reason to allow the variance to be granted

Our request is straight forward; we will not be changing our roofline and our neighbors do not oppose. We are simply wanting to finish out existing attic space under current envelope, keeping with the current scope of neighborhood.

Plea

We have lived in our beautiful home and neighborhood for over 10 years. There was a time a few years ago that we looked outside of the neighborhood for a larger home but could not bring ourselves to move away from our neighbors and community we have grown to love. We now have two boys ages 8 and 6 that attend Bryker Woods Elementary, a school we are very involved with and I currently serve as the VP of the PTA. We are wanting to simply finish out our existing attic space to allow us more room for our growing boys as we plan on staying in the neighborhood for a long time. Both sets of our parents, who live out of state, are now retired and we do not currently have the room for comfortable accommodations for them to stay when they visit. Our relationships with our family and friends are a top priority for us and we are wishing to create space that allows us to nurture those relationships through time spent at our home. Our home (not just a house) is my nest and finishing out the attic space would allow us to be able to provide that opportunity that is so important to us for family and friends.

Neighbors Positive Support and Consent Signatures

Our adjacent and extended neighbors strongly support the approval of this variance, as they first and foremost don't want to lose us as neighbors and secondly understand the simplicity of finishing out existing space without changes to current roofline. Neighborhood support signatures and encouraging words attached.

mio
c

HOA approval

Neighborhood meeting is evening of the day of submittal so a non-opposition letter will be submitted after the meeting.

With sincere thanks for your consideration,

Nicole and Mike McCormick

Attic Project Timeline: 2015

January: Architect meeting/design and plans
March 27: Submittal of permit
April 28: Receive Master Comment Report
May: Architect meets with city and BOA liaison
May 6: Request updated survey from survey company
May 13: Architect meets with reviewer
June 10: Receive survey (over a month later due to rain in May and unable to conduct as equipment could not get wet)
July: Architect meets with reviewer
August 25: Architect meets with reviewer
September 2: Homeowner meets with BOA liaison
September 21: Homeowner requests extension
September 24: Homeowner meets with reviewer
September 25: Homeowner submits BOA application
September: Homeowner request neighborhood non-opposition letter
October: Homeowner obtains supportive signatures from neighbors
October 19: Homeowners meet with reviewer and fulfills all items on Master Report
October 26: Homeowner submits information to BOA
October 26 evening: Homeowner attends Neighborhood Association meeting

Mia
✓

What our neighbors are saying:

Nikki & Mike - absolutely happy to help! We want to keep you as our neighbors. :) Mia

Nikki and Mike we are in full support to your house update. It is nice to have you as neighbors. —Mario and Leni

Nikki and Mike, you have our full support. Cindy and I will be happy to sign whatever form the city wants you to complete with neighbors' signatures. We are glad you have plans to stay in the neighborhood.—Cindy and Joel Arevalo

*Mike and Nikki,
Dave and I agree with Cindy and Joel. You have our full support. Please let us know if there is anything additional we can do to support your request. —Patty and Dave*

We will sign any form necessary. I am not sure I can help any more than someone else but if you needed a 'professional' in the neighborhood to assist or offer the perspective of both a designer and a neighbor I would be glad to help. — Darwin Harrison

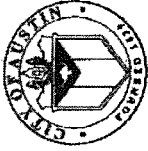
I would be happy to sign!—Keri Gray

You absolutely have our support! Happy to sign the form for you.—Jennifer and Jesse

You have my support and I'm happy to sign.—Erika Brown

I'm happy to sign! – Heidi Ross

I'm happy to sign. – Becka Swift



I, Nicole McLaughlin, am applying for a variance from the Board of Adjustment regarding Section 33.4 of the Land

Development Code. The variance would allow me the ability to finish existing attic space
with no change to roofline.

By signing this form, I understand that I am declaring my support for the variance being requested.

Property Owner Name (Printed)	Address	Signature
Hafito J. Mariotto	4213 Shoal Creek	T. C. Wheeler
David & Patty Coffman	4209 Shoal Creek Blvd	David & Patty Coffman
M. R. Buckwalter	4205 Shoal Creek	M. R. Buckwalter
Charles & Alvaro	4303 Shoal Creek Blvd	Charles & Alvaro
Jennifer Butler	4311 Shoal Creek Blvd	Jennifer Butler
Goel & Cindy Arevalo	4309 Shoal Creek Blvd	Goel & Cindy Arevalo
John Kenneth Burton Jr.	4221 Shoal Creek Blvd	John Kenneth Burton Jr.

8/3/16

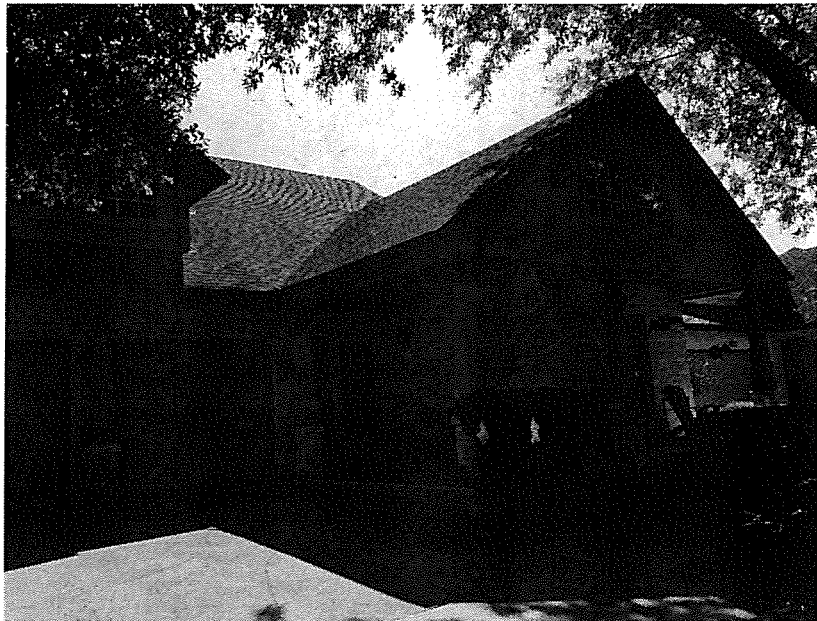
By signing this form, I understand that I am declaring my support for the variance being requested.

Property Owner Name (Printed)	Address	Signature
Nicky Barton	4116 Ridgeland Dr 78731	
Bob Tatum	1707 W 42nd St	
Angela Sharpe	4201 Sinclair Ave	
Cale Berry	4102 Ramsey Ave	
Becka Swift	4303 Shoalwood Ave	
Hidi Ross	4201 Shoalwood Ave	
William Murphy	4414 Shoalwood Ave	
Matt Henry	4306 Sinclair	
Eden & Carl Reynolds	4302 Sinclair	
Jenny Lloyd + Jeff Miller	4011 Ramsey	
Bick & Erika Bond	4208 Shoalwood	
Kenny Gray + Laura Lewis	4403 Shoal Creek Blvd	
Craig & Leah Mills	4405 Shoal Creek Blvd	

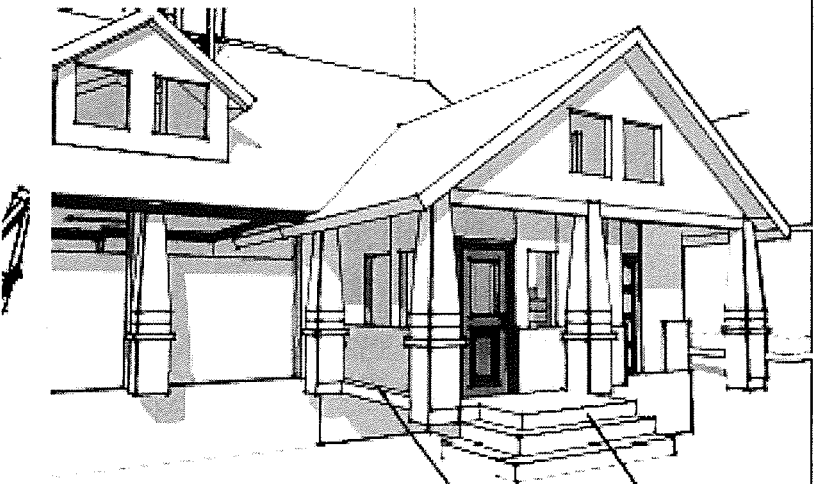
2/30

BEFORE AND AFTER: NO CHANGES TO ROOFLINE

3/16
10



VATION LEFT
1/16" = 1'-0"



