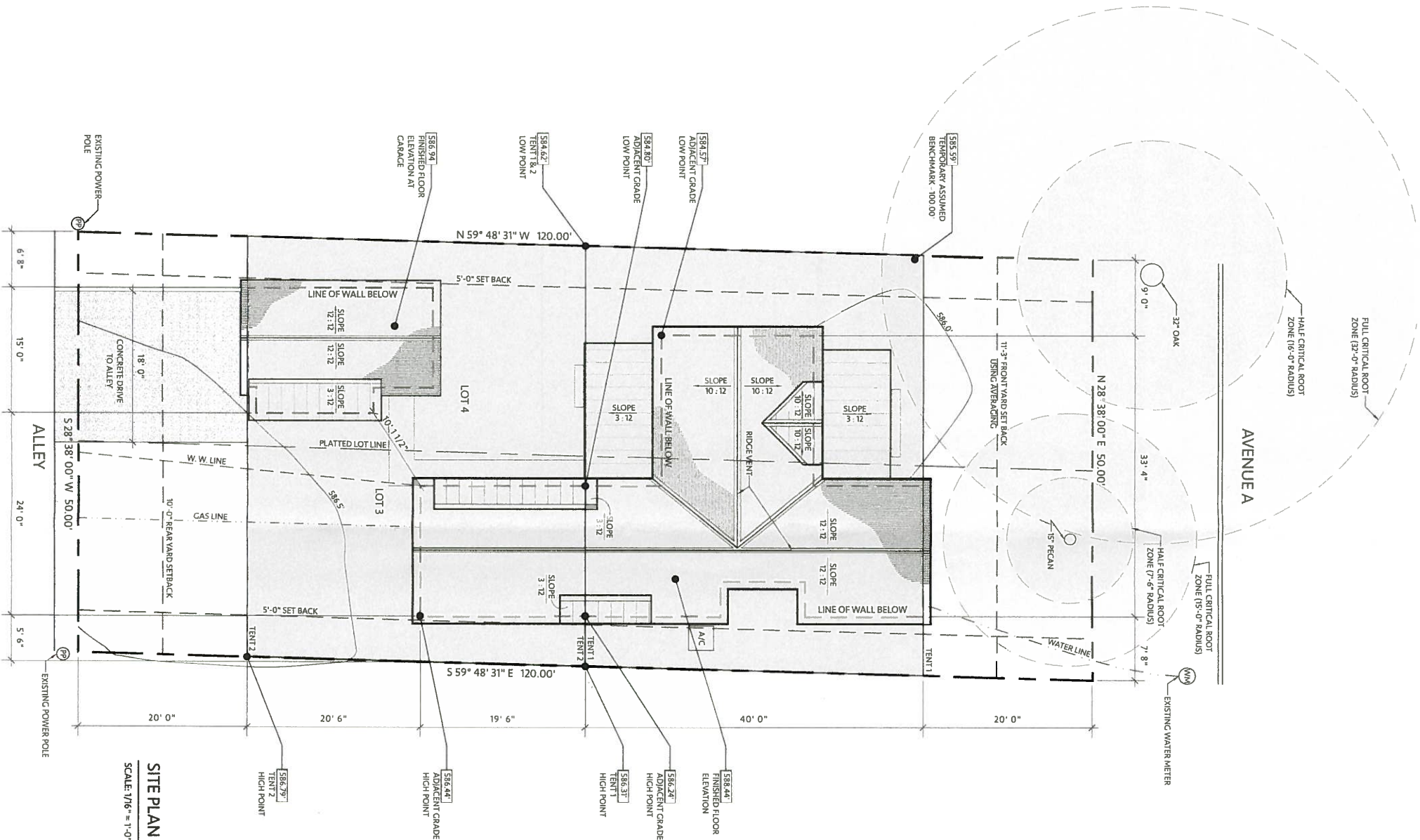




SITE PLAN
SCALE: 1/16" = 1'-0"

2

LEGAL DESCRIPTION:	
LOTS 3 AND 4, BLOCK 7, OF HYDE PARK ADDITION, NUMBER TWO, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT, OF RECORD, IN BOOK 11, PAGE 11, OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.	

