



City of Austin Residential New Construction and Addition Permit Application

Residential Review, 2nd floor, One Texas Center
505 Barton Springs, Austin, TX 78704 (512) 978-4000

Property Information

Project Address: 4311 AVENUE F	Tax Parcel ID:
Legal Description:	
Zoning District: HYDE PARK	Lot Area (sq ft): 6,205
Neighborhood Plan Area (if applicable): HYDE PARK	Historic District (if applicable):

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input checked="" type="radio"/> N (If yes, contact Austin Energy for Green Building Rating requirements. Attach signed certification letter from NHCD.)	Does project have a Green Building requirement? Y <input checked="" type="radio"/> N (If yes, contact Austin Energy for Green Building Rating requirements)
Is this site within an Airport Overlay Zone? Y <input checked="" type="radio"/> N (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input checked="" type="radio"/> N (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input checked="" type="radio"/> N (If yes, Fire review is required)	Is this property within 200 feet of a hazardous pipeline? Y <input checked="" type="radio"/> N (If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input checked="" type="radio"/> N (If yes, EHZ review is required)	Is this property within 150 feet of the 100 year floodplain? Y <input checked="" type="radio"/> N (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? Y <input checked="" type="radio"/> N Note: Include tree location(s) on plot plan.	(If yes, application for a tree permit with the City Arborist is required)
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input checked="" type="radio"/> Y <input type="radio"/> N	
Does this site currently have: water availability? <input checked="" type="radio"/> Y <input type="radio"/> N wastewater availability? <input checked="" type="radio"/> Y <input type="radio"/> N	(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input checked="" type="radio"/> N (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input checked="" type="radio"/> N (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input checked="" type="radio"/> N (If yes, contact the Development Assistance Center for a Site Plan Exemption)	
Is this site within the Waterfront Overlay? Y <input checked="" type="radio"/> N (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input checked="" type="radio"/> N (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <input checked="" type="radio"/> Y <input type="radio"/> N (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? Y <input type="radio"/> N (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input checked="" type="radio"/> N Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input checked="" type="radio"/> N (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

Description of Work

Existing Use:	vacant	<u>single-family residential</u>	duplex residential	two-family residential	other: _____
Proposed Use:	vacant	<u>single-family residential</u>	duplex residential	two-family residential	other: _____
Project Type:	new construction	addition	<u>addition/remodel</u>	other: _____	
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input checked="" type="radio"/> Y <input type="radio"/> N (Note: Removal of all or part of a structure requires a demolition permit application.)					
# of existing bedrooms:	3	# of bedrooms upon completion:	4	# of baths existing:	2
				# of baths upon completion:	3
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) SINGLE FAMILY ADDITION AND REMODEL OF HOME (SF3) @ 4311 AVENUE F					
Trades Permits Required (Circle as applicable): <u>electric</u> <u>plumbing</u> <u>mechanical (HVAC)</u> <u>concrete (R.O.W.)</u>					

Job Valuation		
Total Job Valuation: \$ <u>231,500</u>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>163,000.00</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair: \$ <u>60,000</u>
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	Bldg: \$ <u>3,500</u>
	Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	Elec: \$ <u>3,000</u> Plmbg: \$ <u>3,000</u> Mech: \$ <u>6,500</u>

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	<u>867</u>		<u>677</u>		<u>1544</u>	
b) 2 nd Floor conditioned area			<u>733</u>		<u>733</u>	
c) 3 rd Floor conditioned area						
d) Basement						
e) Covered parking (garage or carport)						
f) Covered patio, deck, porch, and/or balcony area(s)	<u>328</u>		<u>144</u>		<u>472</u>	
g) Other covered or roofed area						
h) Uncovered wood decks			<u>63</u>		<u>63</u>	
Total Building Area (total a through h)	<u>1195</u>		<u>1617</u>		<u>2807</u>	
i) Pool						
j) Spa						
Building Coverage Information <small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small> Total Building Coverage (sq ft): <u>2,189</u> % of lot size: <u>35%</u> or <u>.353</u>						
Impervious Cover Information <small>Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small> Total Impervious Cover (sq ft): <u>2,690</u> % of lot size: <u>43.3%</u> or <u>.433</u>						
Setbacks Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) <input checked="" type="radio"/> Y <input type="radio"/> N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input checked="" type="radio"/> Y <input type="radio"/> N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) <input type="radio"/> Y <input checked="" type="radio"/> N						
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Building Height: <u>26</u> ft ^{<u>4 1/2"</u>} Number of Floors: <u>2</u>			Parking (LDC 25-6 Appendix A & 25-6-478) # of spaces required: <u>2</u> # of spaces provided: <u>2</u>			
Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input checked="" type="radio"/> Y <input type="radio"/> N <small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small> Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input checked="" type="radio"/> Y <input type="radio"/> N Width of approach (measured at property line): <u>12'-0"</u> ft Distance from intersection (for corner lots only): _____ ft Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? <input type="radio"/> Y <input checked="" type="radio"/> N <small>(If yes, drainage review is required)</small>						

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	867	677			1544
2 nd Floor		733			733
3 rd Floor					
Area w/ ceilings > 15'			Must follow article 3.3.5		
Ground Floor Porch* (check article utilized)	66	144	<input type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	210	0
Basement			Must follow article 3.3.3B, see note below		
Attic			Must follow article 3.3.3C, see note below		
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 2b)		
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a)		
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		
Accessory Building(s) (detached)					
Totals					2277

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,277

(Total Gross Floor Area ÷ lot area) x 100 = 37% Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project?

Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")?

☒ Y N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings) SUBF - SEC 2.6 - EXEMPTION E.a. F/613

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**** Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fifty percent or more of the area has a ceiling height of seven feet or less.

Contact Information			
Owner	Jason & Erin Martinson	Applicant/Agent	
Mailing Address	4311 AVENUE F 78751	Mailing Address	
Phone	(512) 585-8684	Phone	
Email	erin.martinson@traviscountytx.gov	Email	
General Contractor	Shiloh Travis	Design Professional	
Mailing Address	3707 BASFORD RD. 78722	Mailing Address	
Phone	979-966-7120	Phone	
Email	shiloh@truehome.designbuild.com	Email	

Authorization	
<input checked="" type="checkbox"/> I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.	
<input checked="" type="checkbox"/> I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.	
<input checked="" type="checkbox"/> I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction. Water services, meters, and wastewater cleanouts are not permitted within or beneath driveways or sidewalks. Private plumbing appurtenances will not be located in public right-of-way or public easements. Private plumbing lines will not cross lot lines.	
<input checked="" type="checkbox"/> I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required and compliance with current code may be required.	
<input checked="" type="checkbox"/> I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.	
<input checked="" type="checkbox"/> I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.	
<input checked="" type="checkbox"/> I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or cityarborist@austintexas.gov . This initiates the tree permitting requirement needed to proceed with the development review process.	
<input checked="" type="checkbox"/> I also understand that if there is a septic system located on the property, I am required to complete an On-site Sewage Facility (a.k.a. an OSSF or septic system) application by contacting Austin Water at (512) 972-0050 or ossf@austintexas.gov . This initiates the septic system permitting requirement needed to proceed with the development review process.	
<input checked="" type="checkbox"/> Erosion and Sedimentation Controls are required per Section 25-8-181 of the LDC. Failure to comply with this requirement may result in a Stop Work Order and/or legal action by the City of Austin including criminal charges and fines of up to \$2,000.00 per day.	
<input checked="" type="checkbox"/> I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.	
<input checked="" type="checkbox"/> I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.	
<input type="checkbox"/> I am the record owner of this property and authorize the agent/applicant listed above to apply for and acquire a permit on my behalf.	
Owner's signature: _____	Date: _____
Applicant's signature: _____	Date: 2-22-16
Design Professional's signature: _____	Date: 2-22-16
General Contractor's signature: _____	Date: 2-22-16

2/15/2016

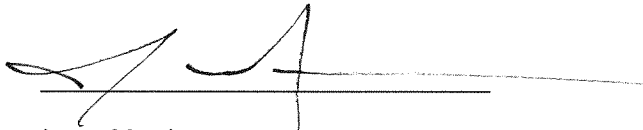
To Whom it may concern,

As the Owners of the real property at 4311 Avenue F, Austin, TX 78751, I do hereby authorize Shiloh B. Travis, *dba* Truehome Design.Build – Austin, to act as our agent to submit all necessary permit applications, and corresponding documentation required by the City of Austin, for improvements and modifications made to our property. Please contact us at Erin.Martinson@traviscountytexas.gov with any questions or concerns regarding Shiloh B. Travis acting as my Agent.

Respectfully,

A handwritten signature in black ink, appearing to be "Erin Martinson", written over a horizontal line.

Erin Martinson

A handwritten signature in black ink, appearing to be "Jason Martinson", written over a horizontal line.

Jason Martinson

One Stop Shop
505 Barton Springs Rd
(512) 974-2632 – phone
(512) 974-9112 – phone
(512) 974-9109 – fax
(512) 974-9779 – fax

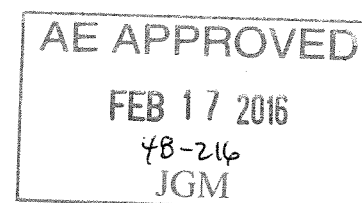


Austin Energy
Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only

Responsible Person for Service Request <u>SHILOH TRAVIS</u>		
Email <u>snitch@TRUEHOMEDESIGNBUILD.com</u>	Fax _____	Phone <u>979-926-3166</u>
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> New Construction
<input checked="" type="checkbox"/> Remodeling <u>Addition</u>		
Project Address <u>4311 AVENUE F</u>		OR _____
Legal Description _____		Lot _____ Block _____
Who is your electrical provider? <input checked="" type="checkbox"/> AE <input type="checkbox"/> Other _____		
<input checked="" type="checkbox"/> Overhead Service <input type="checkbox"/> Underground Service <input type="checkbox"/> Single-phase (10) <input type="checkbox"/> Three-phase (30)		
Location of meter _____		
Number of existing meters on gutter _____ (show all existing meters on riser diagram)		
Expired permit # _____		
Comments <u>Rear House Addition</u> <u>(2) story House</u>		
ESPA Completed by (Signature & Print Name) _____		Date _____ Phone _____
AE Representative _____		Approved <input type="checkbox"/> Yes <input type="checkbox"/> No _____
		Date _____ Phone _____

All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines.