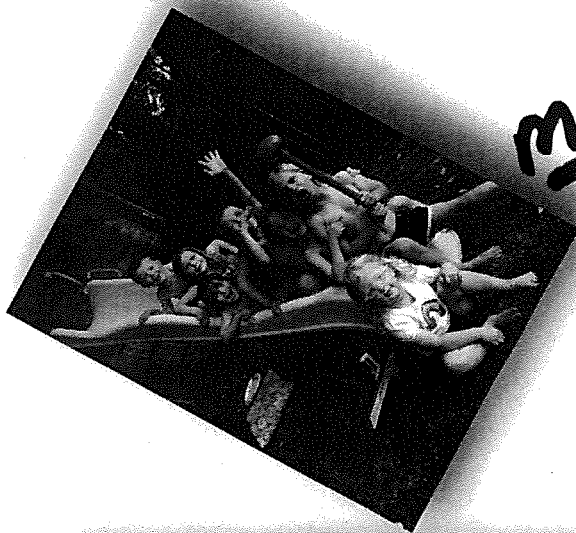
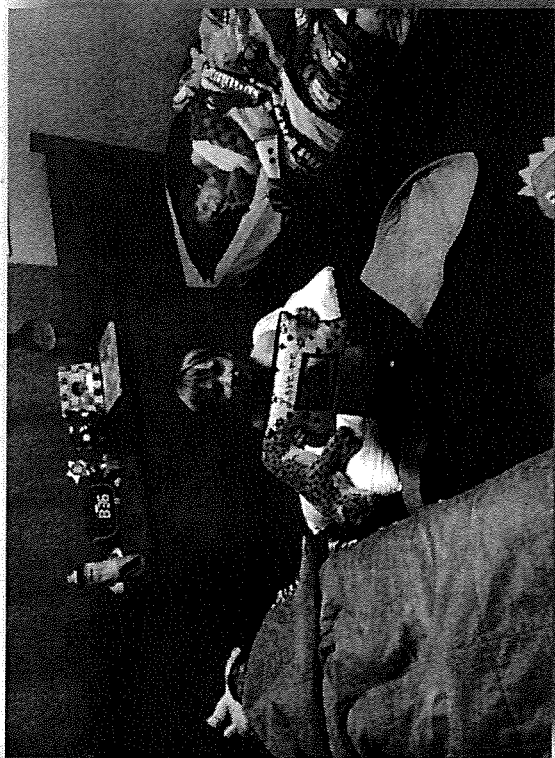
AXON FRONT

SCALE: no scale

AXONOMETRIC DRAWING OF PROPOSED RENOVATION
BY ARCHITECT, PROPOSED RENOVATION, THESKOLTS INC.

AXONOMETRIC DRAWING OF PROPOSED RENOVATION
BY ARCHITECT, PROPOSED RENOVATION, THESKOLTS INC.

Our Family

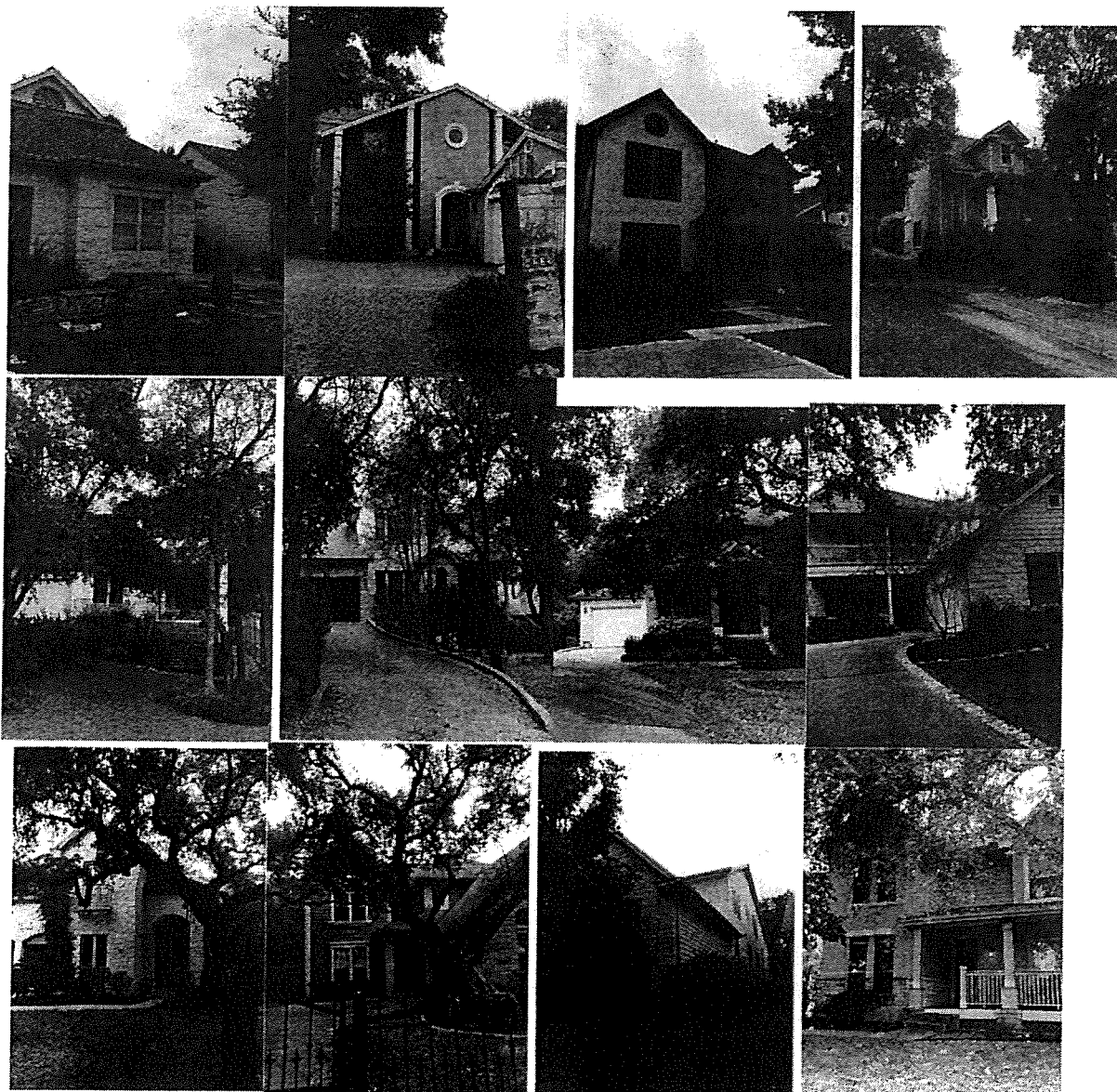


11/10

Immediate neighborhood homes, all have second stories with higher rooflines than our home.