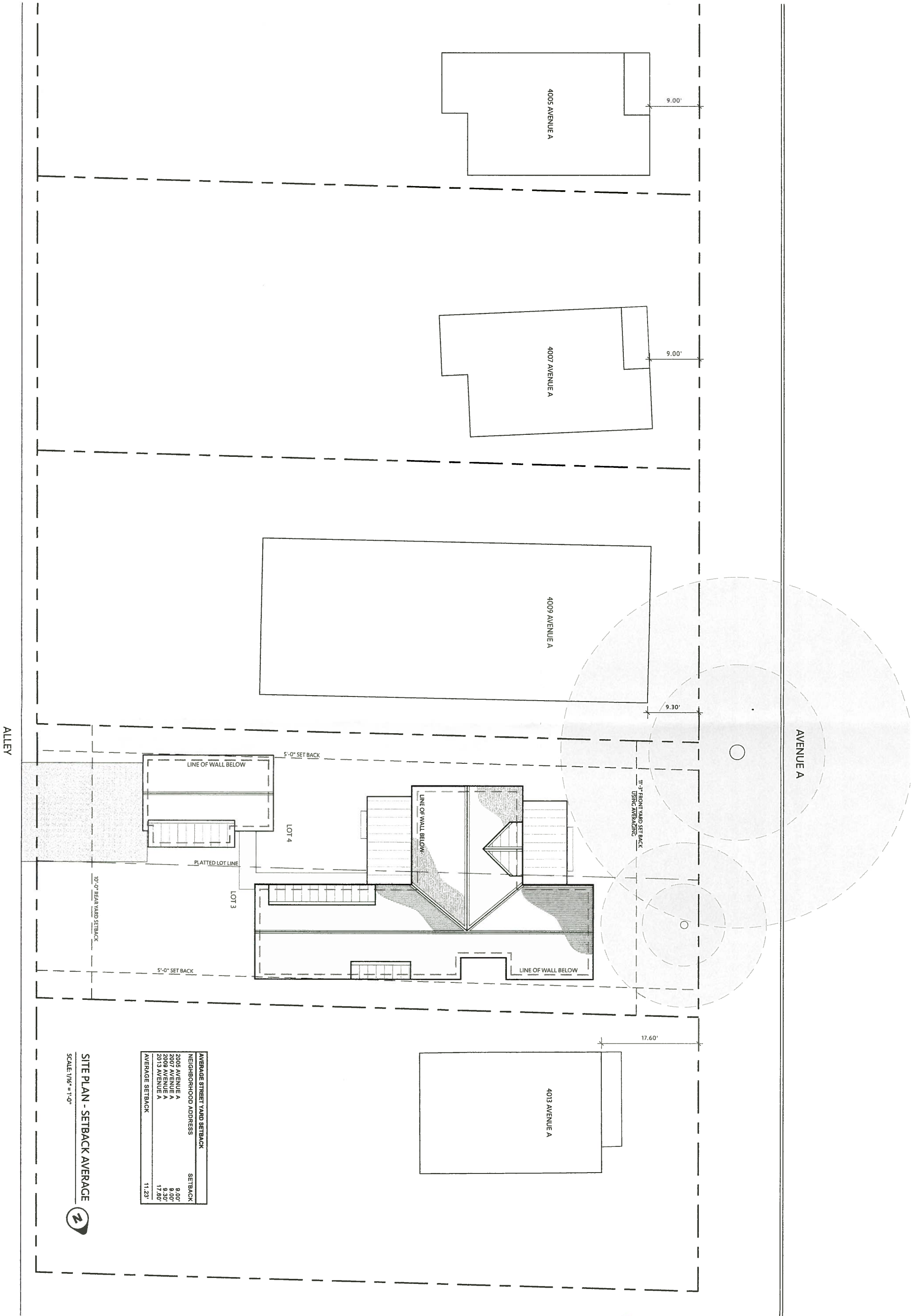
SITE INFORMATION:	
LOT ZONING:	SF-3-HD-NCCD-NP
AREA CALCULATIONS:	
CONDITIONED SPACE	FIRST 1208.25 SF SECOND 1179.50 SF TOTAL 2387.75 SF
GARAGE	308.00 SF (LESS UP TO 2387.75 SF) TOTAL 2387.75 SF
IMPERVIOUS COVER:	
TOTAL LOT AREA	5997.75 SF
FOUNDATION	1208.25 SF
COVERED BACK PORCH	308.00 SF
COVERED FRONT PORCH	144.50 SF
DRIVEWAY	410.75 SF
UNCOVERED RAMP/WALK	88.00 SF
AC PADS	9.00 SF
TOTAL	38.7% OR 2319.50 SF
TOTAL ALLOWABLE	45% OR 2698 SF

F.A.R.:	39.78% OR 2385.75 SF
TOTAL	39.78% OR 2385.75 SF
TOTAL ALLOWABLE	40% OR 2398.1 SF

CODE COMPLIANCE:	
BUILDING CODE	IRC 2012
(W/ LOCAL AMENDMENTS SEC. 25-12-1)	
ENERGY CODE	IECC 2012
(W/ LOCAL AMENDMENTS SEC. 25-12-2(3))	
ELECTRICAL CODE	NEC 2011
(W/ LOCAL AMENDMENTS SEC. 25-12-1(4))	
MECHANICAL CODE	UMC 2012
(W/ LOCAL AMENDMENTS SEC. 25-12-1(3))	
PLUMBING CODE	UPC 2012
(W/ LOCAL AMENDMENTS SEC. 25-12-1(3))	
FIRE CODE	IFC 2012
ACCESSIBILITY CODE	TAS 2012
(W/ LOCAL ORD. NO. 20140130-021, SEC. R320)	

AVERAGE AGGREGATE GRADE LEGEND:	
TENT 1 -	585.41'
TENT 2 -	585.62'
OVERALL -	585.52'

GENERAL SITE PLAN NOTES:	
1. REPORT ANY AND ALL ERRORS, DISCREPANCIES, OR OMISSIONS TO THE ARCHITECT PRIOR TO THE BEGINNING OF WORK.	
2. VERIFY LOCATION OF HOUSE AND DRIVEWAY LAYOUT WITH OWNER AND ARCHITECT.	
3. FINAL GRADING TO PROVIDE FOR POSITIVE DRAINAGE FROM THE FOUNDATION.	
4. SITE INFORMATION IS BASED ON A PROFESSIONAL SURVEY PROVIDED BY THE OWNER.	



NEIGHBORHOOD ADDRESS	SETBACK
2005 AVENUE A	8.00'
2007 AVENUE A	8.00'
2009 AVENUE A	17.80'
2013 AVENUE A	11.23'
AVERAGE SETBACK	

SITE PLAN - SETBACK AVERAGE

SCALE: 1/16" = 1'-0"

