



ITEM FOR ENVIRONMENTAL COMMISSION AGENDA

COMMISSION MEETING

DATE REQUESTED: FEBRUARY 3, 2016

NAME & NUMBER OF PROJECT: RESTORATION TEMPLE OF DELIVERANCE MINISTRIES
SP-2015-0004C

NAME OF APPLICANT OR ORGANIZATION: IT Gonzales Engineers
(Bill Graham, PE 512-447-7400)

LOCATION: 6301 MOONGLOW DR

Council District: District 1

PROJECT FILING DATE: January 8, 2015

DSD/ENVIRONMENTAL Staff: Pamela Abee-Taulli, 512-974-1879
Pamela.taulli@austintexas.gov

DSD/ CASE MANAGER: Benny Ho, 512-974-3402
benny.ho@austintexas.gov

WATERSHED: Walnut Creek Watershed, Suburban

ORDINANCE: Watershed Protection Ordinance (current Code)

REQUEST: Variance request as follows:
To allow construction in a critical water quality zone of a drive to provide primary access. [LDC 25-8-261]

STAFF RECOMMENDATION: Recommended with conditions.

REASONS FOR RECOMMENDATION: Findings of fact have been met.



MEMORANDUM

TO: Mary Gay Maxwell, Chairperson and Members of the Environmental Commission

FROM: Pamela Abee-Taulli, Environmental Review Specialist
Development Services Department

DATE: September 4, 2013

SUBJECT: Restoration Temple of Deliverance Ministries – SP-2015-0004C

On the February 3, 2016 agenda is a request for the consideration of one variance that has been requested for construction in a critical water quality zone of a drive to provide primary access to a church.

Description of Property

The project is located at 6301 Moonglow Dr., Austin, 78724, east of SH 183, near the intersection of Johnny Morris Rd. and Loyola Ln. It is in the Walnut Creek Watershed, which is classified as a Suburban watershed. The property is not located over the Edwards Aquifer Recharge Zone.

An unnamed major waterway abuts the east side of the tract; hence the property includes City of Austin fully developed 100-year Floodplain and a 300 foot Critical Water Quality Zone (CWQZ). Slope varies between 6.49% and 9.23%; a small area has a 25% slope. Soils are chiefly Class D, having very slow infiltration.

There is a wetland Critical Environmental Feature (CEF), but no rock outcrops, karst features, or other CEFs. While there are no visible springs, environmental staff have speculated that the wetland pond may be partially fed by water from a perched water table. Vegetation includes large trees, such as elm and oak, near the creek. The western two-thirds has sparse grass cover and is more wooded with mainly invasive trees, while the eastern third is more open with areas of bunch grass, ragweed and Johnson grass. For more information, please see Environmental Resource Inventory, included in packet materials.

Access to the site would normally be taken from Sandshof Dr., which is classified as a collector street. However, a narrow open-space easement lot, approximately 30 feet wide, separates the west side of the property from Sandshof Dr. This easement constitutes one lot of a residential subdivision. To alter the

easement lot, partial vacation and re-platting of the subdivision plat is required. Re-platting, however, requires approval of one hundred percent of the owners of lots included in the subdivision plat. Since this is infeasible, the site is forced to take access from Moonglow Dr., which is currently inside the CWQZ.

Variance Request

Land Development Code (LDC) Section 25-8-261 prohibits development in a CWQZ. The proposed driveway connecting with Moonglow Dr. encroaches on the CWQZ boundary.

Conditions for Staff Approval

Applicant to provide educational signage for the wetland CEF and riparian buffer.

Recommendation

Staff recommends approval of the variance.

Findings of Fact for Restoration Temple of Deliverance Ministries – SP-2015-0004C

Variance Request

Land Development Code (LDC) Section 25-8-261 prohibits development in a CWQZ.

1. The requirement will deprive the applicant of a privilege or the safety of property given to owners of other similarly situated property with approximately contemporaneous development.

Yes, the requirement will deprive applicant of access to the site.

2. The variance is not based on a condition caused by the method chosen by the applicant to develop the property unless the development provides greater overall environmental protection than is achievable without the variance.

Yes, the condition is not chosen by the applicant. The condition is created by the existence of a previously platted open space lot between the applicant's site and Sandshof Dr., which blocks access to the applicant's site. Therefore, the only access to the site is from Moonglow Dr., which is in the CWQZ.

3. The variance is the minimum change necessary to avoid the deprivation of a privilege given to other property owners and to allow a reasonable use of the property.

Yes, the applicant is requesting the minimum change necessary to develop the property and to allow reasonable use of the property. The CWQZ has been averaged to reduce it to its minimum width of 150 feet at the point where the driveway connects with Moonglow Dr. Nevertheless, the driveway cannot be constructed without slightly encroaching into the minimized CWQZ.*

*[*LDC Section 25-8-92(B)(4), known as buffer averaging, provides for CWQZ boundaries to be reduced to not less than 150 feet from the centerline of a major waterway.]*

4. The variance does not create a significant probability of harmful consequences.

Yes, the encroachment into the CWQZ is very slight and will not have harmful consequences.

5. Development with the variance will result in water quality that is at least equal to the water quality achievable without the variance.

Yes, the project will meet water quality requirements through an on-site pond and flood detention requirements through participating in the Watershed Protection Department's Regional Stormwater Management Program (RSMP).

Environmental Review Specialist:


Pamela Abee-Taulli

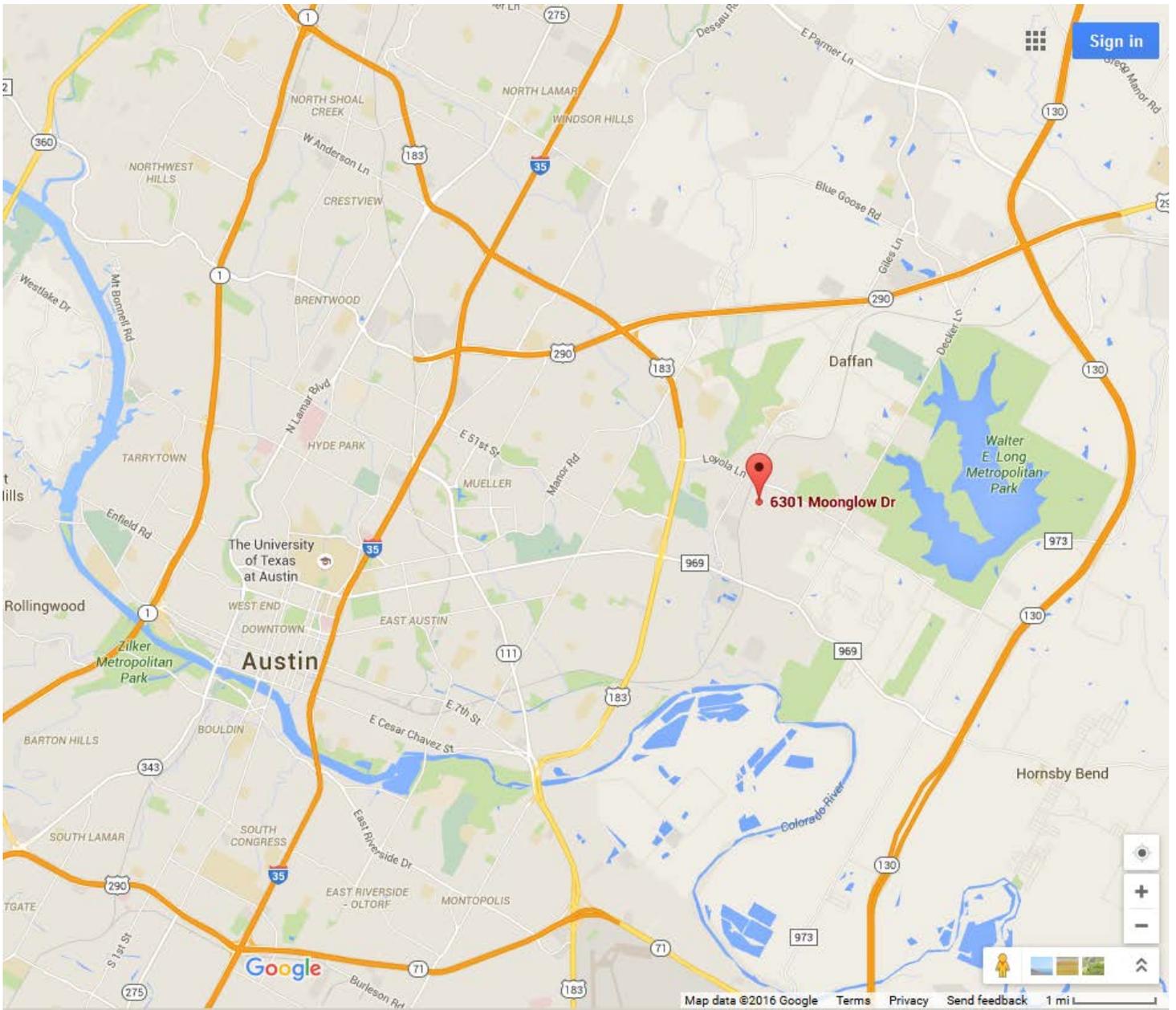
Environmental Program Manager:


Susan Barnett

Environmental Officer:


Chuck Lesniak

Location Map



Applicant Packet



ENVIRONMENTAL COMMISSION VARIANCE APPLICATION FORM



PROJECT DESCRIPTION

Applicant Contact Information

Name of Applicant	Bill Graham, I. T. Gonzalez Engineers
Street Address	3501 Manor Road
City State ZIP Code	Austin, Texas 78723
Work Phone	512-447-7400 #14
E-Mail Address	billgr@swbell.net

Variance Case Information

Case Name	Restoration Temple of Deliverance Ministries
Case Number	SP-2015-0004C
Address or Location	6301 Manor Road, Austin, Texas, 78724
Environmental Reviewer Name	Pamela Abee-Taulli
Applicable Ordinance	
Watershed Name	Walnut Creek
Watershed Classification	<input type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Water Supply Suburban <input type="checkbox"/> Water Supply Rural <input type="checkbox"/> Barton Springs Zone
Edwards Aquifer Recharge Zone	<input type="checkbox"/> Barton Springs Segment <input type="checkbox"/> Northern Edwards Segment <input type="checkbox"/> Not in Edwards Aquifer Zones

Edwards Aquifer Contributing Zone	X No
Distance to Nearest Classified Waterway	85 ft
Water and Waste Water service to be provided by	Austin Water Utility
Request	The variance request is as follows (Cite code references: 25-8-261 CRITICAL WATER QUALITY ZONE DEVELOPMENT

Impervious cover	Existing	Proposed
square footage:	<u>none</u>	<u>46,167 s.f.</u>
acreage:	<u>0.00</u>	<u>1.0599 acres</u>
percentage:	<u>0 %</u>	<u>23.50%</u>
Provide general description of the property (slope range, elevation range, summary of vegetation / trees, summary of the geology, CWQZ, WQTZ, CEFs, floodplain, heritage trees, any other notable or outstanding characteristics of the property)	<ol style="list-style-type: none"> Slope varies between 6.49% and 9.23%. A small area has a 25% slope. Elevation Range is from 470 at east property line to 505 at west property. There are no heritage trees on site. The existing trees are mostly Elms, 8" to 18" diameter A creek existing at the east property line and has a 100 year Base Floodplain Elevation of 474 A wetland exists immediately north of the south property line. It basically resembles a man-made pond for Cattle. The proposed construction, except for a small portion of proposed driveway entrance, was kept to outside the 150 ft from creek C.L., which is considered to be Half Original CWQZ. 	

Clearly indicate in what way the proposed project does not comply with current Code (include maps and exhibits)	<ol style="list-style-type: none"> The site has only one option for entrance to site, which is from the south end of Moonglow. A very small area of the proposed driveway entrance to the site happens to be within the Half Original 150 ft CWQZ.
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FINDINGS OF FACT

As required in LDC Section 25-8-41, in order to grant a variance the Land Use Commission must make the following findings of fact:

Include an explanation with each applicable finding of fact.

Project: Restoration Temple of Deliverance Ministries, SP-2015-0004C

Ordinance: 25-8-261 CRITICAL WATER QUALITY ZONE DEVELOPMENT

A. Land Use Commission variance determinations from Chapter 25-8-41 of the City Code:

1. The requirement will deprive the applicant of a privilege or the safety of property given to owners of other similarly situated property with approximately contemporaneous development.

Yes/No The site has only one option for entrance to site, which is from the south end of Moonglow. A very small area of the proposed driveway entrance to the site happens to be within the Half Original 150 ft CWQZ.

2. The variance:

- a) Is not based on a condition caused by the method chosen by the applicant to develop the property, unless the development method provides greater overall environmental protection than is achievable without the variance;

Yes/No The proposed driveway encroachment into the Half Original 150 ft CWQZ is not being created by the proposed development. Again, be advised that if access from Moonglow Drive is not permitted than the City is basically land-locking this tract of land. The Owner would've like to access the property from the west; but, the Owner was unsuccessful in getting an access easement through the existing Conservation Easement that parallels Sandshof Drive. Furthermore, be advised that the City had a hand in allowing the creation of said Conservation Easement.

- b) Is the minimum change necessary to avoid the deprivation of a privilege given to other property owners and to allow a reasonable use of the property;

Yes/No If the Environmental Variance Request is not granted than the Restoration Temple will not be able to develop the land. Be advised that the Moonglow Drive already encroaches into the Half Original 150 ft CWQZ.

c) Does not create a significant probability of harmful environmental consequences; and

Yes/No The small section of driveway does not have the possibility of harmful environmental consequences. Be advised that the south end of Moonglow Drive is already encroaching into the Half Original 150 ft CWQZ. Also, there at least two residential lots with improvements that encroach the CWQZ.

3. Development with the variance will result in water quality that is at least equal to the water quality achievable without the variance.

Yes/No Development with the variance will result in water quality that is at least equal to the existing conditions. Again, be advised that the south end of Moonglow Drive and at least 2 residential lots with their improvements are already encroaching into the Half Original 150 ft CWQZ. The proposed development is not introducing a condition that does not already exist.

