





C:\Users\Featherston\Featherston\Project Information\Gaston Residence - 1605 Gaston Drive\1605 GASTON RESIDENCE.dwg 12/14/2015 1:41:53 PM

@	at	GYP	gypsum	SPEC	specification
ACCESS	accessible	HC	handicapped	SS	stainless steel
ACM	asbestos containing material	HDR	header	STD	standard
ACOUS	acoustical	HM	hollow metal	STL	steel
ACT	acoustical ceiling tile	HORIZ	horizontal	STOR	storage
ADDL	additional	HR	hour	STR	structural or stair
ADJ	adjustable	HT	height	STRUCT	structural
AFF	above finished floor	I.B.C.	installed by contractor	SUSP	suspended
ALT	alternate	I.B.O.	installed by owner	SYM	symmetrical
ALUM	aluminum	IBO	installed by owner	T	tread
APPRDX	approximate	ID	inside diameter	T&G	tongue & groove
B.O.	bottom of	INSUL	insulation	T.O.C.	top of concrete
BD	board	INT	interior	T.O.S.	top of steel
BET	between	JAN	janitor	TEMP	temporary
BLDG	building	JT	joint	TEMP'D	tempered
BLKG	blocking	LAM	laminare	TME	to match existing
BM	beam	MACH	machine	TO	top of
BMJ	building movement joint	MAX	maximum	TYP	typical
BN	bullnose	ME	match existing	UNO	unless noted otherwise
C.G.	corner guard	MECH	mechanical	V.B.	vapor barrier
CJ	control joint	MEMB	membrane	VCT	vinyl composition tile
CLG	ceiling	MFR	manufacturer	VERT	vertical
CLR	clear	MIN	minimum	VIF	verify in field
COL	column	MISC	miscellaneous	WJ	with
CONC	concrete	MO	masonry opening	W/O	without
CONT	continuous	MTD	mounted	WC	watercloset
CRS	courses	MTL	metal	WD	wood
DIA	diameter	NIC	not in contract	WIN	window
DIM	dimension	NTS	not to scale	WP	waterproof
DN	down	OC	on center	WT	weight
DR	door	OD	outside diameter	WW	waste water
DS	down spout	OH	opposite hand	XC	continuous hinge
DWG	drawing	OHD	overhead ceiling door	XSH	spring hinge
EA	each	OPCI	owner provided contractor installed		
EL	elevation	OPDI	owner provided owner installed		
ELEC	electric(al)	OPP	opposite		
EQ	equal	P.T.	pressure treated		
EQUIP	equipment	PL	property line		
ETR	existing to remain	PLAM	plastic laminate		
EXP.JT.	expansion joint	PLYWD	plywood		
EXST	existing	PT	point or paint		
EXT	exterior	PTD	painted		
F.O.	face of	R	riser or radius		
F.R.T.	fire retardent treatment	RCP	reflected ceiling plan		
FBO	furnished by owner	RD	roof drain		
FD	floor drain	REC	recommend		
FDN	furnished by owner	REF	reference		
FEC	fire extinguisher cabinet	REINF	reinforced		
FFE	finish floor elevation	REQ'D	required		
FIN	finish	RESIL	resilient		
FIN.FLR.	finish floor	RM	room		
FLR	floor	RO	rough opening		
FT	foot or feet	SAMF	self adhered membrane flashing		
FUR	furring	SC	solid core		
GA	gauge	SCHED	schedule		
GALV	galvanized	SD	soap dispenser		
GC	general contractor	SF	square foot		
GL	Glass	SFC	side-folding curtain		
GRD	ground	SHLVS	shelving		
GWB	gypsum board	SIM	similar		

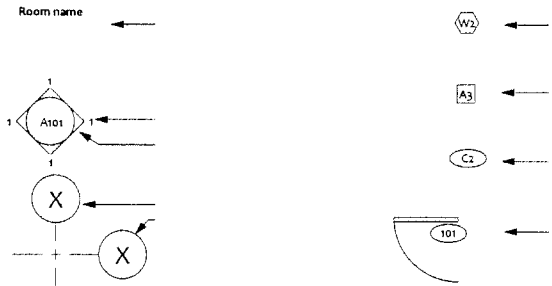


FRONT PERSPECTIVE - NEW



NOTE; STANDARD SHEET SIZE IS 22x34; SETS REPRODUCED ON 11x17 WILL BE AT HALF SCALE.
(EX. DRAWINGS SHOWN AT 1/8" = 1'-0" WILL SCALE AT 1/16" = 1'-0"

SYMBOLS LEGEND



VISITABILITY REQUIREMENTS

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A5-02	DOOR & WINDOW INFORMATION



DECEMBER 11, 2015

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AUSTIN, TEXAS 78703

NO.	DESCRIPTION	DATE
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PERMIT
DRAWINGS

PROJECT NUMBER 20150720

GENERAL
INFORMATION

SHEET NUMBER

A0-01

DECEMBER 11, 2019

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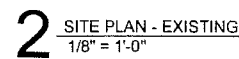
PERMIT DRAWINGS

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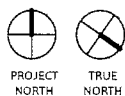
SITE PLAN

SHEET NUMBER

A0.02



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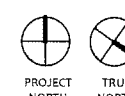
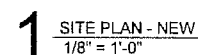


LOT SIZE: 11,200 SQFT

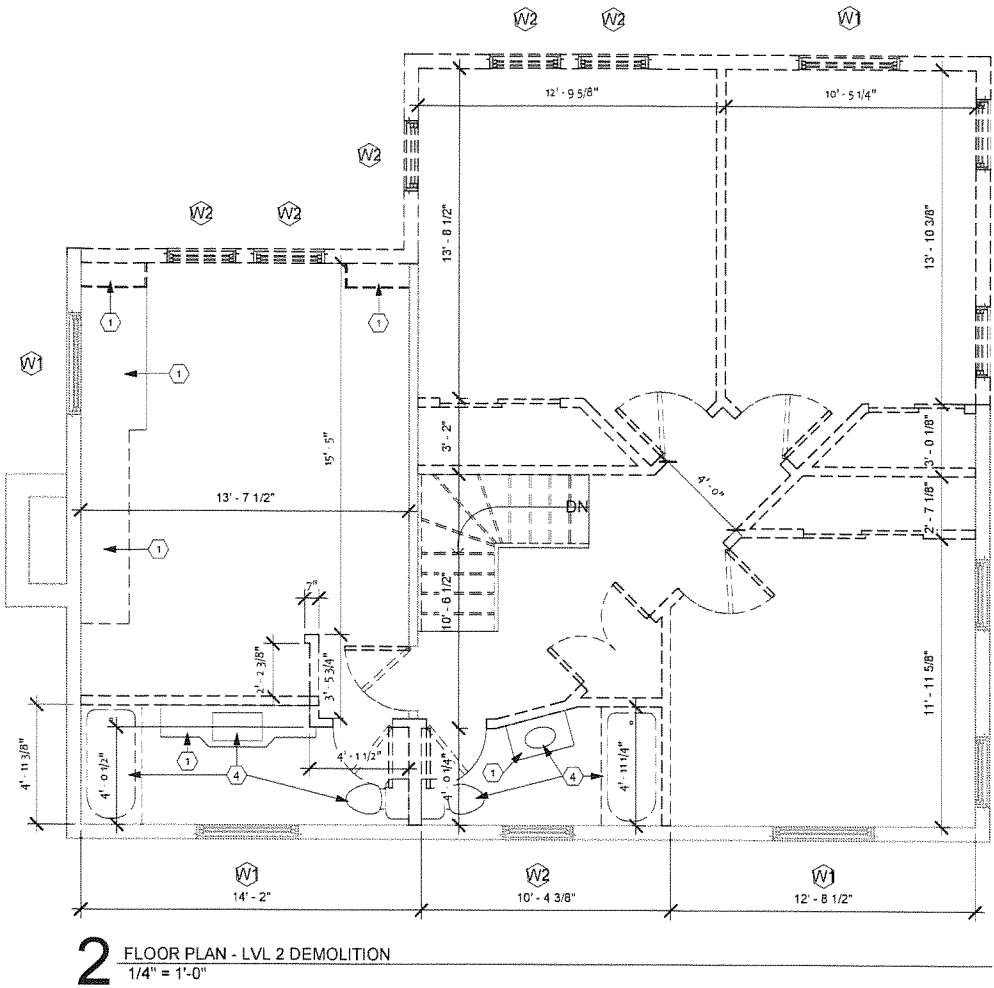
EXISTING 1st FLOOR:	1,945 SQFT
EXISTING FRONT PORCH:	121 SQFT
EXISTING FRONT SIDEWALK(s):	251 SQFT
EXISTING DRIVEWAY(s):	2,885 SQFT
EXISTING REAR SIDEWALK(s):	398 SQFT
EXISTING SPA:	36 SQFT
EXISTING SHED:	150 SQFT
SUBTOTAL:	5,785 SQFT
EXISTING IMPERVIOUS COVER:	51.65%
 NEW 1st FLOOR:	 2,434 SQFT
FRONT PORCH:	121 SQFT
FRONT SIDEWALK(s):	251 SQFT
DRIVEWAY(s):	1,445 SQFT
REAR PATH(s):	261 SQFT
NEW PORCH(s):	191 SQFT
 SUBTOTAL:	 4,505 SQFT
TOTAL IMPERVIOUS COVER:	49.32%

1. THE DRAWINGS GENERALLY DESCRIBE THOSE PORTIONS OF THE EXISTING CONDITIONS WHICH ARE TO BE REMOVED; THESE DRAWINGS DO NOT NECESSARILY DESCRIBE ALL DEMOLITION THAT WILL BE REQUIRED IN ORDER TO CONSTRUCT THE NEW WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF ALL PORTIONS OF THE EXISTING CONDITIONS NECESSARY TO CONSTRUCT AND COORDINATE WITH THE NEW WORK SHOWN ON THE DRAWINGS, IF UNCERTAIN WHETHER AN EXISTING ELEMENT IS TO BE REMOVED, CONTACT ARCHITECT OR OWNER BEFORE PROCEEDING.
2. UNLESS NOTED OTHERWISE, NUMERICAL DESIGNATIONS IN THE UNLESS ARE NOT INTENDED TO IMPLY SEQUENCE OF CONSTRUCTION OR DEMOLITION.
3. BASED ON THE CONTRACTOR'S "MEANS AND METHODS" FOR CONSTRUCTION, CONTRACTOR SHALL DETERMINE INTERMEDIATE STAGING AND SEQUENCING OF THE DEMOLITION, TEMPORARY WORK AND NEW WORK TO ENSURE CONTINUOUS AND SAFE OCCUPATION OF EXISTING FACILITIES.
4. THE CONTRACTOR SHALL MAKE PROVISIONS FOR ALL DEMOLITION AND CONSTRUCTION PROCESSES TO TAKE PLACE IN A MANNER SO AS NOT TO AFFECT THE NORMAL OPERATION OF THE BUILDING.
5. ALL LIFE SAFETY SYSTEMS, EXISTING AND SERVICES ARE TO BE MAINTAINED THROUGHOUT THE DEMOLITION AND CONSTRUCTION WORK. IF THE CONTRACTOR PROPOSES TO INTERRUPT THE LIFE SAFETY SYSTEMS, EXISTING, THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY SECURITY AND/OR FIRE PROTECTION SERVICES DURING THE INTERRUPTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER AND LOCAL JURISDICTION OF CODE ENFORCEMENT.
6. MAINTAIN AND PROTECT THE GENERAL PUBLICS CIRCULATION PATHS AND EXITING FROM BUILDING DURING DEMOLITION AND CONSTRUCTION. OBTAIN APPROVAL FOR ALL TEMPORARY WALKWAYS/EXITS FROM LOCAL JURISDICTION OF CODE ENFORCEMENT.
7. NOTIFY OWNER PRIOR TO COMMENCEMENT OF ALL ELECTRICAL, MECHANICAL, PLUMBING AND FIRE PROTECTION WORK. OBTAIN OWNER'S AUTHORIZATION 72 HOURS IN ADVANCE FOR ANY DISRUPTION OF SERVICES. IN NO CASE SHALL DISRUPTION OF SERVICES OCCUR IN OWNER OCCUPIED AREAS.
8. CONTRACTOR TO INFORM ARCHITECT IF THERE ARE ANY UNFORESEEN STRUCTURAL MEMBERS, MISCELLANEOUS OBJECTS OR UNIDENTIFIED UTILITY LINES FOUND DURING DEMOLITION WORK.
9. ALL DEMOLITION WORK AFFECTING ADJACENT SPACES/BUILDINGS, OR OTHER OCCUPIED PORTIONS OF THE BUILDING MUST BE COORDINATED WITH THE OWNER. NO WORK MAY BE DONE WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
10. CONTRACTOR SHALL MEET WITH OWNER FOR PRE-DEMOLITION CONSTRUCTION MEETING TO COORDINATE EXTENT OF DEMOLITION CONSTRUCTION DETAILS, AND TIMING WITH BUILDING OPERATIONS, PRIOR TO START OF WORK.
11. ALL SALVAGE MATERIALS SELECTED BY THE OWNER SHALL BE PROTECTED AND STORED IN OWNER SELECTED LOCATION.
12. TEMPORARY ENCLOSURES WILL BE SECURE AND STRUCTURALLY SOUND.
13. ALL ITEMS WHICH ARE DESIGNATED FOR RE-USE/RE-INSTALLATION WILL BE CAREFULLY REMOVED AND LABELED, CLEANED, PACKAGED/WRAPPED FOR PROTECTION, AND STORED IN OWNER'S DESIGNATED STORAGE AREA UNTIL NEEDED FOR RE-INSTALLATION.
14. THE CONTRACTOR SHALL OBTAIN PERMITS RELATING/RECLAIM AS DIRECTED BY OWNERSHIP AND/OR AS AVAILABLE LOCALLY AND/OR VIA ASSOCIATED VENDORS AND MANUFACTURERS PROGRAMS.
15. CONTRACTOR IS RESPONSIBLE FOR FIRE ALARM, PULLS, STROBES, AND SMOKE DETECTORS.

355-204
JGM

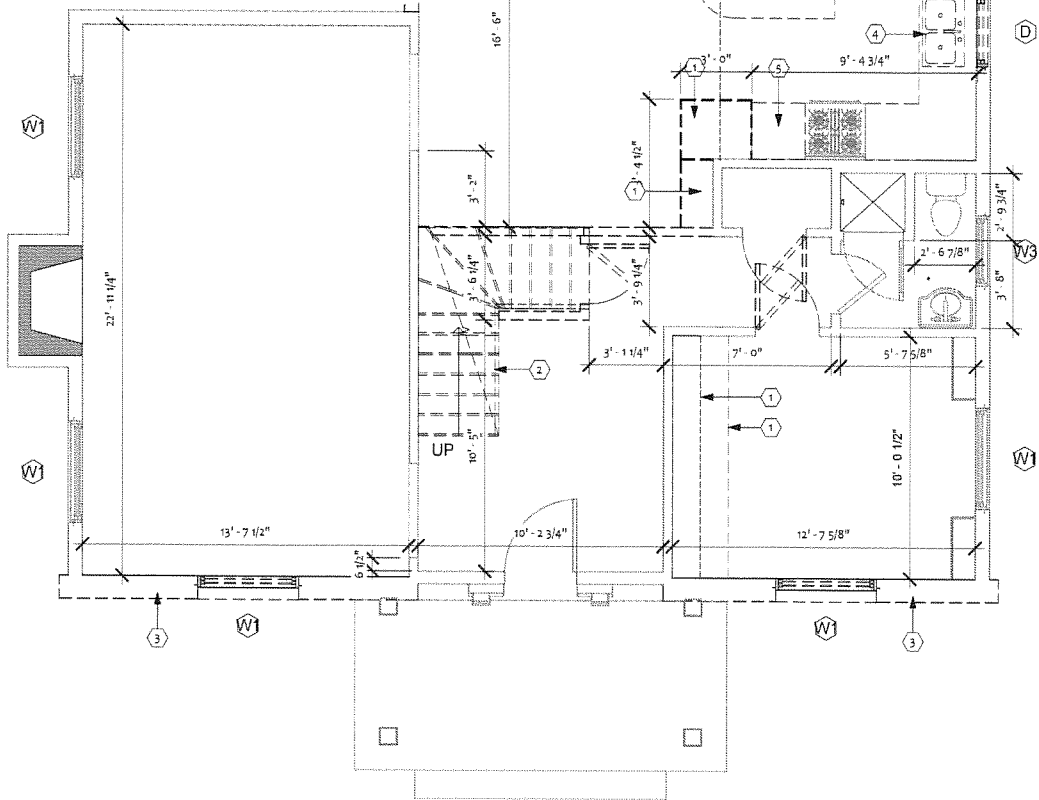


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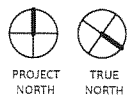
DEMOLITION LEGEND

- INDICATES EXISTING PARTITION TO BE REMOVED.
- INDICATES EXISTING PARTITION TO REMAIN.
- DASHED LINES INDICATE PORTION OF EXISTING PARTITION TO BE REMOVED FOR FUTURE CONSTRUCTION.
- INDICATES EXISTING DOOR, HARDWARE AND FRAME TO BE REMOVED FOR REUSE.
- HATCH INDICATES AREA NOT IN CONTRACT
- DASHED WINDOWS INDICATES WINDOWS TO BE REMOVED. ALL WINDOWS SHOWN AS DASHED ARE TO BE TEMPORARILY STORED ON SITE TO BE REINSTALLED DURING NEW CONSTRUCTION AS INDICATED ON THE PLANS
- INDICATES EXISTING DEVISE TO BE TEMPORARILY REMOVED FOR DEMOLITION. REINSTALL PER CONSTRUCTION DRAWINGS.