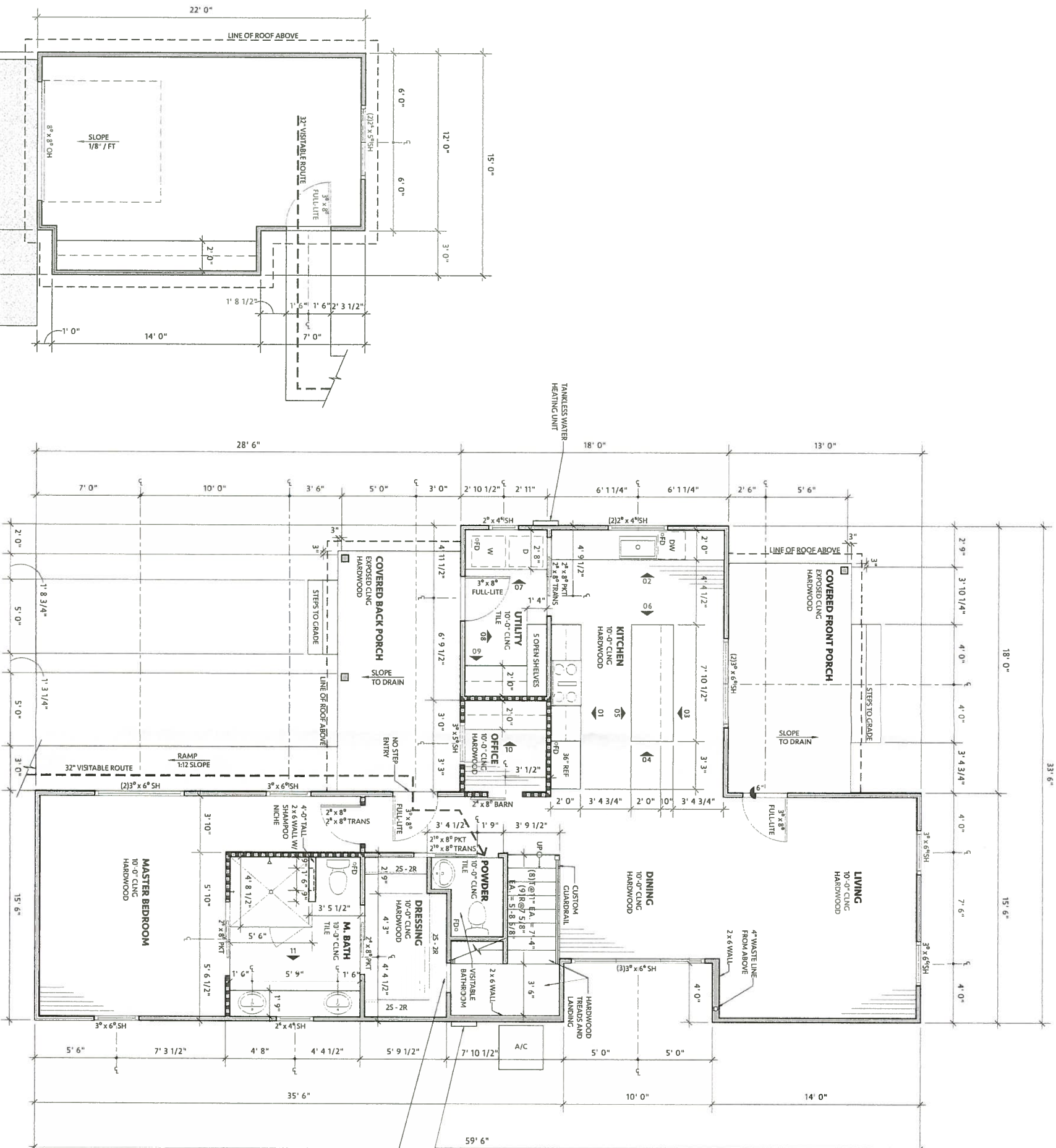
2

COA VISIBILITY NOTES:	
EXTERIOR ROUTE	
POINT OF ORIGIN: GARAGE	ELEVATION: 588.94'
VISITABLE ENTRANCE: REAR ENTRY DOOR	ELEVATION: 588.44'
VISITABLE ROUTE:	
RAMP TO COVERED PATIO	
RAMP TO COVERED PATIO	SLOPE: 1:12 OR 8.3%
VISITABLE ENTRANCE: REAR ENTRY DOOR	
MINIMUM CLEAR WIDTH OF 32"	
NO-STEP ENTRY WITH 1/2" MAX BEVELED THRESHOLD	
INTERIOR COMPLIANCE	
BATHROOM ROUTE: REAR ENTRY DOOR, POWDER AND BATHROOM ROUTE: CONNECTING HALLWAY	
MINIMUM CLEAR WIDTH OF 32"	
THRESHOLDS AND TRANSITIONS SHALL BE RAMPED OR BEVELED	
VISITABLE BATHROOM: POWDER	
MINIMUM CLEAR OPENING OF 30 INCHES AT DOOR	
LUTRAL, 2X6 FLOOR BLOCKING SHALL BE INSTALLED CENTERLINE OF BLOCK TO BE 34" A.F.F. EXCEPT FOR PORTION OF WALL DIRECTLY BEHIND LAVATORY.	
ELECTRICAL	
1. ALL SWITCHES AND ENVIRONMENTAL CONTROLS TO BE LOCATED AT 48" A.F.F. U.N.O.	
2. ALL OUTLETS AND RECEPTACLES TO BE LOCATED AT 15" A.F.F. U.N.O.	

GENERAL FLOOR PLAN NOTES:	
1. ALL CONSTRUCTION TO CONFORM TO ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES.	
2. REPORT ANY AND ALL DISCREPANCIES, ERRORS, OMISSIONS, AND/OR CONFLICTS TO THE ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.	
3. ALL DIMENSIONS TO BE VERIFIED AT THE JOB UNDER NO CIRCUMSTANCE SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.	
4. WINDOW HEADS ARE 8'-0" A.F.F. FIRST FLOOR 6'-8" A.F.F. SECOND FLOOR UNLESS NOTED OTHERWISE.	
5. SET EXTERIOR FACE OF FRAME WALL IN 1/2" INSULATION BOARD.	
6. DOOR AND WINDOW ROUGH OPENINGS SHALL BE 2" LARGER THAN FINISHED SIZE UNLESS OTHERWISE NOTED.	
7. WINDOW UNIT SIZES ARE APPROXIMATE UNIT SIZES. MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS WITH MANUFACTURER.	
8. REVIEW MEP AND RCP PLANS PRIOR TO FRAMING TO ALLOW FOR PROPER CENTERING OF RECESSED FIXTURES, VENTS, ETC.	