DATE of SUBMISSION:



Demolition Application

Adopted December 2012

Application type:

Commercial ☐Residential ☒

Fee paid: \$

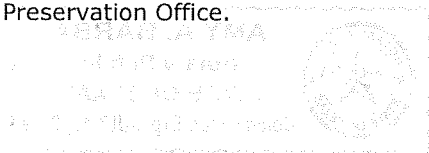
Permit Information																	
FOR OFFICE USE ONLY	BP- _____ PR- _____ LHD_NRD_HDP - _____ Ca. _____																
	REFERRED BY: _____ NRHD/LHD: _____																
	<input type="checkbox"/> RELEASE PERMIT <input type="checkbox"/> DO NOT RELEASE PERMIT <input type="checkbox"/> HLC REVIEW— _____																
	HISTORIC PRESERVATION OFFICE _____ DATE _____																
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<table border="1"> <thead> <tr> <th>Applicant</th> <th>Owner</th> </tr> </thead> <tbody> <tr> <td> Name: <u>Shiloh B Travis, dba Truehome Design.Build</u> Address: <u>PO Box 12486</u> City/Zip: <u>Austin, TX 78711</u> Phone: <u>979-966-7126</u> Email: <u>shilohtravis8@gmail.com</u> </td> <td> Name: <u>Jason and Erin Martinson</u> Address: <u>4311 Avenue F</u> City/Zip: <u>Austin, TX 78751</u> Phone: _____ Email: <u>Erin.Martinson@traviscountytexas.gov</u> </td> </tr> <tr> <td colspan="2"> <table border="1"> <thead> <tr> <th>Demolition Contractor Information</th> <th>Structural Information</th> </tr> </thead> <tbody> <tr> <td> Company: <u>Truehome Design.Build - Austin</u> Address: <u>PO Box 12486</u> City/Zip: <u>Austin, TX 78711</u> Phone: <u>979-966-7126</u> </td> <td> Square Feet: <u>1433</u> Building Materials: <u>typical wood framed</u> Foundation Type: <u>pier and beam</u> Estimated cost of demolition: <u>5000</u> </td> </tr> </tbody> </table> </td> </tr> </tbody> </table>		Applicant	Owner	Name: <u>Shiloh B Travis, dba Truehome Design.Build</u> Address: <u>PO Box 12486</u> City/Zip: <u>Austin, TX 78711</u> Phone: <u>979-966-7126</u> Email: <u>shilohtravis8@gmail.com</u>	Name: <u>Jason and Erin Martinson</u> Address: <u>4311 Avenue F</u> City/Zip: <u>Austin, TX 78751</u> Phone: _____ Email: <u>Erin.Martinson@traviscountytexas.gov</u>	<table border="1"> <thead> <tr> <th>Demolition Contractor Information</th> <th>Structural Information</th> </tr> </thead> <tbody> <tr> <td> Company: <u>Truehome Design.Build - Austin</u> Address: <u>PO Box 12486</u> City/Zip: <u>Austin, TX 78711</u> Phone: <u>979-966-7126</u> </td> <td> Square Feet: <u>1433</u> Building Materials: <u>typical wood framed</u> Foundation Type: <u>pier and beam</u> Estimated cost of demolition: <u>5000</u> </td> </tr> </tbody> </table>		Demolition Contractor Information	Structural Information	Company: <u>Truehome Design.Build - Austin</u> Address: <u>PO Box 12486</u> City/Zip: <u>Austin, TX 78711</u> Phone: <u>979-966-7126</u>	Square Feet: <u>1433</u> Building Materials: <u>typical wood framed</u> Foundation Type: <u>pier and beam</u> Estimated cost of demolition: <u>5000</u>						
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IMPORTANT:

Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after 180 days from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.

DO NOT LET YOUR PERMIT EXPIRE!!!!

HISTORIC LANDMARKS AND DISTRICTS: If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office.



TAX CERTIFICATE
Bruce Elfant
Travis County Tax Assessor-Collector
P.O. Box 1748
Austin, Texas 78767
(512) 854-9473

NO 2252622

ACCOUNT NUMBER: 02-2006-1106-0000

PROPERTY OWNER:

MARTINSON JASON & ERIN
4311 AVENUE F
AUSTIN, TX 78751-3722

PROPERTY DESCRIPTION:

LOT 3&4 BLK 16 HYDE PARK ADDN NO 1

ACRES .1449 MIN% .000000000000 TYPE

SITUS INFORMATION: 4311 AVENUE F

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR	ENTITY	TOTAL
2015	AUSTIN ISD	*ALL PAID*
	CITY OF AUSTIN (TRAV)	*ALL PAID*
	TRAVIS COUNTY	*ALL PAID*
	TRAVIS CENTRAL HEALTH	*ALL PAID*
	ACC (TRAVIS)	*ALL PAID*
TOTAL SEQUENCE 0		*ALL PAID*
TOTAL TAX:		*ALL PAID*
UNPAID FEES:		* NONE *
INTEREST ON FEES:		* NONE *
COMMISSION:		* NONE *
TOTAL DUE ==>		*ALL PAID*

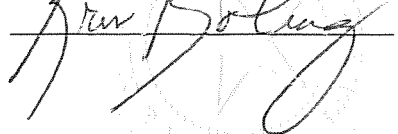
TAXES PAID FOR YEAR 2015 \$9,312.47

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2015 EXCEPT FOR UNPAID YEARS LISTED ABOVE.
The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).
Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 02/22/2016

Fee Paid: \$10.00

Bruce Elfant
Tax Assessor-Collector

By: 





PROJECT TEAM

Owner:
Jason and Erin Martinson
4311 Avenue F
Austin, TX 78751

Builder:

**TRUE HOME
DESIGN BUILD**
Shiloh Travis
3707 Basford Rd.
Austin, Texas 78723
979-966-7126

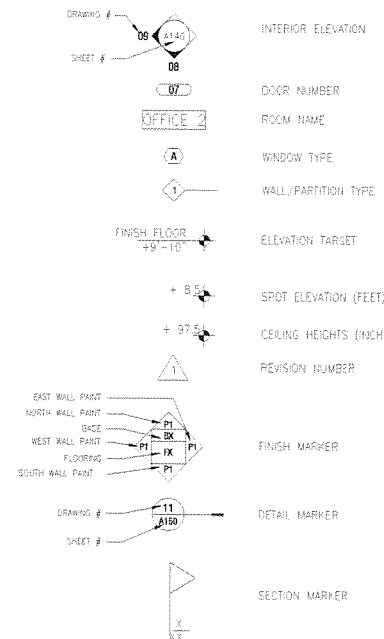
PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE ADDITION for Mr. and Mrs
Martinson at 4311 Avenue F Austin, TX 78751

INDEX OF DRAWINGS

- G101 GENERAL INFO & PLOT PLAN
A101 DEMO PLAN
A102 GROUND FLOOR PLAN
A103 2ND FLOOR PLAN
A104 ROOF PLAN
A105 ELEVATIONS
A106 ELEVATIONS CONT.
A107 BUILDING SECTIONS & DETAILS
A108 INTERIOR ELEVATIONS
E101 GROUND FLOOR ELECTRICAL PLAN
E102 2ND FLOOR ELECTRICAL PLAN

SYMBOL KEY



GENERAL NOTES

- ANY AND ALL WORK INSTALLED IN CONFLICT WITH THESE DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- THE GENERAL CONTRACTOR AND SUB CONTRACTORS MUST CERTIFY THAT ALL MATERIALS ARE FREE OF ADDED UREA FORMALHYDE.
- THE GENERAL CONTRACTOR AND ALL APPROPRIATE SUB-CONTRACTORS ARE RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAYING FOR ALL FEES REQUIRED TO CONSTRUCT THE PROJECT AS DESCRIBED OR INFERRED BY THESE DRAWINGS INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, DRIVEWAY AND ANY PERMITS THAT MAY NOT BE WAIVED BY SMART HOUSING.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF WATER METERS, ELECTRICAL METERS, SEWER CONNECTION FEES AND ANY REQUIRED TESTING.
- WORK NOT SPECIFICALLY SET FORTH IN THESE DOCUMENTS, BUT REASONABLY IMPLIED SHALL BE INCLUDED AND INSTALLED IN A WORKMANLIKE MANNER.
- GENERAL CONTRACTOR SHALL CONSULT WITH THE REPRESENTATIVES OF THE WATER, SEWER, ELECTRIC, GAS AND TELECOM COMPANIES TO VERIFY AVAILABLE FACILITIES ABOVE AND BELOW GROUND AND THE FEE AND CHARGES FOR CONNECTION TO THESE FACILITIES. OWNER SHALL PAY THE COST OF SUCH FEES.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY DISCREPANCY OR OMISSION IN THESE DOCUMENTS PRIOR TO DOING ANY WORK.

All structures must maintain
7'6" clearance from AE energized
distribution power lines. Enforced
by AE and NESC codes-this review
DOES NOT include transmission
power lines.