B. Additional Land Use Commission variance determinations for a requirement of Section 25-8-393 (Water Quality Transition Zone), Section 25-8-423 (Water Quality Transition Zone), Section 25-8-453 (Water Quality Transition Zone), or Article 7, Division 1 (Critical Water Quality Zone Restrictions):

1. The criteria for granting a variance in Section A are met;

Yes/No [summary of basis for determination]

2. The requirement for which a variance is requested prevents a reasonable, economic use of the entire property; and

Yes/No [summary of basis for determination]

3. The variance is the minimum change necessary to allow a reasonable, economic use of the entire property.

Yes/No [summary of basis for determination]

**Variance approval requires all above affirmative findings.



Exhibits for Board Backup and/or Presentation

- Aerial photos of the site (backup and presentation)
- Site photos (backup and presentation)
- Aerial photos of the vicinity (backup and presentation)
- Context Map—A map illustrating the subject property in relation to developments in the vicinity to include nearby major streets and waterways (backup and presentation)
- Topographic Map - A topographic map is recommended if a significant grade change on the subject site exists or if there is a significant difference in grade in relation to adjacent properties. (backup and presentation)
- For cut/fill variances, a plan sheet showing areas and depth of cut/fill with topographic elevations. (backup and presentation)
- Site plan showing existing conditions if development exists currently on the property (presentation only)
- Proposed Site Plan- full size electronic or at least legible 11x17 showing proposed development, include tree survey if required as part of site or subdivision plan (backup and presentation)
- Environmental Map – A map that shows pertinent features including Floodplain, CWQZ, WQTZ, CEFs, Setbacks, Recharge Zone, etc. (backup and presentation)
- An Environmental Assessment pursuant to ECM 1.3.0 (if required by 25-8-121) (backup only)
- Applicant’s variance request letter (backup only)

May 5, 2014

Environmental Board
301 W 2nd Street
Austin, Texas 78701

Re: Critical Water Quality Zone Development Variance
Restoration Temple Subdivision
6301 Moonglow Drive
C8-2014-0153.0A

Dear Members of Environmental Board:

On behalf of our client, Restoration Temple of Deliverance Ministries, I. T. Gonzalez Engineers is requesting a variance from the requirements of 25-8-261, Critical Water Quality Zone Development. The tract of land to be subdivided to make one lot is currently undeveloped. The proposed improvements as shown on a site plan currently under review include a church building and associated drive and parking.

To develop the tract at 6301 Moonglow, access to the site must be taken by a drive with an abutting ADA access sidewalk. To connect to the end of Moonglow Drive, this drive and sidewalk will cross the CWQZ that is located on the site. The section of the drive and sidewalk that will be located in the lower 150' of CWQZ will be constructed to create the minimum change necessary to develop the land. Water quality buffer averaging will be used for construction of the section of the drive and sidewalk and the parking in the upper 150' of the CWQZ. The area of the drive and sidewalk in the lower 150' of the CWQZ will also be accounted for in the water quality buffer averaging area that will be provided.

When the property surrounding 6301 Moonglow Drive was subdivided, no access was provided to the public roads that were constructed as part of the subdivision. To the west, the 6301 Moonglow Drive tract was blocked from access to Sandshof Drive by a narrow conservation easement lot created as part of the Sendero Hills Phase 4 Subdivision that was approved in 2007. The current owner will not permit access across the conservation easement lot. To the south, access to Lucy Cove was not provided when this property was developed as part of the same subdivision. The creek with the CWQZ that must be crossed to access Moonglow Drive lies to the east. With these constraints, the property cannot be developed without the requested variance.

As much as possible with the existing constraints, stormwater from the drive crossing the CWQZ will be directed to a biofiltration pond to be constructed in the upper 150' of the CWQZ, with the biofiltration pond oversized to include the portion of the drive in the CWQZ that will bypass the biofiltration pond. The stormwater runoff from the portion of the drive in the CWQZ that will bypass the pond will be discharged to a vegetated area upgradient from the creek. The water quality for stormwater at the site will not be degraded.

Sincerely,



Bill Graham, P.E.



Sandshof Dr

Virgo Ln

Meonglow St

Lucy Cove

© 2015 Google

SITE AERIAL PHOTO

Restoration Temple Variance

Imagery Date: 7/13/2015

30°17'42.94" N 97°38'46.82" W elev 499 ft

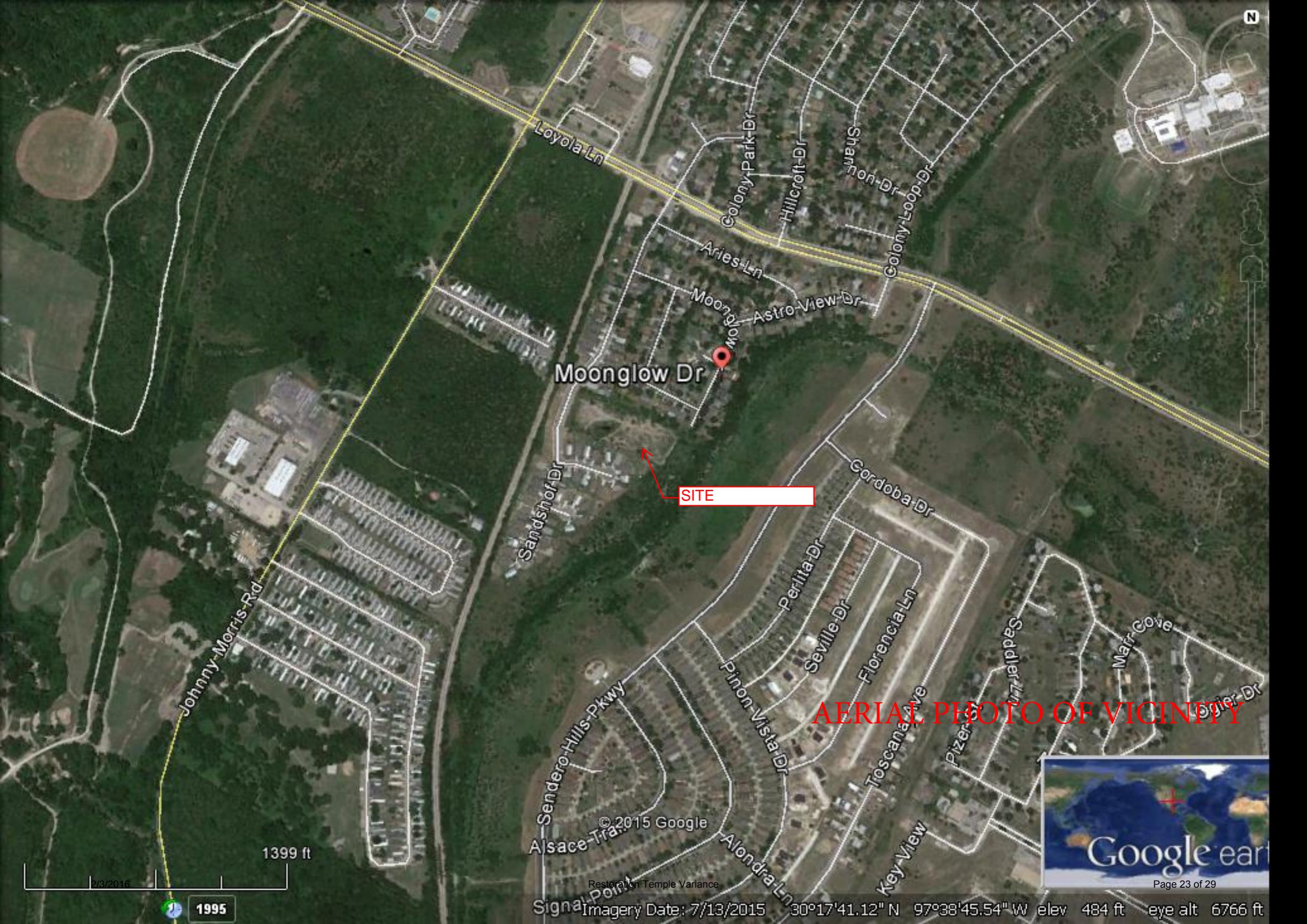
2/3/2016

1995





PHOTO TYPICAL OF SITE



Moonglow Dr

SITE

AERIAL PHOTO OF VICINITY

Google Earth

© 2015 Google

Restoration Temple Variance

Imagery Date: 7/13/2015 30°17'41.12" N 97°38'45.54" W elev 484 ft eye alt 6766 ft

1995

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CITY OF AUSTIN DEVELOPMENT WEB MAP



Legend

-  Lot Lines
-  Streets
-  Building Footprints
-  Named Creeks
-  Lakes and Rivers
-  Parks
-  County