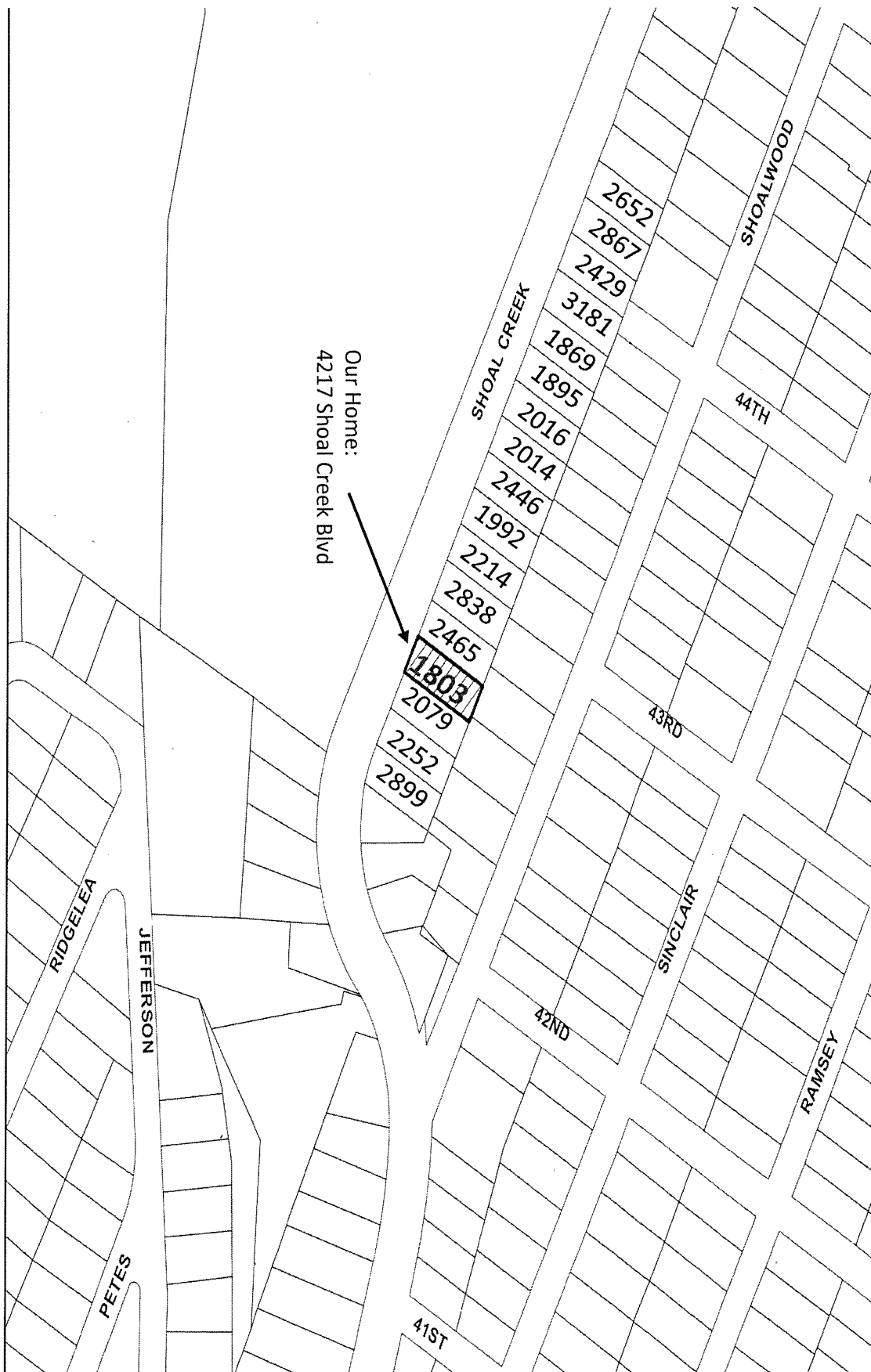
Our home is here

12/3/2



M10
13

Home Sq. Ft compare – current via TCAD



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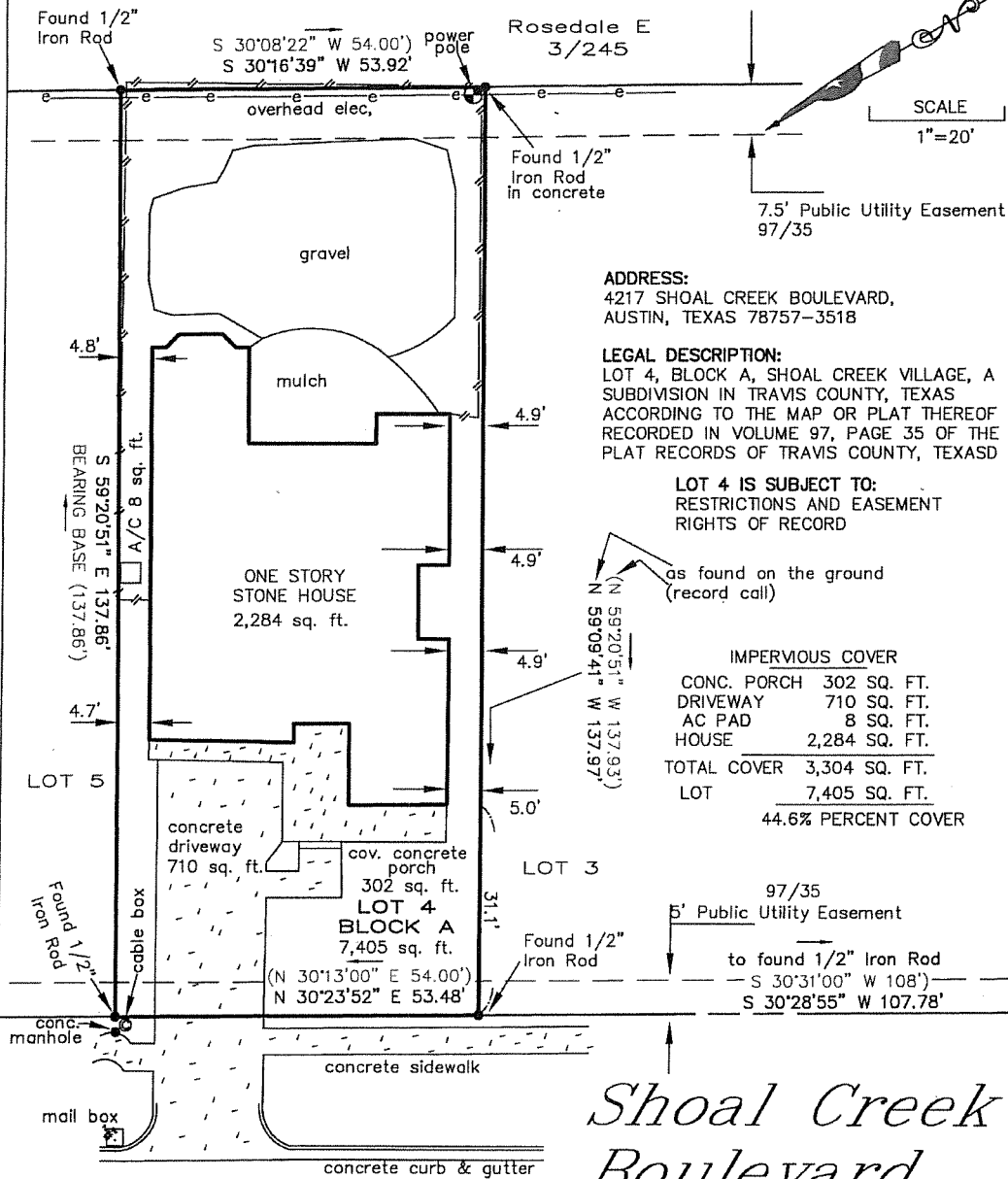
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1" = 200'

Existing Structure

Waterloo Surveyors Inc. SURVEY PLAT

J14452



State of Texas:
County of Travis:

The undersigned does hereby certify that this survey was this day made on the property legally described hereon and is correct, and this survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1B Condition II Survey.

And I certify that the property shown hereon IS NOT within a special flood hazard area as identified by the Federal Insurance Adm. Department of HUD

flood hazard boundary map revised as per Map Number: 48453C0455H

Zone: X Dated: 09/26/08

Dated this the 4TH day of JUNE, 2015.