AE APPROVED
FEB 17 2016
48-216
JGM

AREA CALCULATIONS (EXISTING CONDITIONS)

AREA DESCRIPTION	EXISTING SQ. FT.
EXISTING BUILDING COVERAGE	
BUILDING COVERAGE AREA	1433
BASEMENT	0
COVERED PARKING	0
COVERED PATIO, DECK, PORCH	0
- FRONT COVERED PORCH	66
OTHER	0
SHED	262
TOTAL GROSS BUILDING AREA	1,761

EXISTING SITE COVERAGE

UNCOVERED DECKS AND STAIRS (50%)	706 (353)
GRAVEL DRIVE (50%)	566 (283)
GRAVEL WALK (50%)	574 (287)
AC PADS	6
OTHER	0
TOTAL EXISTING SITE COVERAGE	929
TOTAL SITE AREA =	6,205 SQ. FT.
PROPOSED IMPERVIOUS COVER	
(BUILDING COVERAGE + SITE COVERAGE) =	2,690 SQ. FT.
% IMPERVIOUS COVER =	43.3%

AREA CALCULATIONS (PROPOSED)

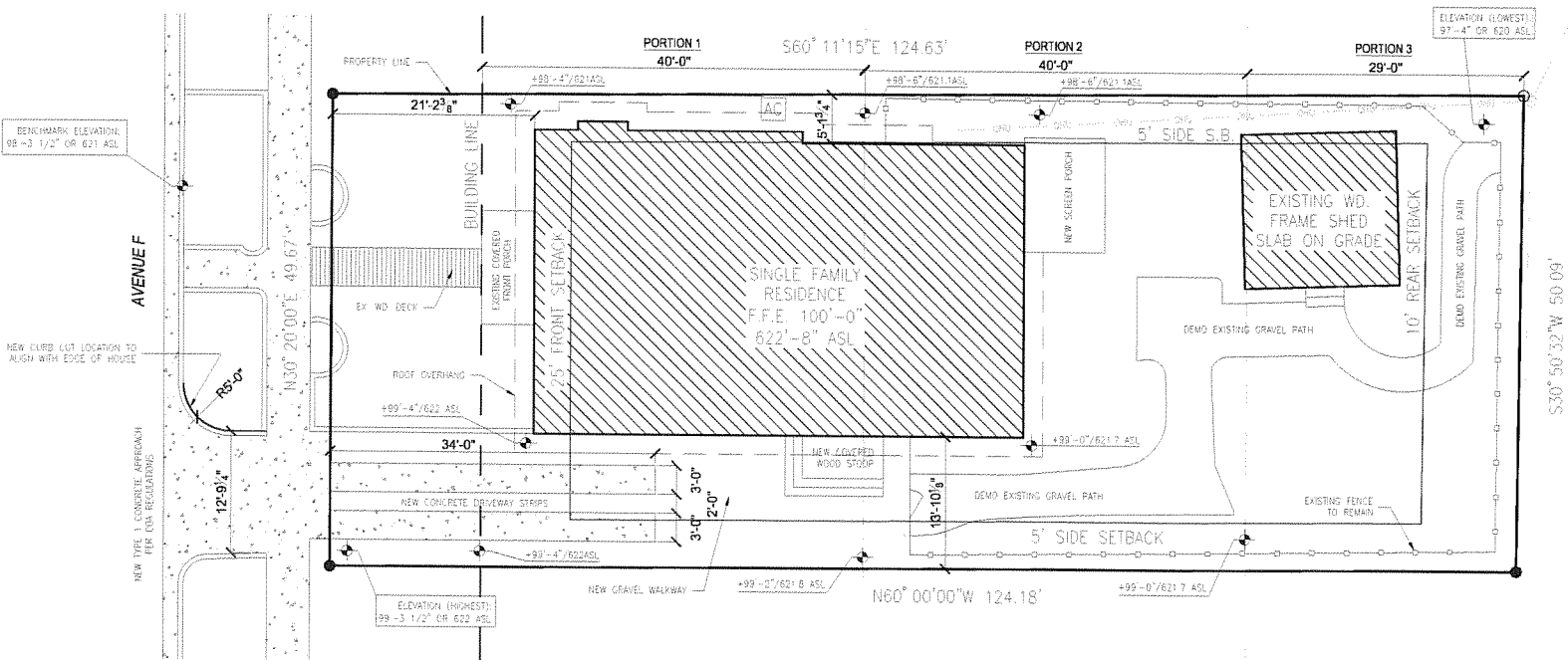
AREA DESCRIPTION	NEW SQ. FT.
PROPOSED NEW BUILDING COVERAGE	
(TOTAL)	
BUILDING COVERAGE AREA	1,717
- COVERED FRONT PORCH	66
- COVERED SIDE PORCH	38
- REAR SCREEN PORCH	106
OTHER	0
SHED	262
TOTAL GROSS BUILDING AREA	2,189

PROPOSED SITE COVERAGE

DRIVEWAY	
- CONCRETE DRIVEWAY STRIPS	204
UNCOVERED WOOD DECKS AND STAIRS:	
- FRONT WALK (50%)	63 (31.5)
- SIDE STAIRS (50%)	27 (13.5)
AC PADS	6
OTHER	0
TOTAL EXISTING SITE COVERAGE	294
TOTAL SITE AREA =	6,205 SQ. FT.
PROPOSED IMPERVIOUS COVER	
(BUILDING COVERAGE + SITE COVERAGE) =	2,483 SQ. FT.
% IMPERVIOUS COVER =	40%

FLOOR TO AREA RATIO (FAR)

AREA DESCRIPTION	NEW SQ. FT.
(TOTALS REPRESENT ENTIRE EXISTING SINGLE FAMILY HOME)	
1ST FLOOR CONDITIONED AREA	1,544
2ND FLOOR CONDITIONED AREA	733
*197 ADDITIONAL SQFT REMAIN FOR ADDITION OF FUTURE GARAGE APARTMENT	
BASEMENT	0
ATTIC	0
GARAGE	0
CARPORT	0
CEILING OVER 15FT	0
TOTAL GROSS FLOOR AREA =	2,277
TOTAL SITE AREA =	6,205
FLOOR TO AREA RATIO (F.A.R.)	
(TOTAL GROSS FLOOR AREA/SITE AREA) =	.37



1 SITE PLAN
1"=10'-0"

FULL SIZE SCALE 1"=10'-0" (24X36)
HALF SIZE SCALE 1"=20'-0" (18X24)

Shiloh Travis
dba True Home Design Build
3707 Basford Rd.
Austin, TX 78723
979-966-7126



MARTINSON ADDITION
4311 AVENUE F
AUSTIN, TX 78751

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ISSUE DATES:
01-06-16 ISSUE FOR OWNER REVIEW
01-31-16 ISSUE FOR PERMIT

PROJECT NO.:

DATE:

SHEET NAME:
COVER & PLOT PLAN

SHEET NUMBER

G101

MARTINSON ADDITION
4311 AVENUE F
AUSTIN, TX 78754

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ISSUE DATES:	01-06-16	ISSUE FOR OWNER REVIEW
	01-31-16	ISSUE FOR PERMIT

PROJECT NO:

DATE:


SHEET NAME:

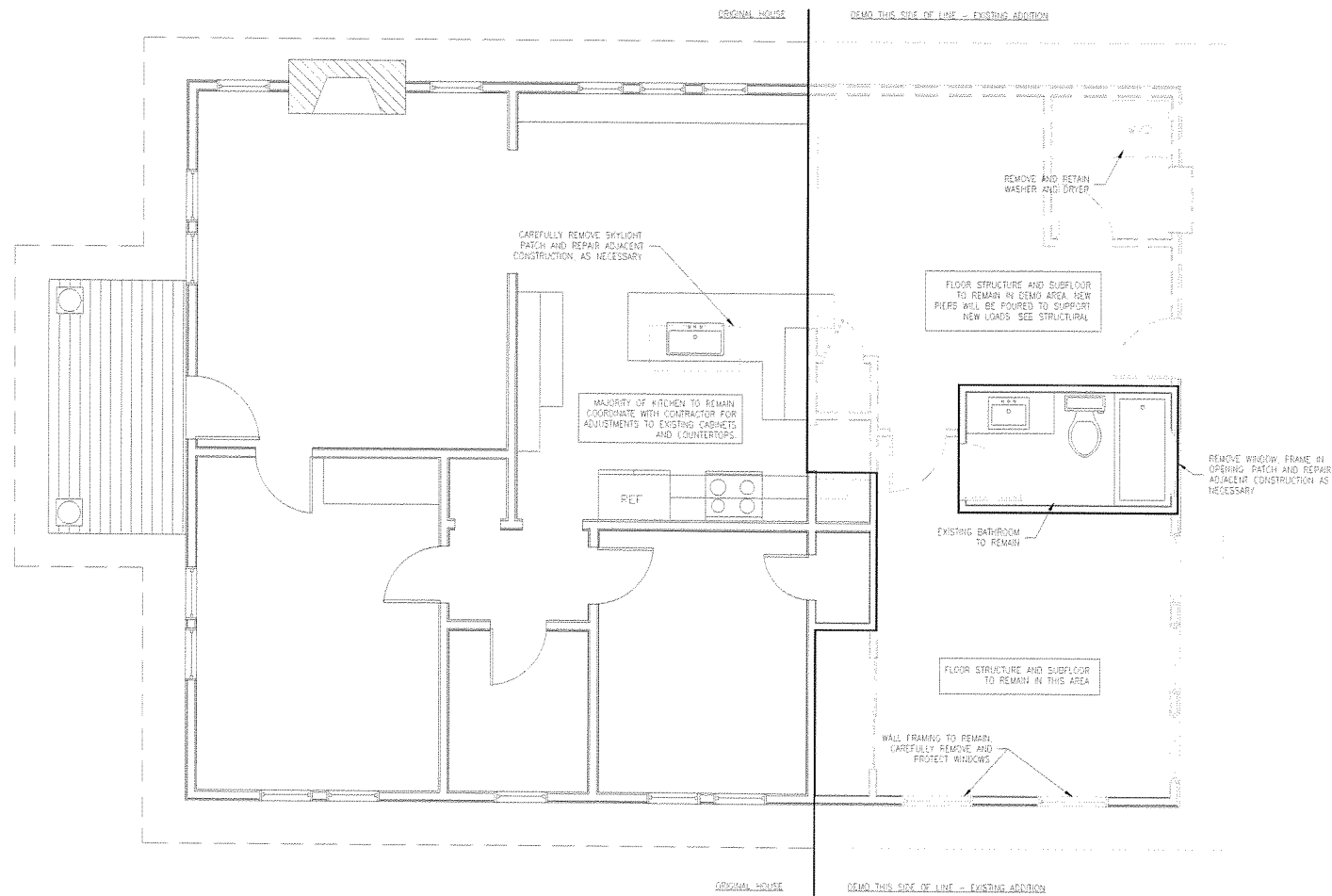
DEMO PLAN

SHEET NUMBER

A101

DEMO NOTES:

1. COORDINATE WITH GENERAL CONTRACTOR FOR TREATMENT OF ALL KITCHEN COUNTERTOPS, CABINETS, AND APPLIANCES.
2. COORDINATE WITH CONTRACTOR FOR ITEMS TO BE RECLAIMED OR REUSED.
3. LINES DRAWN AS  INDICATE WALLS TO BE REMOVED.
4. REFER TO FLOOR PLANS FOR ROOF DEMO. COORDINATE WITH CONTRACTOR FOR DEMO OF ROOF FRAMING, SHEATHING, AND SHINGLE.
5. COORDINATE WITH CONTRACTOR FOR FOUNDATION DEMO.