KEYED DEMOLITION NOTES

- REMOVE EXISTING MILLWORK AND TRIM, INCLUDING SHELVES, TOPS, AND HARDWARE
- REMOVE EXISTING STAIRS, RAILS AND TRIM.
- REMOVE EXISTING STONE VENEER ON FRONT OF HOUSE. REPLACE WATERPROOFING IF DAMAGED.
- REMOVE EXISTING PLUMBING FIXTURES; CAP LINES THAT ARE TO RECEIVE NEW FIXTURES, REMOVE LINES NOT RECEIVING NEW FIXTURES BACK TO THEIR SOURCE AND CAP.
- REMOVE CABINETS AND COUNTERTOPS, HARDWARE AND BACKSPLASH
- REMOVE EXISTING WATER HEATER
- REMOVE EXISTING GARAGE DOOR, TRACKS, AND OPENER.
- REMOVE ROOF IN ITS ENTIRETY



DEMOLITION NOTES

- THIS DEMOLITION PLAN REFLECTS GRAPHIC AND WRITTEN INFORMATION CONCERNING THE EXISTING SPACE. THIS IS INCLUDED AS "INFORMATION ONLY" REPRESENTING AVAILABLE RECORD INFORMATION OF THE ORIGINAL DRAWINGS PLUS FIELD NOTATIONS. THIS INFORMATION IS FOR THE CONTRACTOR'S USE AS HE SEES FIT. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DETERMINE THE SCOPE OF WORK REQUIRED. THE CONTRACTOR SHALL ALSO EXAMINE THE EXISTING BUILDING AND WORK SHOWN BY ALL CONTRACT DOCUMENTS TO DETERMINE THE SCOPE OF DEMOLITION REQUIRED, WHETHER SPECIFICALLY SHOWN OR NOT.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY WORK INDICATED IN THE CONTRACT DOCUMENTS CANNOT BE PERFORMED DUE TO THE EXISTING CONDITIONS.
- DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES. DEMOLITION IS TO BE DONE IN A CAREFUL AND ORDERLY MANNER SO AS NOT TO DAMAGE FINISHES OR EQUIPMENT TO REMAIN.
- IF ANY FIREPROOFING OR FIRE ASSEMBLIES WHICH ARE INDICATED TO REMAIN ARE DAMAGED DURING DEMOLITION, THEY SHALL BE REPAIRED TO CONFORM TO ORIGINAL FIRE PROTECTION REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY THAT EXIT EGRESS IS MAINTAINED PER CODE FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT CONSTRUCTION AND DEMOLITION.
- ALL WORK SHALL BE PERFORMED IN THE BEST WORKMANSHIP POSSIBLE IN ACCORDANCE WITH HIGHEST TRADE STANDARDS. CONTRACTOR IS RESPONSIBLE FOR DEMOLISHING AND REMOVING FROM THE PREMISES ALL WORK NECESSARY TO ACCOMPLISH SCOPE OF WORK.
- CONTRACTOR SHALL ARRANGE FOR SHUT OFF OF EXISTING UTILITIES AND ARRANGE FOR ALL TEMPORARY POWER NECESSARY.
- THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES DURING DEMOLITION.
- PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES AND GENERAL CONDITIONS THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS. ANY SUCH DAMAGE CAUSED DURING THE COURSE OF THIS WORK WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BEFORE THIS WORK IS CONCLUDED.
- PRIOR TO INTERRUPTING OR OTHERWISE AFFECTING ANY SUCH OPERATING SYSTEM, UTILITY OR SERVICE, CONTRACTOR SHALL CONSULT WITH OWNER'S REPRESENTATIVE TO ESTABLISH A MUTUALLY SATISFACTORY SCHEDULE FOR CUT OVER, CUT OFF DISRUPTION OR OTHER CHANGE IN OPERATING OF THE AFFECTED SYSTEM, UTILITY OR SERVICE. CONTRACTOR SHALL ARRANGE TEMPORARY POWER.
- OPERATING SYSTEMS, UTILITIES AND SERVICES SERVING THE EXISTING SITE SHALL BE MAINTAINED IN OPERATION TO SERVE THE NEEDS OF PORTIONS OF THE BUILDING AND SITE NOT INVOLVED IN THE WORK UNDER THIS CONTRACT AT ALL TIMES DURING THE PROGRESS OF THE WORK IN THIS CONTRACT, EXCEPT FOR SUCH SHORT PERIODS AS ARE ABSOLUTELY NECESSARY TO PERFORM THE WORK. SUCH OPERATING SYSTEMS, UTILITIES, AND SERVICES INCLUDE BUT ARE NOT LIMITED TO WATER, ELECTRICITY, HVAC, SANITARY SEWER, FIRE ALARM, TELEPHONE AND SECURITY.
- REFER TO MECHANICAL AND ELECTRICAL AND PLUMBING DEMOLITION NOTES FOR EXTENT OF DEMOLITION OF THOSE SYSTEMS.
- THE CONTRACTOR SHALL BRACE ALL EXISTING WALLS, STRUCTURES OR STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION. CONTRACTOR IS RESPONSIBLE FOR ALL PATCHING NECESSARY TO EXECUTE THE NEW WORK.
- THE CONTRACTOR SHALL NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED FROM THE ARCHITECT/ENGINEER.
- REMOVE ALL EXISTING FLOOR FINISH MATERIALS, U.N.O. REMOVE ALL MATERIALS AND ACCESSORIES FLUSH AND SMOOTH WITH EXISTING CONCRETE FLOOR TOPPING, U.N.O. SCRAPE OR GRIND MASTIC OR OTHER FOREIGN MATERIALS FROM SLAB SURFACE AS REQUIRED AS NOT TO INHIBIT APPLICATION OF ANY FUTURE FLOOR FINISH OR FLOOR FILL MATERIALS.
- FOR ITEMS THAT ARE NOT PLANNED FOR REUSE IN THE NEW CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH ARCHITECT OR OWNER'S REPRESENTATIVE ON THE STORAGE OR DISPOSAL OF ALL SALVAGED ITEMS AS FOLLOWS:
- COORDINATE DEMOLITION WITH NEW CONSTRUCTION SO RECONSTRUCTION WILL BE COMPATIBLE WITH REMOVAL TECHNIQUES. CAREFULLY REMOVE ALL APPLIED FINISHES ON GYP. BD. WALLS AND COLUMNS TO REMAIN, U.N.O. THE GYP. BD. SUBSTRATE SHOULD BE LEFT REASONABLY SMOOTH AND UNDAAMAGED. WHERE REMOVAL IS NOT FEASIBLE WITHOUT DAMAGING THE SUBSTRATE, REMOVE ONE LAYER OF GYP. BD. AND REPLACE WITH EQUIVALENT THICKNESS AFTER DEMOLITION IS COMPLETED.
- REMOVE CASEWORK, WINDOWS, FRAMES, FURR DOWNS, RESTROOM FIXTURES, ETC. AS REQUIRED AFTER REMOVAL OF PIPE CHASES. PATCH HOLES IN EXISTING FLOORS OR WALLS TO REMAIN TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOOR DECK AND PREPARE SURFACES TO RECEIVE NEW FINISHES AS PER INTERIOR FINISH SCHEDULE.
- NOISE AND DUST ARE NOT TO BE DISRUPTIVE TO THE OCCUPIED AREAS OF THE BUILDING. PROVIDE TEMPORARY PARTITIONS AS REQUIRED.
- WALLS TO REMAIN THAT HAVE INSULATION ABOVE THE CEILING TO EITHER SIDE OF THE WALL ARE TO HAVE INSULATION IN SAME LOCATION WHEN CEILINGS ARE CLOSED UP. RE-USE EXISTING WHERE POSSIBLE AND PROVIDE NEW TO MATCH EXISTING AS REQUIRED.



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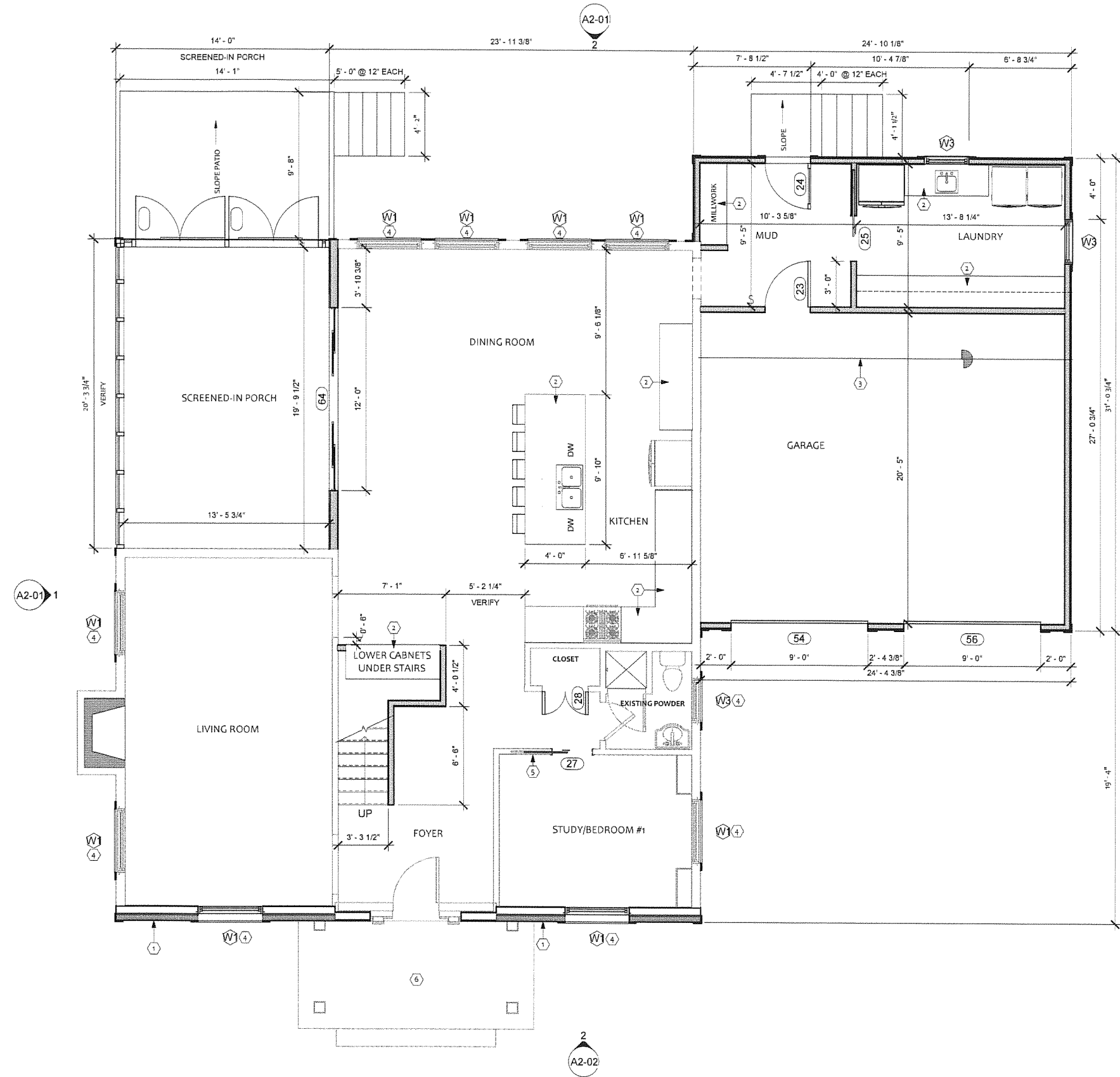
PERMIT DRAWINGS

PROJECT NUMBER	20150720
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DEMOLITION PLAN
SHEET NUMBER

A1-00

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1 FLOOR PLAN - FIRST FLOOR
1/4" = 1'-0"

GROSS FLOOR AREA

AREA	EXISTING SQ FT	NEW / ADDED SQ FT	PROPOSED EXEMPTION	APPLIED EXEMPTION SQ FT	TOTAL SQ FT
1ST FLOOR	1,560 SQFT	89 SQFT			1,649 SQFT
2ND FLOOR	1,106 SQFT	1,371 SQFT			2,477 SQFT
AREA W/ CEILINGS >15'	0 SQFT	0 SQFT			0 SQFT
GROUND FLOOR PORCH	0 SQFT	285 SQFT	200 SQFT	200 SQFT	85 SQFT
BASEMENT					
ATTIC					
GARAGE (ATTACHED)	371 SQFT	137 SQFT	200 SQFT	200 SQFT	308 SQFT
CARPORT					
ACCESSORY BUILDINGS	150 SQFT				
TOTALS	3,350 SQFT	2,079 SQFT			4,467 SQFT

GROSS FLOOR AREA
TITLE 25-2 SUBCHAPTER F OF THE LAND DEVELOPMENT CODE.

(TOTAL GROSS FLOOR AREA / LOT AREA) x 100 =
(4,467 SQFT/11,200 SQFT) x 100 = 39.88 FAR

FLOOR PLAN NOTES

- UNLESS NOTED OTHERWISE, DIMENSIONS ARE TO FACE OF GYPSUM BOARD, FACE OF EXISTING SURFACES, CENTERLINE OF COLUMN OR OTHER STRUCTURAL MEMBER, OR TO EXPOSED SURFACES OF CONCRETE OR MASONRY.
- ROOM NAMES AND NUMBERS SHOWN ARE FOR PURPOSES OF COORDINATION DURING CONSTRUCTION AND DO NOT NECESSARILY REPRESENT FINAL ROOM NAMES OR NUMBERS.
- DOOR FRAMES SHALL BE HELD 6 INCHES FROM FRAME FACE TO ADJACENT WALLS AT HINGE JAMB UNLESS NOTED OTHERWISE.
- DIMENSIONS NOTED 'VERIFY' SHALL BE CONFIRMED IN THE FIELD. REPORT VARIATIONS TO ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH WORK AFFECTED.
- REFER TO ACCESSIBILITY INFORMATION SHEETS FOR INFORMATION RELATING TO ACCESSIBILITY, INCLUDING CLEARANCES, MOUNTING HEIGHTS, AND OTHER REQUIREMENTS.
- PREPARE EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES.
- NOTIFY ARCHITECT WHEN PARTITION LAYOUT IS COMPLETE AND READY FOR APPROVAL.
- ALL NEW ARE TO BE 2x4 WOOD STUD WALLS UNLESS NOTED OTHERWISE.
- ALL TOILET ACCESSORIES, HARDWARE, AND FIXTURES TO BE OWNER PROVIDED, CONTRACTOR INSTALLED.
- G.C. TO PROVIDED BLOCKING FOR TOILET ACCESSORIES AS REQUIRED.

FLOOR PLAN LEGEND

Room name	Room identification
101	
	NEW PARTITION.
	INDICATES EXISTING PARTITION TO REMAIN.
	INDICATES 1-HOUR RATED WALL
	EXISTING DOOR TO REMAIN
	NEW INTERIOR DOOR
	AREA NOT IN CONTRACT
	KEYED NOTE
A3	PARTITION TYPE
W1	WINDOW TAG
X	DOOR TAG

KEYED FLOOR PLAN NOTES

- NEW EXTERIOR SIDING. CONTRACTOR TO DETERMINE DEPTH OF ADDITIONAL SHEATHING & STUDS SO THAT FACE OF SIDING ABOVE ALIGNS WITH NEW SIDING BELOW.
- MILLWORK; SUB-CONTRACTOR TO SUBMIT ALL MILLWORK SHOP DRAWINGS TO INTERIOR DECORATOR - ROBIN FOSTER, FOR APPROVAL.
- LINE REPRESENTS A 1 1/2" CURB IN GARAGE. SLOPE GARAGE FLOOR TOWARD STREET. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING WINDOWS TO REMAIN
- REMOVE PORTION OF EXISTING WALL FOR INSTALLATION OF NEW POCKET DOOR.
- EXISTING PORCH TO REMAIN



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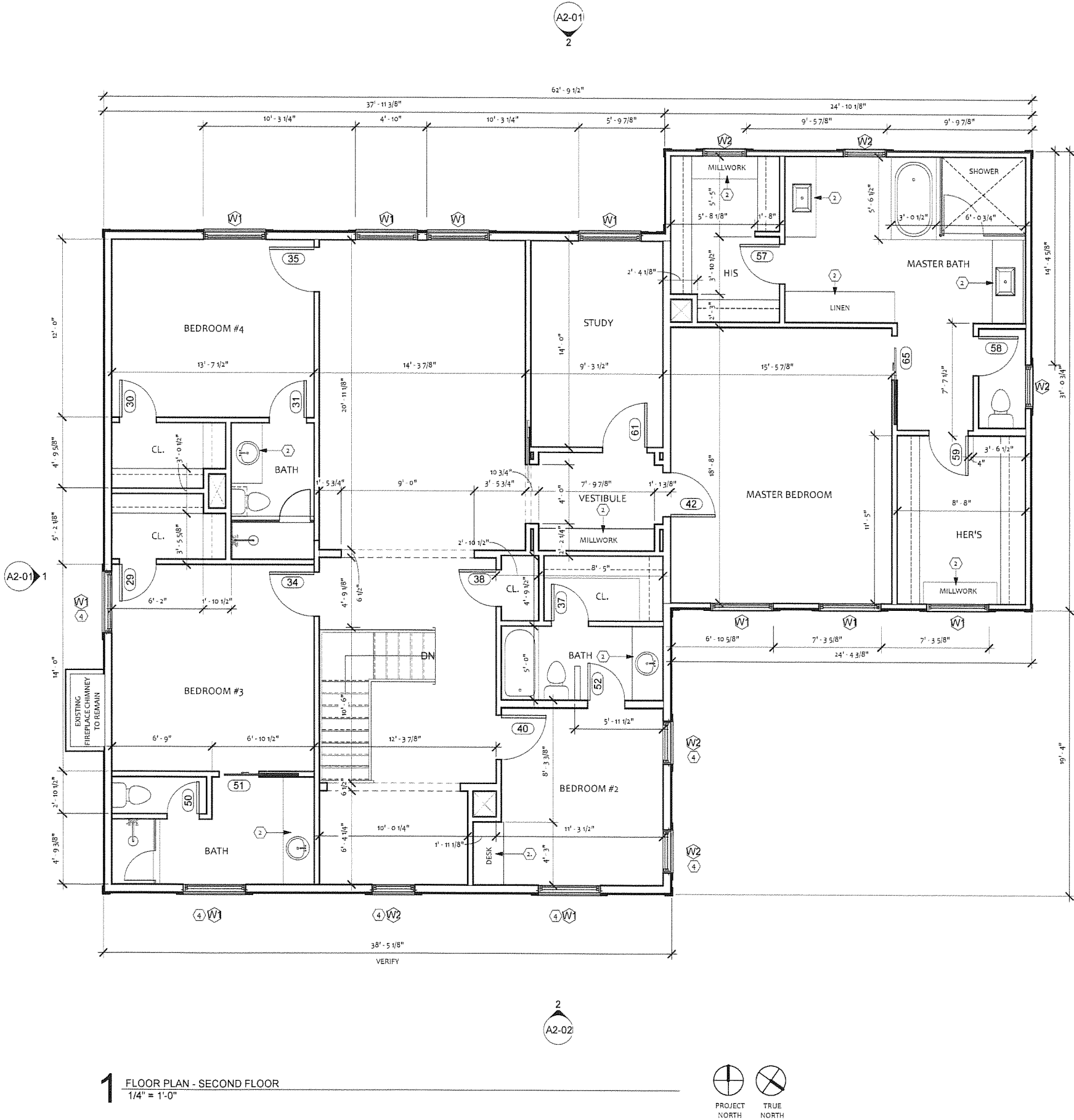
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PERMIT
DRAWINGS

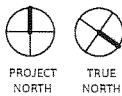
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FLOOR PLAN
SHEET NUMBER

A1-01



1 FLOOR PLAN - SECOND FLOOR
1/4" = 1'-0"



GROSS FLOOR AREA

AREA	EXISTING SQ FT	NEW / ADDED SQ FT	PROPOSED EXEMPTION	APPLIED EXEMPTION SQ FT	TOTAL SQ FT
1ST FLOOR	1,580 SQFT	89 SQFT			1,643 SQFT
2ND FLOOR	1,106 SQFT	1,371 SQFT			2,431 SQFT
AREA W/ CEILINGS >15'	0 SQFT	0 SQFT			0 SQFT
GROUND FLOOR PORCH	0 SQFT	285 SQFT	200 SQFT	200 SQFT	85 SQFT
BASEMENT					
ATTIC					
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- NOTIFY ARCHITECT WHEN PARTITION LAYOUT IS COMPLETE AND READY FOR APPROVAL.
- ALL NEW ARE TO BE 2x4 WOOD STUD WALLS UNLESS NOTED OTHERWISE.
- ALL TOILET ACCESSORIES, HARDWARE, AND FIXTURES TO BE OWNER PROVIDED, CONTRACTOR INSTALLED.
- G.C. TO PROVIDED BLOCKING FOR TOILET ACCESSORIES AS REQUIRED.