Thomas P. Dixon R.P.L.S. 4324

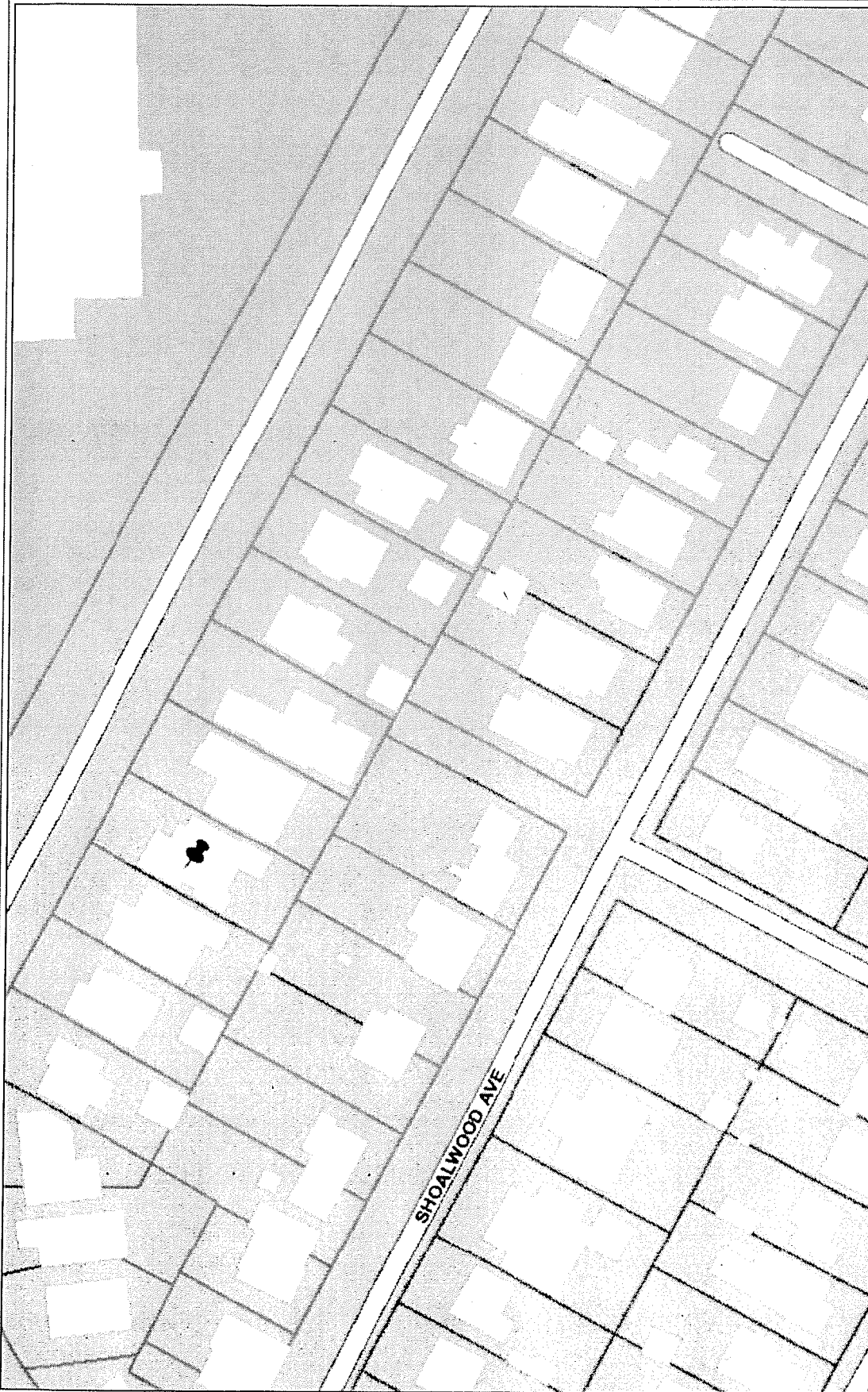
www.WaterlooSurveyors.com - Austin, Texas - (512)481-9602

Copyright 2015

3/10
4

Surrounding
Structures

CITY OF AUSTIN DEVELOPMENT WEB MAP



Legend

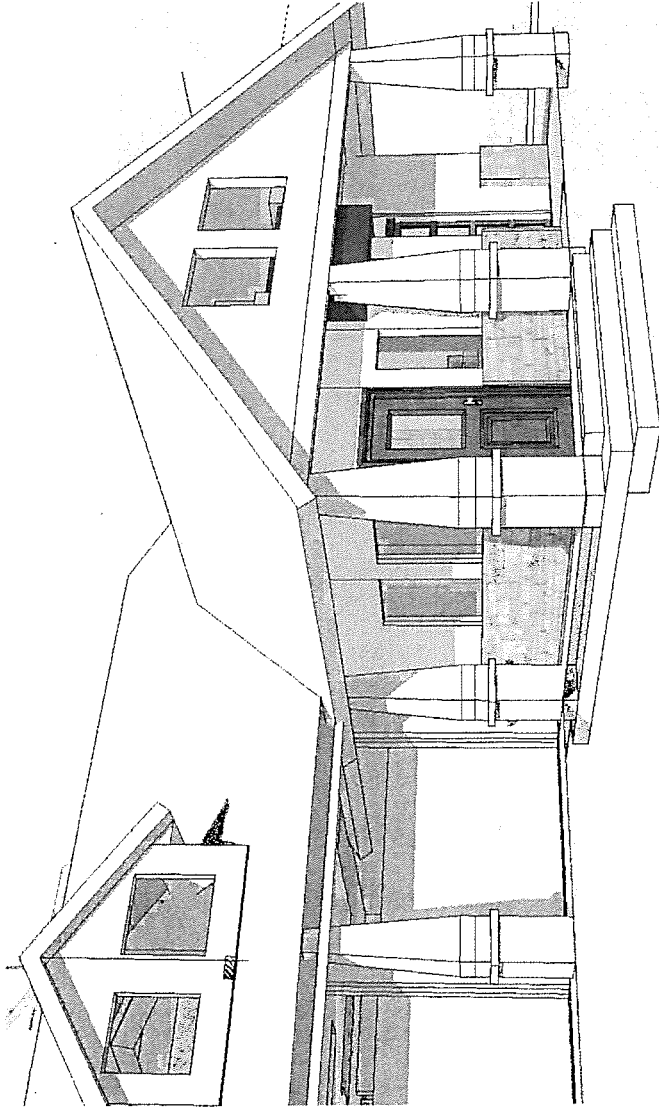
- Lot Lines
- Streets
- Building Footprints
- Named Creeks
- Lakes and Rivers
- Parks
- County

217

↑
4217
Shoal Creek

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Proposed Finished Front



REMODEL - AUSTIN TX 78756

4217 SHOAL CREEK BLVD.

NEW WORK SCOPE

- 1 NEW ENTRY = 161 982 W ADDED TO FAR (REPURPOSE EXISTING FRONT PORCH) **WALL NOT ADD TO IMPROVING COVER**
 - RAISE FLOOR TO MATCH INTERIOR FINISHED
 - 4 NEW WINDOWS
 - 4 NEW DOORS
 - 4 NEW DOORS TO MATCH INTERIOR FINISHED
 - NEW DOORS IN AFFECTED BEDROOM
- 2 NEW INTERIOR STAIRS TO ATTIC @ ENTRY
- 3 Interior remodel of existing attic **CONVERTING THE REMAINING AVAILABLE PART & STAIRS TO MATCH INTERIOR FINISHED**
 - 2 BEDROOMS
 - BATH, 2 SINK, TUBSHOWER, COMMODE
 - WASHER DRYER IN ATTIC
 - NEW WINDOWS (CODE AS NEC)
 - STORAGE
 - MECHANICAL ELECTRICAL & PLUMBING TO ACCOMMODATE ADDITIONAL PROGRAM
 - RELOCATE MECHANICAL AS NEC

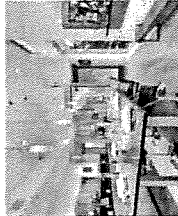
SHEET INDEX

ID	TITLE
G.01	COVER
G.02	PROJECT / INFO
V.01	SURVEY / DEMO
A.01	1st PLAN
A.02	ATTIC PLAN
E.01	Power / RCP / HVAC
A.03	ATTIC - less than 6' high
A.21	Existing ELEV / SITE
A.22	Existing ELEVATIONS
A.23	NEW ELEVATIONS
A.24	NEW ELEVATIONS
A.31	ELEVATIONS
A.71	SECTIONS
G.3.4.5	NOTES

COVER

G.01

2/3/20



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Austin, TX 78756
512.700.1748