1 DEMOLITION PLAN
1/4"=1'-0"

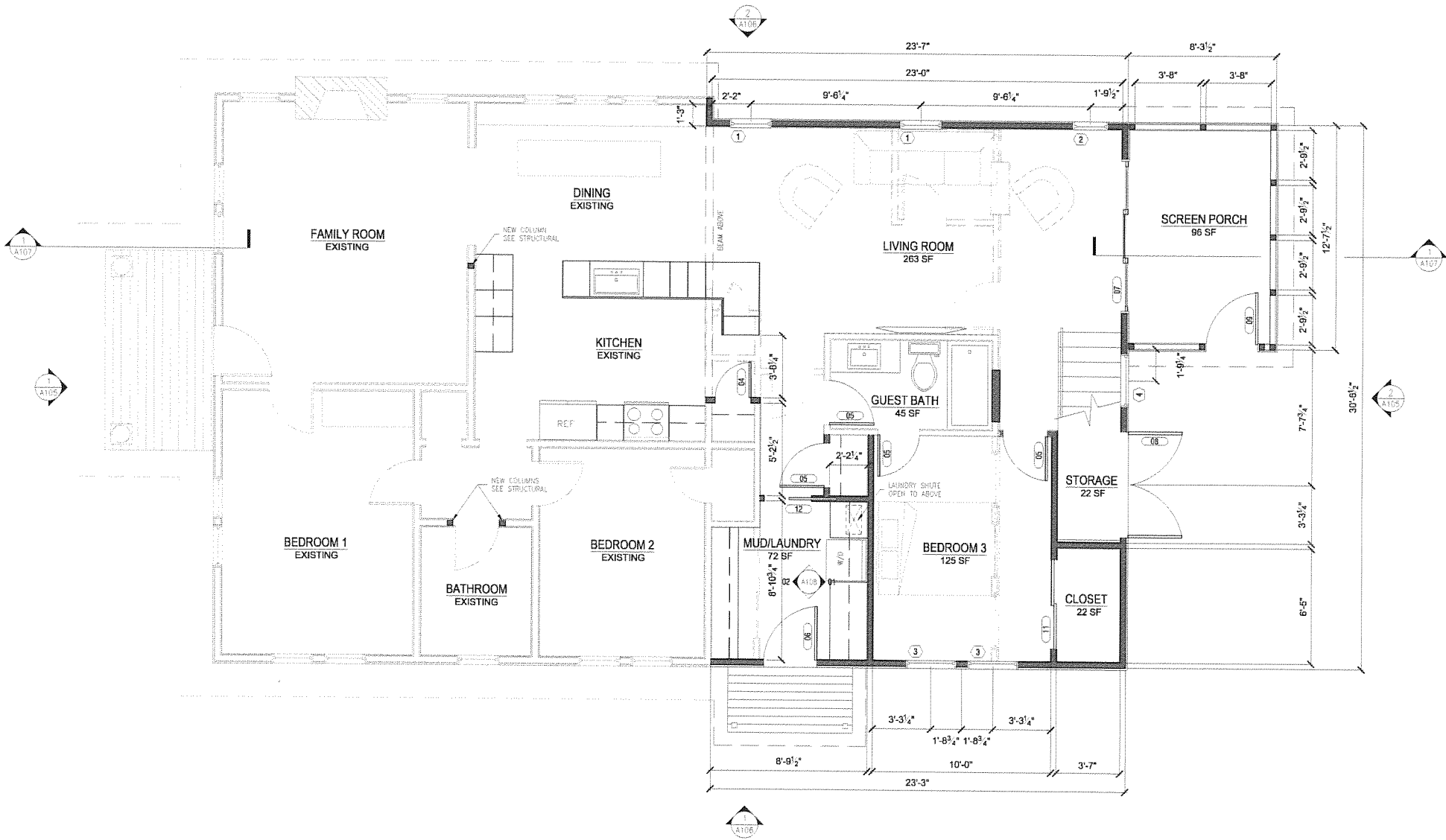
FULL SIZE SCALE 1/4" = 1'-0" (24X36)
HALF SIZE SCALE 1/8" = 1'-0" (18X24)

WINDOW SCHEDULE				
WINDOW #	QTY	WINDOW SIZE WIDTH X HEIGHT	DESCRIPTION	NOTES
1	2	2-4 X 1-3	FIXED - ALUM. CLAD WOOD UNIT TO MATCH EX.	3 LITE - "MARVIN INTEGRITY" SERIES OR EQUAL
2	1	2-0 X 5-0	DBL. HUNG - ALUM. CLAD WOOD UNIT TO MATCH EX.	TEMPERED GLASS - "MARVIN INTEGRITY" SERIES OR EQUAL
3	2	3-0 X 5-6	DBL. HUNG - ALUM. CLAD WOOD UNIT TO MATCH EX.	9 LITE - "MARVIN INTEGRITY" SERIES OR EQUAL
4	4	3-0 X 3-6	DBL. HUNG - ALUM. CLAD WOOD UNIT TO MATCH EX.	9 LITE, (2) TEMPERED - "MARVIN INTEGRITY" SERIES OR EQUAL
5	4	2-6 X 3-6	DBL. HUNG - ALUM. CLAD WOOD UNIT TO MATCH EX.	9 LITE, (1) TEMPERED - "MARVIN INTEGRITY" SERIES OR EQUAL
6	1	2-0 X 3-6	DBL. HUNG - ALUM. CLAD WOOD UNIT TO MATCH EX.	9 LITE - "MARVIN INTEGRITY" SERIES OR EQUAL
7	2	3-0 X 5-0	DBL. HUNG - ALUM. CLAD WOOD UNIT TO MATCH EX.	9 LITE - "MARVIN INTEGRITY" SERIES OR EQUAL
8	2	2-0 X 2-0	CSMT. - ALUM. CLAD WOOD UNIT TO MATCH EX.	9 LITE, ALL TEMPERED - "MARVIN INTEGRITY" SERIES OR EQUAL
9	2	2-0 X 2-0	FIXED - ALUM. CLAD WOOD UNIT TO MATCH EX.	4 LITE, ALL TEMPERED - "MARVIN INTEGRITY" SERIES OR EQUAL
10	1	3-0 X 3-0	FIXED - ALUM. CLAD WOOD UNIT TO MATCH EX.	9 LITE, TEMPERED - "MARVIN INTEGRITY" SERIES OR EQUAL
11	1	5-0 X 2-0	FIXED - ALUM. CLAD WOOD UNIT TO MATCH EX.	12 LITE - "MARVIN INTEGRITY" SERIES OR EQUAL
12	1	3-6 X 5-0	DBL. HUNG - ALUM. CLAD WOOD UNIT TO MATCH EX.	9 LITE, TEMPERED - "MARVIN INTEGRITY" SERIES OR EQUAL

DOOR SCHEDULE				
DOOR #	QTY	SIZE	DESCRIPTION	NOTES
1	1	2-8 X 6-8	2 PANEL POCKET DOOR	
2	2	1-6 X 6-8	2 PANEL POCKET DOOR	
3	1	3-0 X 6-8	SOLID WOOD FULL LT. EXTERIOR DOOR	TEMPERED GLASS
4	1	2-0 X 6-8	SOLID CORE MDF 2 PANEL	
5	4	2-6 X 6-8	SOLID CORE MDF 2 PANEL	
6	1	3-0 X 6-8	SOLID WOOD HALF LT. EXTERIOR DOOR	9-LITE, TEMPERED GLASS
7	1	9-0 X 6-8	3 FULL LT. SOLID WD. SLIDING PANEL DOORS	TEMPERED GLASS
8	1	6-0 X 4-0	CUSTOM DBL. SOLID WD. EXTERIOR DOOR	
9	1	2-8 X 6-8	CUSTOM WOOD SCREEN DOOR	
10	1	2-8 X 6-8	SOLID CORE MDF 2 PANEL	
11	2	2-6 X 6-8	SOLID CORE MDF 2 PANEL	CLOSET SLIDING DOORS
12	1	2-8 X 6-8	2 PANEL POCKET DOOR	

FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FRAMING.
2. ALL GROUND LEVEL CEILING HTS. TO MATCH EXISTING STRUCTURE, UNLESS OTHERWISE NOTED.
3. WALLS SHOWN AS  INDICATE NEW WALLS.
3. WALLS SHOWN AS  INDICATE EXISTING WALLS TO REMAIN.
4. WALLS SHOWN AS  INDICATE WALLS TO BE DEMOLISHED.



