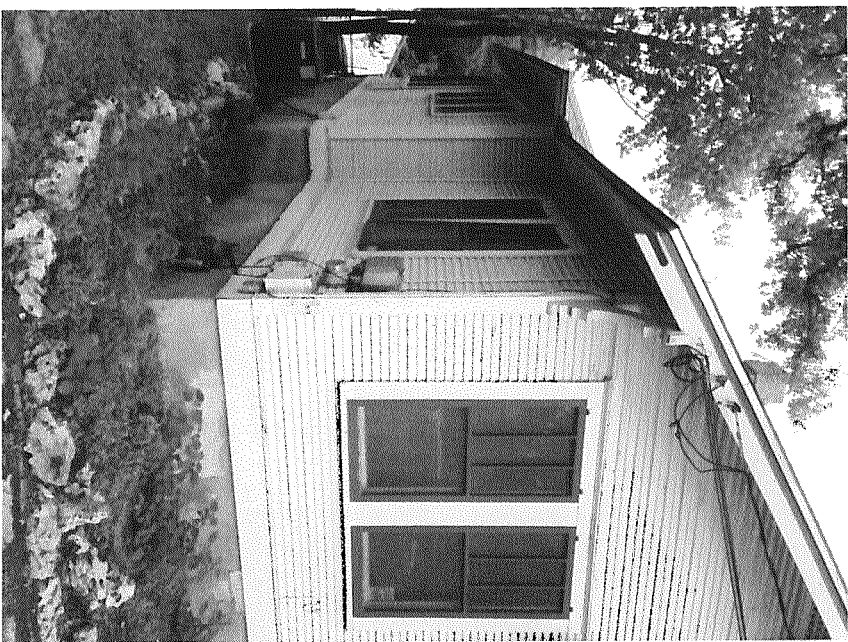


906 ROBERTSON

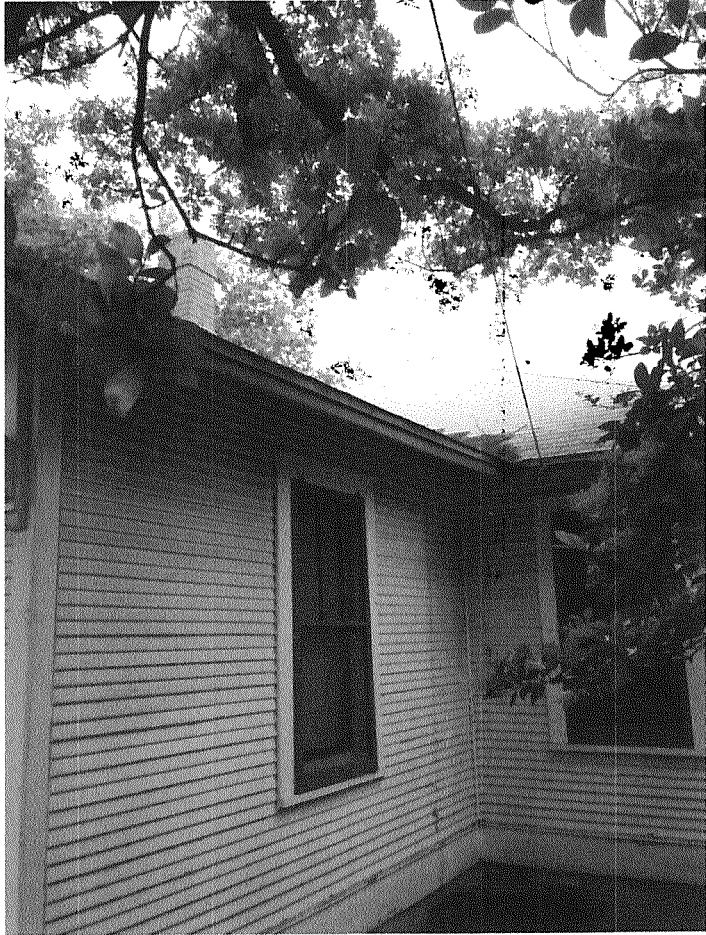


FRONT/EAST



SOUTH

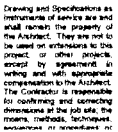
906 ROBERTSON



NORTH



WEST/REAR



906 ROBERTSON ST

1738

1

10. *Chlorophyll a* and *Chlorophyll b* contents were determined by spectrophotometry using the following equations:

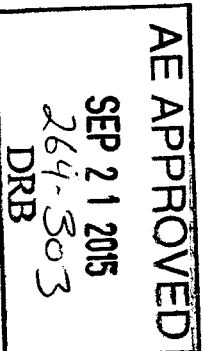
— 2000 —

1 OF 10



CITY OF AUSTIN STANDARD NOTES FOR TREE AND NATURAL AREA PROTECTION

- [illegible]



All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.

ZONING
SF-3-NP

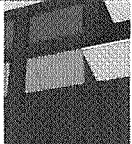
SITE AREA
8,933 SF

LEGAL DESCRIPTION
LOT 12, BLOCK 2
WESTRIDGE SUBDIVISION

PROJECT
MCMANSSION,
BUILDING COVER

DRAWING SHEETS

- A-1 SITE PLAN
- A-2.1 DEMO + ROOF PLAN
- A-2.2 FIRST FLOOR PLAN
- A-2.3 SECOND FLOOR PLAN
- A-3.1 ELEVATIONS 1
- A-3.2 ELEVATIONS 2
- A-4.1 SECTIONS 1
- A-4.2 SECTIONS 2
- A-4.3 SECTIONS 3



CORMIER ARCHITECTURE

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compensation to the Architect.
The Contractor is responsible
for confirming and controlling
dimensions at the job site, the
results, methods, and sequence

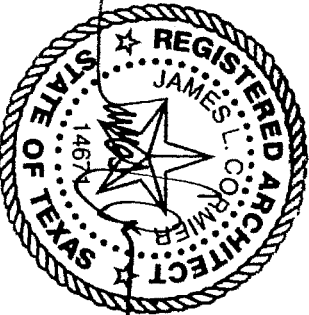
PROJECT
906 ROBERTSON STREET

ADDRESS
906 ROBERTSON ST

DRAWING TITLE
NOTES

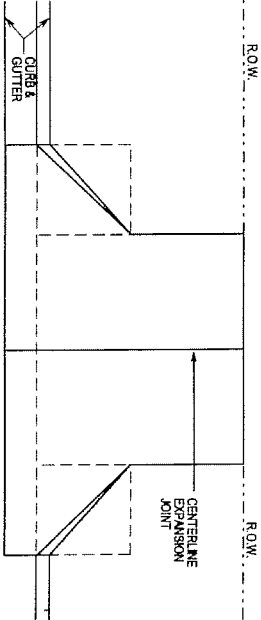
DATE NOTES
01/11/15
REVISION
REVISION
REVISION

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A-1.2

9/16/15



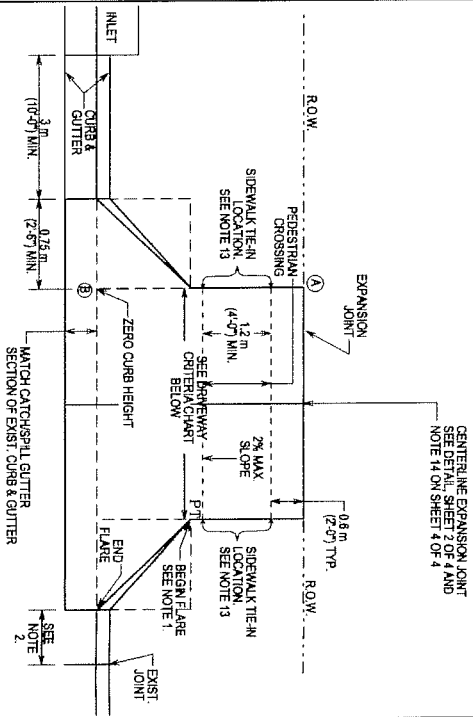
PLAN

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	FLARED TYPE DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)
RECORDED COPY SIGNED BY SAM ANGOCCHI	10/19/09
ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
STANDARD NO. 433S-1A	2 OF 4