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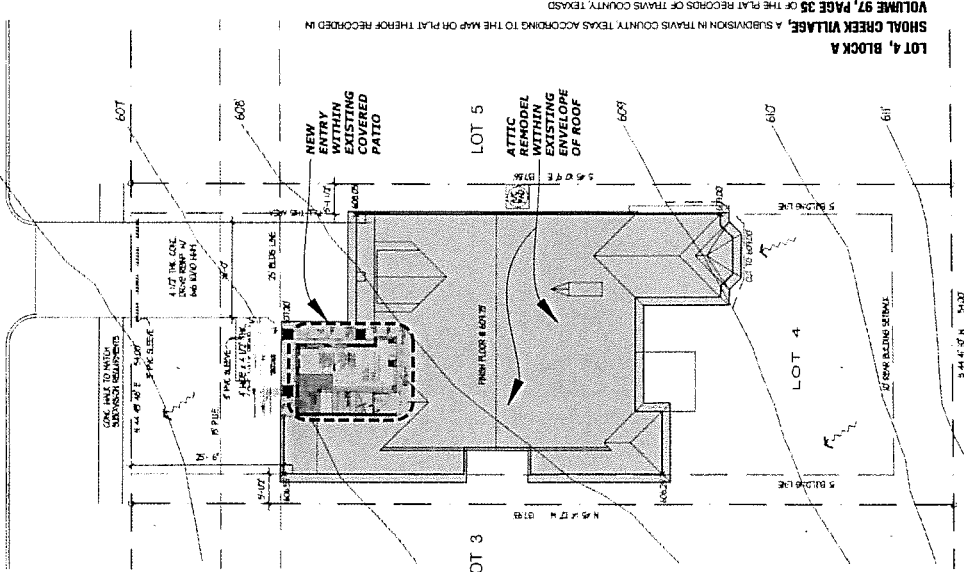
RESIDENTIAL REMODEL

DATE ISSUE

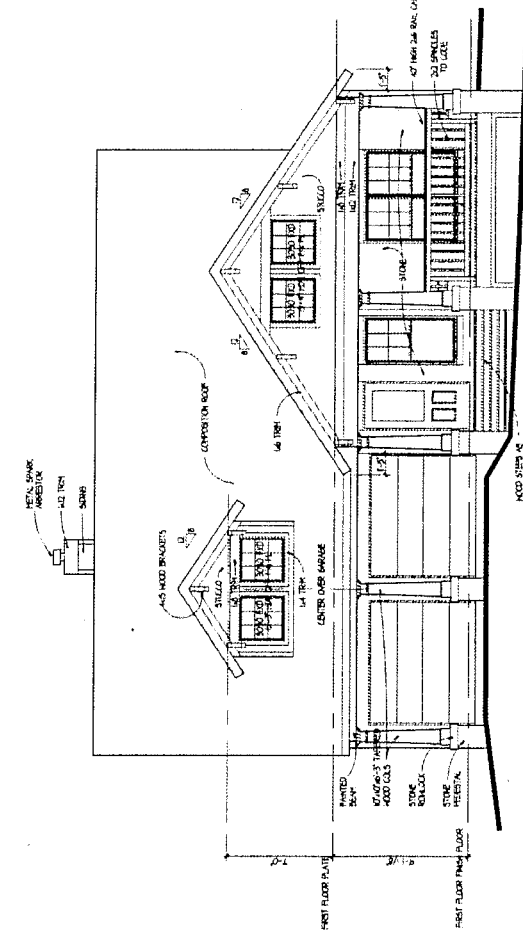
03/03/15 CITY
07/27/15 CITY-2
09/12/15 Construction

4217 SHOAL CREEK BLVD, AUSTIN TX 78756

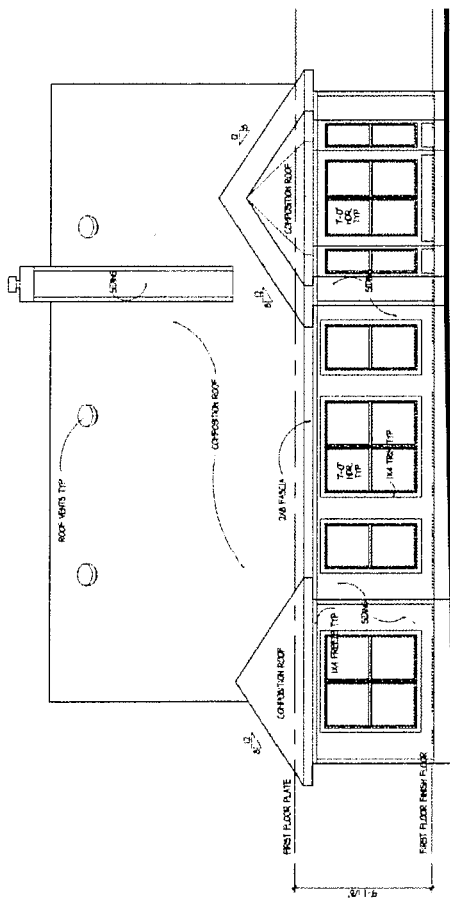
SHOAL CREEK BLVD.
IMPERVIOUS COVER 44.6% per new survey
 Project requires NO CHANGES TO THE PROPERTY IMPERVIOUS COVER



ROOF NOT ALTERED
SITE DEVELOPMENT PLAN
 SCALE 1"=20'



FRONT ELEVATION
 SCALE 1/4"=1'-0"



REAR ELEVATION
 SCALE 1/4"=1'-0"

URBANTHINKDesign
 Austin, TX 78704
 URBANTHINKDESIGN@GMAIL.COM
 512.763.1734

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03/03/15	CITY
07/27/15	CITY-2
09/12/15	Construction

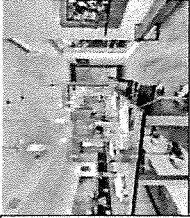
EXISTING ELEVATIONS

CONSTRUCTION SET

A.21

4217 SHOAL CREEK BLVD, AUSTIN TX 78756

2/3/16



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07/27/15	CITY2
09/12/15	Construction