1 GROUND FLOOR PLAN
FULL SIZE SCALE 1/4" = 1'-0" (24X36)
HALF SIZE SCALE 1/8" = 1'-0" (18X24)

MARTINSON ADDITION
4311 AVENUE F
AUSTIN, TX 78744

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ISSUE DATES:	01-06-16	ISSUE FOR OWNER REVIEW
	01-31-16	ISSUE FOR PERMIT

PROJECT NO:

DATE:



SHEET NAME:

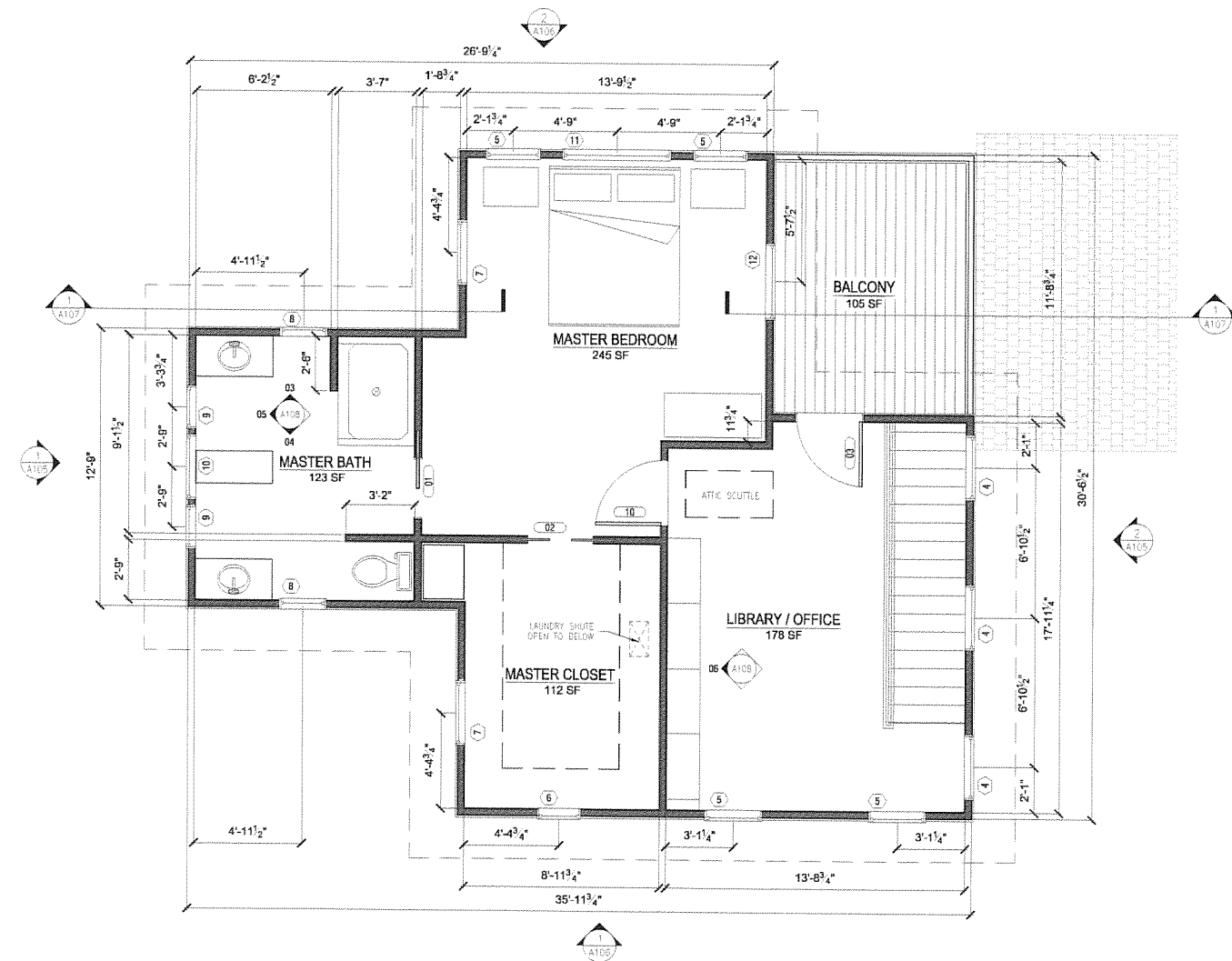
2ND FLOOR PL/


SHEET NUMBER

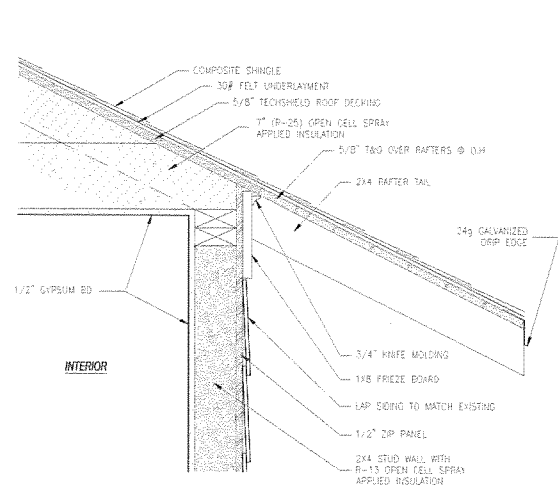
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FLOOR PLAN NOTES:

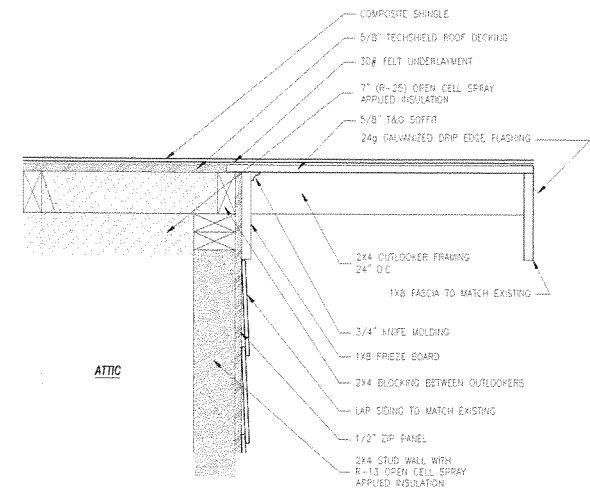
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2. ALL GROUND LEVEL CEILING HTS. TO MATCH EXISTING STRUCTURE, UNLESS OTHERWISE NOTED.
3. WALLS SHOWN AS  INDICATE NEW WALLS.
3. WALLS SHOWN AS  INDICATE EXISTING WALLS.



 **1 | GROUND FLOOR PLAN**
FULL SIZE SCALE 1/4" = 1'-0" (24X36)
HALF SIZE SCALE 1/8" = 1'-0" (18X24)



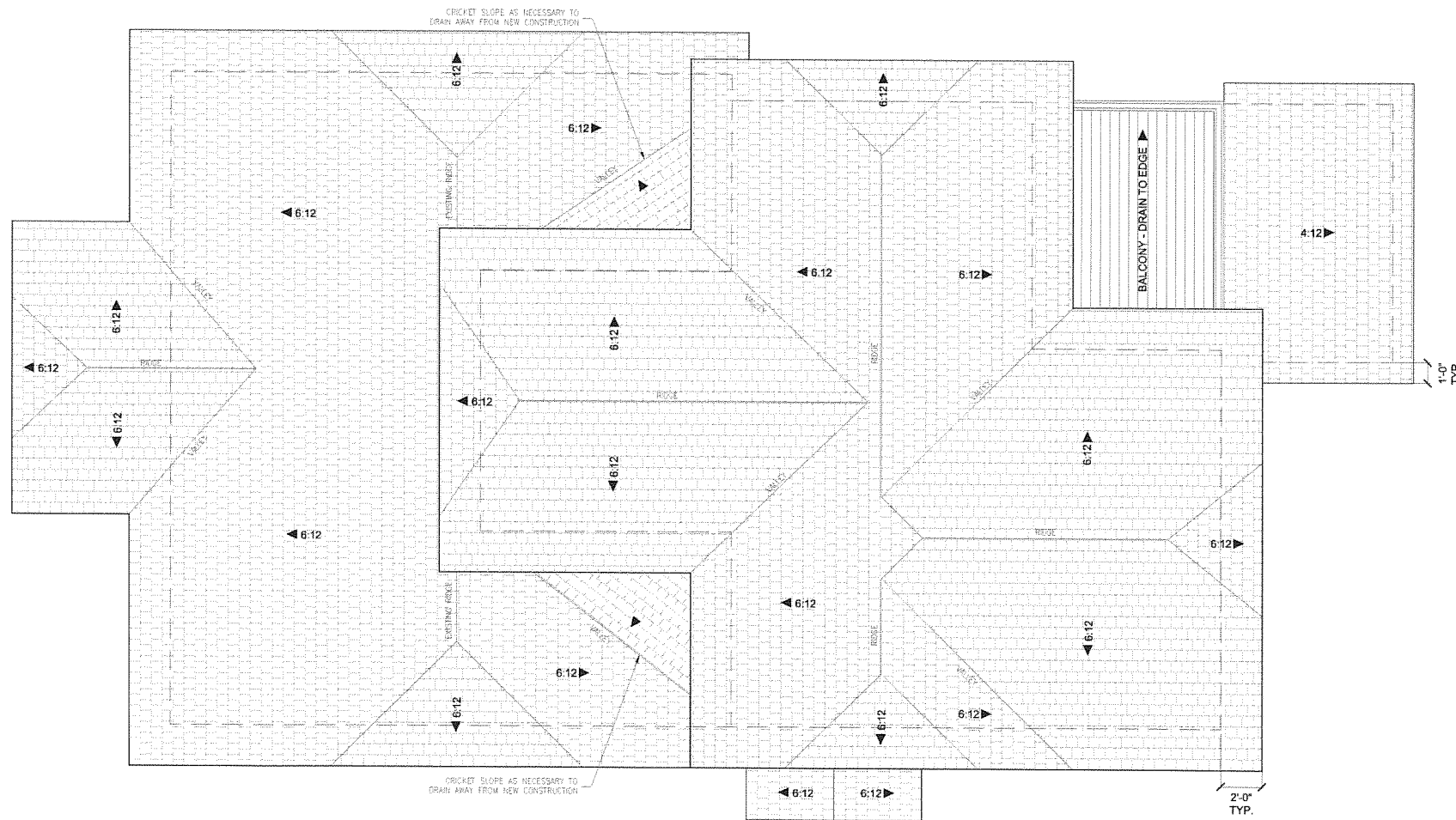
3 TYPICAL O.H. DETAIL @ RAFTER TAIL
1 1/2"=1'-0"
FULL SIZE SCALE 1 1/2" = 1'-0" (24X36)
HALF SIZE SCALE 3/4" = 1'-0" (18X24)



2 TYPICAL O.H. DETAIL @ OUTLOOKER
1 1/2"=1'-0"
FULL SIZE SCALE 1 1/2" = 1'-0" (24X36)
HALF SIZE SCALE 3/4" = 1'-0" (18X24)