FLOOR PLAN LEGEND

Room name	ROOM IDENTIFICATION
101	
	NEW PARTITION.
	INDICATES EXISTING PARTITION TO REMAIN.
	INDICATES 1-HOUR RATED WALL
	EXISTING DOOR TO REMAIN
	NEW INTERIOR DOOR
	AREA NOT IN CONTRACT
	KEYED NOTE
A3	PARTITION TYPE
W1	WINDOW TAG
X	DOOR TAG

KEYED FLOOR PLAN NOTES

- NEW EXTERIOR SIDING. CONTRACTOR TO DETERMINE DEPTH OF ADDITIONAL SHEATHING & STUDS SO THAT FACE OF SIDING ABOVE ALIGNS WITH NEW SIDING BELOW.
- MILLWORK; SUB-CONTRACTOR TO SUBMIT ALL MILLWORK SHOP DRAWINGS TO INTERIOR DECORATOR - ROBIN FOSTER, FOR APPROVAL.
- LINE REPRESENTS A 1 1/2" CURB IN GARAGE. SLOPE GARAGE FLOOR TOWARD STREET. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING WINDOWS TO REMAIN
- REMOVE PORTION OF EXISTING WALL FOR INSTALLATION OF NEW POCKET DOOR.
- EXISTING PORCH TO REMAIN



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austin, texas 78717

ph: 512 740 4234

NICOLE KESSLER
GASTON REMODEL

1605 GASTON AVE.
AUSTIN, TEXAS 78703

NO.	DESCRIPTION	DATE
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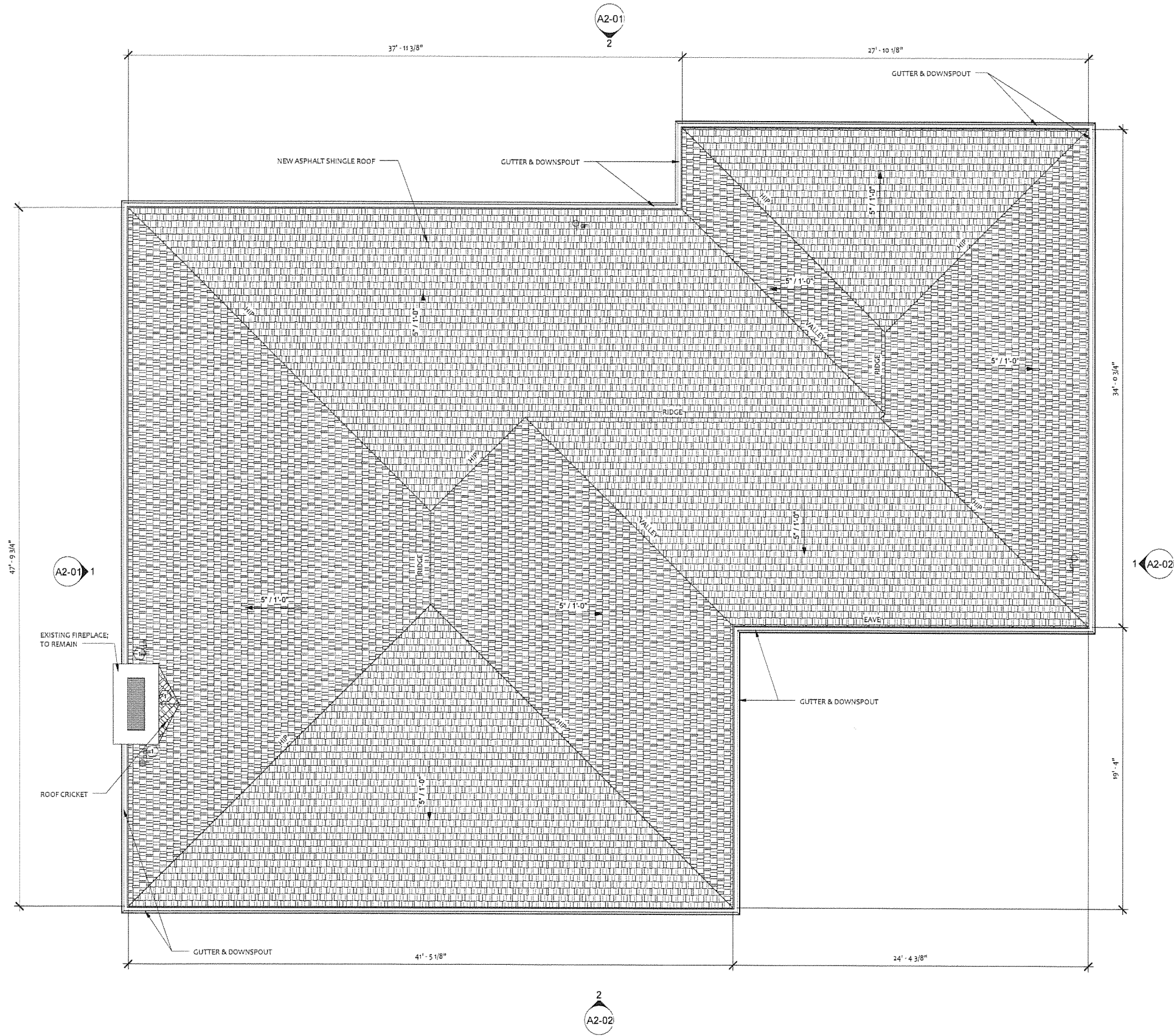
PERMIT
DRAWINGS

PROJECT NUMBER	20150720
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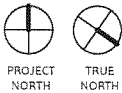
FLOOR PLAN
SHEET NUMBER

A1-02

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1 FLOOR PLAN - ROOF
1/4" = 1'-0"



ROOF PLAN NOTES

1. ALL LUMBER USED FOR ADDITION, RENOVATION AND/OR ADDITION ROOF IS TO BE GRADE No. 1, DOUGLAS FURR, UNLESS NOTED OTHERWISE. ALL OTHER FRAMING TO BE GRADE No. 3, DOUGLAS FURR.
2. ALL EXPOSED WOOD SHALL BE CEDAR
3. ALL FASTENERS SHALL BE STAINLESS STEEL UNLESS NOTED OTHERWISE
4. ALL LUMBER NOT EXPOSED IS TO BE PRE-TREATED ACQ .40; ALL OTHER LUMBER IS TO BE PRE-TREATED TO MEET ACQ .25
5. CONTRACTOR TO MATCH EXISTING SHINGLES, UNLESS DIRECTED OTHERWISE BY OWNER; INSTALL AS DIRECTED BY MANUFACTURER.
6. ALL NEW VENEER TO MATCH EXISTING; UNLESS NOTED OTHERWISE
7. USE SILICONE BASED SEALANT UNLESS NOTED OTHERWISE
8. WERE SEALANTS ARE CALLED OUT BETWEEN NEW MASONRY AND FLASHING USE BUTYL RUBBER BASED SEALANT
9. ALL NEW INTERIOR STUD WALLS TO BE 2X4 @ 16" O.C. U.N.O.
10. ALL NEW EXTERIOR STUD WALLS TO BE 2X6 @ 16" O.C. U.N.O.

KEYED ROOF PLAN NOTES

- 1 FLASH AROUND CHIMNEY, STEP OVERLAPPING MTL FLASHING DOWN SIDE OF CHIMNEY TO ROOF.



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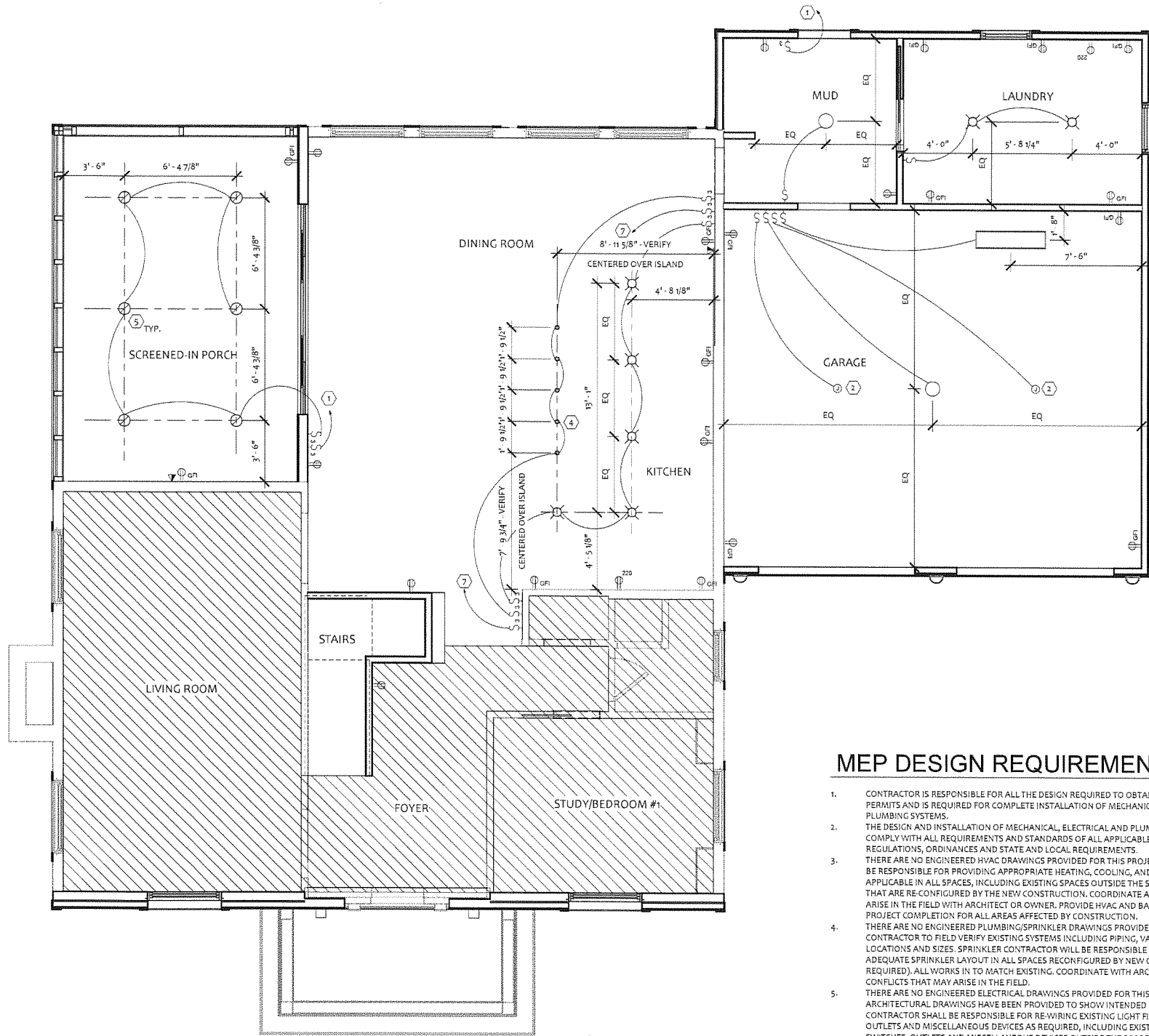
PROJECT NUMBER 20150720

ROOF PLAN
SHEET NUMBER

A1-03

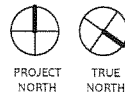
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A2-01



1 SITE PLAN
1/4" = 1'-0"

2
A2-02



MEP DESIGN REQUIREMENTS

- CONTRACTOR IS RESPONSIBLE FOR ALL THE DESIGN REQUIRED TO OBTAIN APPROVALS AND PERMITS AND IS REQUIRED FOR COMPLETE INSTALLATION OF MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
- THE DESIGN AND INSTALLATION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHALL COMPLY WITH ALL REQUIREMENTS AND STANDARDS OF ALL APPLICABLE CODES, GOVERNMENTAL REGULATIONS, ORDINANCES AND STATE AND LOCAL REQUIREMENTS.
- THERE ARE NO ENGINEERED HVAC DRAWINGS PROVIDED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE HEATING, COOLING, AND HUMIDITY CONTROL AS APPLICABLE IN ALL SPACES, INCLUDING EXISTING SPACES OUTSIDE THE SCOPE OF THIS PROJECT THAT ARE RE-CONFIGURED BY THE NEW CONSTRUCTION. COORDINATE ANY CONFLICTS THAT MAY ARISE IN THE FIELD WITH ARCHITECT OR OWNER. PROVIDE HVAC AND BALANCE REPORT AT THE PROJECT COMPLETION FOR ALL AREAS AFFECTED BY CONSTRUCTION.
- THERE ARE NO ENGINEERED PLUMBING/SPRINKLER DRAWINGS PROVIDED FOR THIS PROJECT. CONTRACTOR TO FIELD VERIFY EXISTING SYSTEMS INCLUDING PIPING, VALVES, FIXTURE LOCATIONS AND SIZES. SPRINKLER CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING ADEQUATE SPRINKLER LAYOUT IN ALL SPACES RECONFIGURED BY NEW CONSTRUCTION (AS REQUIRED). ALL WORKS IN TO MATCH EXISTING. COORDINATE WITH ARCHITECT AND OWNER ANY CONFLICTS THAT MAY ARISE IN THE FIELD.
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REFLECTED CEILING PLAN NOTES

- CENTER LIGHT FIXTURES IN CEILING TILE, UNLESS NOTED OTHERWISE.
- NOTIFY ARCHITECT IMMEDIATELY OF CONFLICTS DISCOVERED ON SITE BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS. OBTAIN CLARIFICATIONS OR RESOLUTION OF CONFLICTS PRIOR TO PROCEEDING WITH WORK IN QUESTION.
- UNLESS NOTED OTHERWISE, CEILING HEIGHT IS 8'-0". REFER TO REFLECTED CEILING PLAN AND INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION. G.C. TO VERIFY EXISTING CEILING HEIGHTS. REFER TO MECHANICAL NOTES FOR INFORMATION PERTAINING TO HVAC DEVICES IN THE CEILING AND PLENUM SPACE.
- CEILING AND SOFFIT HEIGHTS ARE NOTED ON THE REFLECTED CEILING PLANS.
- UNLESS NOTED OTHERWISE, INSTALL ALL SWITCHES AT 48" A.F.F. TO CENTERLINE OF COVER PLATE.
- ALL FIXTURES TO BE AS SCHEDULED. LOCATIONS OF LIGHT FIXTURES SHALL BE AS SHOWN ON ARCHITECTURAL DRAWINGS. REPORT CONFLICTS BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS TO THE ARCHITECT FOR RESOLUTION PRIOR TO INSTALLATION.
- PAINT ALL GYPSUM BOARD CEILINGS AND SOFFITS PT-3, UNLESS NOTED OTHERWISE. REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION.

REFLECTED CEILING PLAN LEGEND

	GYP BD, PTD		COMBINATION LIGHT AND EXHAUST FAN
	DIFFUSER - SUPPLY (MECHANICAL)		WALL MOUNTED LIGHT SWITCH @ 42" A.F.F.; WHITE COVER PLATE.
	DIFFUSER - RETURN (MECHANICAL)		3-WAY SWITCH
	NOT IN CONTRACT		DIMMER SWITCH
	RECESSED CAN FIXTURE.		NEW INTERIOR LED 6" DOWNLIGHT
	PENDANT LIGHT FIXTURE (KITCHEN & DINING)		NEW INTERIOR/EXTERIOR LED 6" DOWNLIGHT
	CEILING MOUNTED FIXTURE.		WALL MOUNTED LIGHT FIXTURE
	CEILING FAN		SPEAKER
	EXHAUST FAN		SMOKE DETECTOR

KEYED RCP NOTES

- SWITCH GOES TO EXTERIOR GFI OUTLET(S) IN SOFFIT FOR CHRISTMAS LIGHT(S).
- SWITCH & J-BOX FOR GARAGE DOOR OPENER & HARDWARE; OWNER SELECTED, CONTRACTOR INSTALLED.
- WALL SCONCES TO BE FRAMED UP ON EITHER SIDE OF OWNER SELECTED FRAMED MIRROR.
- OWNER SELECTED PENDANT LIGHT OVER ISLAND.
- EXTERIOR | INTERIOR RECESSED FIXTURE; SAFE FOR USE IN WET CONDITIONS
- SWITCH GOES TO EXTERIOR BACK PORCH LIGHT(S).
- OWNER SELECTED FIXTURE OVER DINING ROOM TABLE. REFER TO INTERIOR DECORATOR - ROBIN FOSTER FOR ADDITIONAL INFORMATION
- CENTER FAN WITH TOILET BELOW

ELECTRICAL LEGEND

	Floor mounted duplex electrical outlet		Indicates new item location as shown. See note below.
	Floor mounted data and/or telephone line outlet		Indicates ground fault interrupt outlet
	Building standard electrical J-box outlet		Wall mounted direct connection location for power and telephone/data for systems furniture panels. Coordinate exact location(s) and requirements with furniture dealer and installer.
	Wall mounted duplex outlet at standard height.		Indicates power pole location.
	Wall mounted 220 outlet at standard height.		Thermostat
	Wall mounted quadplex electrical outlet at standard height.		Special mounting height indication for wall outlets. Taken to bottom of plate.
	Building standard wall mounted dedicated duplex outlet.		
	Building standard wall mounted data outlet		
	Wall mounted telephone and data shared outlet.		
	Wall mounted telephone outlet.		
	"Plug Mold" Power strip (Re: Keyed notes)		Note: Unless noted with an "N", all items will be existing to remain.



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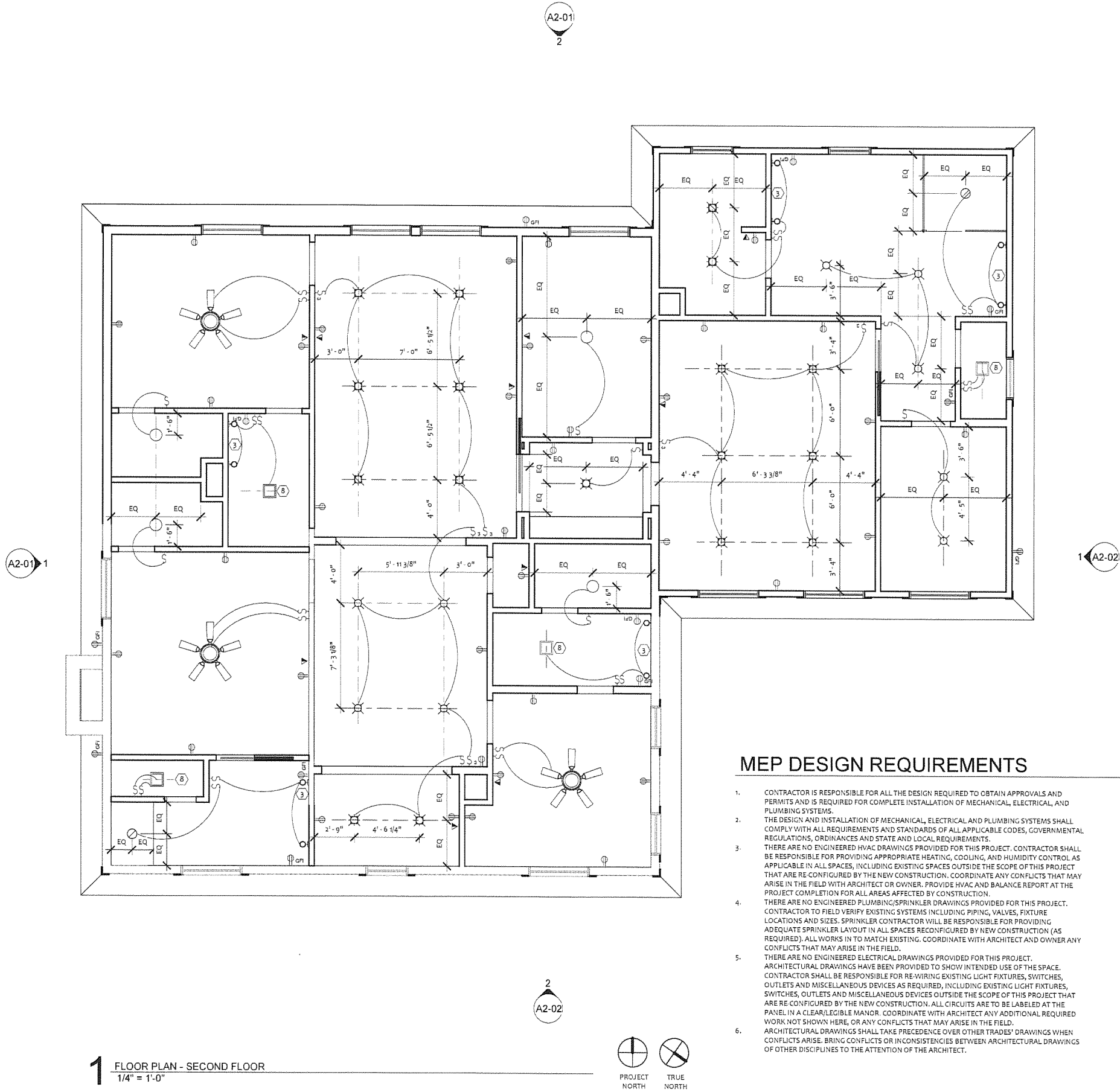
PERMIT
DRAWINGS

PROJECT NUMBER	20150724
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REFLECTED CEILING
PLAN

SHEET NUMBER

A1-04



MEP DESIGN REQUIREMENTS

- CONTRACTOR IS RESPONSIBLE FOR ALL THE DESIGN REQUIRED TO OBTAIN APPROVALS AND PERMITS AND IS REQUIRED FOR COMPLETE INSTALLATION OF MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
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REFLECTED CEILING PLAN NOTES

- CENTER LIGHT FIXTURES IN CEILING TILE, UNLESS NOTED OTHERWISE.
- NOTIFY ARCHITECT IMMEDIATELY OF CONFLICTS DISCOVERED ON SITE BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS. OBTAIN CLARIFICATIONS OR RESOLUTION OF CONFLICTS PRIOR TO PROCEEDING WITH WORK IN QUESTION.
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- PAINT ALL GYPSUM BOARD CEILINGS AND SOFFITS PT-3, UNLESS NOTED OTHERWISE. REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION.