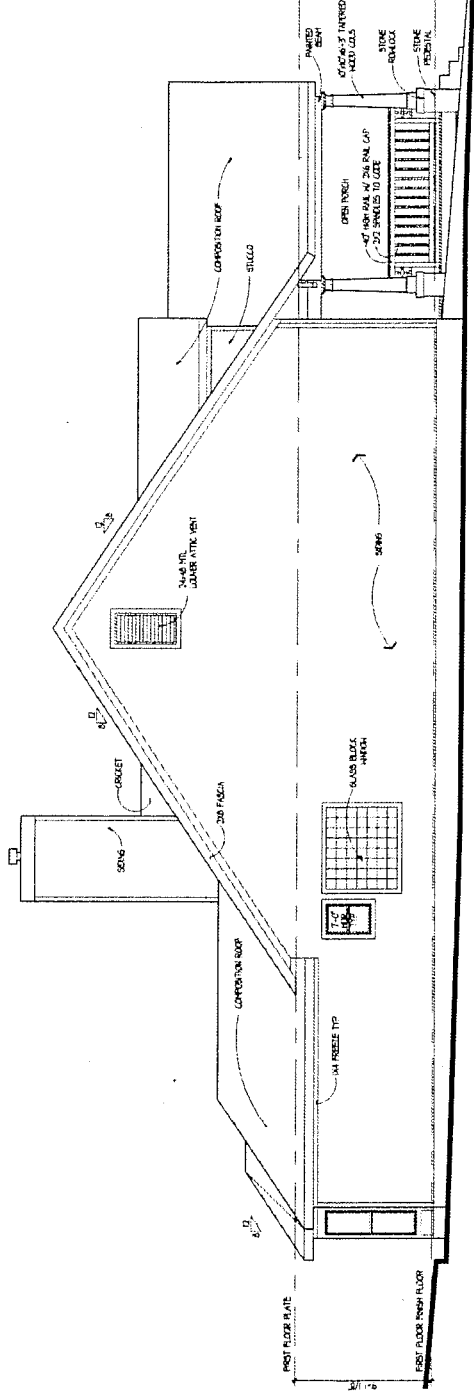
4217 SHOAL CREEK BLVD, AUSTIN TX 78756

EXISTING ELEVATIONS

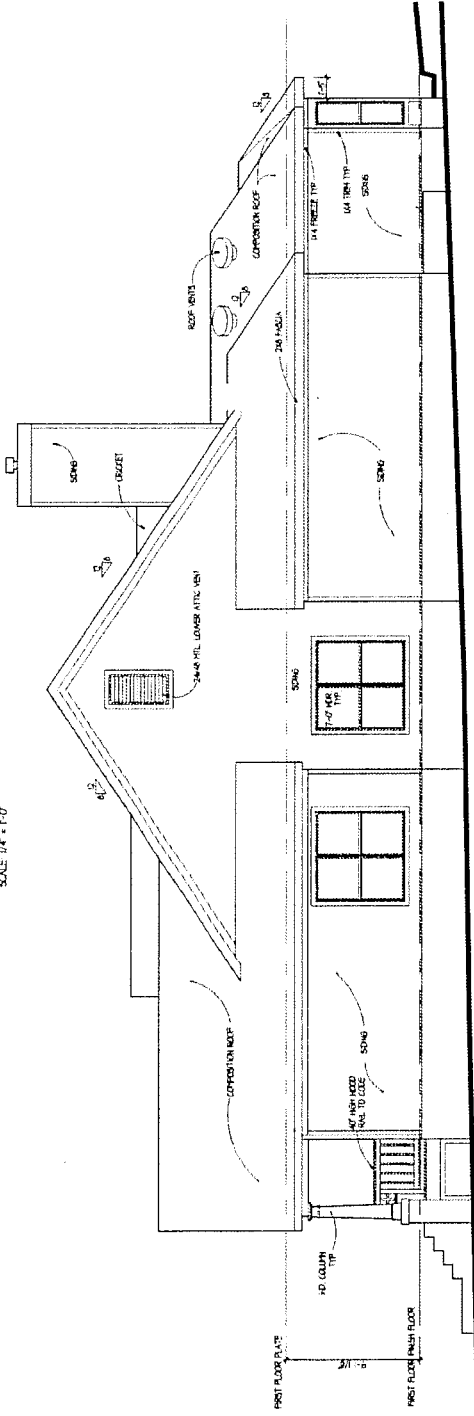
CONSTRUCTION SET

A.22

8/3/16



LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



1/8" = SCALE



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512.793.1234

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07/27/15	CITY-2
09/12/15	Construction

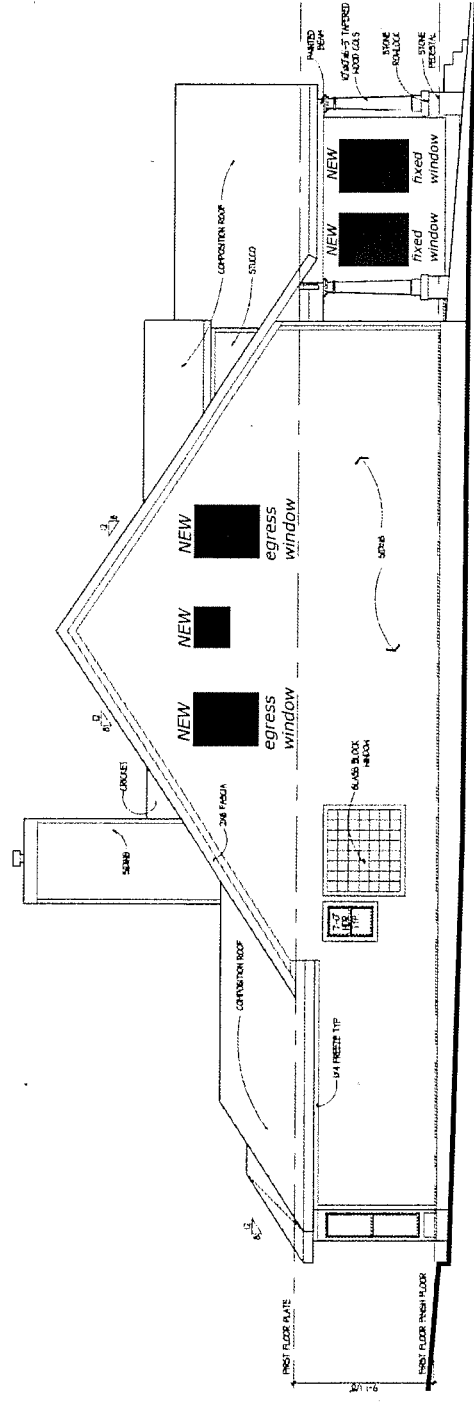
NEW ELEVATIONS

4217 SHOAL CREEK BLVD, AUSTIN TX 78756

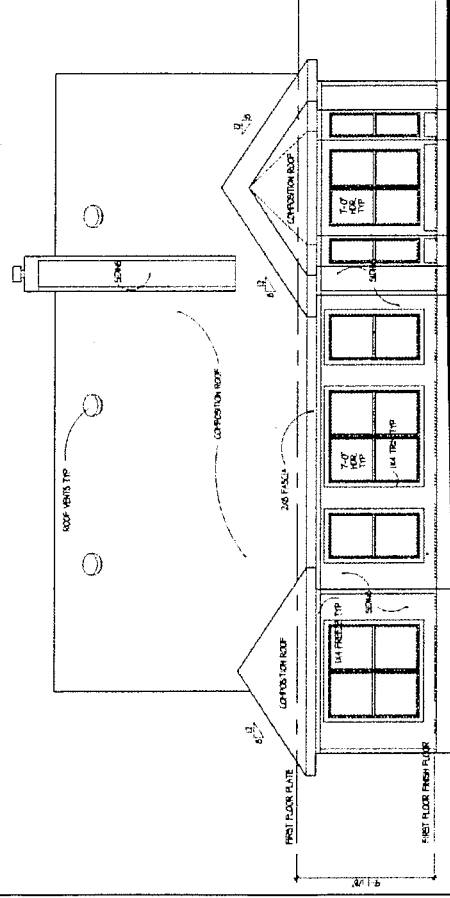
CONSTRUCTION SET

A.24

20/30



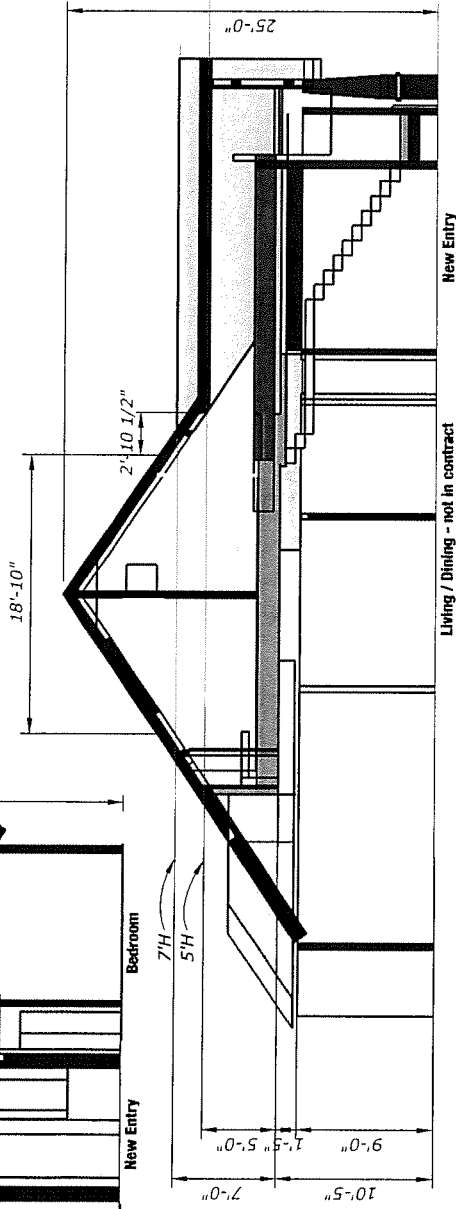
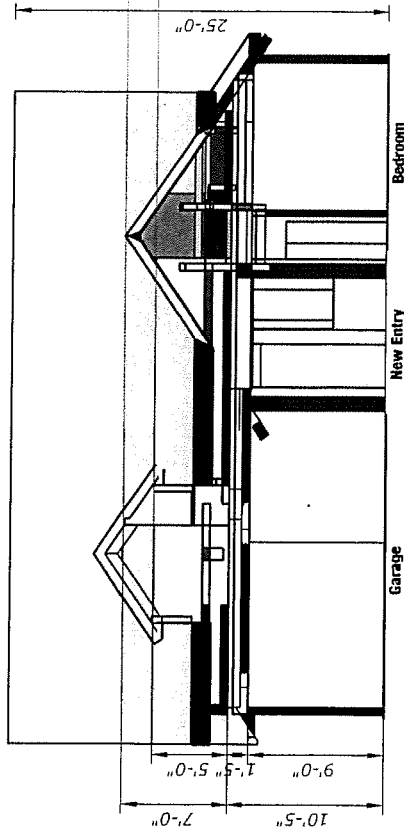
NEW LEFT ELEVATION - 1/8" = SCALE