Greater Austin FEMA Floodpl

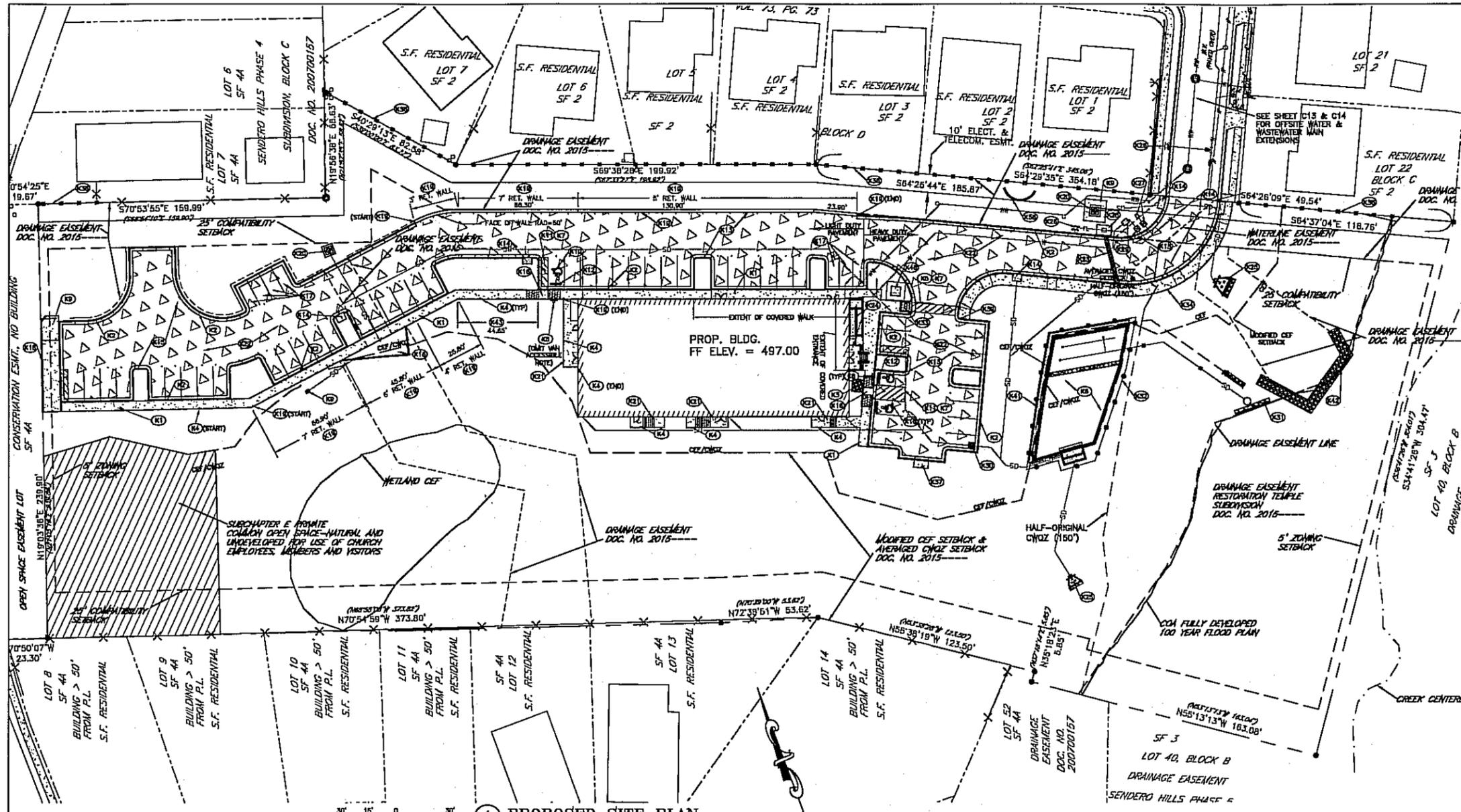
-  100 Year (Detailed-AE)
-  100 year (Shallow-AC)
-  100 Year (Approx-A)
-  X Protected by Levee
-  500 Year



CONTEXT MAP

CONTEXT
MAP

Site Plans



1 PROPOSED SITE PLAN
SCALE: 1" = 30'

- LEGEND**
- EXISTING CONCRETE
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - EXISTING FENCE
 - PROPOSED FIRE HYDRANT
 - PROPOSED GATE VALVE
 - PROPOSED WATER METER
 - PROPERTY LINE
 - PROPOSED RAIL
 - AVERAGED CMOZ & CEF SETBACK
 - PAINTED FIRE LANE
 - PROPOSED WOOD FENCE
 - EXISTING FIBER CABLE
 - EXISTING WASTEWATER LINE
 - EXISTING WATER LINE
 - PROPOSED STORM DRAIN LINE
 - EXISTING GAS LINE
 - PROPOSED WASTEWATER LINE
 - PROPOSED WATER LINE

SITE PLAN NOTES

Total Onsite Area	195,456 s.f. or 4.51 acres
Zoning	SF 4A
Gross Floor Area For Building	9,779 s.f. or 4.98%
Total Gross Floor Area	9,779 s.f. or 4.98%
Building Coverage	9,779 s.f. or 4.98%
Impervious Cover	23.80%
Floor to Area Ratio	0.0488
Building Height	Single Story, 33'-0"
Foundation Type	Slab on Grade
Subchapter E Common Open Spaces Area	10,036 s.f.

KEYNOTE:

1. All activities within the CEF SETBACK must comply with the City of Austin Land Development Code. The natural vegetative cover must be retained to the maximum extent practicable; construction is prohibited and landscaping required or irrigation is prohibited.

COMPLETENESS STANDARDS NOTES:

- All exterior lighting will be hooded or shielded from the view of adjacent residential property.
- All dumpsters and any permanently placed refuse receptacles will be located at a minimum of twenty (20) feet from a property used or zoned as SF-3 or more restrictive.
- The use of highly reflective surfaces, such as reflective glass and reflective metal roofs, whose pitch is more than a run of seven (7) to a rise of twelve (12), will be prohibited.
- The noise level of mechanical equipment will not exceed 70 db at the property line adjacent to residential uses.