NOTES:

1. ZERO CURB AT BEGINNING OF FLARE OR SIDEWALK EDGE, WHICHEVER IS EXISTING. THE CURB SHALL BE SMOOTHLY TRANSITIONED INTO THE SIDEWALK BEGINNING AT THE END OF FLARE.
2. IF DIMENSION IS LESS THAN 1.5 METERS (5 FEET), REMOVE CURB AND GUTTER TO EXISTING JOINT AND POUR MONOLITHICALLY WITH THE DRIVEWAY.
3. IF THE BASE MATERIAL UNDER AND BEHIND THE CURB IS OVER-EXCAVATED WHERE THE CURB AND GUTTER WAS REMOVED, BACKFILL WITH CONCRETE MONOLITHICALLY WITH THE DRIVEWAY.
4. ALL DRIVEWAYS MUST BE CONSTRUCTED WITHIN THE STREET FRONTAGE OF THE SUBJECT PROPERTY AS DETERMINED BY EXTENDING THE SIDE PROPERTY LINES TO THE CURB.
5. DRIVEWAYS SHALL NOT EXCEED 70% OF A LOT'S STREET FRONTAGE.
6. TYPE I DRIVEWAYS ARE TO BE LOCATED NO CLOSER TO THE CORNER OF INTERSECTION THAN 15 METERS (50 FEET) FROM THE CORNER (WHICH EVER IS LESS).
7. DRIVEWAYS SHALL NOT BE CONSTRUCTED WITHIN THE CURB RETURN OF A STREET INTERSECTION.
8. SINGLE FAMILY LOTS LIMITED TO ONE DRIVEWAY EXCEPT FOR APPROVED SEMICIRCULAR DRIVES.
9. WHEN TWO DRIVEWAYS ARE USED, ONE PER UNIT, TWO MAXIMUM, FOR DUPLEXES AND TOWN HOMES, SINGLE FAMILY STANDARDS SHALL APPLY.
10. WHILE THE PROPERTY OWNER REMAINS RESPONSIBLE FOR GARAGE DECKS WITHIN PRIVATE PROPERTY, THE FREE REPAIRMENT SHOULD BE CONSULTED WHEN THE DRIVEWAY IS ESSENTIAL TO EMERGENCY VEHICLE ACCESS AND 6" IS GREATER THAN 15%, 6" PLUS "D" SHOULD NOT EXCEED 15%.
11. SEE TRANSPORTATION MANUAL, SECTION 6 FOR OTHER DRIVEWAY REQUIREMENTS.
12. USE 12 mm (1/2") ASPHALT BOARD, OR OTHER APPROVED MATERIAL, FOR CURB AND GUTTER EXPANSION JOINTS.
13. THE SIDEWALK, REGARDLESS OF ITS LOCATION WITH RESPECT TO THE CURB OR PROPERTY LINE, SHALL BE CONNECTED TO THE DRIVEWAY AT THESE LOCATIONS.
14. PLACE AN EXPANSION JOINT DOWN THE CENTER OF ALL DRIVEWAYS.
15. WATER METER BOXES AND WASTEWATER CLEAN OUTS ARE PROHIBITED FROM BEING LOCATED IN DRIVEWAY AREAS.