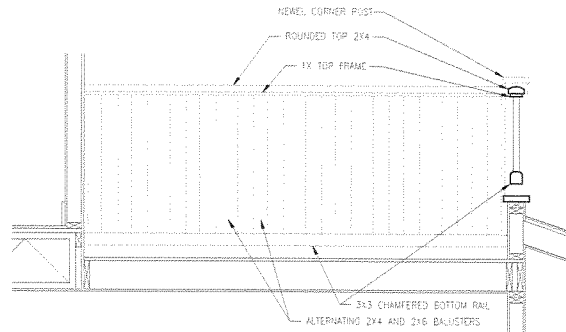
ROOF PLAN NOTES

- ALL ROOFS TO RECEIVE NEW COMPOSITE SHINGLES
- ALL NEW ROOF PITCHES TO BE 6:12 UNLESS OTHERWISE NOTED

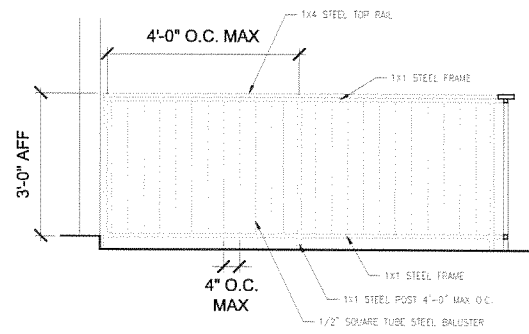


1 GROUND FLOOR PLAN
1/4"=1'-0"

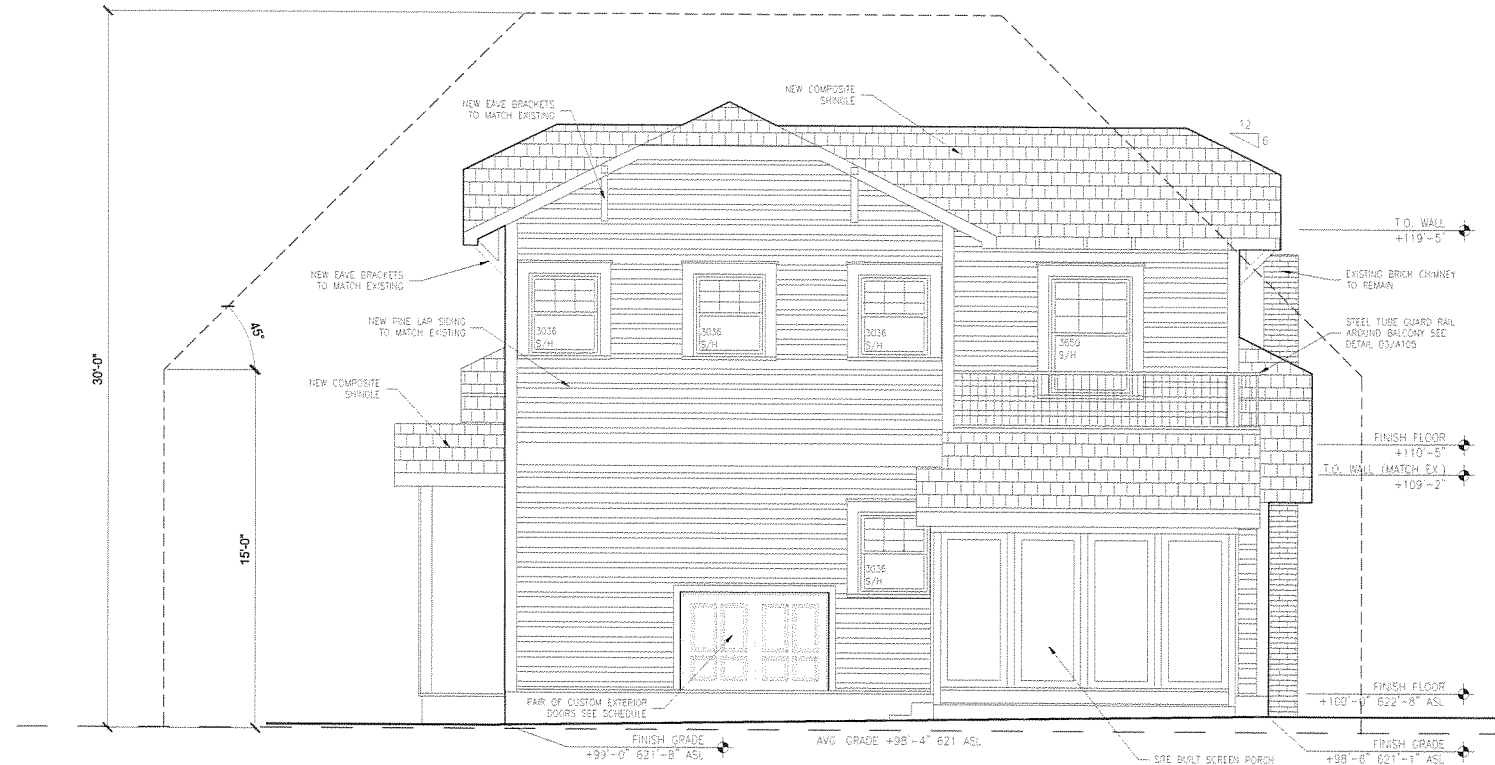
FULL SIZE SCALE 1/4" = 1'-0" (24X36)
HALF SIZE SCALE 1/8" = 1'-0" (18X24)



4 GUARD RAIL ALTERNATE
1/2"=1'-0"
FULL SIZE SCALE 1/2" = 1'-0" (24X36)
HALF SIZE SCALE 1/4" = 1'-0" (18X24)



3 GUARD RAIL ELEVATION
1/2"=1'-0"
FULL SIZE SCALE 1/2" = 1'-0" (24X36)
HALF SIZE SCALE 1/4" = 1'-0" (18X24)

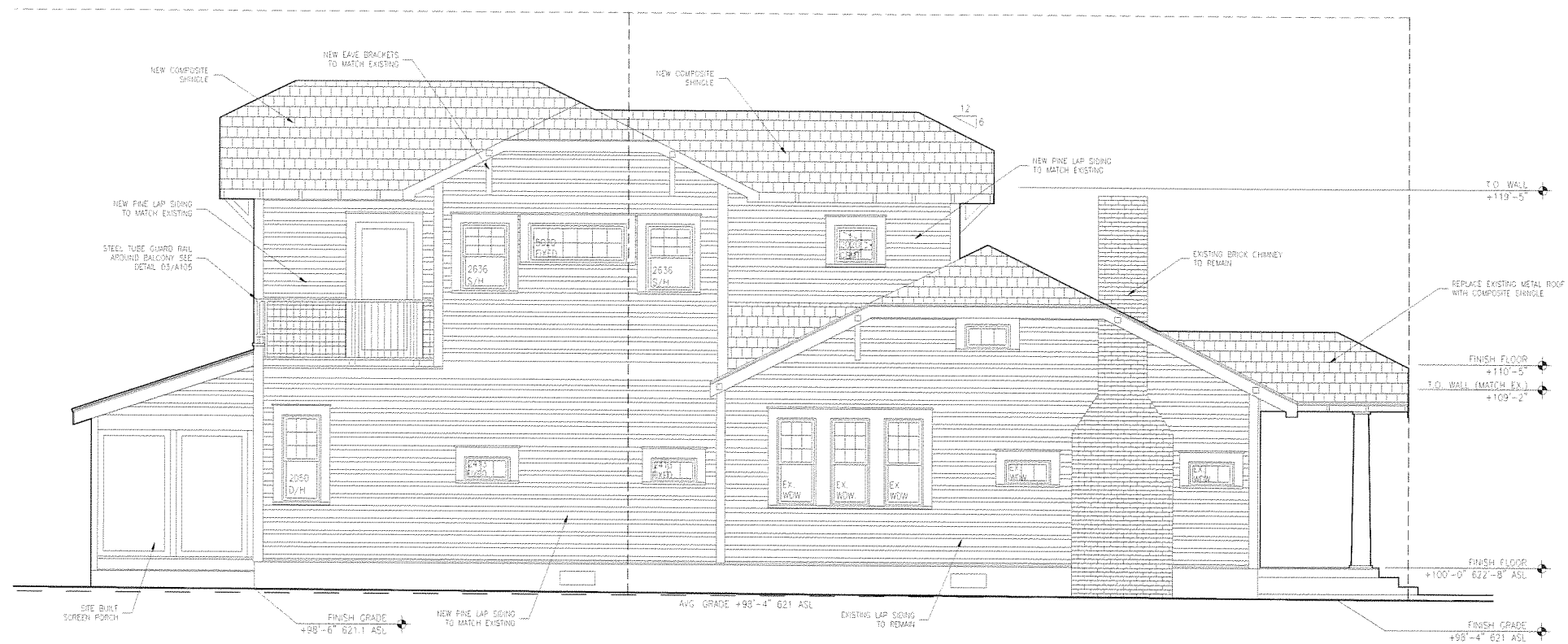


2 EAST ELEVATION
1/4"=1'-0"
FULL SIZE SCALE 1/4" = 1'-0" (24X36)
HALF SIZE SCALE 1/8" = 1'-0" (18X24)

ALL ROOF PITCHES ARE 6:12 WITH THE EXCEPTION OF THE REAR SCREEN PORCH WHICH IS 4:12



1 WEST ELEVATION
1/4"=1'-0"
FULL SIZE SCALE 1/4" = 1'-0" (24X36)
HALF SIZE SCALE 1/8" = 1'-0" (18X24)



ALL ROOF PITCHES ARE 6:12 WITH THE EXCEPTION
OF THE SCREEN PORCH WHICH IS 4:12

2 NORTH ELEVATION
1/4"=1'-0"

FULL SIZE SCALE 1/4" = 1'-0" (24X36)
HALF SIZE SCALE 1/8" = 1'-0" (18X24)



1 SOUTH ELEVATION
1/4"=1'-0"

FULL SIZE SCALE 1/4" = 1'-0" (24X36)
HALF SIZE SCALE 1/8" = 1'-0" (18X24)