- Keynotes:**
- (1) Concrete sidewalk or sidewalk. See Detail 3/C20.
 - (2) Concrete curb and gutter. See Detail 6/C20 & 7/C20.
 - (3) Provide 6" space like rock on decomposed granite. See Detail 1/C21.
 - (4) Straight iron railing mounted on top of curb or post. Refer to Architectural Drawings.
 - (5) Stripe for pedestrian crossing. Crossing shall be bordered with 4" slope and hatched with 4" stripe at 18" O.C.
 - (6) All pavement markings shall be done with 2 coats, minimum, of non-skid white traffic paint, applied as per manufacturer's recommendations. All markings shall be sharply pointed with post drilled lines and painted roadway.
 - (7) Handicap sign, van accessible. See Detail 6/C20.
 - (8) Handicap symbol. See Detail 6/C20.
 - (9) Handicap parking space shall be bordered with 4" slope and hatched with 4" stripe at 18" O.C.
 - (10) Concrete fire stop. See Detail 8/C20.
 - (11) Point fire lane standard curb. Shall be the grade "FIRE LANE/TURN AHEAD ZONE" in white letters, 3" H. min., on face of curb. In locations where no standard curb exists, paint 6" Red Stripe on pavement.
 - (12) Curb limit. See Storm Drain Plan, Sheet C5.
 - (13) Lay-down sidewalk H.C. Curb Ramp. See Detail 4/C20.
 - (14) Point on pavement surface, "CONTACT CH" for concrete sidewalk per paragraph 10. Turn edge of sidewalk up to form 6" high curb. Height per plan.
 - (15) Concrete retaining wall, 4.0' HT, 8.0' HT, 8.0' HT, 7.0' HT. See Detail 3/C22.
 - (16) Area brick. See Storm Drain Plan, Sheet C5.
 - (17) Slope with steps. Refer to Structural Drawings.
 - (18) Asphalt pavement. See Detail 6/C21.
 - (19) Trench Grade. See Storm Drain Plan, Sheet C5 & Detail 3/C18.
 - (20) Concrete Landing, Ramp and Steps. Refer to Structural Drawings.
 - (21) Headlight with energy absorbers. See Storm Drain Plan, Sheet C5.
 - (22) Fire Hydrant. See Water & Wastewater plan, See Sheet C12.
 - (23) Irrigation Water Meter & Backflow Preventer. See Water & Wastewater plan, See Sheet C12.
 - (24) 6" Backflow Preventer & Valve. See Water & Wastewater plan, See Sheet C12.
 - (25) Domestic Water Meter & M.V. See Water & Wastewater plan, See Sheet C12.
 - (26) Stormwater lift with grade. See Storm Drain Plan, Sheet C5.
 - (27) Water quality pond diffuser. See Sheet C10.
 - (28) Straight Iron Fencing. Refer to Architectural Drawings.
 - (29) Curb Ramp. See Detail 6/C21.
 - (30) Handicap Ramp 6"/roll. See Detail 1/C22.
 - (31) French drain for retaining wall. See Storm Drain Plan, Sheet C5.
 - (32) Flood fence 6" in height, use 4" pickets, 2"-2" x 4" rails and 4" braced wood posts set at 10' O.C.
 - (33) Screened dumpster pad. Refer to Architectural drawings for details.
 - (34) Mounted rock retaining wall, 6" girth. Top of soil to match existing ground. Use Type 3 motor cement, 2:1 sand to cement.
 - (35) Provide raised curb on part of curb and gutter to protect pedestrian that get using H.C. ramp. Curb to be 6" in height at outside. On inside, the curb to be 6" in height at crosswalk and transition to top of curb per spot elevations.
 - (36) Domestic Transformer Pad, 12" x 12" x 6" thick 3000 psi concrete, #4 rebar @ 12" O.C.E.F.
 - (37) Concrete retaining wall, 4.0' HT, 8.0' HT, 8.0' HT, 7.0' HT. See Detail 3/C22.
 - (38) Area brick. See Storm Drain Plan, Sheet C5.
 - (39) Slope with steps. Refer to Structural Drawings.
 - (40) Asphalt pavement. See Detail 6/C21.
 - (41) Trench Grade. See Storm Drain Plan, Sheet C5 & Detail 3/C18.
 - (42) Concrete Landing, Ramp and Steps. Refer to Structural Drawings.
 - (43) Headlight with energy absorbers. See Storm Drain Plan, Sheet C5.
 - (44) Fire Hydrant. See Water & Wastewater plan, See Sheet C12.
 - (45) Irrigation Water Meter & Backflow Preventer. See Water & Wastewater plan, See Sheet C12.
 - (46) 6" Backflow Preventer & Valve. See Water & Wastewater plan, See Sheet C12.
 - (47) Domestic Water Meter & M.V. See Water & Wastewater plan, See Sheet C12.
 - (48) Stormwater lift with grade. See Storm Drain Plan, Sheet C5.
 - (49) Water quality pond diffuser. See Sheet C10.
 - (50) Straight Iron Fencing. Refer to Architectural Drawings.
 - (51) Curb Ramp. See Detail 6/C21.
 - (52) Handicap Ramp 6"/roll. See Detail 1/C22.
 - (53) French drain for retaining wall. See Storm Drain Plan, Sheet C5.
 - (54) Flood fence 6" in height, use 4" pickets, 2"-2" x 4" rails and 4" braced wood posts set at 10' O.C.
 - (55) Screened dumpster pad. Refer to Architectural drawings for details.
 - (56) Mounted rock retaining wall, 6" girth. Top of soil to match existing ground. Use Type 3 motor cement, 2:1 sand to cement.
 - (57) Provide raised curb on part of curb and gutter to protect pedestrian that get using H.C. ramp. Curb to be 6" in height at outside. On inside, the curb to be 6" in height at crosswalk and transition to top of curb per spot elevations.
 - (58) Domestic Transformer Pad, 12" x 12" x 6" thick 3000 psi concrete, #4 rebar @ 12" O.C.E.F.

PROPOSED SITE PLAN

PROPOSED USE WITHIN CHURCH BUILDING

Sanctuary & Stage	5,167 s.f.
Education	2,076 s.f.
Foyer	351 s.f.
Business	608 s.f.
Accessory Storage	716 s.f.
Restroom	473 s.f.
Break Room	64 s.f.
Sound Booth	102 s.f.
Mechanical Room	65 s.f.

EXHIBIT IV

Ordinance Requirements

1. All improvements shall be made in accordance with the released site plan. Any additional improvements will require site plan amendment and approval from the Planning and Development Review Department.
2. Approval of this site plan does not include Building Code and Fire Code approval nor building permit approval.
3. The owner is responsible for cost of relocation, or damage to utilities.
4. Additional electric assessments may be required at a later date.
5. A Development Permit must be issued prior to an application for building permit for residential or Planning Department approved site plan.

FIRE DEPARTMENT

1. The Austin Fire Department requires asphalt or concrete pavement prior to construction on an "off-leather driving surface."
2. Hydrants must be installed with the center of the four-inch opening at least 18 inches above finished grade. The four-inch opening must face during the driveway or street with three- to six-foot setbacks from the curb(s). No obstruction is allowed within three feet of any hydrant and the four-inch opening must be totally unobstructed from the street.
3. "TIE-IN" OF UTILITIES: When the protection facilities are installed by the developer, such facilities shall include surface access roads which shall be installed and made accessible prior to and the time of construction. Where alternative methods of protection, as approved by the Fire Chief, are provided, the above may be modified or eliminated.
4. All pervious/decorative paving shall be engineered and installed for 80,000 lb. live-vehicle loads. Any pervious/decorative paving within 100 feet of any building required by the Fire Department shall be installed or placed with a minimum of openings, combustible gases, or combustible solids.
5. Fire lanes designated on site plan shall be replastered with City of Austin Fire Marshal office and inspected for final approval.
6. Fire lanes designated on site plan shall be replastered with City of Austin Fire Marshal office and inspected for final approval.
7. Vertical clearance required for the fire apparatus is 14 feet, full width of access drive.

SGS

1. All signs must comply with requirements of Land Development Code (CHAPTER 25-10).
2. CONSTRUCTION IN R.O.W.
3. For construction within the right-of-way, a concrete permit is required.

SITE PLAN RELEASE NOTES:

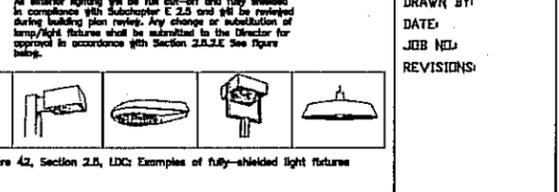
- All improvements shall be made in accordance with the released site plan. Any additional improvements will require site plan amendment and approval from the Planning and Development Review Department.
- Approval of this Site Plan does not include Building and Fire Code approval nor building permit approval.
- All signs must comply with requirements of the Land Development Code (CHAPTER 25-10).
- Additional electric assessments may be required at a later date.
- Water and wastewater service will be provided by the City of Austin.
- All existing structures shown to be removed will require a demolition permit from the City of Austin Planning and Development Review Department.
- A development permit must be issued prior to an application for building permit for non-consolidated or Planning Commission approved site plan.
- No certificate of occupancy may be issued for the proposed residential condominium project until the owner or owners of the property have complied with Chapter 61 and 62 of the Property Code of the State of Texas or any other statutes enacted by the State concerning condominiums.
- For driveway construction: The owner is responsible for all costs for relocation of, or damage to, utilities.
- For construction within the right-of-way, a ROW excavation permit is required.