UN-CHANGED REAR ELEVATION - 1/8" = SCALE

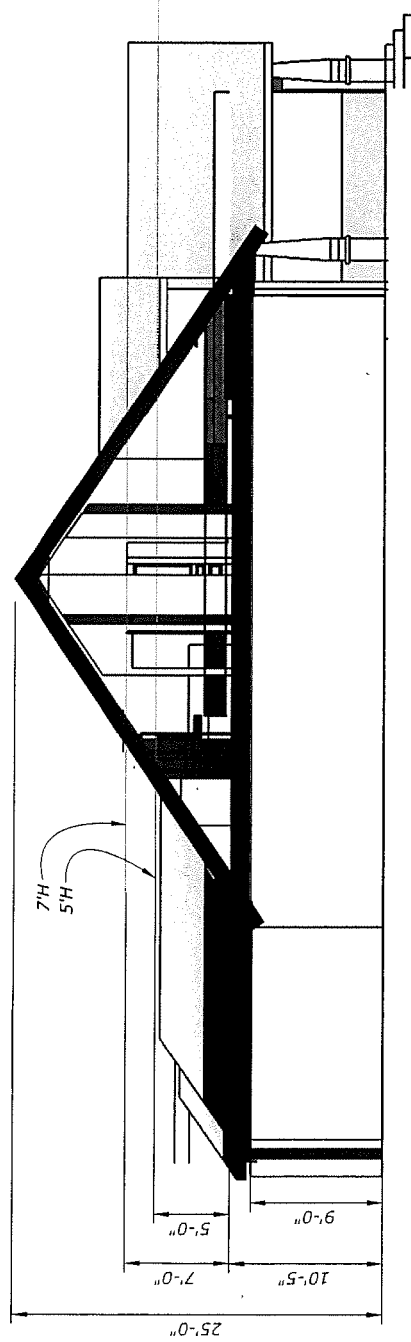
3 SECTION

1/4" SCALE



2 SECTION

1/4" SCALE



1 SECTION

1/4" SCALE

EXISTING ROOF / NO CHANGES

SECTIONS

STRUCTION SET

A.31

2/16

4217 SHOAL CREEK BLVD, AUSTIN TX 78756

CLIENT
McCormick
Austin, TX 78756

RESIDENTIAL REMODEL

DATE ISSUE

03/03/15 CITY

07/27/15 CITY-2

08/12/15 Construction

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512.763.1724

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SCHEDULE OF STEEL LINTELS FOR MASONRY VENEER	
HEIGHT OF MASONRY OPENING	
5'-0" OR LESS	L 3 X 3 S 12 X 14
5'-0" TO 7'-0"	L 4 X 3 12 X 14 LVL
7'-0" TO 8'-0"	L 5 X 3 12 X 16 LVL
8'-0" TO 10'-0"	L 6 X 3 12 X 16 LVL
10'-0" OR MORE	SPECIAL DESIGN
IF MASONRY WALL EXCEEDS	L 6 X 4 S 12 X 17 LVL
IF MASONRY WALL EXCEEDS	L 6 X 4 S 16 X 17 LVL

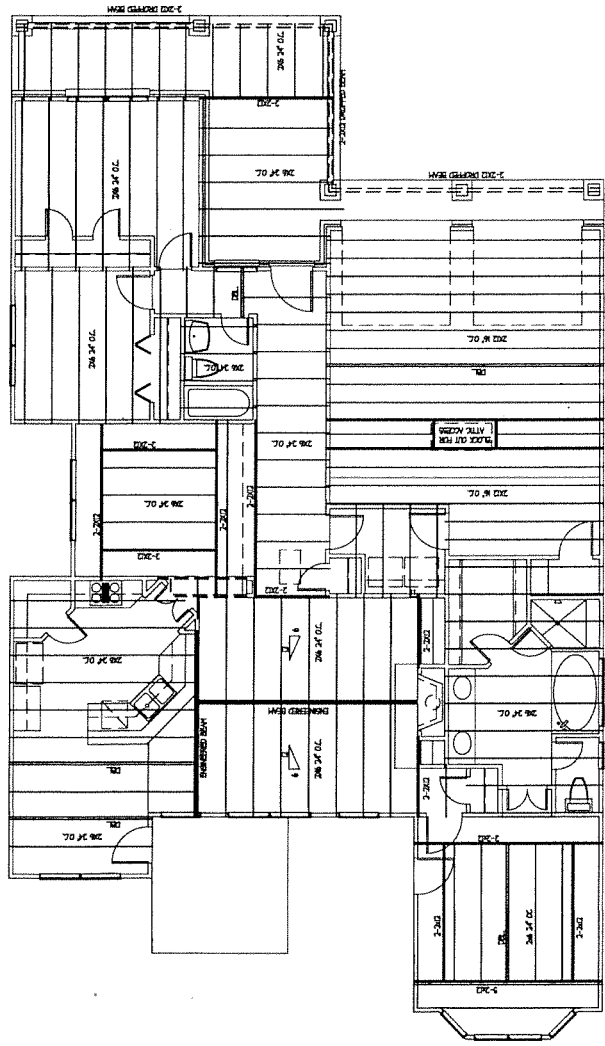
PROVIDE AT LEAST 6" OF BEARING ON THE MASONRY AT EACH SIDE OF THE OPENING.

MASONRY EXPOSURE LIMITS SHALL BE NO GREATER THAN 24" MAXIMUM.

The Muskin Company, Inc.