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	FLARED TYPE DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)
RECORDED COPY SIGNED BY SAM ANGOCCHI	10/19/09
ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
STANDARD NO. 433S-1A	4 OF 4

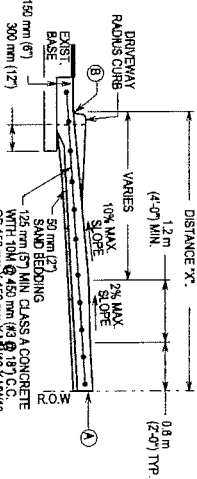


PLAN

DRIVEWAY	WIDTH
	METERS FEET
USE	MIN. 1.5 5.0
SINGLE	1.5 5.0
FAMILY	1.5 5.0
DUPLEX	1.5 5.0
TOWN HOME	1.5 5.0

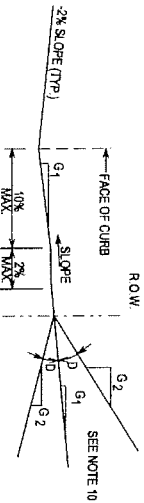
NOTE: ALL DRIVEWAYS SHALL BE SLOPED TOWARDS THE SIDEWALK TIE-IN LOCATION. THE ELEVATION OF PONTIAC DRIVE SHALL BE TYPICALLY A MINIMUM OF 150 mm (6") PLUS 20 mm (1/2") RISE/FOOT OVER DISTANCE "X" IN METERS (FEET).

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	FLARED TYPE DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)
RECORDED COPY SIGNED BY SAM ANGOCCHI	10/19/09
ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.
STANDARD NO. 433S-1A	1 OF 4