PARKING SUMMARY TABLE:

PARKING REQUIRED:	47 SPACES REQUIRED FOR PARKING DETERMINATION
EXISTING PARKING:	0 STANDARD 0 HANDICAPPED 0 SPACES TOTAL
PROPOSED PARKING:	45 STANDARD 7 COMPACT 3 HANDICAPPED 55 SPACES TOTAL

EXTERIOR LIGHTING NOTES:

All exterior lighting will be fully shielded and fully hooded in compliance with Subchapter E 2.5 and will be reviewed during building plan review. Any change or substitution of lamp/light fixture shall be submitted to the Director for approval in accordance with Section 2.5.2.2. See figure below.



SITE PLAN APPROVAL SHEET 5 OF 34

FILE NUMBER: SP-2015-0004C APPLICATION DATE: January 6, 2015

APPROVED BY COMMISSION ON: _____ UNDER SECTION _____ OF CHAPTER _____ OF THE CITY OF AUSTIN CODE

EXPIRATION DATE (25-541.15C): _____ CASE MANAGER: _____

PROJECT EXPIRATION DATE (ORD. #0709-1) DWZ: _____ PDZ: _____

Director, Planning and Development Review Department

RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: SF-4A

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and a notice of construction if a building permit is not required, must also be approved prior to the Project Expiration Date.

I.T.G. ENGINEERS PROJECT: E14.04.22.01 CASE NUMBER: SP-2015-0004C

DATE: 7-24-2016

PROJECT NO: E14.04.22.01

ITG Engineers

FIRM REGISTRATION NO. F-3216
3501 MANOR RD.
AUSTIN, TEXAS 78723
(512) 447-7400 FAX (512) 447-6389

PROPOSED SITE PLAN

SCALE AS SHOWN

RESTORATION TEMPLE OF DELIVERANCE MINISTRIES

6301 MOONGLOW DRIVE
AUSTIN, TX 78724

PHONE # 512-698-6341

DRAWN BY: _____

DATE: _____

JOB NO: _____

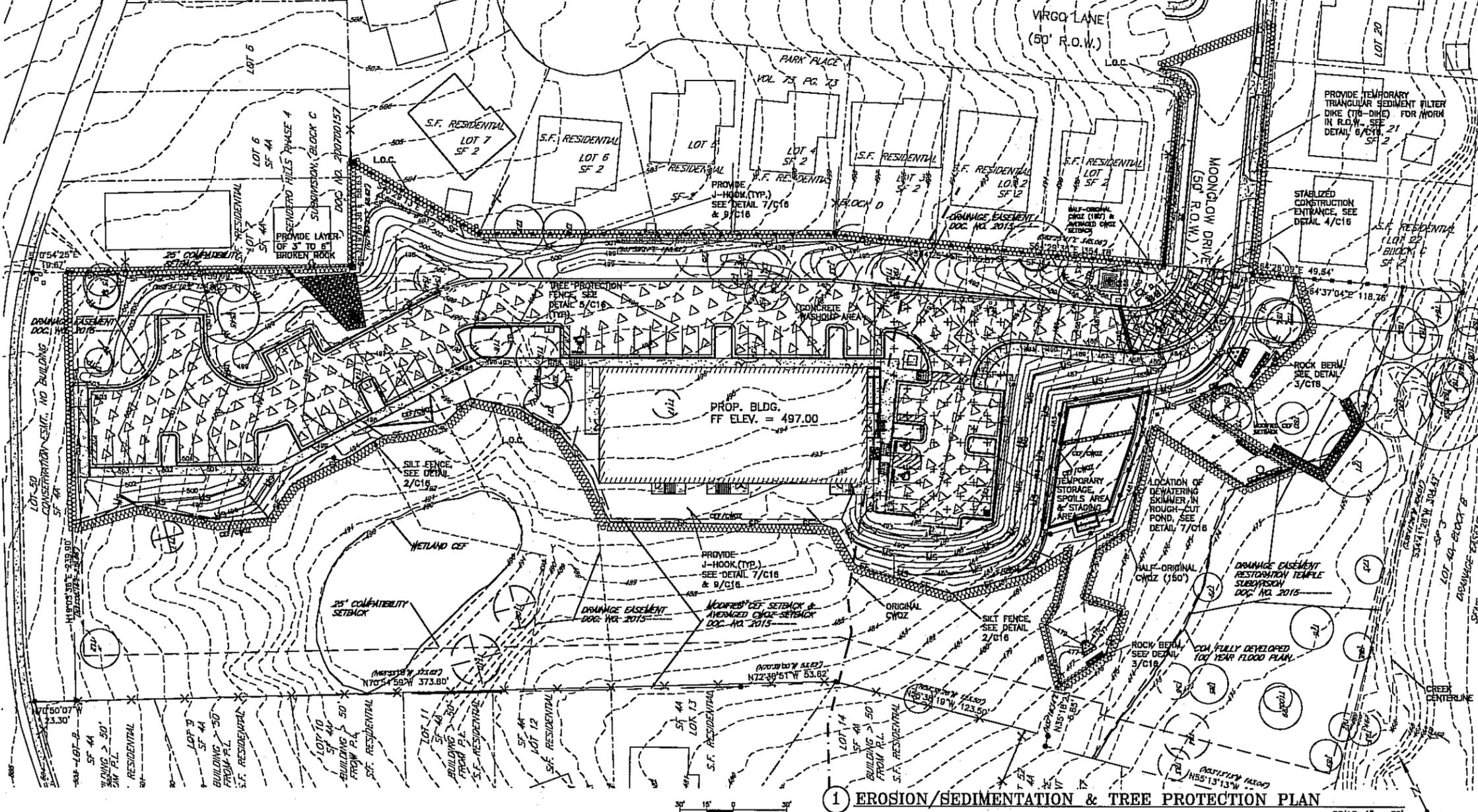
REVISIONS: _____

SHEET

C3

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TREE LIST		
TREE#	DIAMETER	TREE TYPE
1	8"	HACKBERRY
4	9"	HACKBERRY
6	9"	HACKBERRY
7	9"	HACKBERRY
11	9"	M.S. MESQUITE
12	11"	MESQUITE
14	8"	M.S. HACKBERRY
18	12"	M.S. ELM
19	12"	M.S. DOGWOOD
20	8"	MESQUITE
21	13"	M.S. MESQUITE
X 25	18"	M.S. HACKBERRY
26	12"	M.S. SYCAMORE
27	14"	SYCAMORE
X 28	18"	M.S. HACKBERRY
28	8"	HACKBERRY
30	8"	HACKBERRY
31	12"	HACKBERRY
32	13"	HACKBERRY
33	10"	HACKBERRY
34	20"	HACKBERRY
36	10"	HACKBERRY
X 37	10"	HACKBERRY
X 38	8"	HACKBERRY
X 41	20"	M.S. MESQUITE
X 42	8"	HACKBERRY
44	20"	M.S. HACKBERRY
46	10"	HACKBERRY
X 47	9"	M.S. HACKBERRY
X 60	10"	HACKBERRY
61	14"	ELM
62	11"	ELM
64	8"	HACKBERRY
65	8"	HACKBERRY
56	10"	HACKBERRY
60	8"	HACKBERRY
61	9"	HACKBERRY
62	15"	M.S. HACKBERRY
63	10"	HACKBERRY
64	11"	HACKBERRY
65	8"	DAK
66	8"	DAK
67	13"	DAK
68	11"	M.S. DAK
69	25"	M.S. COTTONWOOD
70	21"	M.S. COTTONWOOD
71	19"	ELM
73	8"	HACKBERRY
78	12"	M.S. HACKBERRY
79	8"	HACKBERRY
83	8"	M.S. HACKBERRY
84	13"	M.S. HACKBERRY
85	11"	HACKBERRY
88	8"	M.S. HACKBERRY
89	8"	HACKBERRY
X 90	16"	M.S. HACKBERRY
92	8"	HACKBERRY
93	9"	DAK
X 96	21"	M.S. MESQUITE
99	12"	HACKBERRY
100	8"	HACKBERRY
X 101	23"	WILLOW
102	13"	HACKBERRY
104	8"	M.S. HACKBERRY
106	10"	DAK
X 109	12"	M.S. MESQUITE
X 110	14"	MESQUITE
X 117	8"	ELM
X 508	18"	M.S. MESQUITE
X 544	22"	COTTONWOOD
545	17"	M.S. DAK
546	9"	HACKBERRY
547	11"	HACKBERRY
548	9"	HACKBERRY
X 549	9"	HACKBERRY
X 550	14"	DEAD WILLOW
551	18"	M.S. HACKBERRY