GELE, & WIGGINS
ARCHITECTS
PLANNING

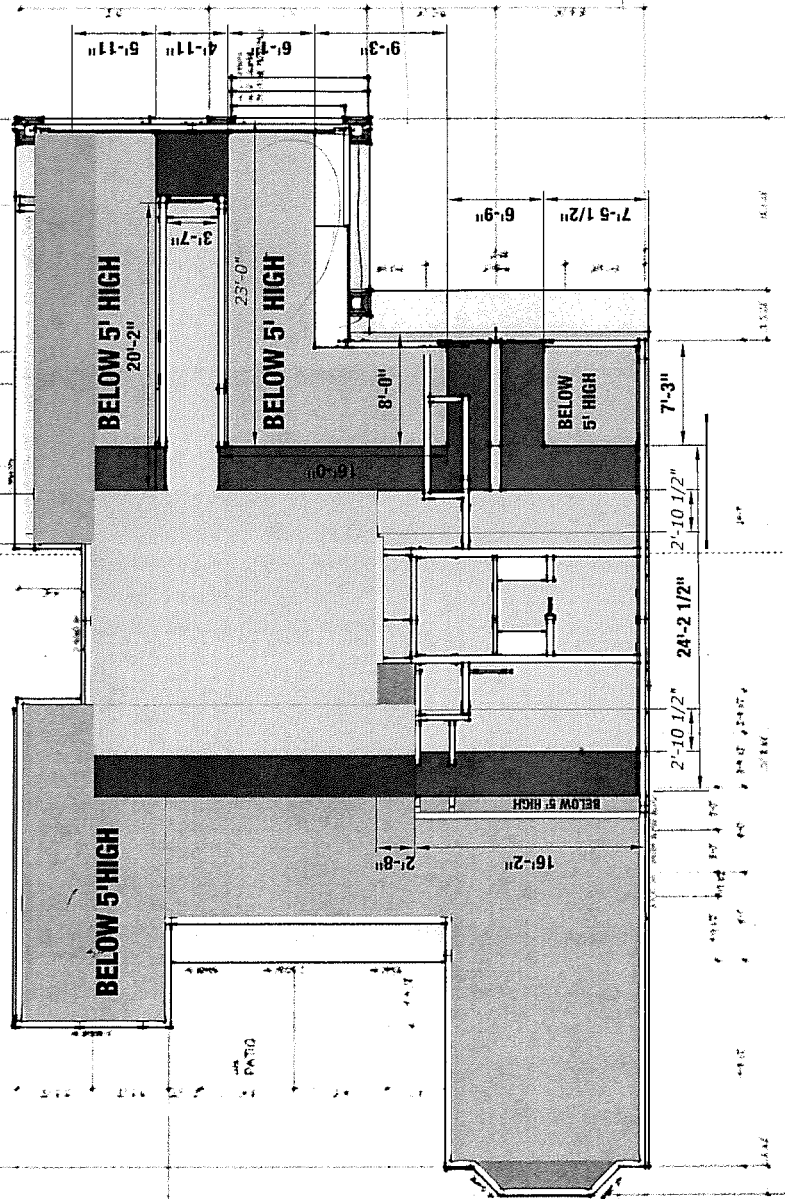
A6
CF A9

$$\frac{1010}{22}$$


EXISTING

Proposed

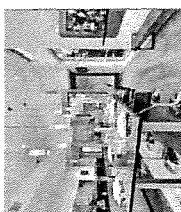
**ROOF LINE AND STRUCTURE IS NOT CHANGING
THIS WORK IS INSIDE AN EXISTING ENVELOPE**



AREAS BETWEEN 5' & 7' HIGH
ABOVE 7' HIGH

Included in FAR Count
Included in FAR Count

1/8" SCALE



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AUSTIN, TX 78704
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512.681.7234

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Austin, TX 78756

RESIDENTIAL REMODEL

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07/27/15	CITY-2
09/12/15	Construction

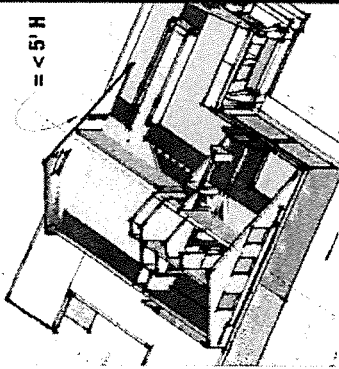
ATTIC
Below 5' H in green

CONSTRUCTION SET

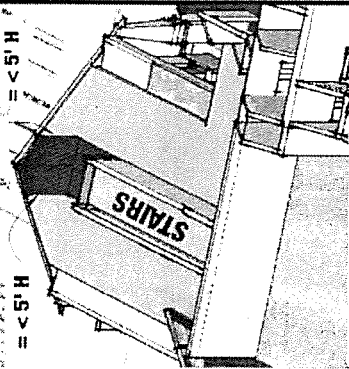
TBD.4

4217 SHOAL CREEK BLVD, AUSTIN TX 78756

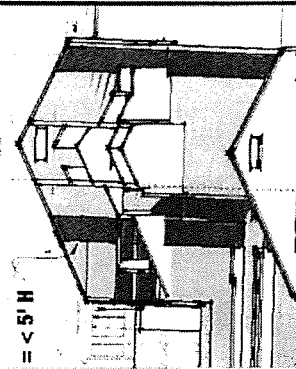
2/3/20



FOR ILLUSTRATING 5' HEIGHT LINE - ONLY

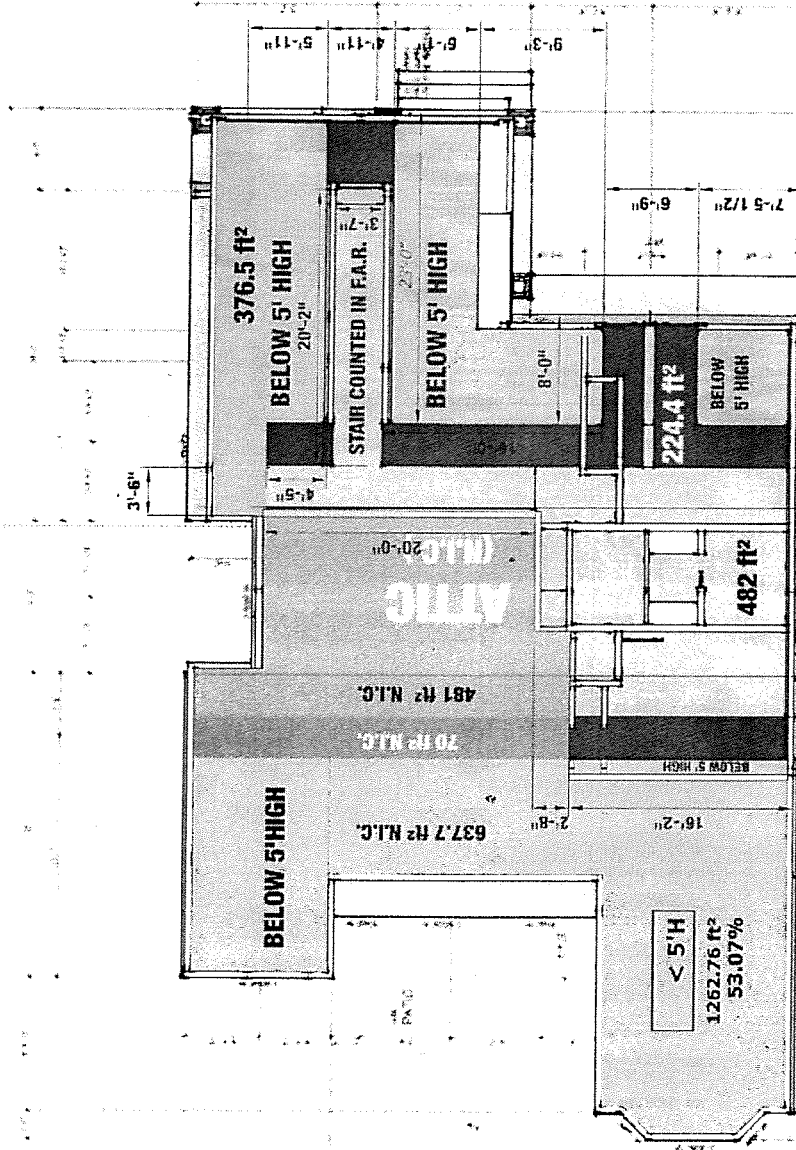


FOR ILLUSTRATING 5' HEIGHT LINE - ONLY



FOR ILLUSTRATING 5' HEIGHT LINE - ONLY

TOTAL ATTIC 2379.295 ft²



AREAS BETWEEN 5' & 7' HIGH	7.64 %	311.403 ft²
ABOVE 7' HIGH	33.84 %	805.137 ft²
	53.07 %	1262.76 ft²

1/8" SCALE

ATTIC

Below 5' H in green

CONSTRUCTION SET

TBD.5

CHECKED: McCormick

DATE: 07/27/15

ISSUE: 01

REVISIONS: 01

PROJECT: 4217 SHOAL CREEK BLVD, AUSTIN TX 78756

52/10

C15-2015-0158

m10
26

Austin, Texas 78756



"Working together to keep our neighborhood
a nice place to come home to."

October 26, 2015

City of Austin
Board of Adjustment

RE: Case #2015-069442 BA 4217 Shoal Creek Blvd.

Members of the Board:

The Rosedale NA steering committee met with the applicant to discuss this case on 10/26/2015.
We support the variance request for exempted attic space under the existing roof envelope,
which is in keeping with the spirit and intent of the McMansion ordinance.

Thank you for your service to our community!

Chris Allen
Co-chair, Rosedale NA zoning committee