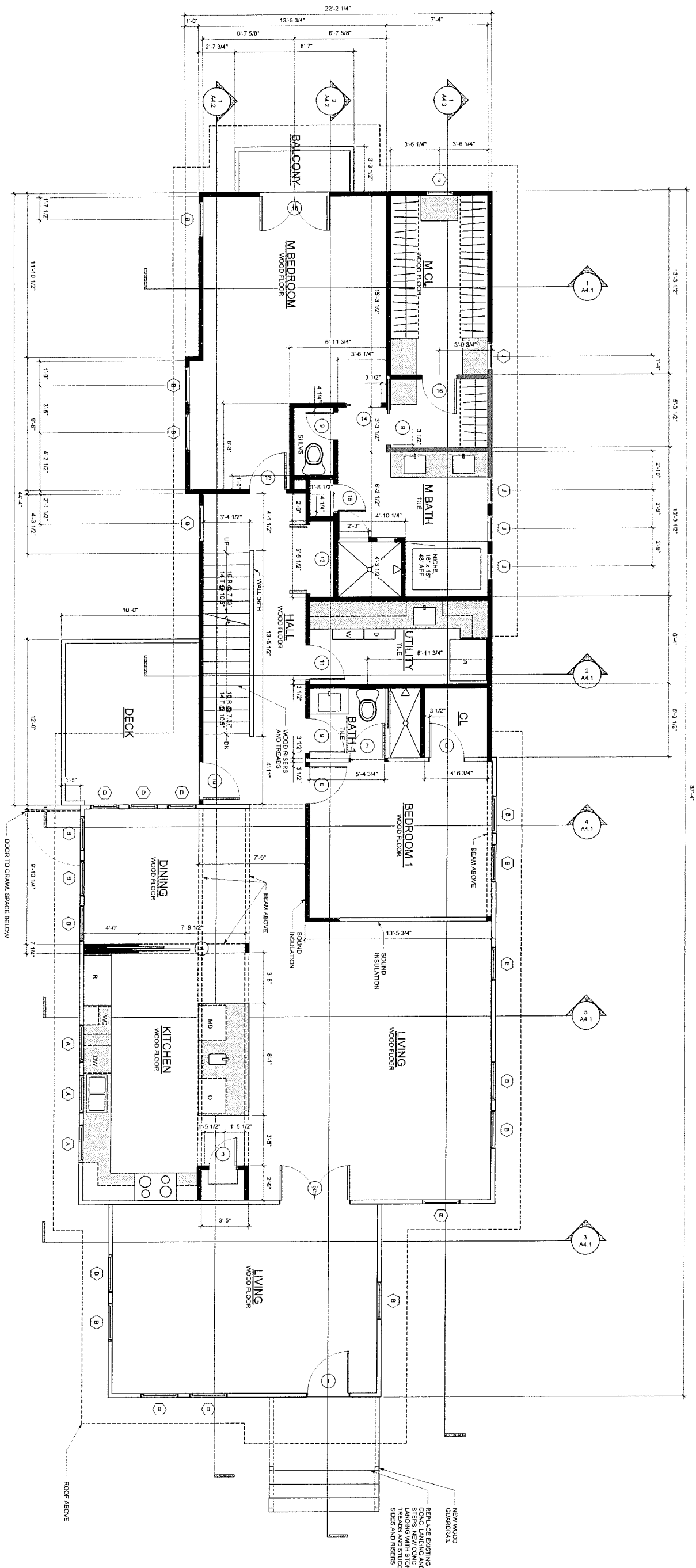
CROSS SECTION

ALLOWABLE GRADES



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	FLARED TYPE DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)
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STANDARD NO. 433S-1A	3 OF 4





1
FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

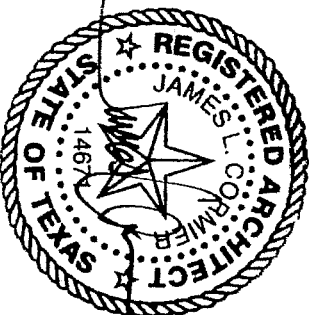
DOOR SCHEDULE

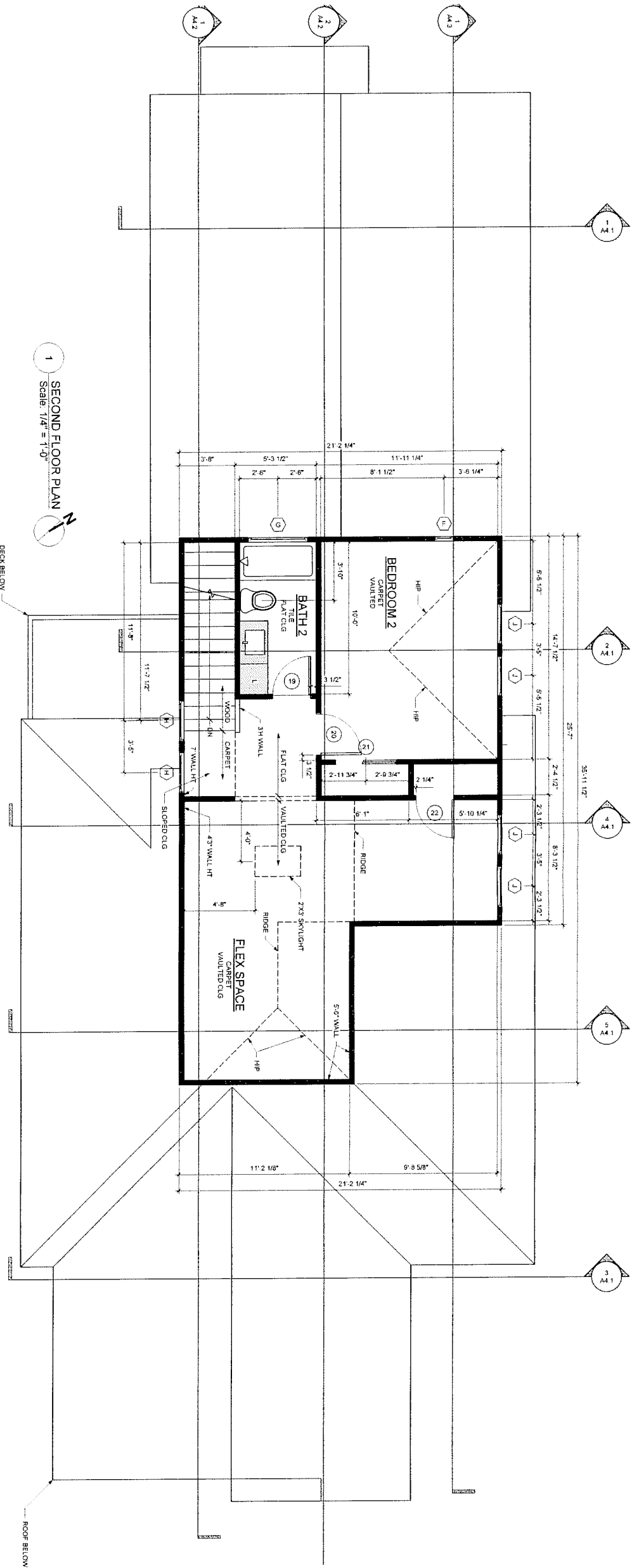
DOOR	SIZE (WH)	NOTES
1	30"x68"	SWING EXISTING TO REMAIN
2	50"x68"	DBL SWING EXISTING TO REMAIN
3	20"x68"	SWING
4	78"x68"	DOUBLE SLIDING WOOD DOOR
5		
6	28"x68"	SWING
7	28"x68"	SWING
8	28"x68"	SWING
9	28"x68"	SWING
10	28"x68"	EXTERIOR SWING SINGLE LIGHT WOOD DOOR
11	28"x68"	SWING
12	80"x68"	BIFOLD BIPART
13	28"x68"	SWING
14	28"x68"	SWING
15	20"x68"	SWING
16	28"x68"	SWING
17	28"x68"	SWING
18	50"x68"	EXTERIOR DBL SWING SINGLE LIGHT WOOD DOOR
19	28"x68"	SWING
20	28"x68"	SWING
21	40"x68"	BIPASS
22	28"x68"	SWING
23	38"x68"	POCKET
24	28"x68"	POCKET
25	20"x68"	SWING
26	22"x68"	POCKET
27	28"x68"	EXTERIOR SWING WOOD SLAB FLUSH
28	28"x68"	SWING
29	28"x68"	EXTERIOR SWING WOOD SLAB FLUSH