APPENDIX D-2
IMPERVIOUS COVER
SUBURBAN WATERSHEDS

NOTE: TABLES ARE NOT REQUIRED FOR SUBURBAN WATERSHEDS

IMPERVIOUS COVER ALLOWED AT 50% X GROSS SITE AREA OF 4.81 ACRES = 2.41 ACRES

ALLOWABLE IMPERVIOUS COVER BREAKDOWN BY SLOPE CATEGORY
 TOTAL ACRES: 10-20% = 0.126 ACRES X10% = 0.0126 ACRES

PROPOSED TOTAL IMPERVIOUS COVER = 1.08 ACRES = 22.4%

PROPOSED IMPERVIOUS COVER ON SLOPES

SLOPE	ACRES	% OF CATEGORY	ACRES
0-10%	0.2454	7.5%	0.2188
10-20%	0.126	0	0
20-25%	0	0	0
Over 25%	0	0	0
Total Site Area	4.81		

NOTES:
 If disturbed area is not to be worked on for more than 14 days, disturbed area needs to be stabilized by revegetation, mulch, tarp or revegetation matting. [ECM 1.4.4.B.3, Section 5.1]
 Contractor shall utilize dust control measures during site construction such as irrigation trucks and watering as per ECM 1.4.5(A), or as directed by the Environmental Inspector.
 The contractor will clean up spoils that migrate onto the roads a minimum of once daily. [ECM 1.4.4.D.4]

UTILITY CONSTRUCTION NOTE:
 Perpendicular erosion controls must be installed every 30 feet as the trench is backfilled. [ECM 1.4.4.G]

SILT FENCE NOTE:
 Silt fence type and installation shall comply with ECM 1.4.2.(G)

CEF SETBACK REVEGETATION NOTE:
 The area located within the Critical Environmental Factors Setback, as shown in drawing 1/26 on this sheet above, requires native grassland seeding and planting per City of Austin Standard Specification 809S.6, including topsoil and seed bed preparation, temporary irrigation, and weed maintenance.

SILT FENCE AND MULCH SOCK INSTALLATION
 SILT FENCE THAT WILL BE PLACED AT EXISTING GRADE AT PERIMETER OF WORK AREA IS TO BE INSTALLED BEFORE ANY WORK ON THE SITE COMMENCES. THE SILT FENCE AND MULCH SOCK THAT ARE SHOWN IN THE PLANS TO BE INSTALLED ON FILL MATERIAL OR IN CUT AREAS ARE TO BE INSTALLED WHEN THE CORRESPONDING ROUGH GRADE FOR EACH SECTION OF SILT FENCE OR MULCH SOCK IS REACHED AND BEFORE ADDITIONAL CUT AND FILL WORK IS TO BE UNDERTAKEN. SILT FENCE SHALL BE MAINTAINED IMMEDIATELY DOWNSTREAM ALL SPOILS AREAS AT ALL TIMES. MULCH SOCK ON 3 TO 1 SLOPES ARE TO REMAIN IN PLACE EVEN AFTER SLOPED AREA IS FULLY REVEGETATED.

SPOILS NOTE:
 All spoils are to be placed back in trench every night; OR if spoils piles are to remain over night, spoils must be placed on the uphill side of trench within the LDC.

DUST CONTROL NOTE:
 As a temporary control measure, dust will be controlled by irrigation, applying the site as needed to keep the soil moist. Permanent vegetation will be seeded & established as soon as practical (See Note 9 of City Environmental Notes)

UTILITY CONSTRUCTION NOTE:
 Perpendicular erosion controls must be installed every 30 feet as the trench is backfilled. [ECM 1.4.4.G]

SILT FENCE NOTE:
 Silt fence type and installation shall comply with ECM 1.4.2.(G)

CEF SETBACK REVEGETATION NOTE:
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LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR LINE
- EXISTING FENCE
- PROPOSED RAIL
- SILT FENCE
- TREE PROTECTION
- LIMITS OF CONSTRUCTION
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- EXISTING CONCRETE
- EXISTING TREE REMOVED WITHOUT AUTHORIZATION
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

NOTE:
 REFER TO CITY EROSION CONTROL NOTES ON SHEET C16

NOTE:
 ALL DETENTION BASINS, WATER QUALITY PONDS AND APPURTENANCES WHICH RECEIVE STORMWATER RUNOFF FROM COMMERCIAL OR MULTI-FAMILY DEVELOPMENT SHALL BE MAINTAINED BY THE RECORD OWNER IN ACCORDANCE WITH THE MAINTENANCE STANDARDS IN THE DRAINAGE AND ENVIRONMENTAL CRITERIA MANUALS.

NOTE:
 REFER TO CITY EROSION CONTROL NOTES ON SHEET C16

SITE PLAN APPROVAL SHEET 10 OF 34
 FILE NUMBER: SP-2016-0004C APPLICATION DATE: January 6, 2016
 APPROVED BY COMMISSION ON UNDER SECTION OF CHAPTER OF THE CITY OF AUSTIN CODE
 EXPIRATION DATE: (25-5-41 LDC) CASE MANAGER: [X]
 PROJECT EXPIRATION DATE: (CRD, 9770915-1) DWZ: [X]
 Director, Planning and Development Review Department
 RELEASED FOR GENERAL COMPLIANCE: ZONING: SF-4A
 Rev. 1 Connection 1
 Rev. 2 Connection 2
 Rev. 3 Connection 3
 Final plan must be reviewed by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or notices of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DATE: 7-24-2016
 PROJECT NO: E14.04.22.01