AREA CALCULATIONS:	
CONDITIONED SPACE	FIRST 12
TOTAL	SECOND 23
GARAGE	3
TOTAL	(LESS UP 25)
IMPERVIOUS COVER:	
TOTAL LOT AREA	59
FOUNDATION	12
GARAGE	1
COVERED BACK PORCH	1
COVERED FRONT PORCH	1
DRIVEWAY	4
UNCOVERED WALK	1
AC PADS	1
TOTAL	38.7% OR 23'

WALL LEGEND	
FRAME WALL:	FULL HEIGHT:
HALF WALL:	SOUND INS.
MASONRY:	



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



DATE: 20 OCT. 2015

JOB #:

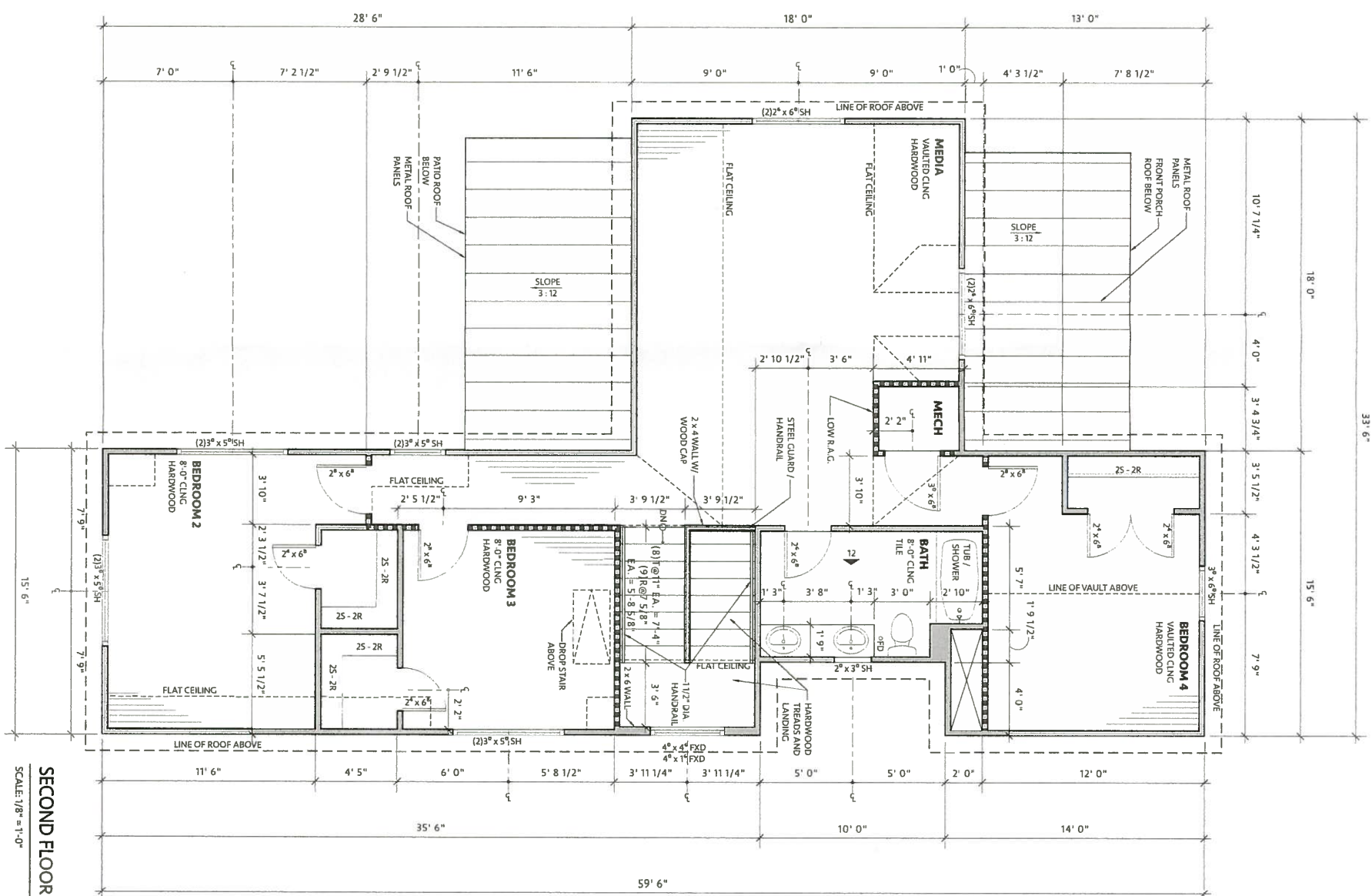
SHEET #:

NAME: CARTY CUSTOM BUILDERS

ADDRESS: 4011 AVENUE A AUSTIN, TEXAS 78751

REGISTERED ARCHITECT TIMOTHY A. BROWN

TIM BROWN ARCHITECTS

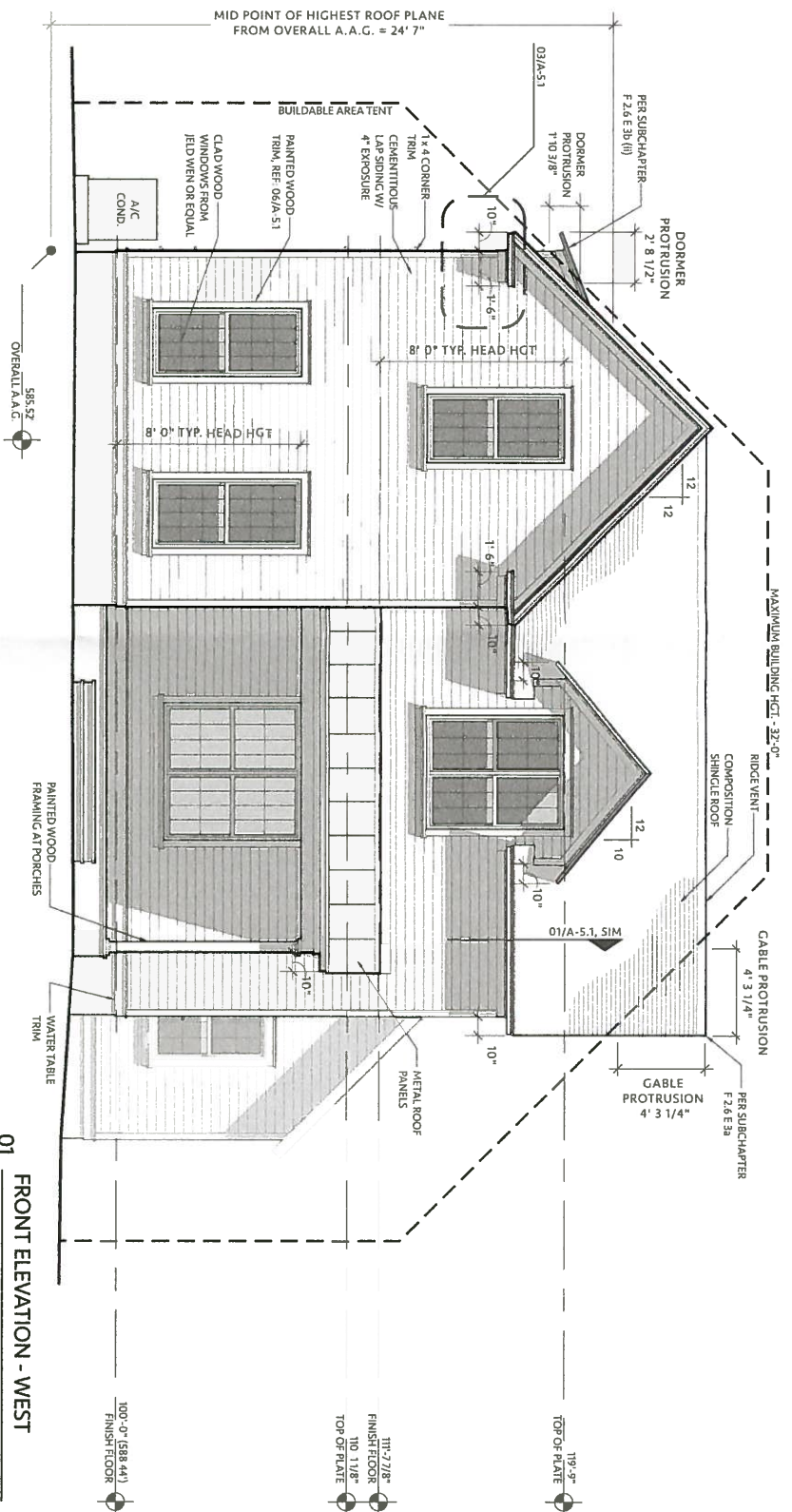


SECOND FLOOR PLAN

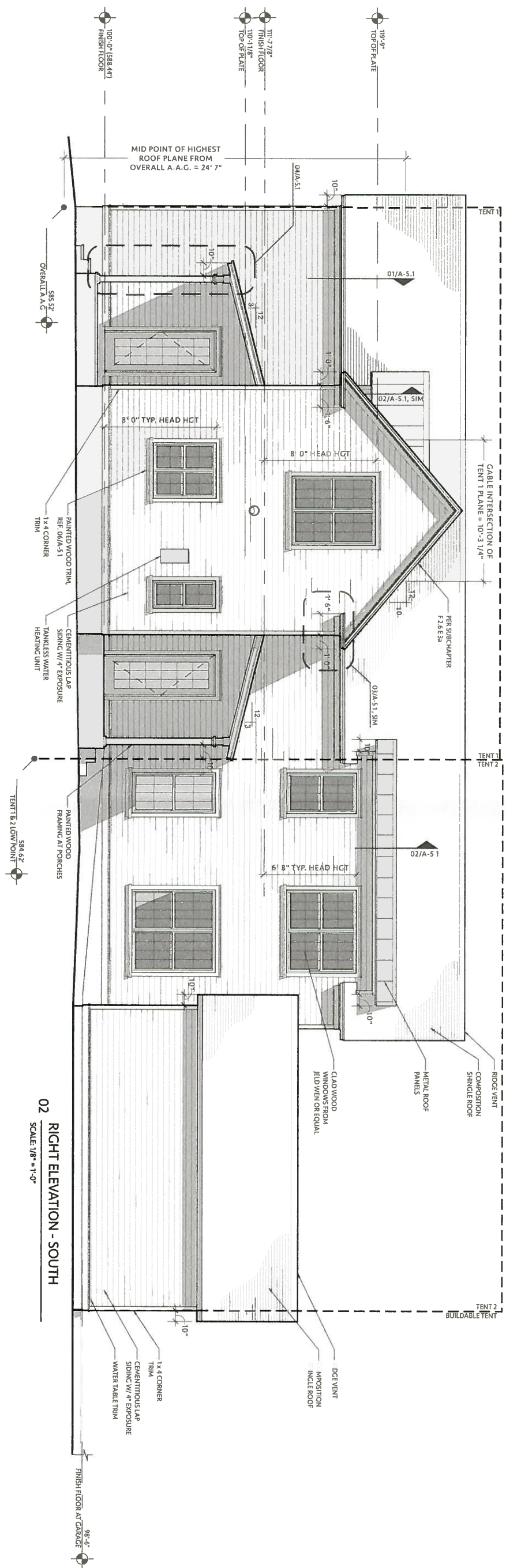
WALL LEGEND	
FRAME WALL:	FULL HEIGHT:
HALF WALL:	
SOUND INS:	
MASONRY:	