REFLECTED CEILING PLAN LEGEND

	GYP BD, PTD		COMBINATION LIGHT AND EXHAUST FAN
	DIFFUSER - SUPPLY (MECHANICAL)		WALL MOUNTED LIGHT SWITCH @ 42" A.F.F.; WHITE COVER PLATE.
	DIFFUSER - RETURN (MECHANICAL)		3-WAY SWITCH
	NOT IN CONTRACT		DIMMER SWITCH
	RECESSED CAN FIXTURE.		NEW INTERIOR LED 6" DOWNLIGHT
	PENDANT LIGHT FIXTURE (KITCHEN & DINING)		NEW INTERIOR/EXTERIOR LED 6" DOWNLIGHT
	CEILING MOUNTED FIXTURE.		WALL MOUNTED LIGHT FIXTURE
	CEILING FAN		SPEAKER
	EXHAUST FAN		SMOKE DETECTOR

KEYED RCP NOTES

- SWITCH GOES TO EXTERIOR GFI OUTLET(S) IN SOFFIT FOR CHRISTMAS LIGHT(S).
- SWITCH & J-BOX FOR GARAGE DOOR OPENER & HARDWARE, OWNER SELECTED, CONTRACTOR INSTALLED.
- WALL SCONCES TO BE FRAMED UP ON EITHER SIDE OF OWNER SELECTED FRAMED MIRROR.
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- SWITCH GOES TO EXTERIOR BACK PORCH LIGHT(S).
- OWNER SELECTED FIXTURE OVER DINING ROOM TABLE. REFER TO INTERIOR DECORATOR - ROBIN FOSTER FOR ADDITIONAL INFORMATION
- CENTER FAN WITH TOILET BELOW

ELECTRICAL LEGEND

	Floor mounted duplex electrical outlet		Indicates new item location as shown. See note below.
	Floor mounted data and/or telephone line outlet		Indicates ground fault interrupt outlet
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	Wall mounted duplex outlet at standard height.		Indicates power pole location.
	Wall mounted 220 outlet at standard height.		Thermostat
	Wall mounted quadruplex electrical outlet at standard height.		Special mounting height indication for wall outlets. Taken to bottom of plate.
	Building standard wall mounted dedicated duplex outlet.		
	Building standard wall mounted data outlet		
	Wall mounted telephone and data shared outlet.		
	Wall mounted telephone outlet.		
	"Plug Mold" Power strip (Re: Keyed notes)		Note: Unless noted with an "N", all items will be existing to remain.



DECEMBER 11, 2015

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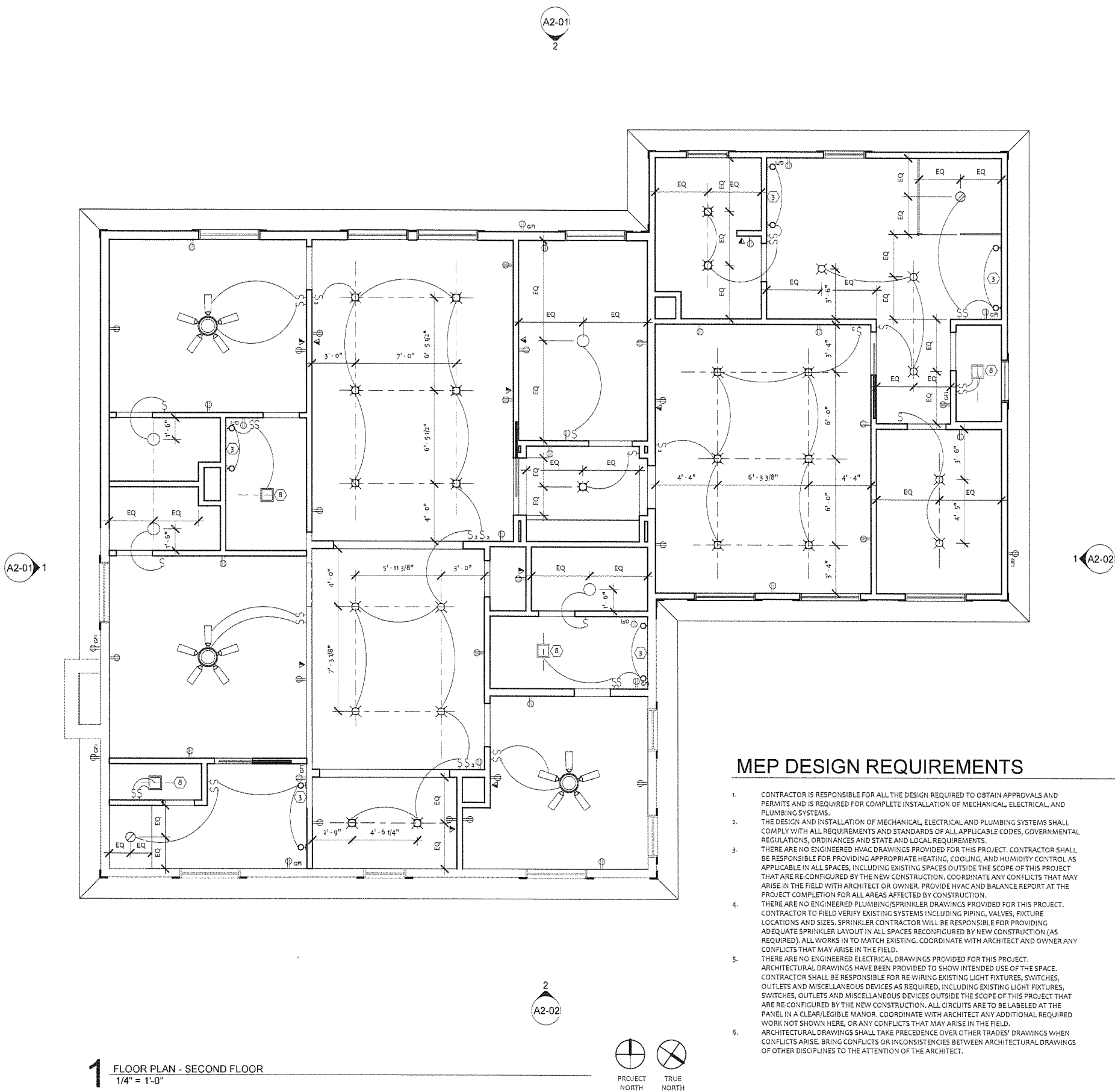
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PROJECT NUMBER 20150720

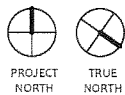
REFLECTED CEILING
PLAN

SHEET NUMBER

A1-05



1 FLOOR PLAN - SECOND FLOOR
1/4" = 1'-0"



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- PAINT ALL GYPSUM BOARD CEILINGS AND SOFFITS PT-3, UNLESS NOTED OTHERWISE. REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION.

REFLECTED CEILING PLAN LEGEND

	GYP BD, PTD		COMBINATION LIGHT AND EXHAUST FAN
	DIFFUSER - SUPPLY (MECHANICAL)		WALL MOUNTED LIGHT SWITCH @ 42" A.F.F.
	DIFFUSER - RETURN (MECHANICAL)		3-WAY SWITCH
	NOT IN CONTRACT		DIMMER SWITCH
	RECESSED CAN FIXTURE		NEW INTERIOR LED 6" DOWNLIGHT
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KEYED RCP NOTES

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- OWNER SELECTED FIXTURE OVER DINING ROOM TABLE. REFER TO INTERIOR DECORATOR - ROBIN FOSTER FOR ADDITIONAL INFORMATION
- CENTER FAN WITH TOILET BELOW

ELECTRICAL LEGEND

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	Wall mounted telephone outlet		
	"Plug Mold" Power strip (Re: Keyed notes)		Note: Unless noted with an "N", all items will be existing to remain.



DECEMBER 11, 2015

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PERMIT DRAWINGS

PROJECT NUMBER 20150720

REFLECTED CEILING
PLAN

SHEET NUMBER

A1-05



DECEMBER 11, 2015

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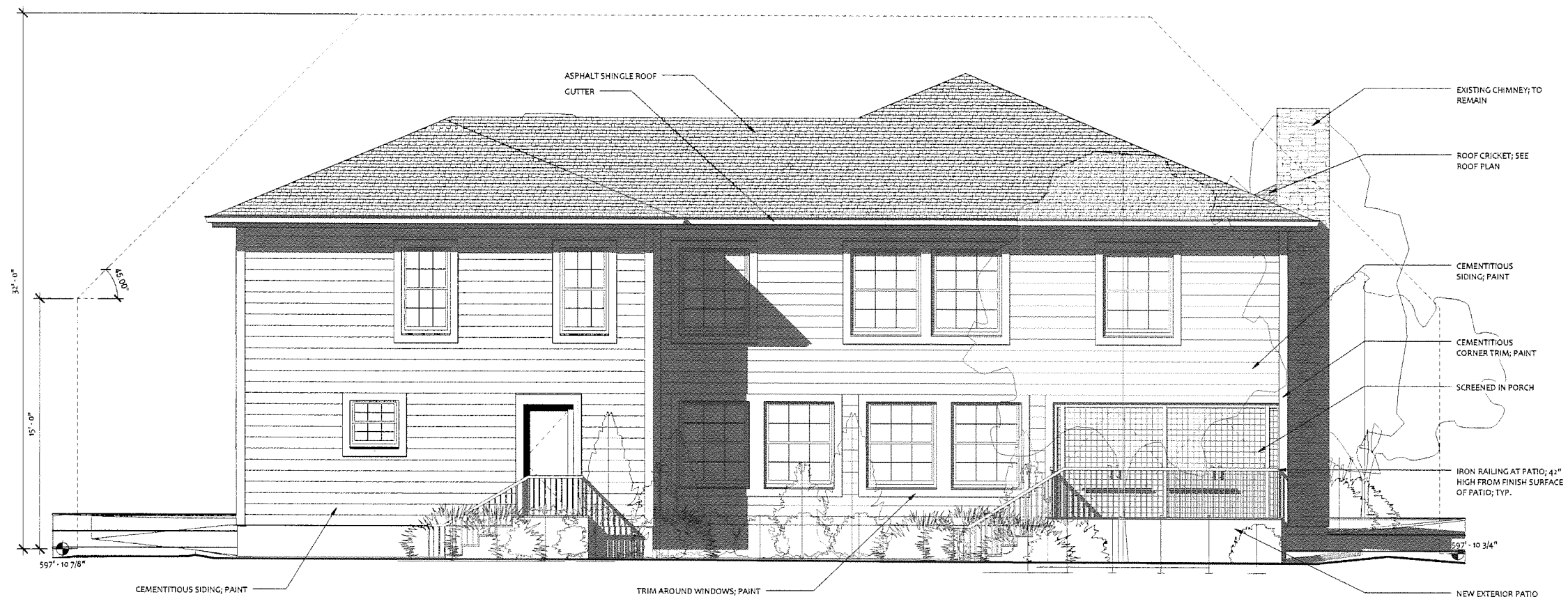
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DRAWINGS

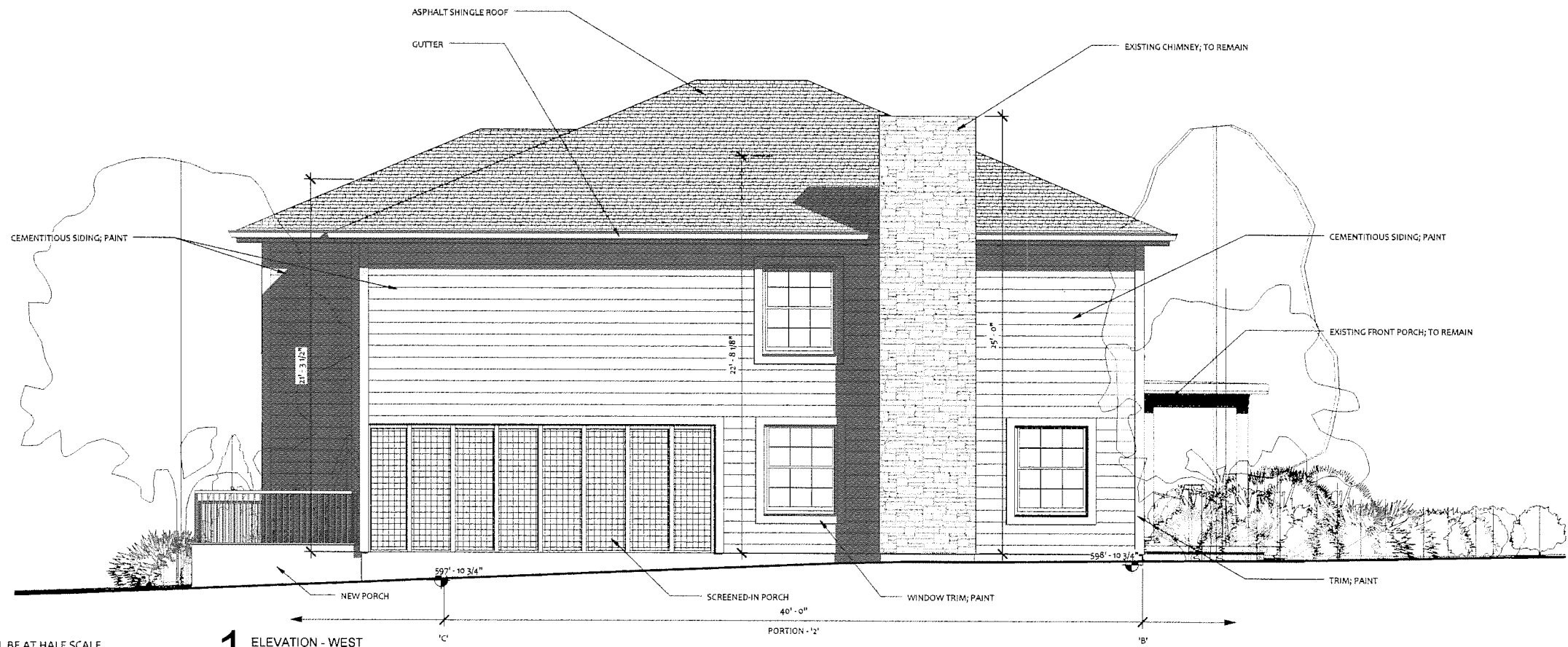
PROJECT NUMBER	20150720
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ELEVATIONS
SHEET NUMBER

A2-01



2 ELEVATION - NORTH
1/4" = 1'-0"



1 ELEVATION - WEST
1/4" = 1'-0"

NOTE: STANDARD SHEET SIZE IS 22x34; SETS REPRODUCED ON 11x17 WILL BE AT HALF SCALE.
(EX. DRAWINGS SHOWN AT 1/8" = 1'-0" WILL SCALE AT 1/16" = 1'-0")



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1605 GASTON AVE.
AUSTIN, TEXAS 78703

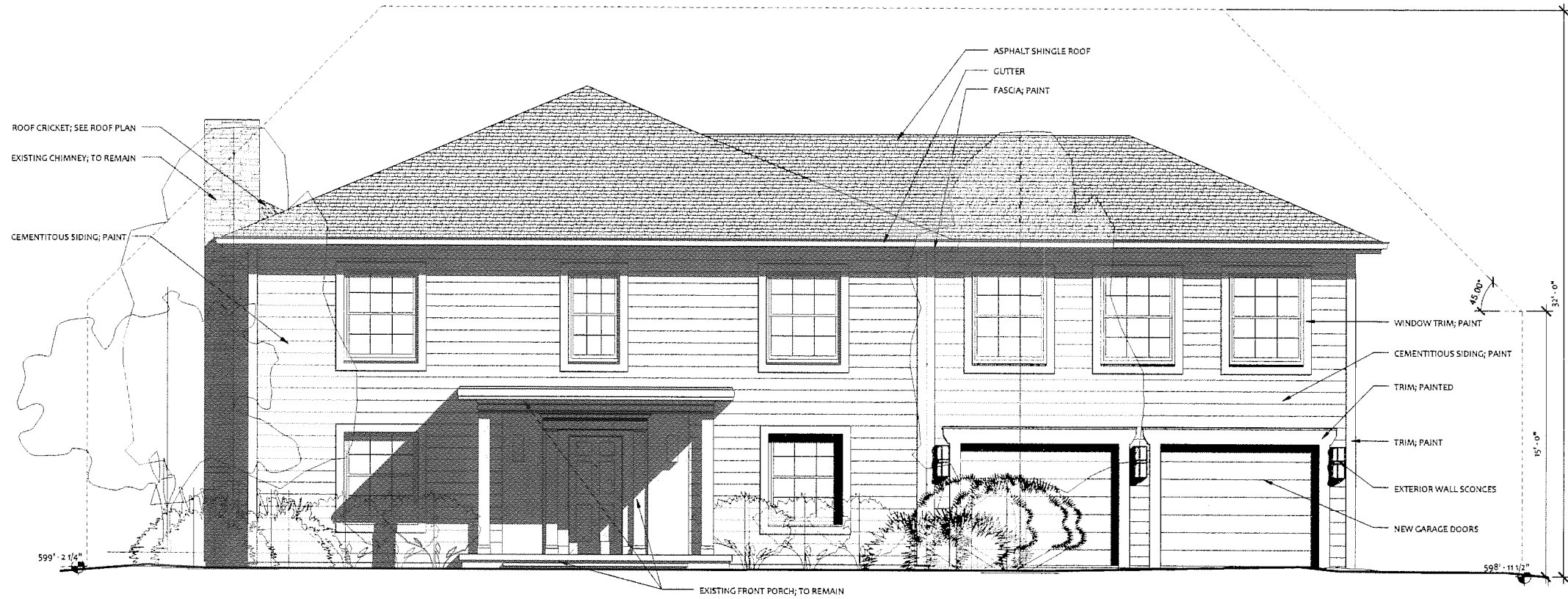
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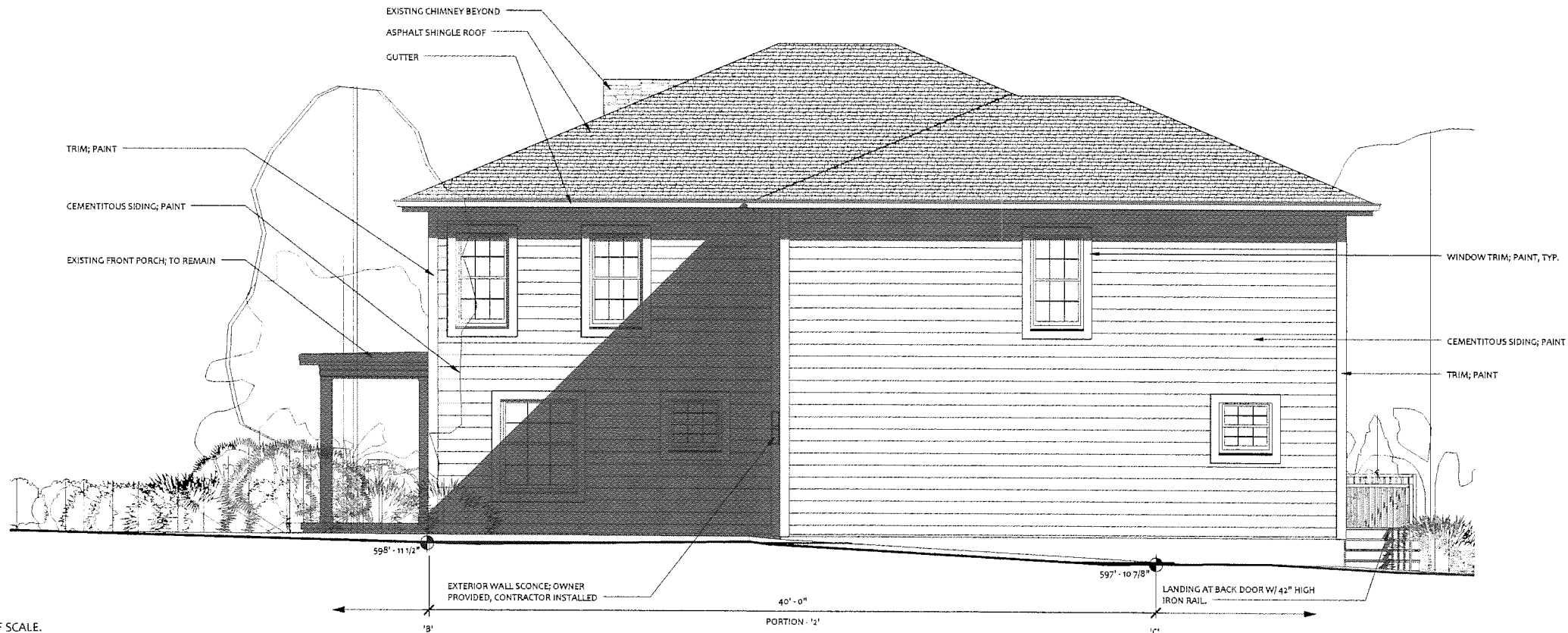
PROJECT NUMBER	20150720
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ELEVATIONS
SHEET NUMBER