MARTINSON ADDITION
4311 AVENUE F
AUSTIN, TX 78744

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ISSUE DATES:
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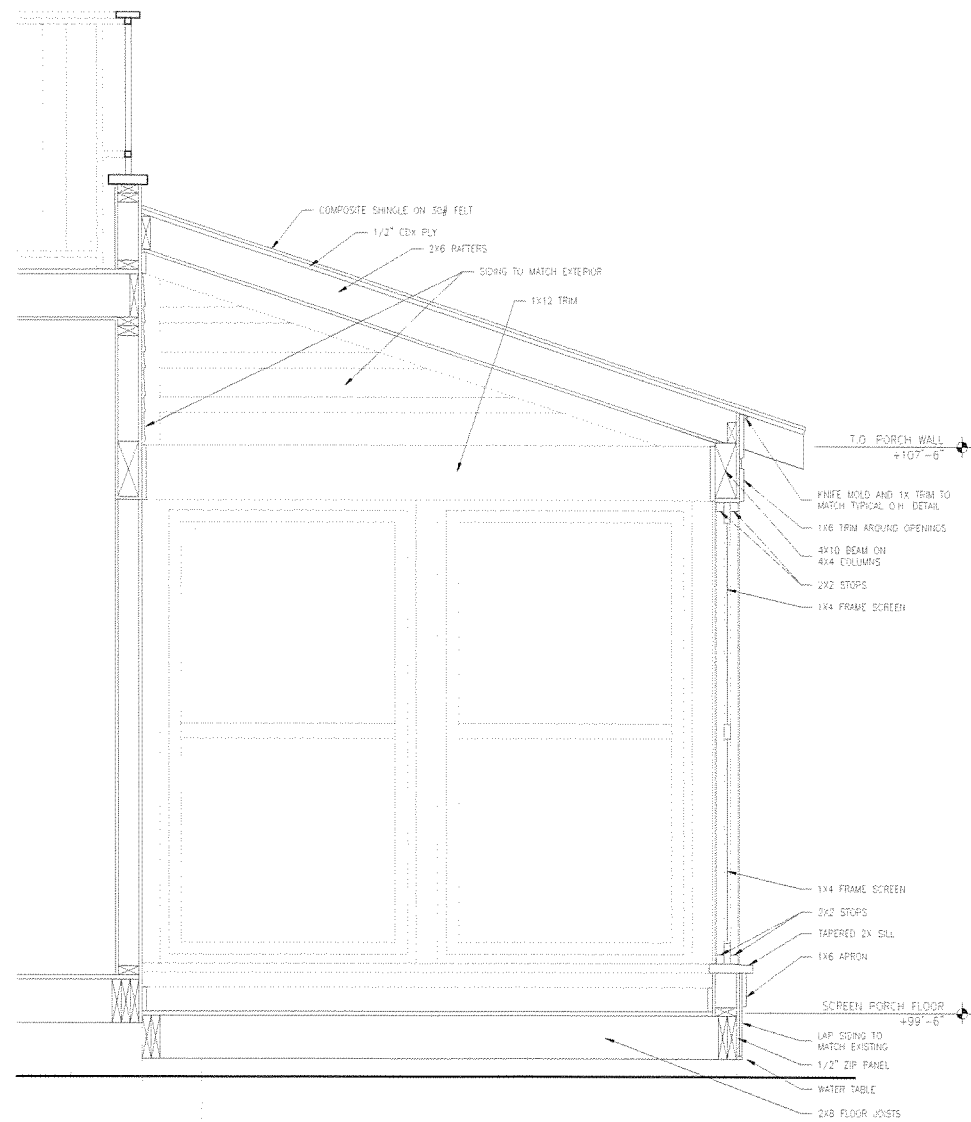
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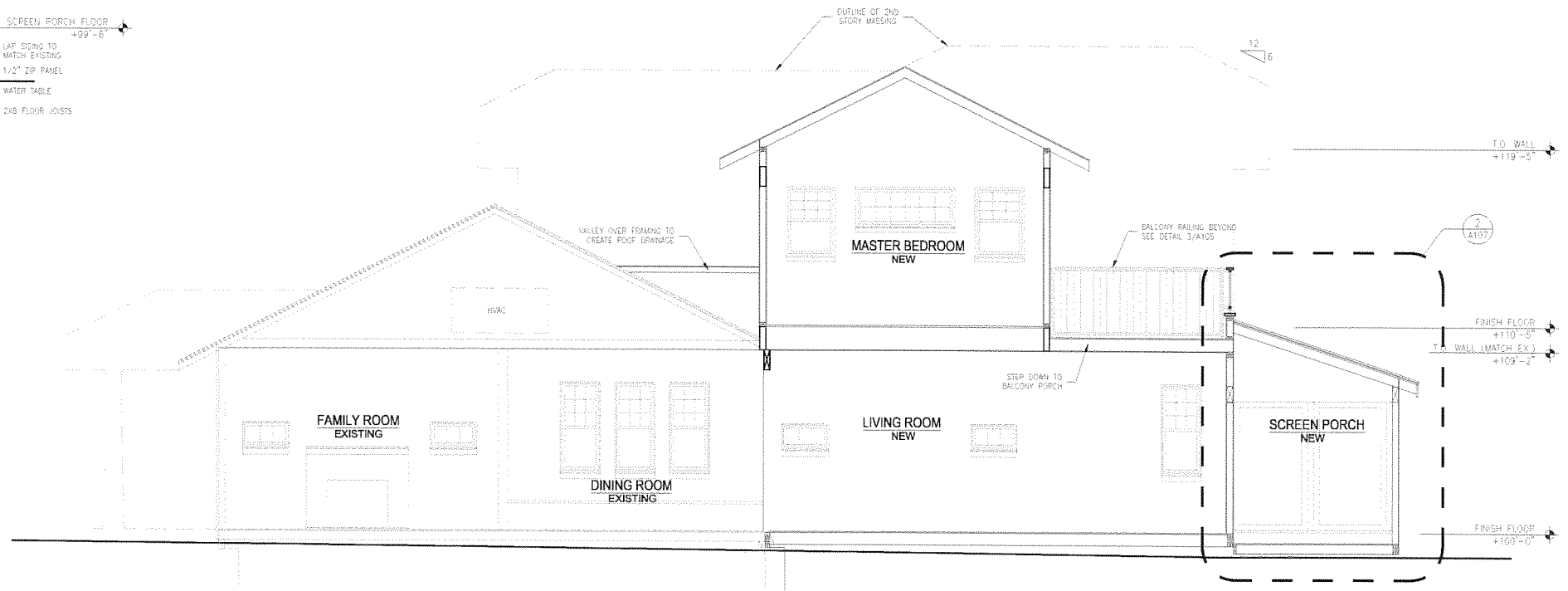
BUILDING SECT

SHEET NUMBER

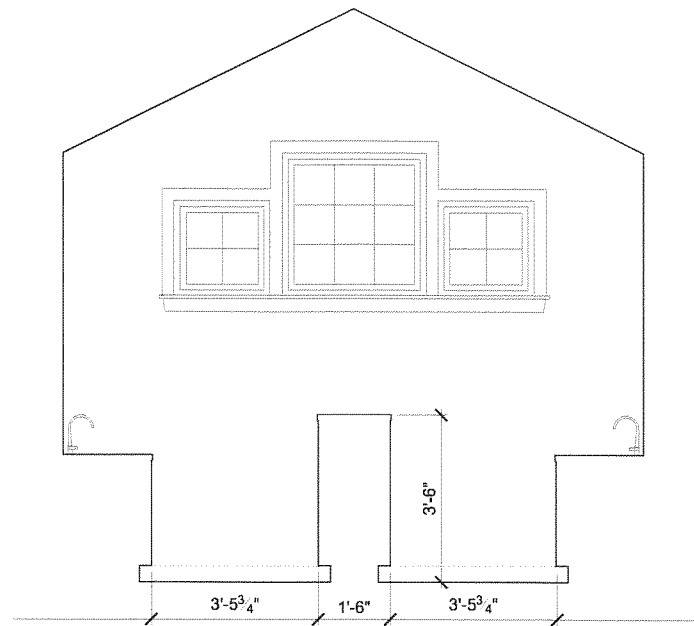
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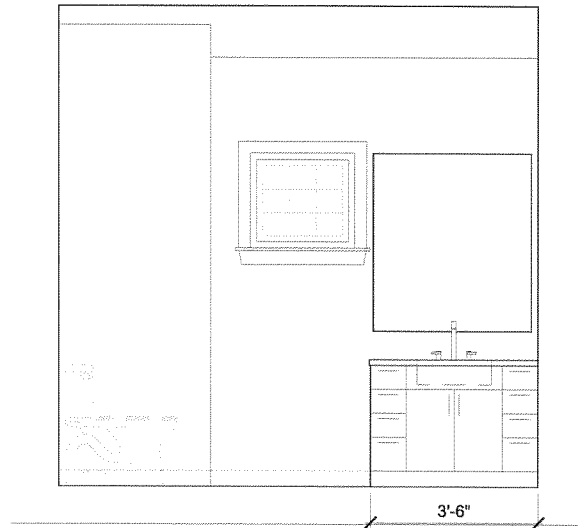
2 SCREEN PORCH SECTION
FULL SIZE SCALE 1/4" = 1'-0" (24X36)
1/4" = 1'-0"
HALF SIZE SCALE 1/8" = 1'-0" (18X24)



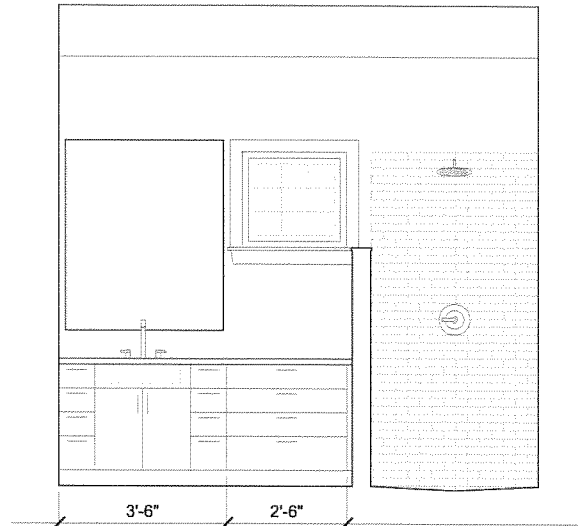
1 BUILDING SECTION
FULL SIZE SCALE 1/4" = 1'-0" (24X36)
1/4" = 1'-0"
HALF SIZE SCALE 1/8" = 1'-0" (18X24)