DATE: 20 OCT. 2015		NAME: CARTY CUSTOM BUILDERS	
JOB #:		ADDRESS:	
SHEET #:		4011 AVENUE A AUSTIN, TEXAS 78751	

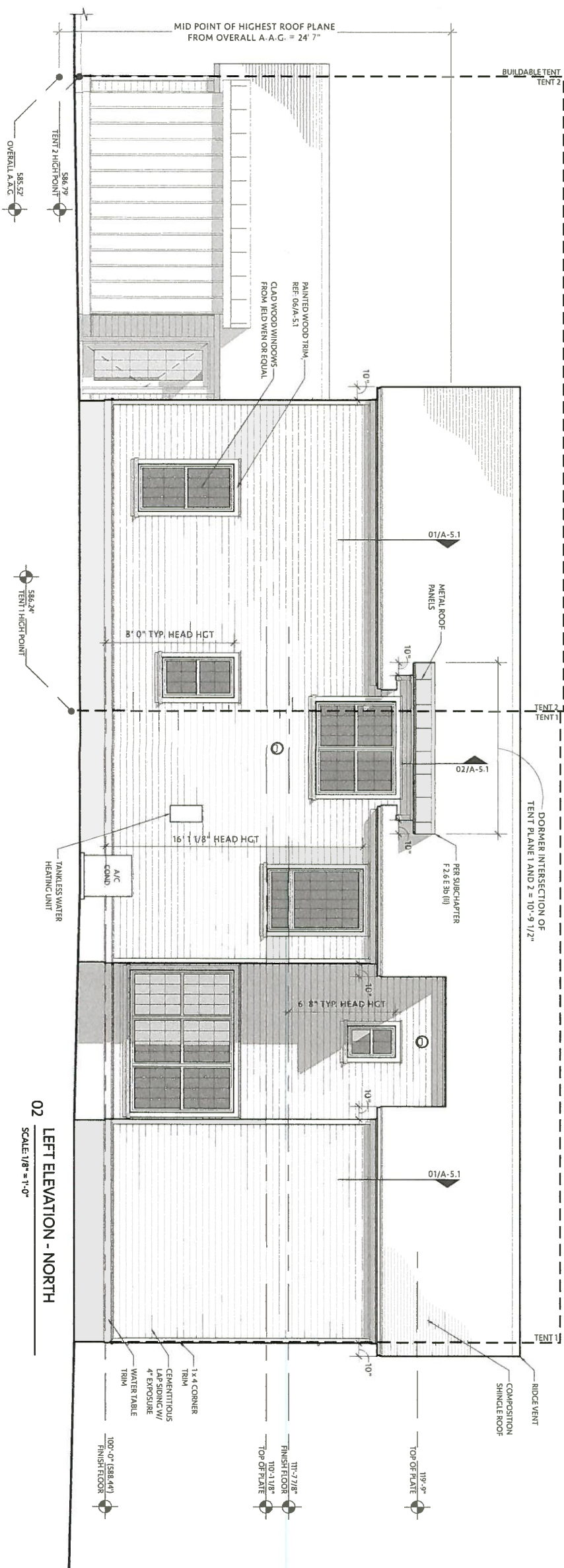
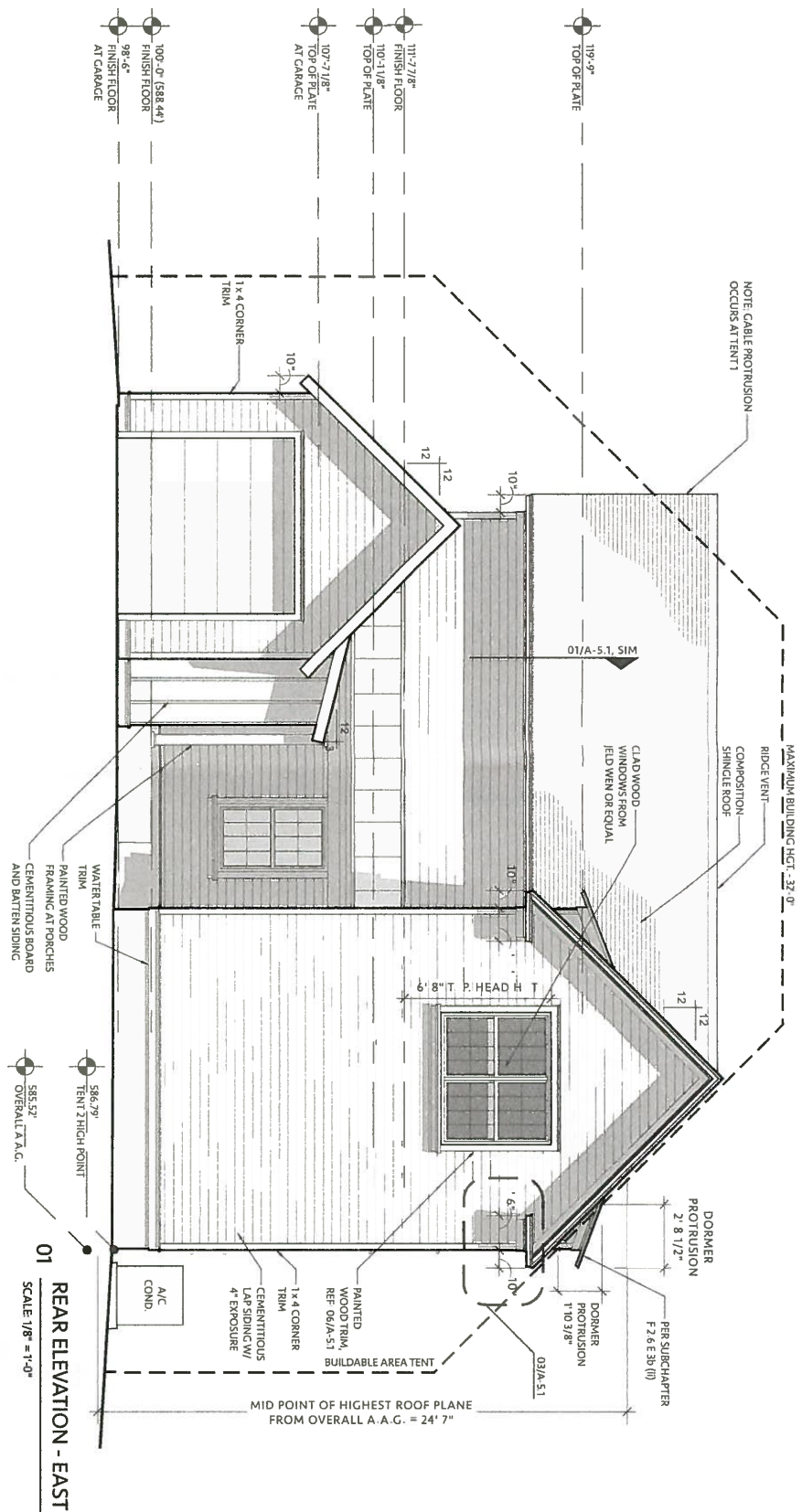