WINDOW SCHEDULE

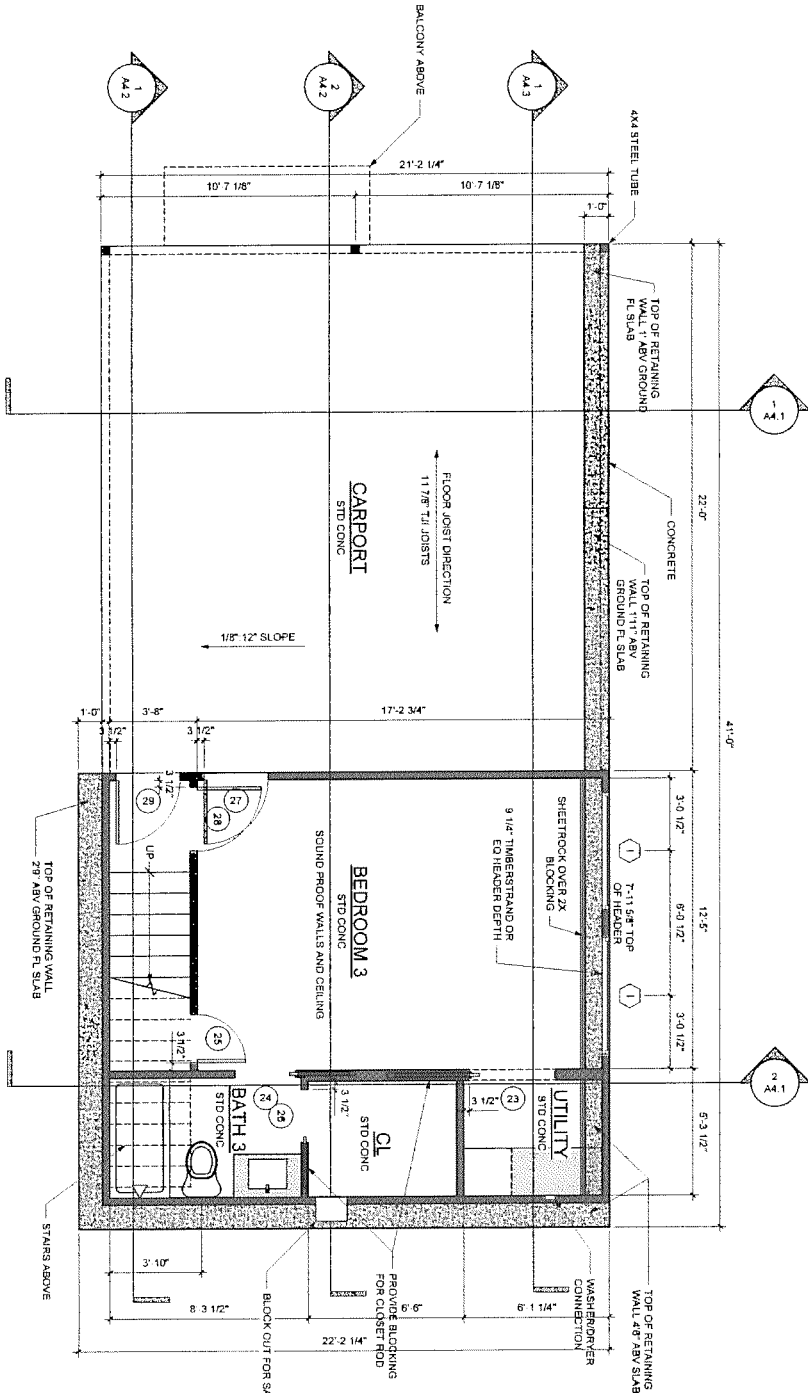
WINDOW SC

WINDOW	SIZE (WxH)	NOTES
A	28 X36"	EXISTING DOUBLE HUNG*
B	29 X35"	EXISTING DOUBLE HUNG*
C	25 X65"	EXISTING DOUBLE HUNG**
D	21 X65"	EXISTING DOUBLE HUNG*
E	26 X36"	EXISTING DOUBLE HUNG*
F	14 X22"	FIXED DIRECT SET
G	14 X40"	FIXED DIRECT SET
H	26 X36"	EXISTING DOUBLE HUNG MATCH WINDOW E**
I	20 X30"	ADDING
J	29 X35"	EXISTING DOUBLE HUNG MATCH WINDOW B*





1 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



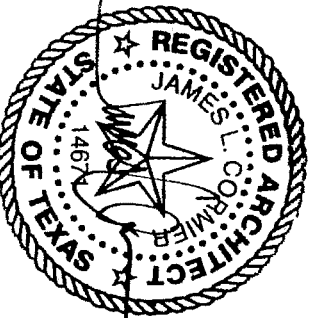
2 GROUND FLOOR
Scale: 1/4" = 1'-0"

DOOR SCHEDULE

DOOR	SIZE (WxH)	NOTES
1	30'x6'-6"	SWING, EXISTING TO REMAIN
2	50'x6'-6"	DBL SWING, EXISTING TO REMAIN
3	20'x6'-6"	SWING
4	7'6"x6'-6"	DOUBLE SLIDING WOOD DOOR
5		
6	28'x6'-6"	SWING
7	28'x6'-6"	SWING
8	28'x6'-6"	SWING
9	28'x6'-6"	SWING
10	28'x6'-6"	EXTERIOR SWING, SINGLE LIGHT WOOD DOOR
11	28'x6'-6"	SWING
12	80'x6'-6"	BIFOLD BIPART
13	28'x6'-6"	SWING
14	28'x6'-6"	SWING
15	28'x6'-6"	SWING
16	28'x6'-6"	SWING
17	28'x6'-6"	SWING
18	80'x6'-6"	EXTERIOR DBL SWING SINGLE LIGHT WOOD DOOR
19	28'x6'-6"	SWING
20	28'x6'-6"	SWING
21	40'x6'-6"	BIPASS
22	28'x6'-6"	SWING
23	38'x6'-6"	POCKET
24	28'x6'-6"	POCKET
25	28'x6'-6"	SWING
26	28'x6'-6"	POCKET
27	28'x6'-6"	EXTERIOR SWING WOOD SLAB FLUSH
28	28'x6'-6"	SWING
29	28'x6'-6"	EXTERIOR SWING WOOD SLAB FLUSH