A2-02



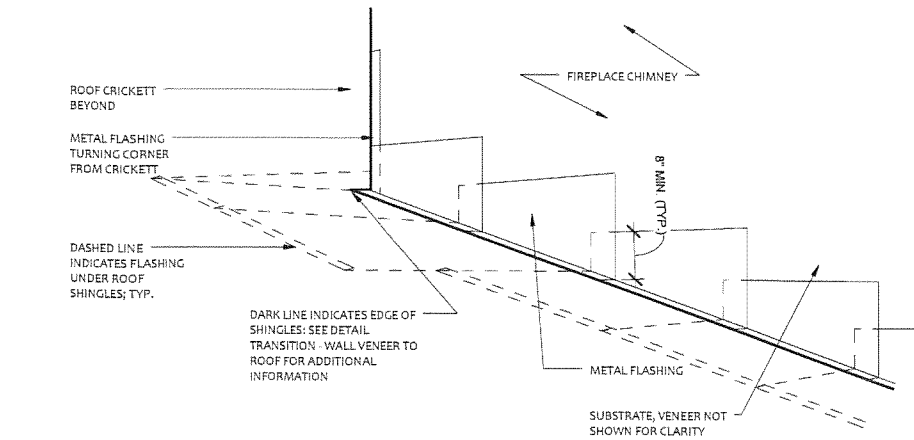
2 ELEVATION - SOUTH
1/4" = 1'-0"



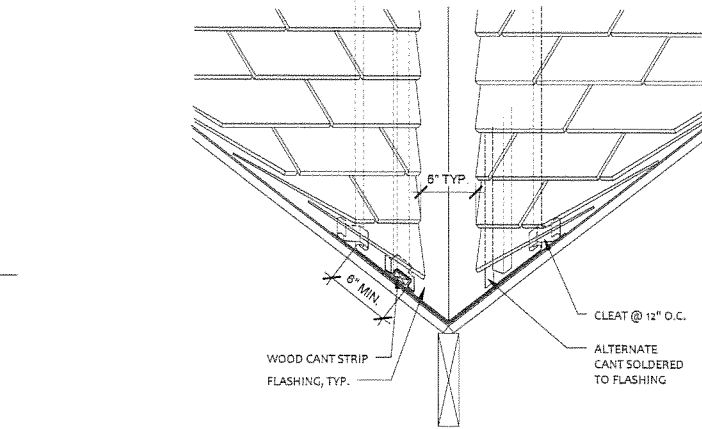
1 ELEVATION - EAST
1/4" = 1'-0"

NOTE; STANDARD SHEET SIZE IS 22x34; SETS REPRODUCED ON 11x17 WILL BE AT HALF SCALE.
(EX. DRAWINGS SHOWN AT 1/8" = 1'-0" WILL SCALE AT 1/16" = 1'-0")

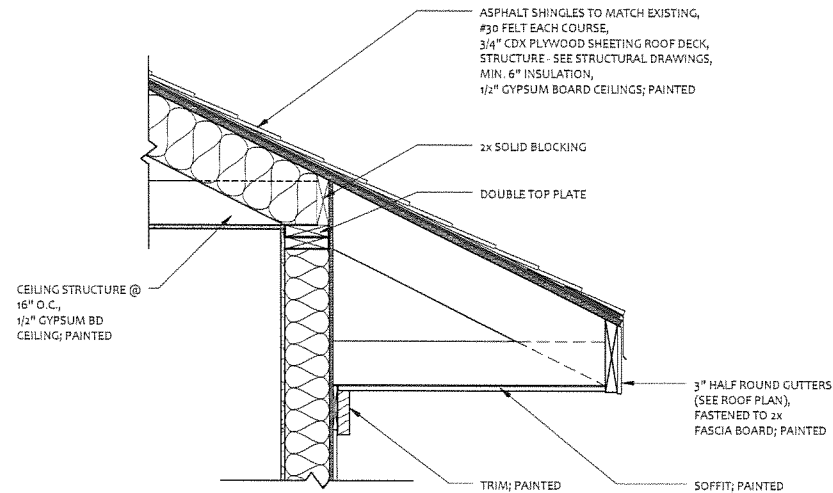
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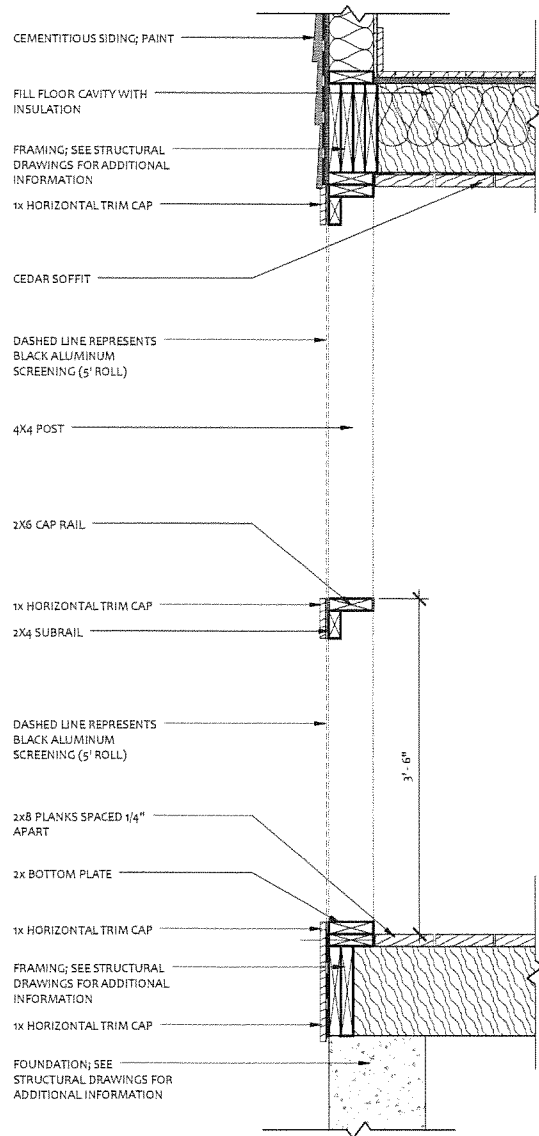
5 FLASHING
3/4" = 1'-0"



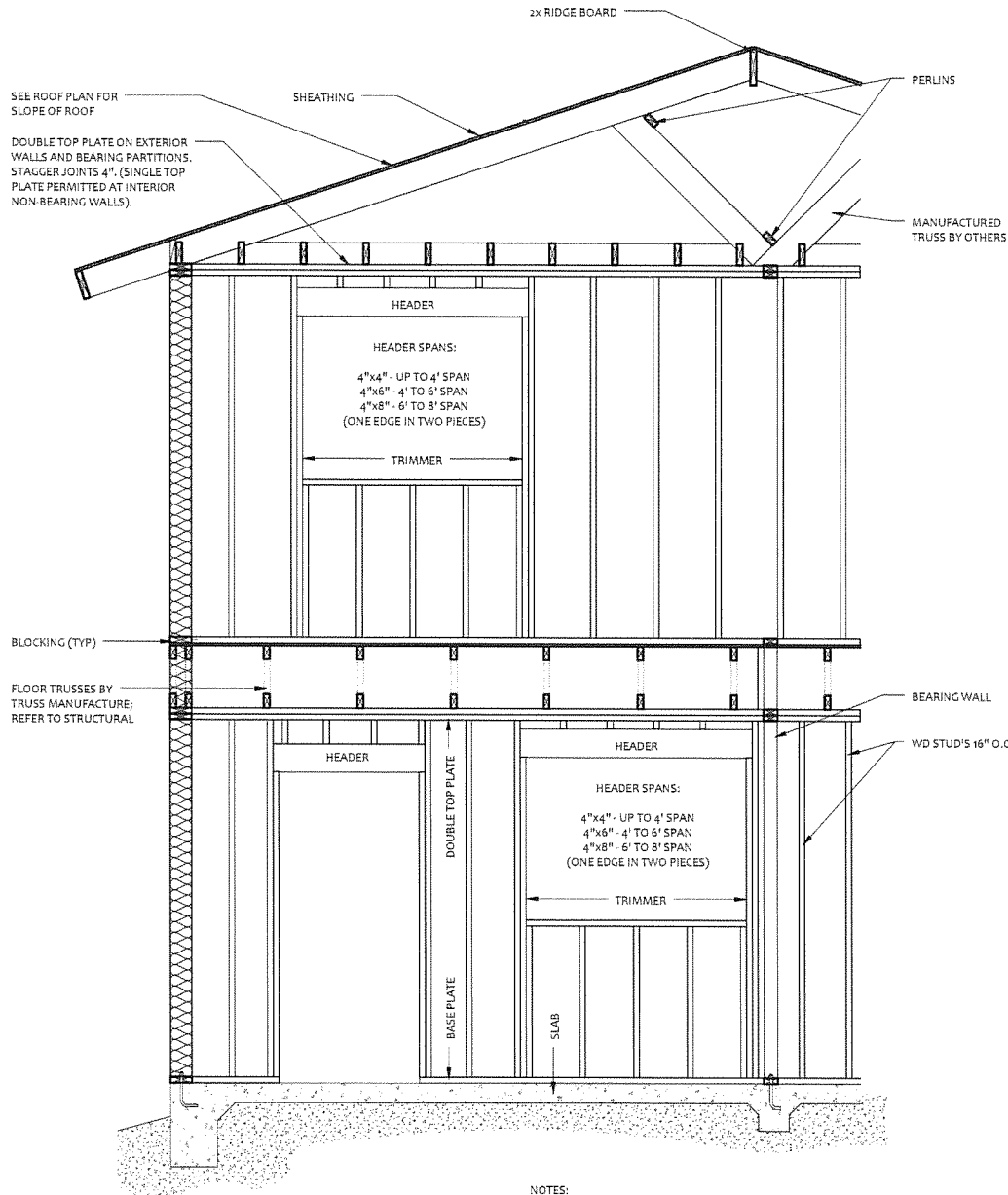
3 VALLEY FLASHING
1" = 1'-0"



1 WALL SECTION - NEW AT GRADE
1" = 1'-0"

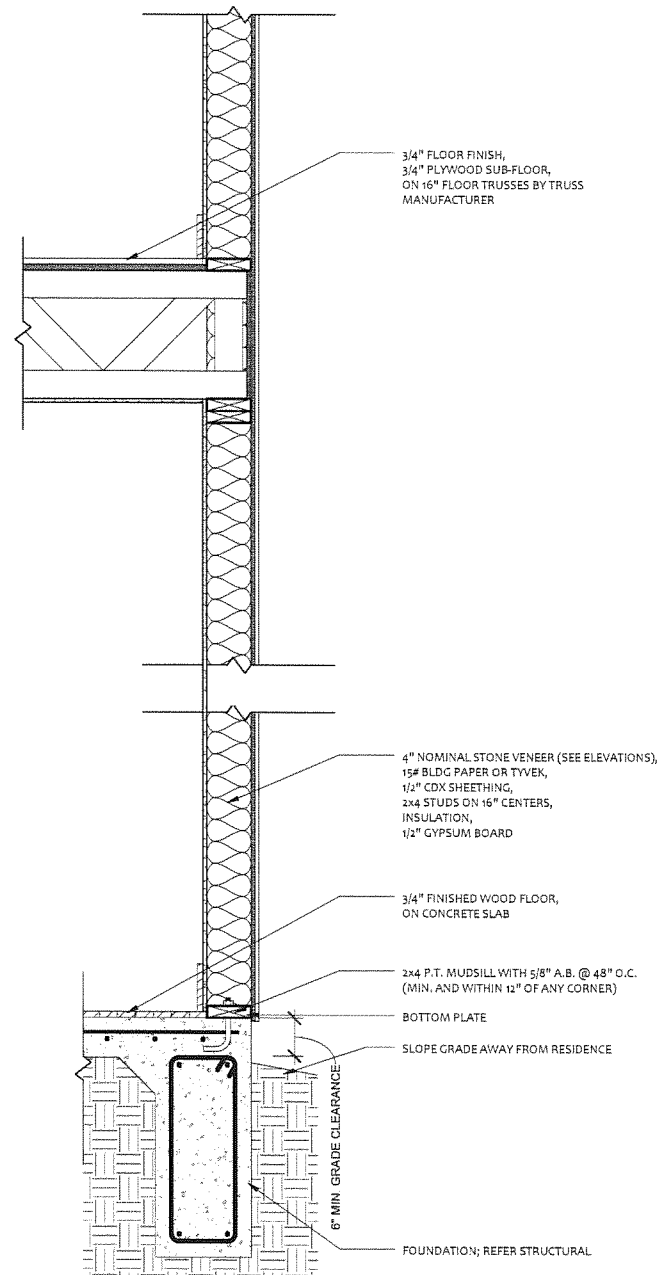


4 SCREENED-IN PORCH
1" = 1'-0"



2 TYPICAL FRAMING
1/2" = 1'-0"

- NOTES:
- 1"x4" LET-IN BRACE REQUIRED AT EACH END OF WALL AND EVERY 35 L.F. OF WALL. EXTEND FROM SOLE PLATE TO DOUBLE TOP PLATE @ 60 DEGREE ANGLE FROM TOP PLATE.
 - PURLINS SHALL NOT BE SMALLER THAN RAFTER SIZES.
 - 1" RIDGE BOARD SHALL NOT BE LESS THAN DEPTH OF RAFTERS.
 - SEE TYPICAL WALL SECTION FOR ADDITIONAL INFORMATION



DECEMBER 11, 2015

FEATHERSTON | STUDIO LLC
architecture interior design

p.o. box 170024
austin, texas 78717

ph: 512 740 4234

NICOLE KESSLER
GASTON REMODEL

1605 GASTON AVE.
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NO.	DESCRIPTION	DATE
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PROJECT NUMBER	20150720
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DETAILS

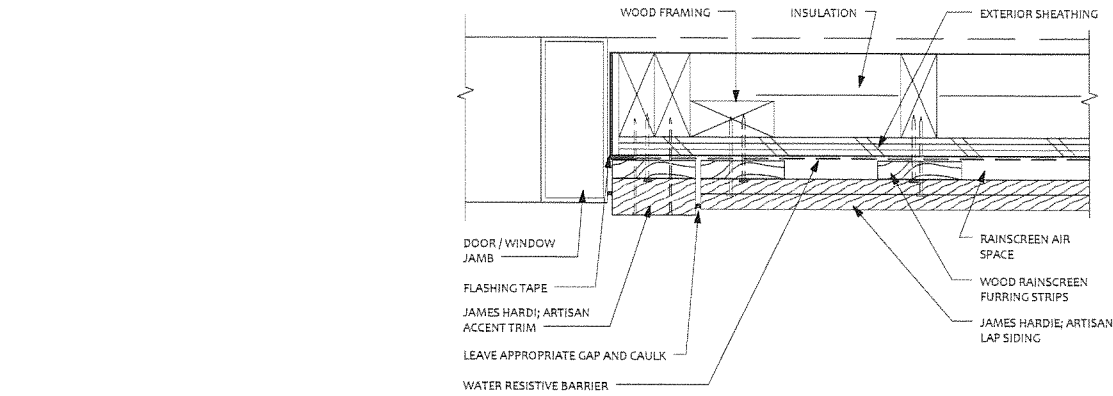
SHEET NUMBER

A6-01

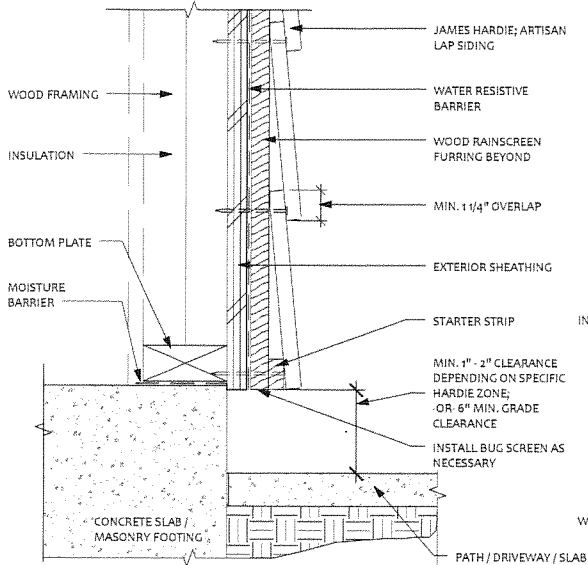
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NOTE; STANDARD SHEET SIZE IS 22x34; SETS REPRODUCED ON 11x17 WILL BE AT HALF SCALE.
(EX. DRAWINGS SHOWN AT 1/8" = 1'-0" WILL SCALE AT 1/16" = 1'-0")

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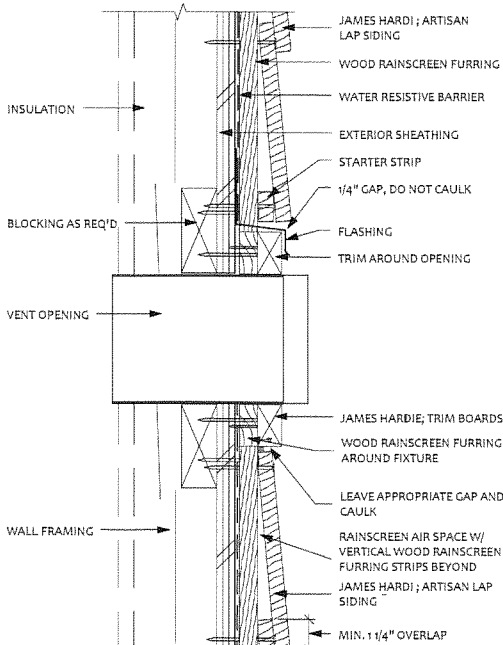


3 DETAIL - DOOR / WINDOW JAMB
12" = 1'-0"

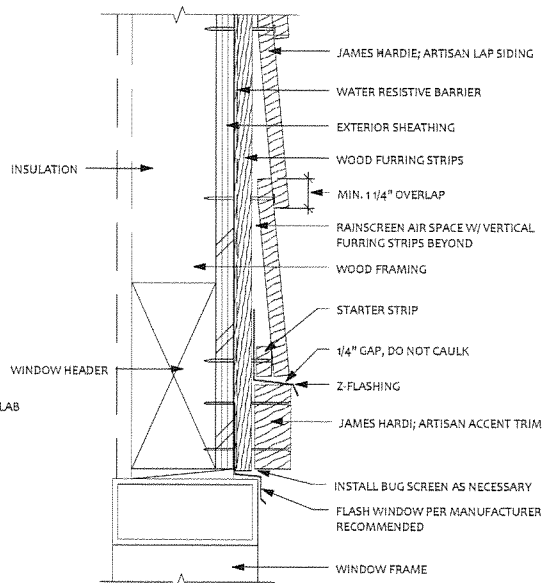


HARDSCAPE CLEARANCES, RAINSCREEN, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.