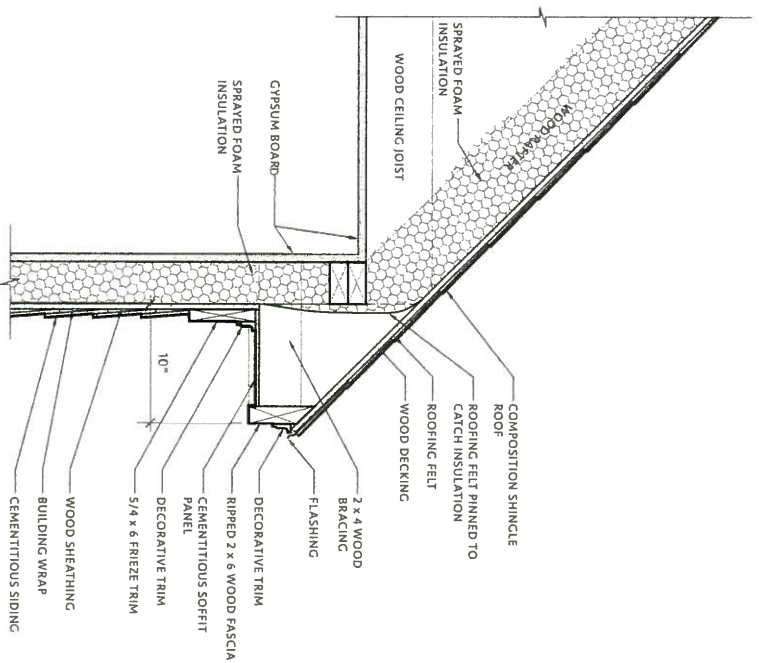


01
FRONT ELEVATION - WEST
SCALE: 1/8" = 1'-0"

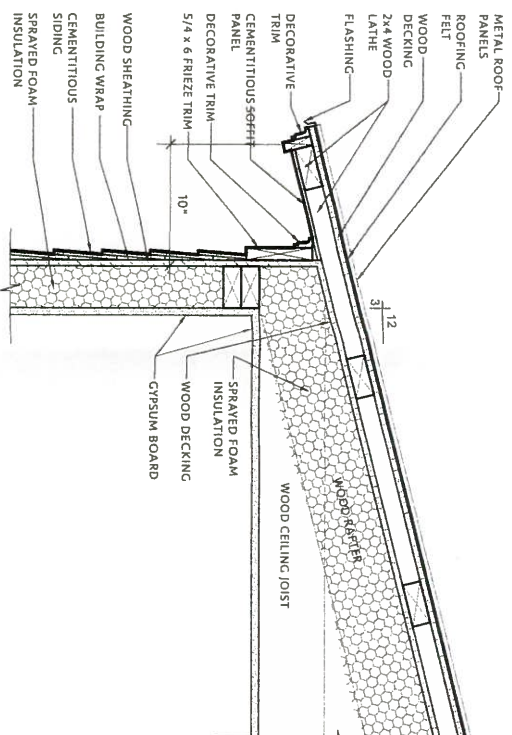


02
RIGHT ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

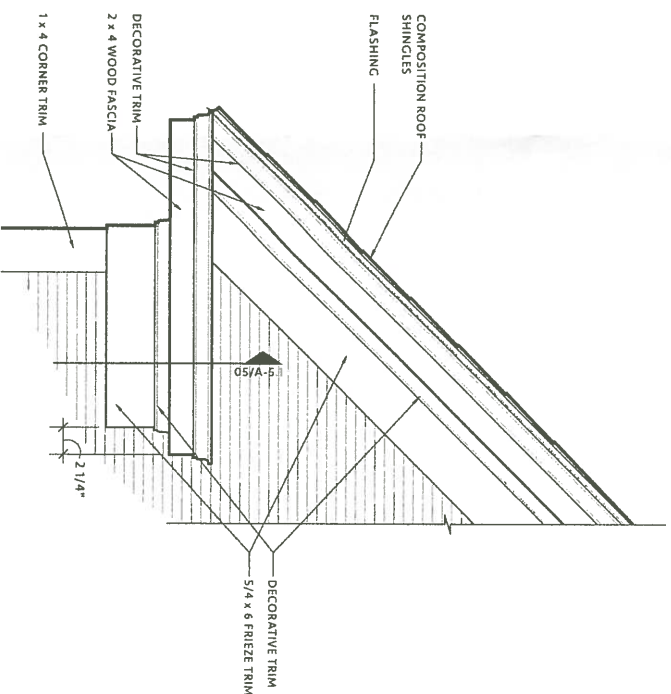




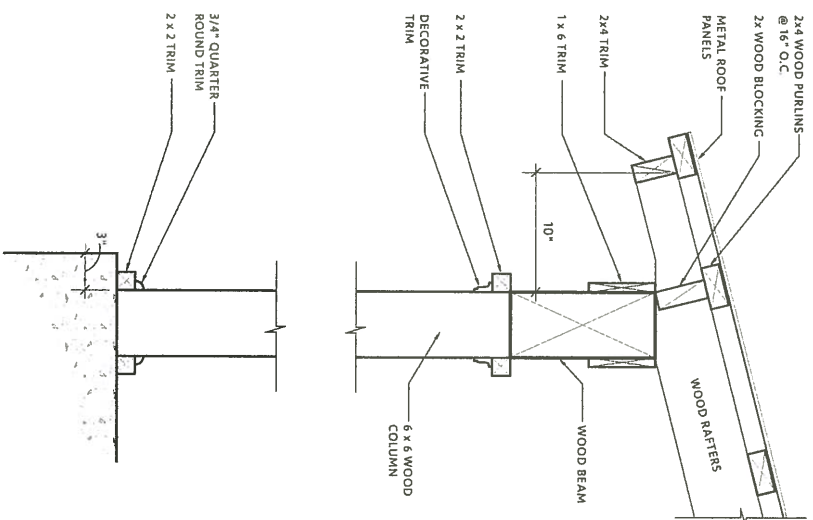
01
TYPICAL FASCIA
SCALE 3/4" = 1'-0"



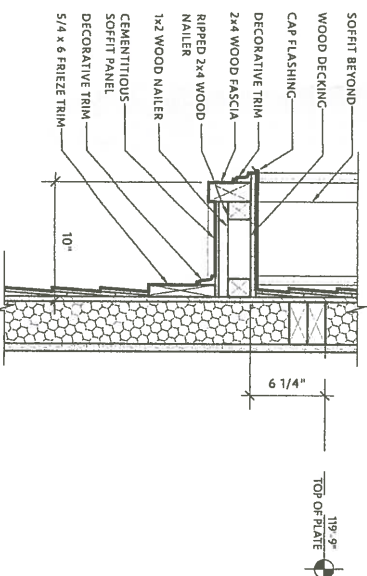