WINDOW SCHEDULE

WINDOW	SIZE (WxH)	NOTES
A	28'x3'-6"	EXISTING DOUBLE-HUNG
B	28'x5'-5"	EXISTING DOUBLE-HUNG
C	28'x5'-5"	EXISTING DOUBLE-HUNG
D	21'x5'-5"	EXISTING DOUBLE-HUNG
E	28'x3'-6"	EXISTING DOUBLE-HUNG
F	14'x2'-2"	FIXED DIRECT SET
G	14'x4'-0"	FIXED DOUBLE-HUNG MATCH WINDOW E
H	28'x3'-6"	AWNING
I	20'x5'-0"	EXISTING DOUBLE-HUNG MATCH WINDOW B
J	29'x5'-5"	



9/16/15

A-2.3

3 OF 30

DRAWING TITLE
2ND FL PLAN

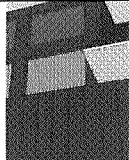
PROJECT:

906 ROBERTSON STREET

ADDRESS:

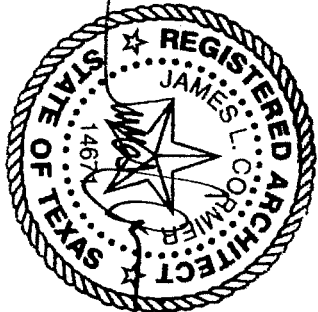
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CORMIER ARCHITECTURE

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Austin, TX 78704
(512) 587-6447
jacob@cornierarch.com



9/16/15

AVERAGE GRADE
547.70'

1 EAST ELEVATION
Scale 1/4" = 1'-0"

548.51' HIGH POINT
PORTION 2

551.41' HIGH POINT
ADJUSTMENT TO NATURAL
GRADE

1ST FLOOR FINISHED FLOOR
553.57'

WINDOW HEAD HEIGHT

1ST FLOOR TOP PLATE

SECOND FLOOR DECK

TOP OF 3RD FL. PLATE SOUTH STAIR

TOP OF 3RD FL. PLATE NORTH

568.67'

TOP OF 3RD FL. PLATE SOUTH ATTIC

568.67'

2'-7 1/8"

2'-7 1/8"

5'-2 1/4"

25'-11 3/8"

15'-0"

EXISTING WOOD WATER TABLE

EXISTING WOOD BAND

PATCH EXISTING STUCCO
UNDERPINNING AS REQUIRED

12

12

7

7

10 5/8"

4'-1 1/2"

4'-10 5/8"

6'-10 5/8"

7'-7 1/2"

9'-4"

PORTION 3

PORTION 2

PORTION 1

PROJECT:

906 ROBERTSON STREET

ADDRESS:

906 ROBERTSON ST
AUSTIN, TX 78703

DRAWING TITLE
ELEVATIONS

THAT SETS SCALE: 1/4" = 1'-0"

DATE: 9/16/15

NOTES: 1. SEE SHEET A-3.2 FOR

REVISIONS: 1. SEE SHEET A-3.2 FOR

REVISIONS: 1. SEE SHEET A-3.2 FOR

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REVISIONS: 1. SEE SHEET A-3.2 FOR

REVISIONS: 1. SEE SHEET A-3.2 FOR

A-3.1

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