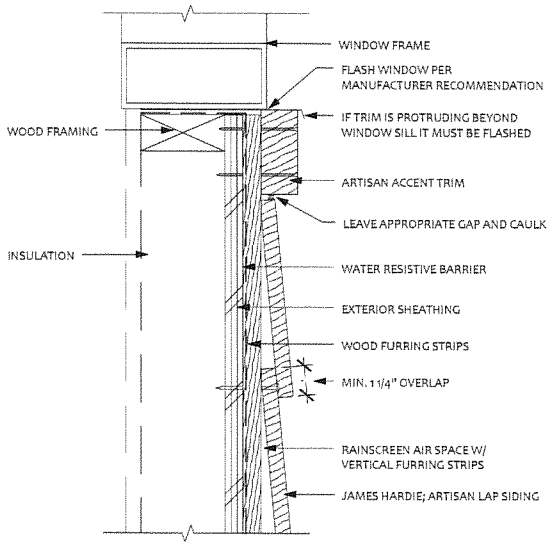
5 DETAIL - GRADE CLEARANCES
12" = 1'-0"



4 DETAIL - WALL PENETRATION
3" = 1'-0"



2 DETAIL - DOOR OR WINDOW HEAD
3" = 1'-0"



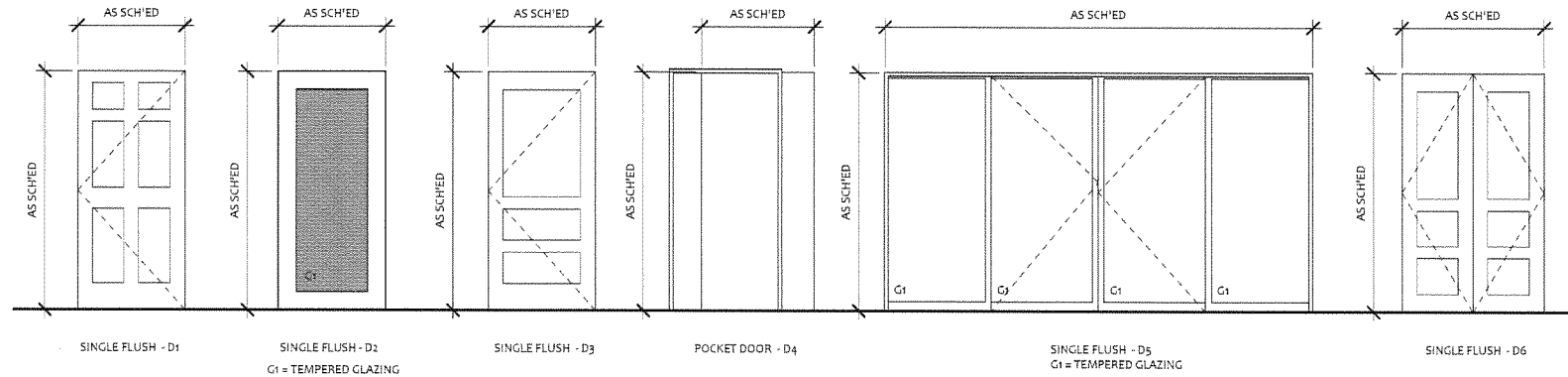
1 DETAIL - WINDOW SILL
3" = 1'-0"

DOOR SCHEDULE										
DOOR NUMBER	W	H	DOOR			FRAME		DOOR RATING	HARDWARE	COMMENTS
			TYPE	MATERIAL	FINISH	TYPE	FINISH			
23	3'-0"	6'-8"	D3	WD	PT	F1	PT	-	PRIVACY LOCKSET	
24	3'-0"	6'-8"	D2	G1	PT	F1	PT	-	KEYED LOCKSET	
25	3'-0"	6'-8"	D4	WD	PT	-	PT	-	-	
27	2'-8"	6'-8"	D4	WD	PT	-	PT	-	PRIVACY LOCKSET	
28	3'-0"	6'-8"	D6	WD	PT	F1	PT	-	-	
29	2'-6"	6'-8"	D3	WD	PT	F1	PT	-	-	
30	2'-6"	6'-8"	D3	WD	PT	F1	PT	-	-	
31	2'-6"	6'-8"	D3	WD	PT	F1	PT	-	PRIVACY LOCKSET	
34	3'-0"	6'-8"	D3	WD	PT	F1	PT	-	PRIVACY LOCKSET	
35	3'-0"	6'-8"	D3	WD	PT	F1	PT	-	PRIVACY LOCKSET	
37	2'-6"	6'-8"	D3	WD	PT	F1	PT	-	-	
38	2'-6"	6'-8"	D3	WD	PT	F1	PT	-	-	
40	3'-0"	6'-8"	D3	WD	PT	F1	PT	-	PRIVACY LOCKSET	
42	3'-0"	6'-8"	D3	WD	PT	F1	PT	-	PRIVACY LOCKSET	
50	2'-2"	6'-8"	D3	WD	PT	F1	PT	-	PRIVACY LOCKSET	
51	2'-8"	6'-8"	D4	WD	PT	-	PT	-	PRIVACY LOCKSET	
52	2'-6"	6'-8"	D3	WD	PT	F1	PT	-	PRIVACY LOCKSET	
54	9'-0"	7'-0"	-	PER OWNER	PER OWNER	-	-	-	-	GARAGE DOORS - OWNER SELECTED
56	9'-0"	7'-0"	-	PER OWNER	PER OWNER	-	-	-	-	GARAGE DOORS - OWNER SELECTED
57	2'-8"	6'-8"	D3	WD	PT	F1	PT	-	-	
58	2'-8"	6'-8"	D3	WD	PT	F1	PT	-	PRIVACY LOCKSET	
59	2'-8"	6'-8"	D3	WD	PT	F1	PT	-	-	
61	3'-0"	6'-8"	D3	WD	PT	F1	PT	-	PRIVACY LOCKSET	
64	12'-0"	6'-8"	D5	ALUM	G1	-	PRE FINISHED	-	LOCKSET	
65	3'-0"	6'-8"	D4	WD	PT	-	PT	-	PRIVACY LOCKSET	
66	3'-0"	6'-8"	D4	WD	PT	-	PT	-	-	DOOR LOCATED BETWEEN MASTER SUITE & FAMILY

DOOR & HARDWARE NOTES

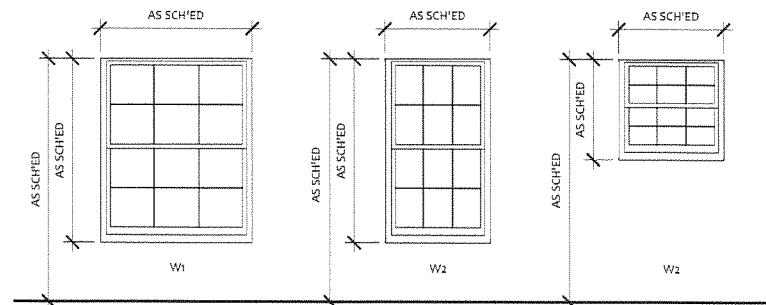
- ALL EXISTING DOORS TO BE SALVAGED OR REINSTALLED TO BE REPAIRED FROM ANY DAMAGE, WORN AREAS OR SCRATCHES.
- DOOR STOPS ARE TO BE WALL MOUNTED UNLESS OTHERWISE NOTED IN DOOR SCHEDULE REMARKS. PROVIDE BLOCKING INSIDE WALL FOR STOPS.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, KEYCARD, OR COMBINATION. THE MAIN EXTERIOR DOOR IS PERMITTED TO BE EQUIPPED WITH KEY OPERATED LOCKING DEVICES OR DEADBOLTS FROM THE EGRESS SIDE PROVIDED THAT THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED AND A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE OF THE LATCH OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." THE SIGN SHALL BE 1" HIGH LETTERS ON A CONTRASTING BACKGROUND.
- ALL EXISTING DOORS TO RECEIVE BUILDING STANDARD LEVER HANDLES.

DOOR TYPES

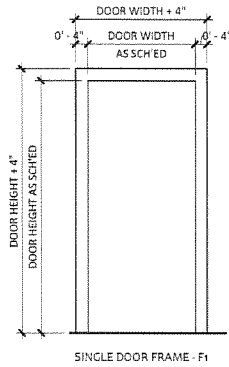


WINDOW SCHEDULE						
TYPE	WINDOW		HEAD HEIGHT	GLAZING THICKNESS	R.O.	
	WIDTH	HEIGHT			HEIGHT	WIDTH
W1	4' - 2 1/2"	5' - 1"	6' - 9"	LOW E SUN GLASS	5' - 1 1/2"	4' - 3"
W2	2' - 11"	5' - 1"	6' - 9"	LOW E SUN GLASS	5' - 1 1/2"	2' - 11 1/2"
W3	2' - 11"	2' - 9"	6' - 9"	LOW E SUN GLASS	2' - 9 1/2"	2' - 11 1/2"
BASES OF DESIGN; ANDERSEN VINYL-CLAD HUNG WINDOW; CONTRACTOR TO MATCH EXISTING						
BASES OF DESIGN; ANDERSEN VINYL-CLAD HUNG WINDOW; CONTRACTOR TO MATCH EXISTING						
BASES OF DESIGN; ANDERSEN VINYL-CLAD HUNG WINDOW						

WINDOW FRAME TYPES



FRAME TYPE



DECEMBER 11, 2015

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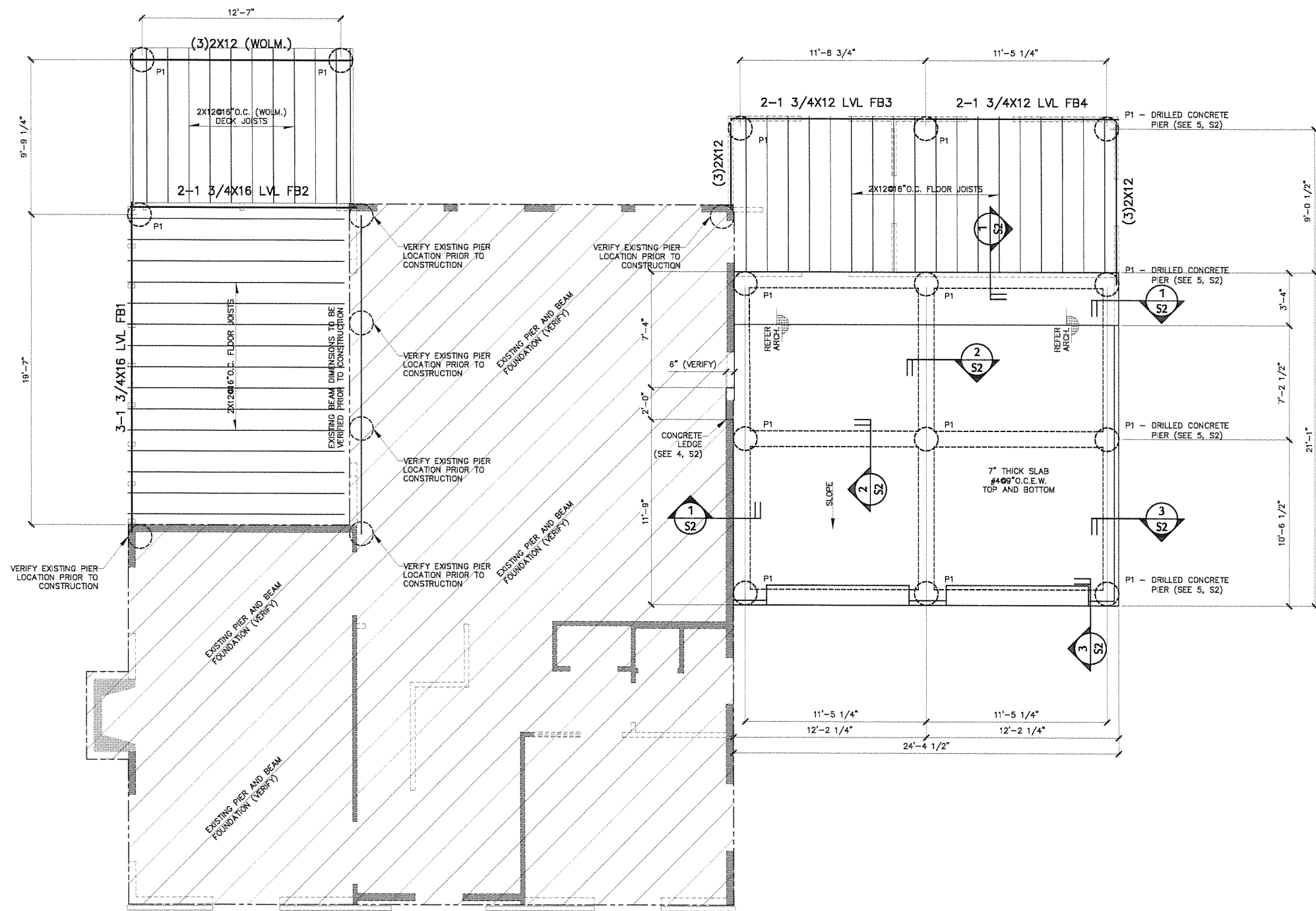
PROJECT NUMBER 20150720

DOOR & WINDOW
INFORMATION

SHEET NUMBER

A6-02

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A
S1

FOUNDATION PLAN

SCALE 1/4"=1'-0" (HALF SIZE 1/8"=1'-0")

--- EXISTING WALLS
 --- PROPOSED WALLS
 --- EXISTING FOUNDATION PERIMETER

FEATHERSTON STUDIO, LLC
 1605 GASTON AVE.
 AUSTIN, TEXAS 78703

Project : 30100

Sheet : S1

FOUNDATION PLAN

Professional Structural Engineers, Inc.
 Consulting Civil and Structural Engineers
 12710 RESEARCH BLVD., SUITE 300, AUSTIN, TX 78759 | TEL: 512.238.6421 | FAX: 512.238.0995

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAIG, P.E., #852577 ON 12/31/2015
 FIRM REGISTRATION F-44951

Rev	Description	Date
1	ISSUED FOR REVIEW	12/11/15

1) THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, ELECTRICAL, MECHANICAL, PLUMBING AND CIVIL DRAWINGS.

2) CODES AND STANDARDS : THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN SHALL APPLY TO ALL WORK PERFORMED ON THIS PROJECT. USE THE LATEST EDITIONS UNLESS NOTED OTHERWISE.

(a) INTERNATIONAL BUILDING CODE 2012 : INTERNATIONAL CODE COUNCIL

(b) INTERNATIONAL RESIDENTIAL CODE 2012 : INTERNATIONAL CODE COUNCIL

(c) MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7). AMERICAN SOCIETY OF CIVIL ENGINEERS.

(d) BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14) : AMERICAN CONCRETE INSTITUTE.

(e) RESIDENTIAL CODE REQUIREMENTS FOR CONCRETE (ACI 332-14) AND COMMENTARY : AMERICAN CONCRETE INSTITUTE.

(f) STEEL CONSTRUCTION MANUAL (14th. EDITION) : AMERICAN INSTITUTE OF STEEL CONSTRUCTION.

3) DESIGN DATA

(a) GRAVITY - SUPERIMPOSED DEAD LOADS

ROOF TILES	25 PSF
ROOF COMPOSITION	15 PSF
ROOF METAL	15 PSF
FLOOR LOAD	25 PSF
CONCRETE TILES	24 PSF (2" CONCRETE)

(b) GRAVITY - LIVE LOADS

FLOOR	40 PSF
BALCONY	100 PSF (MORE THAN 100 SQ.FT.)
ROOF	20 PSF
ATTICS	10 PSF (WITHOUT STORAGE)
ATTICS	20 PSF (WITH STORAGE)

4) MATERIALS

(a) CONCRETE STRENGTH 3,000 PSI. CONCRETE SHALL CONFORM TO ACI 301 & ASTM C39/C39M. ALSO ASTM C150/C150M, C595/C595M, OR C1157/C1157M.

(b) DEFORMED STEEL REINFORCEMENT BARS SHALL CONFORM TO ASTM A615/A615M, A706/A706M, OR A996/A996M. THE YIELD STRENGTH OF REINFORCEMENT SHALL BE 60,000 PSI.

(c) FORMWORK SHALL CONFORM ACI-347 AND ACI SP-4 FOR GUIDANCE ON DESIGN AND CONSTRUCTION OF FORMWORK.

5) CONCRETE COVER SHALL HAVE A TOLERANCE OF (+/-)3/8".

(a) CONCRETE CAST AGAINST EARTH	3"
(b) NOT EXPOSED TO EARTH OR WEATHER	3/4"
(c) BARS NOT LARGER THAN NO.5 & EXPOSED TO EARTH OR WEATHER	1 1/2"
(d) NOT SMALLER THAN NO.6 & EXPOSED TO EARTH OR WEATHER	2"

6) DEFORMED REINFORCEMENT BARS DEVELOPMENT LENGTH SHALL BE:

BAR DIA	LENGTH
#3	24"
#4	30"
#5	38"
#6	45"
#7	53"
#8	60"

7) ALL EXTERIOR WALLS AND LOAD BEARING WALLS SHALL HAVE 1/2" DIA X8" LONG ANCHOR BOLTS AT 36" O.C. OR EQUAL.

8) PROVIDE #5 CORNER BARS AT EACH HORIZONTAL REINFORCEMENT ON WALL AND GRADE BEAMS.

9) BUILDING SUBGRADE PREPARATION AND EARTHWORK OPERATIONS:

(a) SELECTION OF FILL MATERIAL SHALL BE GUIDED BY THE FOLLOWING CRITERIA:

MAXIMUM PLASTICITY INDEX: 15
MINIMUM PLASTICITY INDEX: 3
MINIMUM AND MAXIMUM PASSING #200 SIEVE : 10% TO 70%
NO STONES LARGER THAN 2"

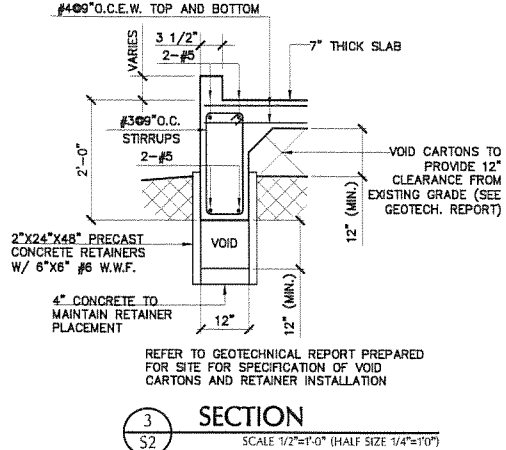
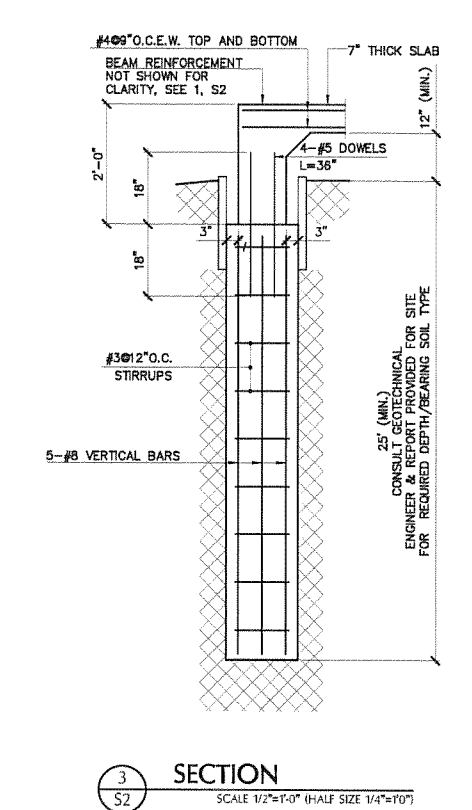
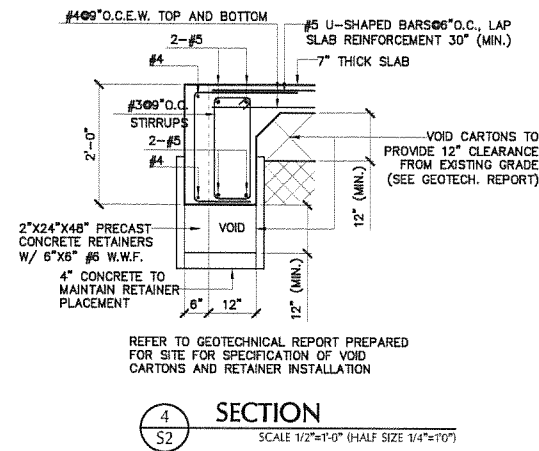
(b) ANY EXISTING VEGETATION, TOPSOIL, TREES, AND DEBRIS SHALL BE STRIPPED AND REMOVED FROM THE PROPOSED BUILDING FOOTPRINT(S). EXISTING TREE ROOTS AND STUMPS SHALL BE GRUBBED AND REMOVED FROM THE SITE.

(c) THE SELECT FILL MATERIAL SHALL BE PLACED UP TO THE REQUIRED FINAL BUILDING PAD ELEVATIONS. ALL FILL SHALL BE PLACED IN EIGHT (8) INCH MAXIMUM THICK LOOSE LIFTS. SELECT FILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D698. COMPACTION TESTS SHALL BE PERFORMED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

(d) IMPORTED SELECT FILL SHALL BE AN APPROVED INORGANIC MATERIAL, FREE OF DEBRIS.

10) SITE SLOPE SHALL CAUSE WATER TO FLOW AWAY FROM THE STRUCTURE FOUNDATION FOR A MINIMUM DISTANCE OF TEN (10) FEET. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE DRAINAGE SYSTEM, AND DIVERT RUN-OFF AWAY FROM THE FOUNDATION STRUCTURE.

- 1) REFER TO GEOTECHNICAL REPORT (ENGINEER'S JOB #) 15104100.388 PREPARED FOR THE SITE NOVEMBER OF 2015 BY MLA GEOTECHNICAL FOR SPECIFICATIONS REGARDING UNDERSLAB FILL PROPERTIES AND PLACEMENT PROCEDURES.
- 2) THE GEOTECHNICAL ENGINEER SHALL BE RETAINED TO REVIEW THE FOUNDATION DESIGN FOR THE STRUCTURE AND TO EVALUATE THE CONSTRUCTION PROCEDURES UTILIZED ON SITE TO ENSURE THAT THEY ARE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE AFOREMENTIONED GEOTECHNICAL REPORT.
- 3) VOID CARTONS SHALL BE UTILIZED TO PROVIDE A 12" VOID SPACE BETWEEN SOIL AND THE BOTTOM OF SUSPENDED FOUNDATION ELEMENTS. SOIL RETAINERS SHALL ALSO BE UTILIZED TO MAINTAIN THE VOID SPACE WHERE SUSPENDED FOUNDATION ELEMENTS ARE NOT FORMED AT LEAST 12" ABOVE THE FINISH GRADE SOIL LEVEL.