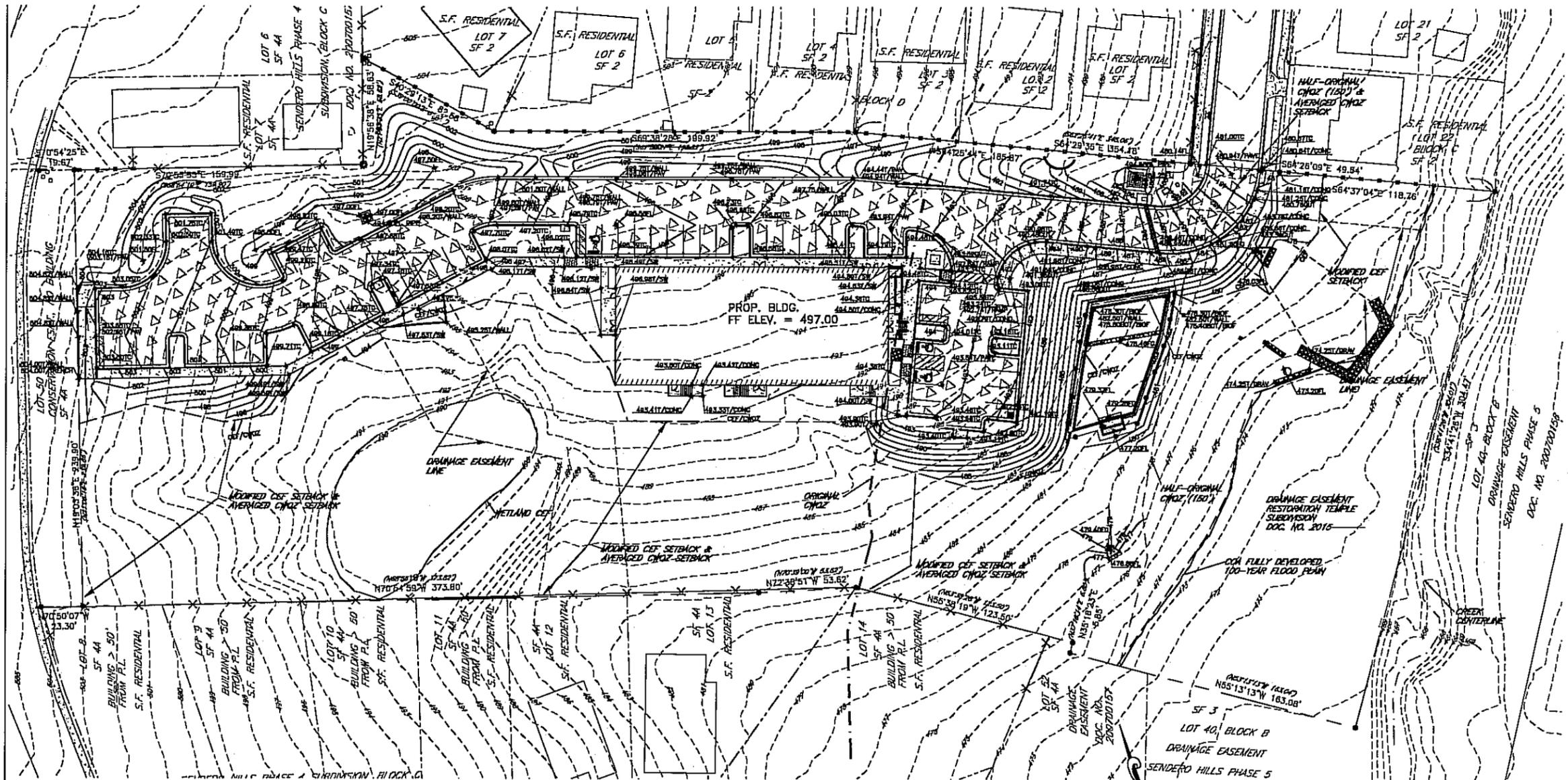
ITG Engineers
 FIRM REGISTRATION NO. F-3215
 3501 MANOR RD.
 AUSTIN, TEXAS 78723
 (512) 447-7400 FAX (512) 447-6389

RESTORATION TEMPLE OF DELIVERANCE MINISTRIES
 6301 MOONGLOW DRIVE
 AUSTIN, TX 78724
 PHONE # 512-699-6341

EROSION/SEDIMENTATION & TREE PROTECTION PLAN
 SCALE AS SHOWN

SHEET
 C8
 10 OF 34

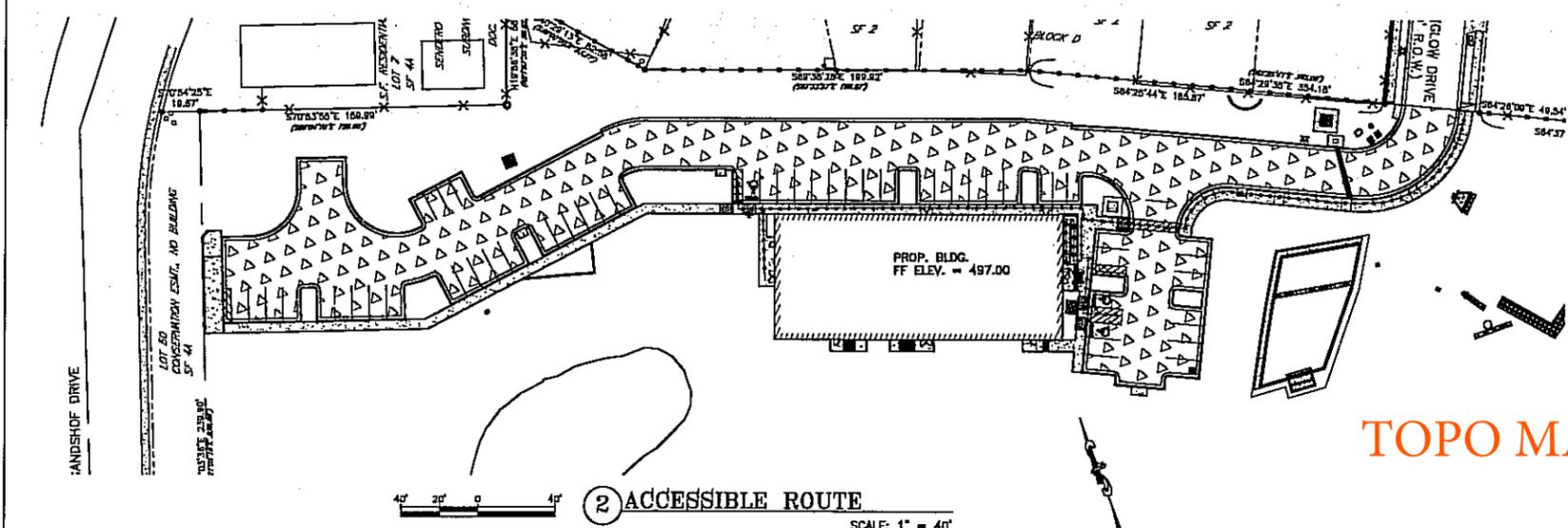
Restoration Temple Variance
 E.T.G. ENGINEERS PROJECT: E14.04.22.01 CASE NUMBER: SP-2016-0004C



1 PROPOSED GRADING PLAN
SCALE: 1" = 30'

LEGEND

	EXISTING CONCRETE		EXISTING PROPERTY LINE
	PROPOSED CONCRETE		EXISTING CONTOUR
	PROPOSED ASPHALT		PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION		FLOW LINE OF SWALE
	TC TOP OF CURB		HANDICAP ACCESSIBLE ROUTE
	T/SW TOP OF SIDEWALK		PROPOSED RAIL/FENCE
	T/WALL TOP OF RETAINING WALL		EXISTING FENCE
	T/GRATE TOP OF INLET GRATE		MODIFIED C&F & AVERAGED C&F SETBACK
	FL FLOWLINE		PROPOSED WOOD FENCE
	FG FINISH GROUND		
	T/CONC TOP OF CONCRETE		
	T/PAV TOP OF PAVEMENT		



2 ACCESSIBLE ROUTE
SCALE: 1" = 40'

TOPO MAP/GRADING PLAN

PROPOSED GRADING PLAN
SCALE AS SHOWN

RESTORATION TEMPLE OF DELIVERANCE MINISTRIES
6301 MOONGLOW DRIVE
AUSTIN, TX 78724

DRAWN BY:
DATE:
JOB NO:
REVISIONS:

SHEET

C4

6 OF 34

DATE: 7-24-2016
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ITG Gonzalez Engineers
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