02
OVERHANG AT DORMERS
SCALE 3/4" = 1'-0"



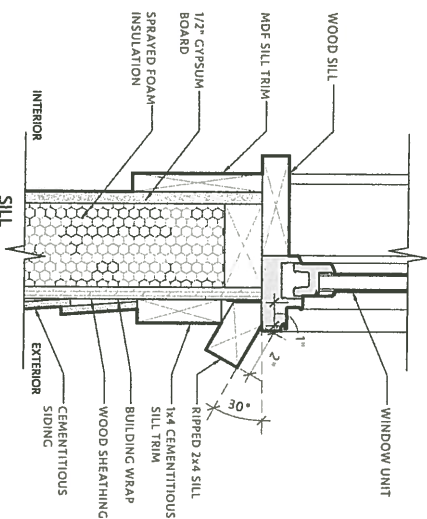
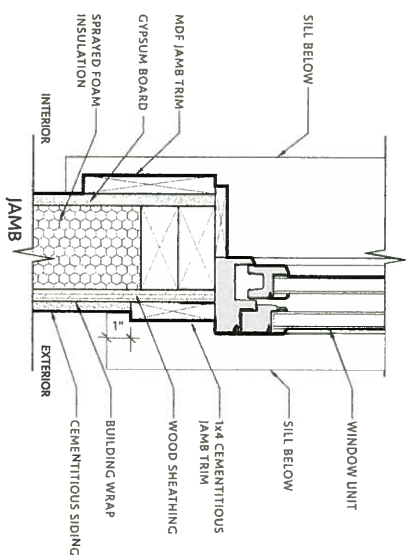
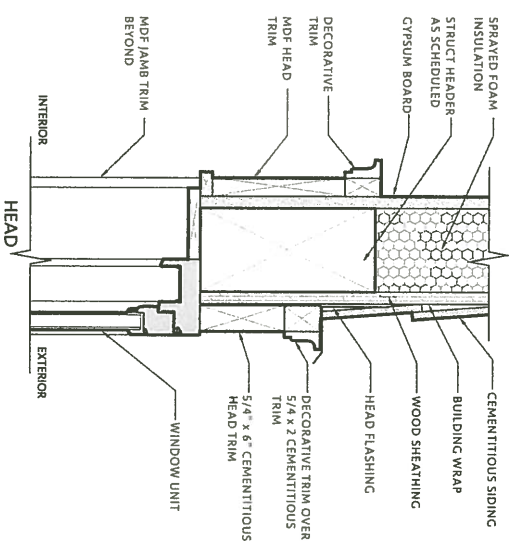
03
RAKE RETURN - ELEVATION
SCALE 3/4" = 1'-0"



04
PORCH COLUMN
SCALE 3/4" = 1'-0"



05
RAKE RETURN - SECTION
SCALE 3/4" = 1'-0"



06
TYPICAL WINDOW DETAILS
SCALE 1 1/2" = 1'-0"