GENERAL FRAMING NOTES

- 1) THIS DRAWING MUST BE READ IN CONJUNCTION WITH ARCHITECTURAL, ELECTRICAL, PLUMBING, MECHANICAL, AND AIR-CONDITIONING DRAWINGS.
- 2) 2) QUALITY AND DESIGN: THE QUALITY AND DESIGN OF WOOD MEMBERS AND THEIR FASTENINGS SHALL CONFORM TO THE PROVISIONS OF IRC CODE AND APPLICABLE STANDARDS LISTED IN IRC.
- 3) 3) WORKMANSHIP: ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED AND BRACED WHICH THEY ARE USED.
- 4) 4) FABRICATION: PREPARATION, FABRICATION AND INSTALLATION OF WOOD MEMBERS AND THEIR FASTENINGS SHALL CONFORM TO ACCEPTED ENGINEERING PRACTICES AND TO THE REQUIREMENTS OF 2012 IRC CODE.
- 5) 5) MINIMUM QUALITY: MINIMUM CAPACITY OF STRUCTURAL FRAMING MEMBERS MAY BE ESTABLISHED BY PERFORMANCE TESTS. WHEN TESTS ARE NOT MADE, CAPACITY SHALL BE BASED UPON ALLOWABLE STRESSES AND DESIGN CRITERIA SPECIFIED IN IRC CODE. STUDS, JOISTS, RAFTERS, FOUNDATION PLATES OR SILLS, PLANKING 2 INCHES OR MORE IN DEPTH, BEAMS, STRINGERS, POSTS, STRUCTURAL SHEATHING AND SIMILAR LOAD BEARING MEMBERS SHALL BE OF AT LEAST THE MINIMUM GRADES SET FORTH IN 2012 IRC TABLE. PLYWOOD SHALL BE SPECIES GROUP 1, 2, 3 OR 4 AND SHALL BE ONE OF THE GRADES SPECIFIED IN I.R.C. PARTICLEBOARD SHALL CONFORM TO 2012 IRC. APPROVED FIRE-RETARDANT TREATED WOOD SHALL BE DRIED, FOLLOWING TREATMENT, TO A MAXIMUM MOISTURE CONTENT AS FOLLOWS: SOLID-SAWN LUMBER 2 INCHES IN THICKNESS OR LESS TO 19 PERCENT, AND PLYWOOD TO 15 PERCENT.
- 6) SHRINKAGE: CONSIDERATION SHALL BE GIVEN IN CONSTRUCTION AND FABRICATION TO THE POSSIBLE EFFECT OF CROSS-GRAIN DIMENSIONAL CHANGES CONSIDERED VERTICALLY WHICH MAY OCCUR IN LUMBER FABRICATED IN A GREEN CONDITION.
- 7) HANGERS: ALL METAL ANCHORS, FASTENS AND CONNECTORS ETC. SPECIFIED ON PLANS SHALL BE FROM SIMPSON CO. OR AN APPROVED EQUAL IN STRUCTURAL DESIGN AND LOAD VALUES.
- 8) STRESSES: EXCEPT AS HEREINAFTER PROVIDED, STRESSES SHALL NOT EXCEED THE ALLOWABLE UNIT STRESSES FOR THE RESPECTIVE SPECIES AND GRADES OR FABRICATED AS SET FORTH IN IRC CODE FOR LUMBER, AND STRUCTURAL GLUED-LAMINATED TIMBER:

- A) HEADERS, RAFTERS & JOISTS
Fb = 1200 PSI SINGLE MEMBER
Fb = 1400 PSI REPETITIVE MEMBER
Fv = 90 PSI
- B) STUD & WALL MEMBERS
Fb = 900 PSI FOR 2X4
Fc = 575 PSI FOR 2X4
Fb = 850 PSI FOR 2X6, 2X8
Fc = 625 PSI FOR 2X6, 2X8
- C) GLUE LAMINATED BEAMS (GL)
Fb = 2400 PSI
Fv = 200 PSI
Fc = 385 PSI PERPENDICULAR
Fc = 1500 PSI PARALLEL
- D) MICRO-LAM (LVL)
Fb = 2800 PSI
Fv = 290 PSI

- 9) CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY IN CASE OF DISCREPANCY.

HIP & VALLEY TABLE

SPAN	SIZE
10'-0"	2X6
12'-0"	2X10
14'-0"	2X12
16'-0"	(2)2X12
18'-0"	(3)2X12
20'-0"	(3)2X12
22'-0"	3 1/8X13 1/2GL

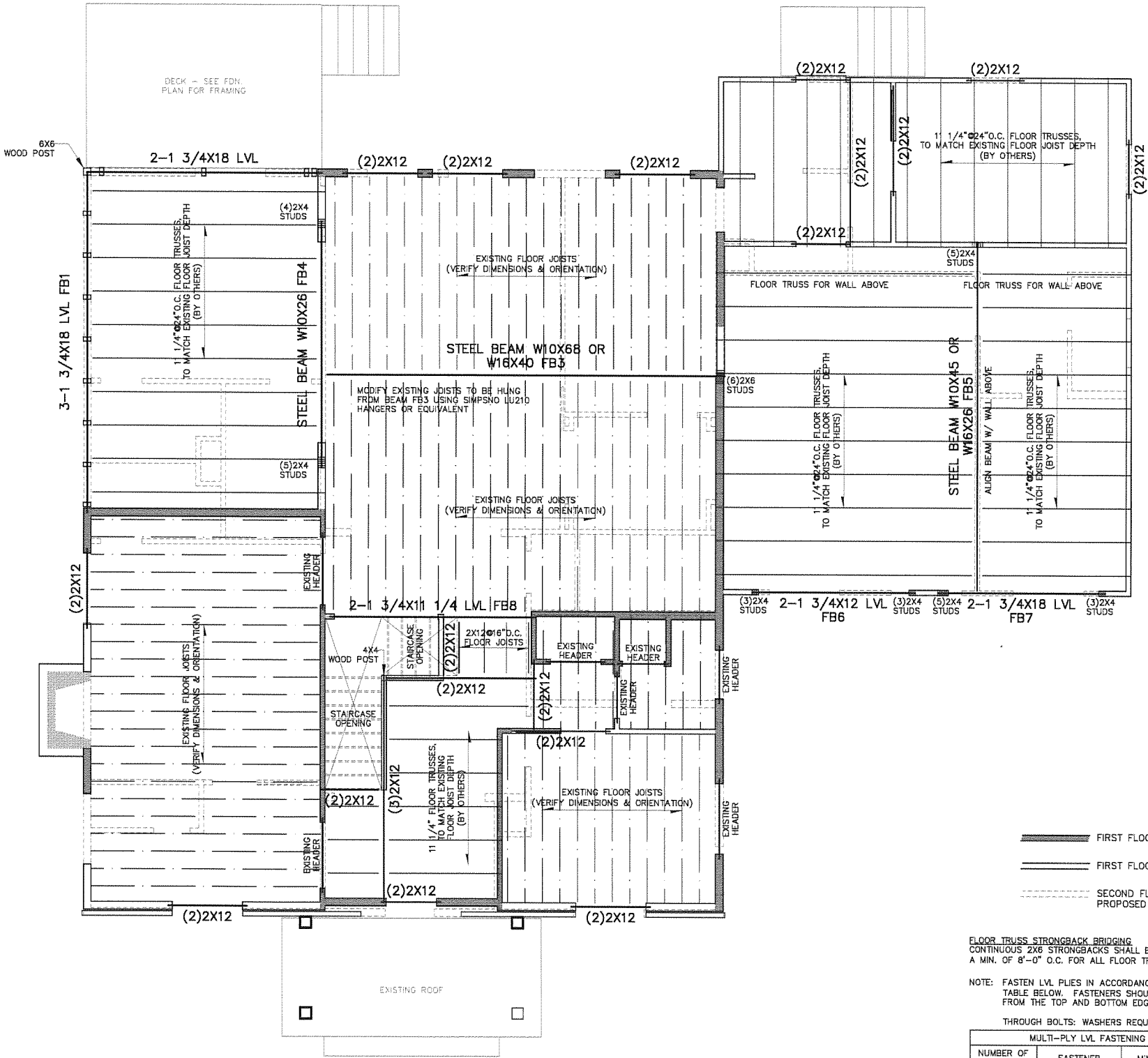
CEILING JOIST TABLE

SPAN	CLG. JOIST
13'-0"	2X8@16"O.C.
16'-0"	2X8@16"O.C.
18'-0"	2X10@16"O.C.
20'-0"	2X12@16"O.C.

FLOOR LOADS
LIVE LOAD=40 PSF
MISC. LOAD=25 PSF
TOTAL LOAD=65 PSF
TOTAL ULTIMATE LOAD=94 PSF

ROOF LOADS
LIVE LOAD=20 PSF
MISC. LOAD=15 PSF (COMPOSITION)
TOTAL LOAD=35 PSF
TOTAL ULTIMATE LOAD=50 PSF

NOTES:
ALL INTERIOR STUD WALLS TO BE 2X4 @ 16" O.C. U.N.O.
ALL EXTERIOR STUD WALLS TO BE 2X4 @ 16" O.C. U.N.O.
ALL STUD WALLS BELOW ARE SHOWN IN FULL.
ALL STUD WALLS ABOVE ARE SHOWN IN DOTTED.
ALL STUD WALLS TO BE 9'-1" U.N.O.



— FIRST FLOOR EXISTING WALLS
— FIRST FLOOR PROPOSED WALLS
--- SECOND FLOOR EXISTING AND PROPOSED WALLS

FLOOR TRUSS STRONGBACK BRIDGING
CONTINUOUS 2X6 STRONGBACKS SHALL BE INSTALLED AT A MIN. OF 8'-0" O.C. FOR ALL FLOOR TRUSS SPANS

NOTE: FASTEN LVL PLIES IN ACCORDANCE WITH SPECIFICATIONS PROVIDED IN TABLE BELOW. FASTENERS SHOULD BE INSTALLED IN ROWS A MIN. 2" FROM THE TOP AND BOTTOM EDGE TO THE LVL PLIES.

THROUGH BOLTS: WASHERS REQUIRED. BOLT HOLES TO BE 9/16" MAX.

MULTI-PLY LVL FASTENING SPECIFICATIONS FOR TOP LOADED BEAMS					
NUMBER OF PLYS	FASTENER	MIN. LENGTH	NUMBER OF ROWS	O.C. SPACING	FASTENER LOCATION
2	10D NAILS	3"	3*	12"	ONE SIDE
	12D-16D NAILS	3 1/4"	2*	12"	
3	SDS/USP SCREWS	3 3/8" OR 3 1/2"	2	24"	BOTH SIDES
	10D NAILS	3"	3*	12"	
4	SDS/USP SCREWS	3 3/8" OR 3 1/2"	2	24"	BOTH SIDES
	10D NAILS	3"	3*	12"	
5	SDS/USP SCREWS	5" OR 6"	2	24"	ONE SIDE
	10D NAILS	3 1/4"	3*	12"	
6	SDS/USP SCREWS	6 3/4"	2	24"	ONE SIDE
	10D NAILS	3 1/4"	3*	12"	

*BEAM DEPTHS EXCEEDING 14" REQUIRE AN ADDITIONAL ROW OF FASTENERS

SECOND FLOOR FRAMING PLAN
SCALE 1/4"=1'-0" (HALF SIZE 1/8"=1'-0")

Project: **FEATHERSTON STUDIO, LLC**
1605 GASTON AVE.
AUSTIN, TEXAS 78703

This: **SECOND FLOOR FRAMING PLAN**

Project: **30100**

Sheet: **S3**

Professional Seal: **MIRZA TAHR BAIG, P.E., #82577**
Professional Engineer
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Firm Registration F-4851

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- 1) THIS DRAWING MUST BE READ IN CONJUNCTION WITH ARCHITECTURAL, ELECTRICAL, PLUMBING, MECHANICAL, AND AIR-CONDITIONING DRAWINGS.
- 2) 2) QUALITY AND DESIGN: THE QUALITY AND DESIGN OF WOOD MEMBERS AND THEIR FASTENINGS SHALL CONFORM TO THE PROVISIONS OF IRC CODE AND APPLICABLE STANDARDS LISTED IN IRC.

- 3) 3) WORKMANSHIP: ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED AND BRACED WHICH THEY ARE USED.
- 4) 4) FABRICATION: PREPARATION, FABRICATION AND INSTALLATION OF WOOD MEMBERS AND THEIR FASTENINGS SHALL CONFORM TO ALL ACCEPTED ENGINEERING PRACTICES AND TO THE REQUIREMENTS OF 2012 IRC CODE.
- 5) 5) MINIMUM QUALITY: MINIMUM CAPACITY OF STRUCTURAL FRAMING MEMBERS MAY BE ESTABLISHED BY PERFORMANCE TESTS. WHEN TESTS ARE NOT MADE, CAPACITY SHALL BE BASED UPON THE FOLLOWING STRESSES AND DESIGN CRITERIA SPECIFIED IN I.R.C. CODE. STUDS, JOISTS, RAFTERS, FOUNDATION PLATES OR SILLS, PLANKING 2 INCHES OR MORE IN DEPTH, BEAMS, STRINGERS, POSTS, STRUCTURAL SHEATHING AND SIMILAR LOAD BEARING MEMBERS SHALL BE OF UPON THE MINIMUM GRADES SET FORTH IN 2012 IRC TABLE. PLYWOOD SHALL BE SPECIES GROUP 1, 2, 3 OR 4 AND SHALL BE ONE OF THE GRADES SPECIFIED IN I.R.C. PARTICLEBOARD SHALL CONFORM TO 2012 IRC. APPROVED FIRE-RETARDANT TREATMENT SHALL BE USED FOR ALL FIRE TREATMENT, TO A MAXIMUM MOISTURE CONTENT AS FOLLOWS: SOLID-SAWN LUMBER 2 INCHES IN THICKNESS OR LESS TO 19 PERCENT, AND PLYWOOD TO 15 PERCENT.
- 6) 6) SHRINKAGE: CONSIDERATION SHALL BE GIVEN IN CONSTRUCTION OF ALL ROOFING TO THE POSSIBLE EFFECT OF CROSS-GRAIN DIMENSIONAL CHANGES CONSIDERED VERTICALLY WHICH MAY OCCUR IN LUMBER FABRICATED IN A GREEN CONDITION.
- 7) 7) HANDERS: ALL METAL ANCHORS, FASTENERS AND CONNECTIONS SHALL BE SHOWN AS SHOWN FROM SIMPSON CO. OR AN APPROVED EQUAL IN STRUCTURAL DESIGN AND LOAD VALUES.
- 8) 8) STRESSES: EXCEPT AS HEREINAFTER PROVIDED, STRESSES SHALL NOT EXCEED THE ALLOWABLE UNIT STRESSES FOR THE RESPECTIVE SPECIES AND GRADES OR FABRICATED AS SET FORTH IN I.R.C. CODE FOR LUMBER, AND STRUCTURAL GLUED-LAMINATED TIMBER:

- A) HEADERS, RAFTERS & JOISTS
Fb = 1200 PSI SINGLE MEMBER
Fb = 1400 PSI REPETITIVE MEMBER
FV = 90 PSI

- B) STUD & WALL MEMBERS
- | | | | |
|------|---------|-----|----------|
| Fb = | 900 PSI | FOR | 2X4 |
| Fc = | 575 PSI | FOR | 2X4 |
| Fb = | 850 PSI | FOR | 2X6, 2X8 |
| Fc = | 625 PSI | FOR | 2X6, 2X8 |

- C) GLUE LAMINATED BEAMS (GL)
 $F_b = 2400$ PSI
 $F_v = 200$ PSI
 $F_c = 385$ PSI PERPENDICULAR
 $F_c = 1500$ PSI PARALLEL

- D) MICRO-LAM (LVL)
Fb = 2900 PSI
Fv = 290 PSI

- 9) CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY IN CASE OF DISCREPANCY.

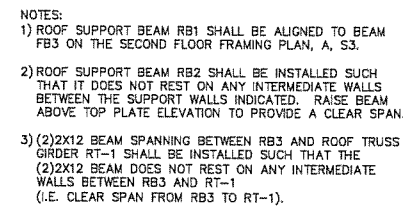
SPAN	SIZE
10'-0"	2X8
12'-0"	2X10
14'-0"	2X12
16'-0"	(2)2X12
18'-0"	(3)2X12
20'-0"	(3)2X12
22'-0"	3 1/8X12 1/2GL

SPAN	CLG. JOIST
13'-0"	2X8@16"O.C.
16'-0"	2X8@16"O.C.
18'-0"	2X10@16"O.C.
20'-0"	2X12@16"O.C.

LIVE LOAD=40 PSF
MISC. LOAD=25 PSF
TOTAL LOAD=65 PSF TOTAL ULTIMATE LOAD=94 PSF

LIVE LOAD=20 PSF
MISC. LOAD=15 PSF (COMPOSITION)
TOTAL LOAD=35 PSF TOTAL ULTIMATE LOAD=50 PSF

ALL PROPOSED INTERIOR STUD WALLS TO BE 2X4 @ 16" O.C. U.N.O.
ALL PROPOSED EXTERIOR STUD WALLS TO BE 2X4 @ 16" O.C. U.N.O.
ALL STUD WALLS BELOW ARE SHOWN IN FULL.
ALL STUD WALLS ABOVE ARE SHOWN IN DOTTED.
ALL STUD WALLS TO BE 9'-1" U.N.O.



 SECOND FLOOR EXISTING WALLS

 SECOND FLOOR PROPOSED WALLS

NOTE: FASTEN LVL PLIES IN ACCORDANCE WITH SPECIFICATIONS PROVIDED IN TABLE BELOW. FASTENERS SHOULD BE INSTALLED IN ROWS A MIN. 2" FROM THE TOP AND BOTTOM EDGE TO THE LVL PLIES.

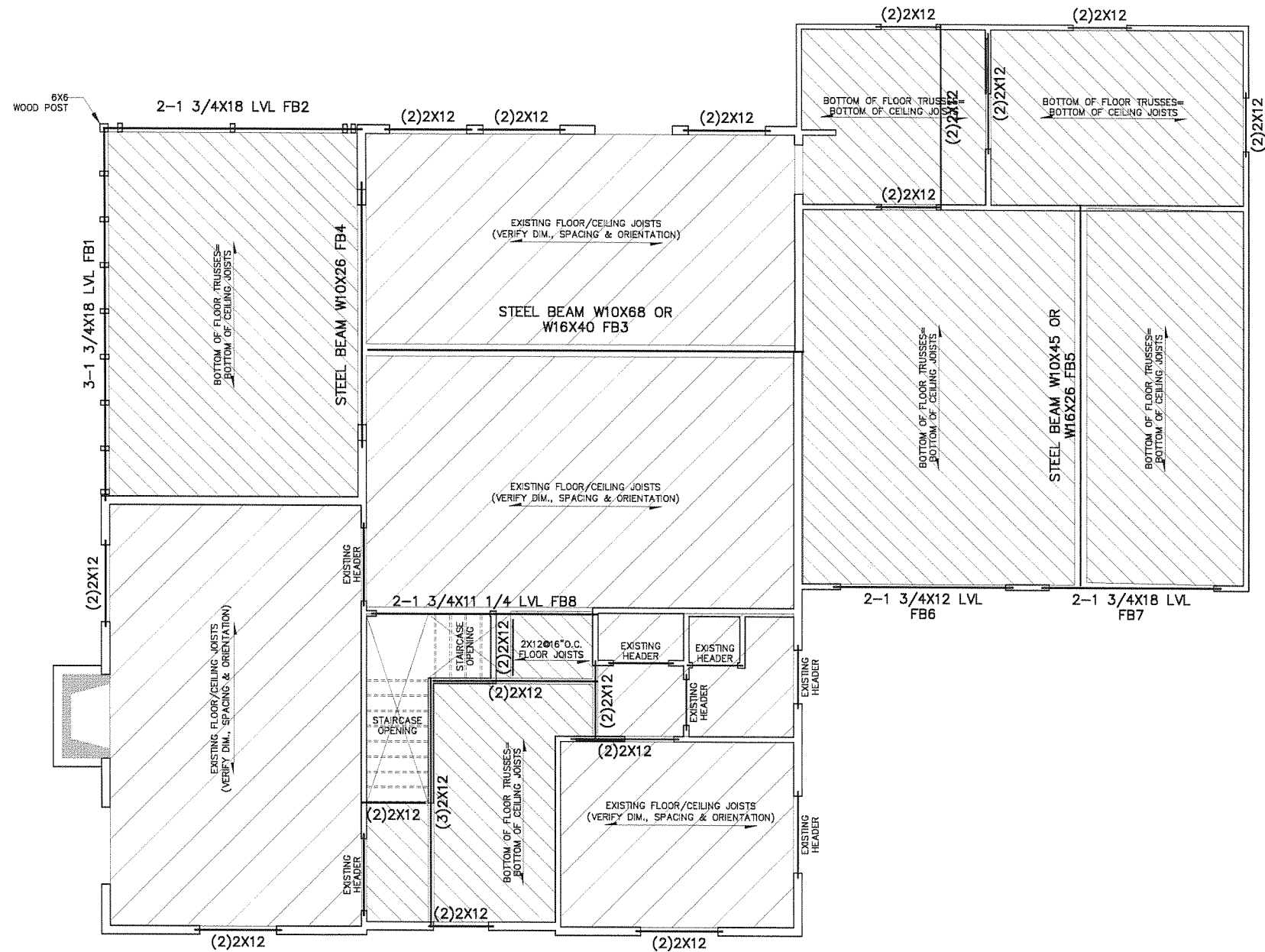
THROUGH BOLTS: WASHERS REQUIRED. BOLT HOLES TO BE 9/16" MAX.

MULTI-PLY LVL FASTENING SPECIFICATIONS FOR TOP LOADED BEAMS					
NUMBER OF PLYS	FASTENER	MIN. LENGTH	NUMBER OF ROWS	O.C. SPACING	FASTENER LOCATION
2	10D NAILS	3"	3*	12"	ONE SIDE
	12D-16D NAILS SDS/USP SCREWS	3 1/4" 3 3/8" OR 3 1/2"	2* 2	12" 24"	
3	10D NAILS	3"	3	12"	BOTH SIDES
	12D-16D NAILS	3 3/4"	2	12"	BOTH SIDES
	SDS/USP SCREWS	3 3/8" OR 3 1/2"	2	24"	BOTH SIDES
	SDS/USP SCREWS	5"	2	24"	ONE SIDE
4	10D NAILS	3"	3*	12"	ONE SIDE
	12D-16D NAILS	3 1/4"	2*	12"	(PER PLY)
	SDS/USP SCREWS	5" OR 6"	2	24"	BOTH SIDES
	SDS/USP SCREWS	6 3/4"	2	24"	ONE SIDE

*BEAM DEPTHS EXCEEDING 14" REQUIRE AN ADDITIONAL ROW OF FASTENERS

SCALE 1/4"=1'-0" (HALF SIZE 1/8"=1'-0")

SPAN	CLG. JOIST
13'-0"	2XB@16"O.C.
16'-0"	2XB@16"O.C.
18'-0"	2X10@16"O.C.
20'-0"	2X12@16"O.C.



FIRST FLOOR CEILING PLAN
SCALE 1/4"=1'-0" (HALF SIZE 1/8"=1'-0")

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AUSTIN, TEXAS 78703

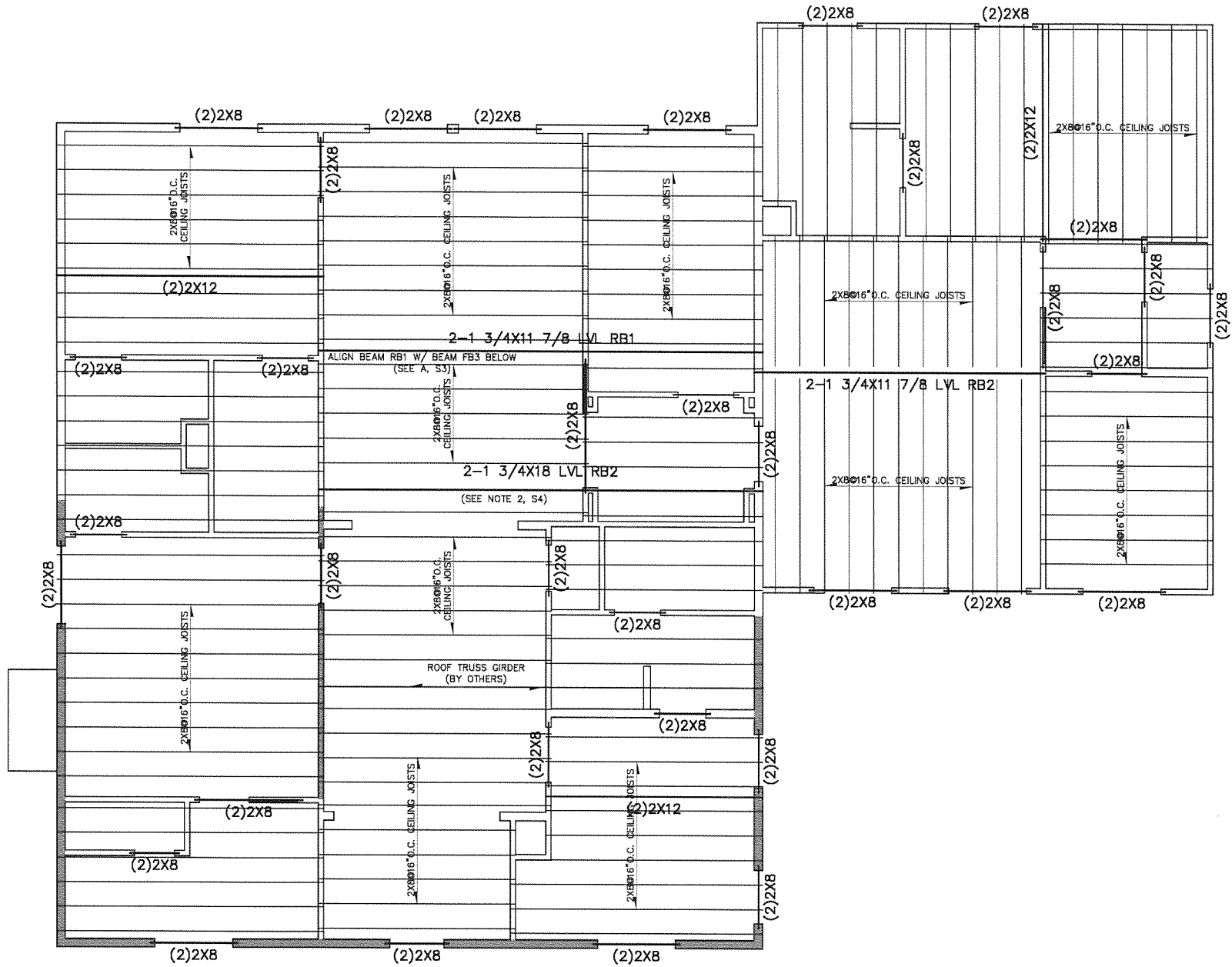
Title: **1st. FLR. CEILING FRAMING PLAN**

PROJECT: **30100**

SHEET: **S5**

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SPAN	CLG. JOIST
13'-0"	2X8@16"O.C.
16'-0"	2X8@16"O.C.
18'-0"	2X10@16"O.C.
20'-0"	2X12@16"O.C.



SECOND FLOOR CEILING PLAN
SCALE 1/4"=1'-0" (HALF SIZE 1/8"=10")

FEATHERSTON STUDIO, LLC
1605 GASTON AVE.
AUSTIN, TEXAS 78703

Project: 30100

PROFESSIONAL STRUCVIL ENGINEERS, INC.
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Project: 30100

Title: 2nd. FLR. CEILING FRAMING PLAN

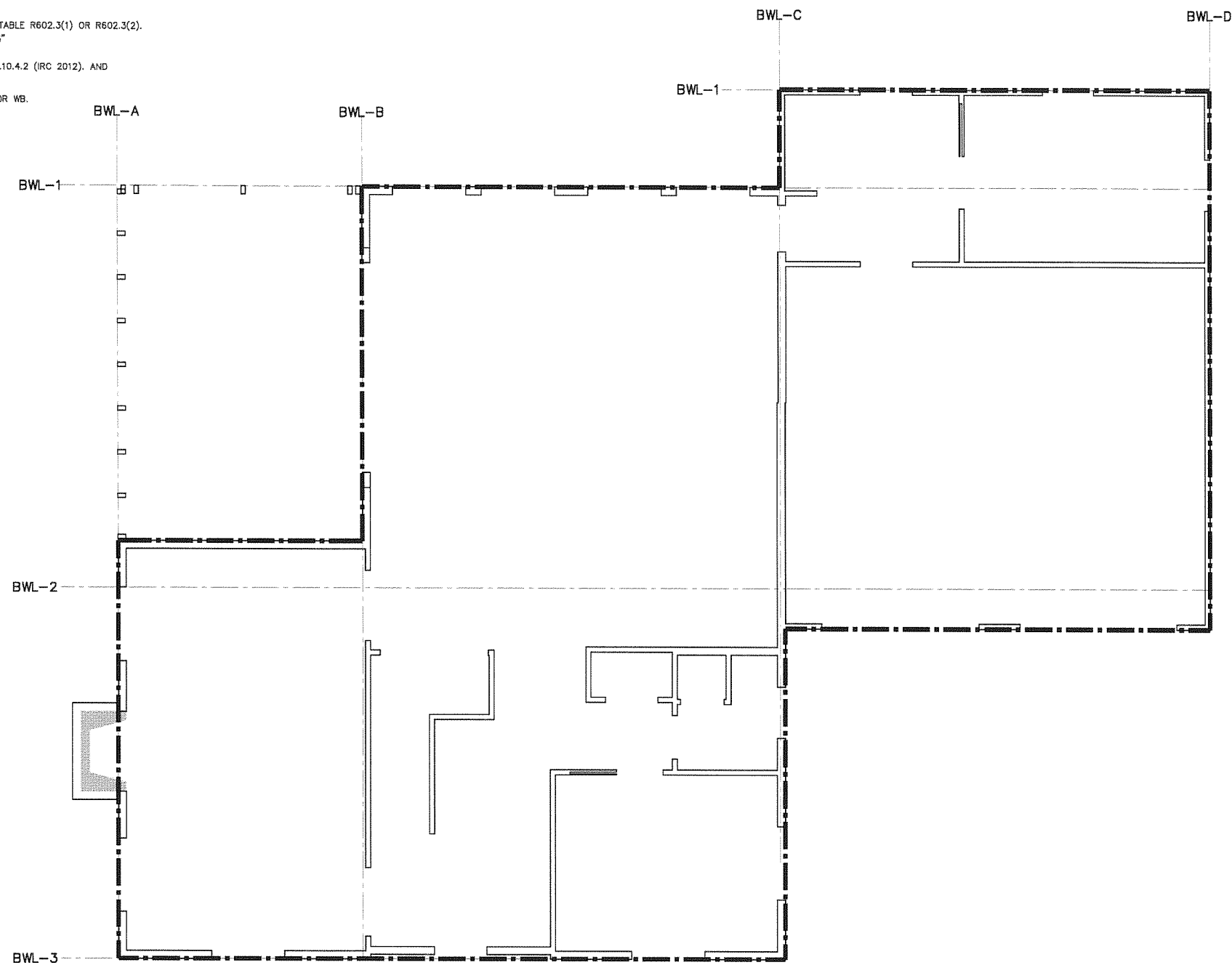
Professional Engineer Seal: MIRZA TAHR BAIG, P.E., #82577
FIRM REGISTRATION F-4951

(1) CONTINUOUS SHEATHING METHODS AS PER IRC R602.10.4.2.

(2) MATERIAL CS-WSP CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL, 3/8 INCH THICK.

(3) EXTERIOR SHEATHING FASTENERS AS PER TABLE R602.3(3). INTERIOR SHEATHING FASTENERS PER TABLE R602.3(1) OR R602.3(2).
USE 6d COMMON NAIL SIZE, SPACING 16" O.C. MAX, EDGE 6" O.C., FIELD 12" O.C. PENETRATION 1.5"

***** SHEARWALL TYPE-B : DIAGONAL WALL BRACING SIMPSON MODEL TWB OR WB.
AS PER R602.10.4.3. OR R602.10.6 (IRC 2012)



A
S7

SCALE 1/4"=1'-0" (HALF SIZE 1/8"=1'-0")

Project :

FEATHERSTON STUDIO, LLC
1605 GASTON AVE.
AUSTIN, TEXAS 78703

Title :

BRACED WALL FRAMING PLAN

PROJECT

30100

P

E

P

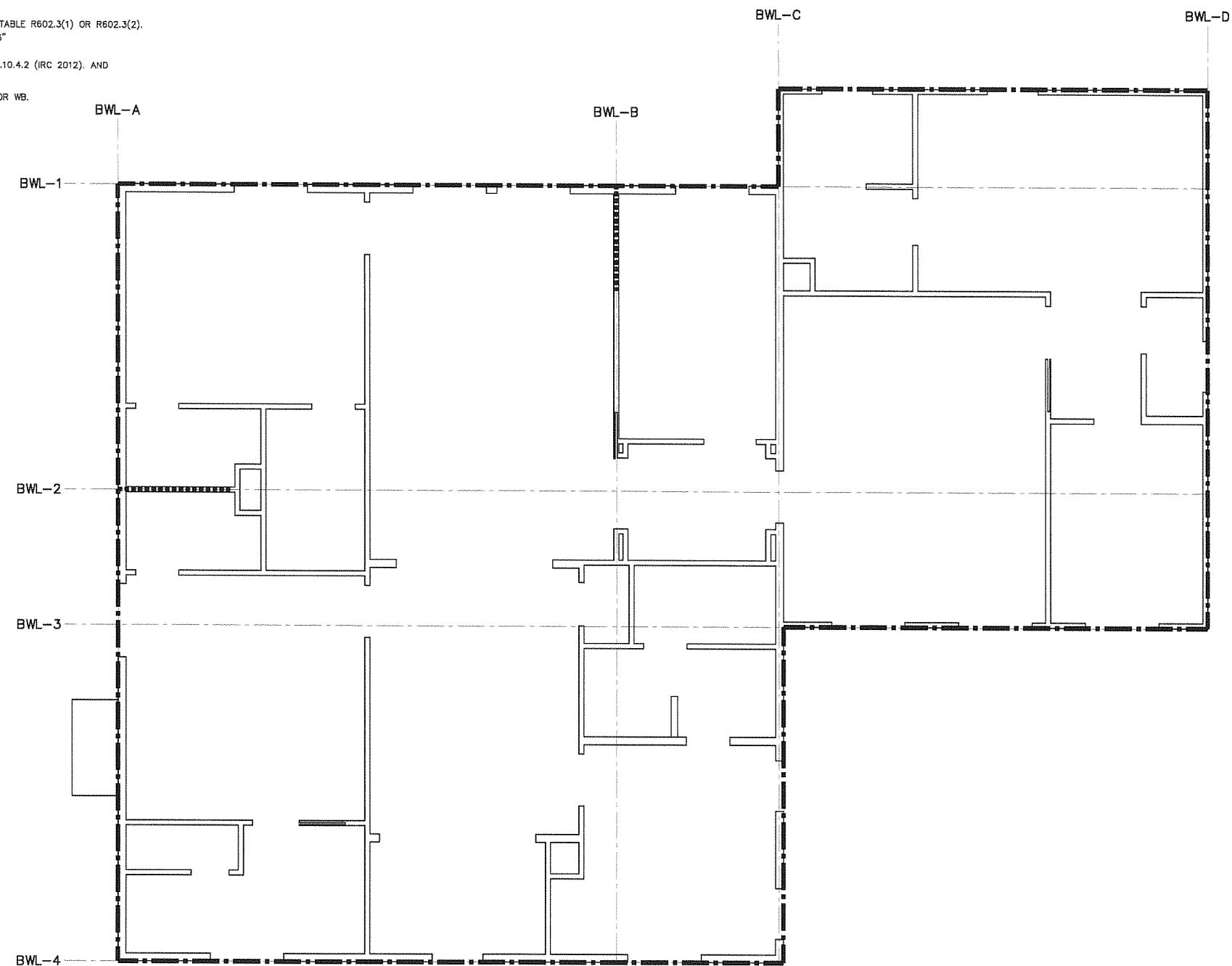
E

SHEET

S7

(1) CONTINUOUS SHEATHING METHODS AS PER IRC R602.10.4.2.
(2) MATERIAL CS-WSP CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL, 3/8 INCH THICK.
(3) EXTERIOR SHEATHING FASTENERS AS PER TABLE R602.3(3). INTERIOR SHEATHING FASTENERS PER TABLE R602.3(1) OR R602.3(2).
USE #6 COMMON NAIL SIZE, SPACING 16" O.C. MAX, EDGE 6" O.C., FIELD 12" O.C. PENETRATION 1.5"

***** SHEARWALL TYPE-B : DIAGONAL WALL BRACING SIMPSON MODEL TWB OR WB.
AS PER R602.10.4.3, OR R602.10.6 (IRC 2012)



SECOND FLOOR BRACED WALL PLAN
SCALE 1/4"=1'-0" (HALF SIZE 1/8"=1'-0")

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 1605 GASTON AVE.
 AUSTIN, TEXAS 78703

Project : _____

PROFESSIONAL STRUCTURAL ENGINEERS, INC.
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Title : _____

BRACED WALL FRAMING PLAN

PROJECT
30100

SHEET
S8

TYPICAL FOUNDATION & STUD WALL CONNECTION

TYPICAL FLOOR TO FLOOR CONNECTION

TYPICAL ROOF FRAMING CONNECTION

TYPICAL ROOF FRAMING CONNECTION

SOLUTION: Specify TSP from stud to plate and from plate to truss. Other connectors offer a similar solution. Contact Simpson Strong-Tie for more information.

TYPICAL FLOOR TO FLOOR CONNECTION

TYPICAL CONNECTION DETAIL

TYPICAL FOUNDATION ANCHOR CONNECTION

TYPICAL FOUNDATION ANCHOR CONNECTION

TYPICAL WOOD POST BASE CONNECTION

TYPICAL FLOOR TO FLOOR CONNECTION

TYPICAL FLOOR TO FLOOR CONNECTION

TYPICAL FLOOR TO FLOOR CONNECTION

TYPICAL FLOOR TO FLOOR CONNECTION

TYPICAL FLOOR TO FLOOR CONNECTION

TYPICAL FLOOR TO FLOOR CONNECTION

TYPICAL FLOOR TO FLOOR CONNECTION

TYPICAL FLOOR TO FLOOR CONNECTION

SIMPSON HANGER HSS-2

SIMPSON HANGER RPS

SIMPSON STRONG-TIE HUS

SIMPSON STRONG-TIE HUS

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MIRZA TAHIR BAKI, P.E., #02577 ON 12/11/2015
FIRM REGISTRATION F-4851

12/11/15	Date
12/11/15	Issued for Review
	Description

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CONSULTING CIVIL AND STRUCTURAL ENGINEERS

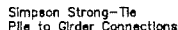
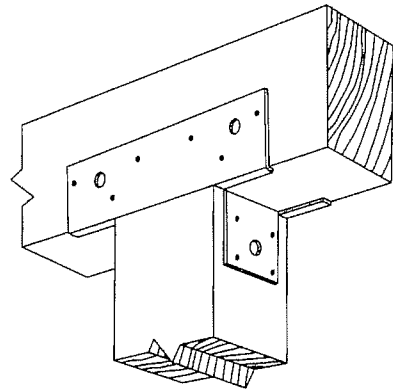
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AUSTIN, TEXAS 78703

GENERAL FRAMING DETAIL

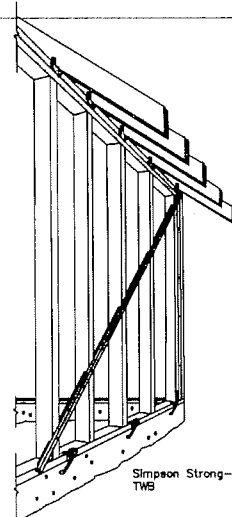
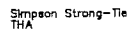
PROJECT: 30100

SHEET: S9



A 3D perspective diagram of a built-up beam. It consists of two horizontal wooden planks on the left and a vertical I-beam on the right. Two vertical metal plates connect them. Arrows point to the top and bottom horizontal plates, labeled '2 FACE NAILS'. Another arrow points to the vertical plate, labeled 'JOIST STRAIGHT NAILS'.

Simpson Strong-Tie
THA (on I-beam)



Technical drawing of a window frame showing reinforcement bars (rebar) and diagonal bracing. The drawing includes a cross-section of the wall and window frame, with vertical bars and diagonal bracing indicated by solid and dashed lines. A legend on the right shows a cross-section of a brick wall.

SHEAR WALL DIAGONAL BRACING DETAIL