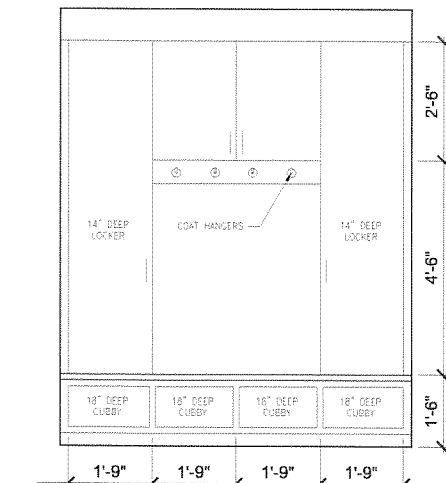
4 | MASTER BATH
1/2" = 1'-0"
FULL SIZE SCALE 1/2" = 1'-0" (24X36)
HALF SIZE SCALE 1/4" = 1'-0" (18X24)



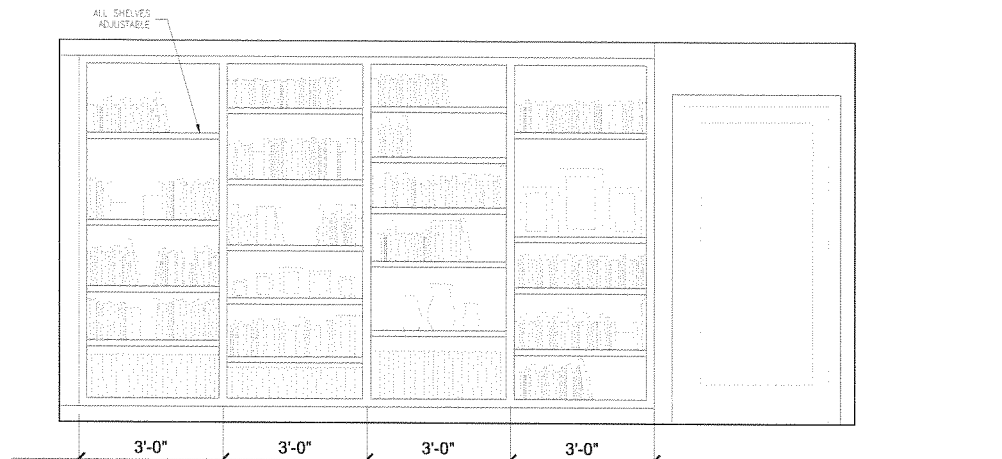
3 | MASTER BATH
1/2" = 1'-0"
FULL SIZE SCALE 1/2" = 1'-0" (24X36)
HALF SIZE SCALE 1/4" = 1'-0" (18X24)



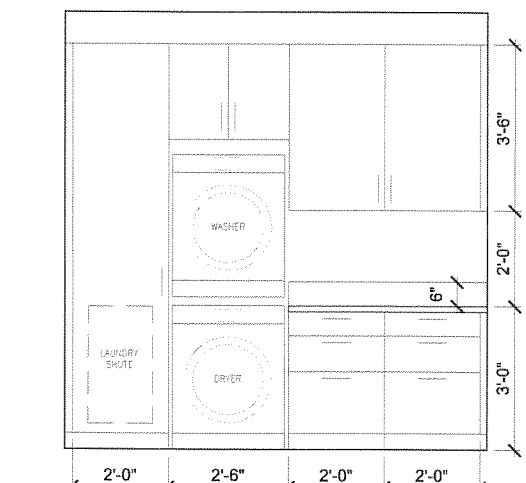
5 | MASTER BATH
1/2" = 1'-0"
FULL SIZE SCALE 1/2" = 1'-0" (24X36)
HALF SIZE SCALE 1/4" = 1'-0" (18X24)



2 | MUD BENCH WALL
1/2" = 1'-0"
FULL SIZE SCALE 1/2" = 1'-0" (24X36)
HALF SIZE SCALE 1/4" = 1'-0" (18X24)



6 | OFFICE SHELVES
1/2" = 1'-0"
FULL SIZE SCALE 1/2" = 1'-0" (24X36)
HALF SIZE SCALE 1/4" = 1'-0" (18X24)



1 | LAUNDRY WALL
1/2" = 1'-0"
FULL SIZE SCALE 1/2" = 1'-0" (24X36)
HALF SIZE SCALE 1/4" = 1'-0" (18X24)

ISSUE DATES:	01-06-16	ISSUE FOR OWNER REVIEW
	01-31-16	ISSUE FOR PERMIT

PROJECT NO:


DATE:



















SHEET NAME:
1ST FLOOR
ELECTRICAL PL

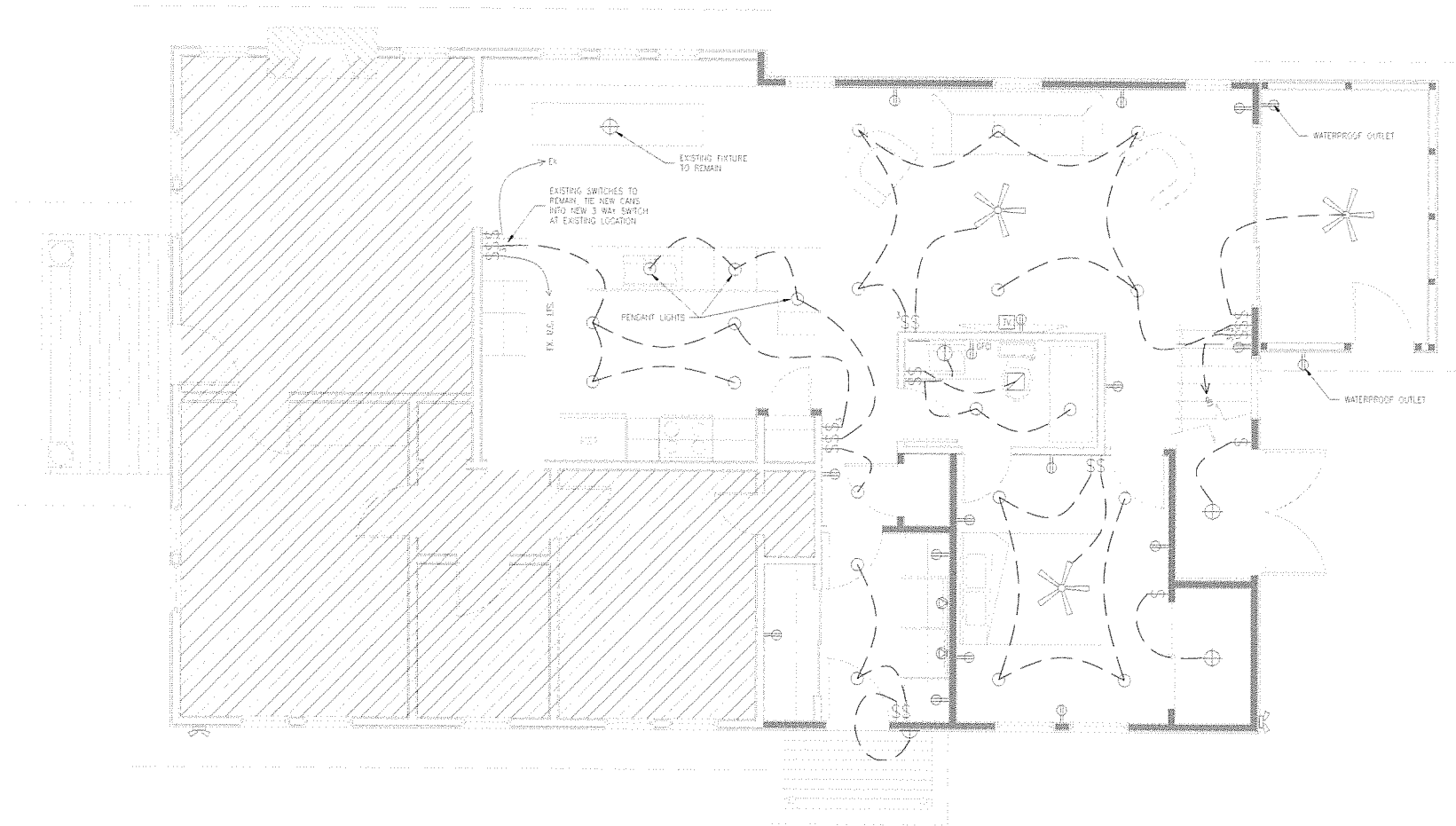
SHEET NUMBER

E101

ELECTRICAL PLAN NOTES:

1. PROVIDE CARBON MONOXIDE ALARM - HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA AND IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-PIPED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. IN ACCORDANCE WITH 2012 IRC SEC. R315.
2. PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS. IN ACCORDANCE WITH 2012 IRC SEC. R314.
3. PRIOR TO DRYWALL INSTALLATION, OWNER AND CONTRACTOR SHALL WALK THE PROJECT FOR FINAL ELECTRICAL SWITCH, OUTLET, AND LIGHT LOCATION'S APPROVAL.
4. AREAS SHOWN IN  ARE EXISTING AREAS TO REMAIN. NO NEW ELECTRICAL WORK.

LEGEND:	 CABLE	 RECESSED CAN FIXTURE	 CEILING FIXTURE
 GFI	ELECTRICAL OUTLET GROUND FAULT CIRCUIT INTERRUPTER	 CEILING FAN	 SMOKE DETECTOR
 ELECTRICAL OUTLET		 APPLIANCE OUTLET	 CARBON MONOXIDE DETECTOR
 SWITCH		 FLOOD LIGHT	 VANITY LIGHT
 3 WAY SWITCH		 GARBAGE DISPOSAL	 EXHAUST FAN VENT TO OUTSIDE
 DATA	 KILL SWITCH		 EXTERIOR WALL MOUNTED FIXTURE



1 GROUND FLOOR PLAN
1/4"=1'-0"

FULL SIZE SCALE 1/4" = 1'-0" (24X36)
HALF SIZE SCALE 1/8" = 1'-0" (18X24)



MARTINSON ADDITION
4311 AVENUE F
AUSTIN, TX 78754

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ISSUE DATES:	01-06-16	ISSUE FOR OWNER REVIEW
	01-31-16	ISSUE FOR PERMIT

PROJECT NO:

DATE:

SHEET NAME:
2ND FLOOR
ELECTRICAL PL

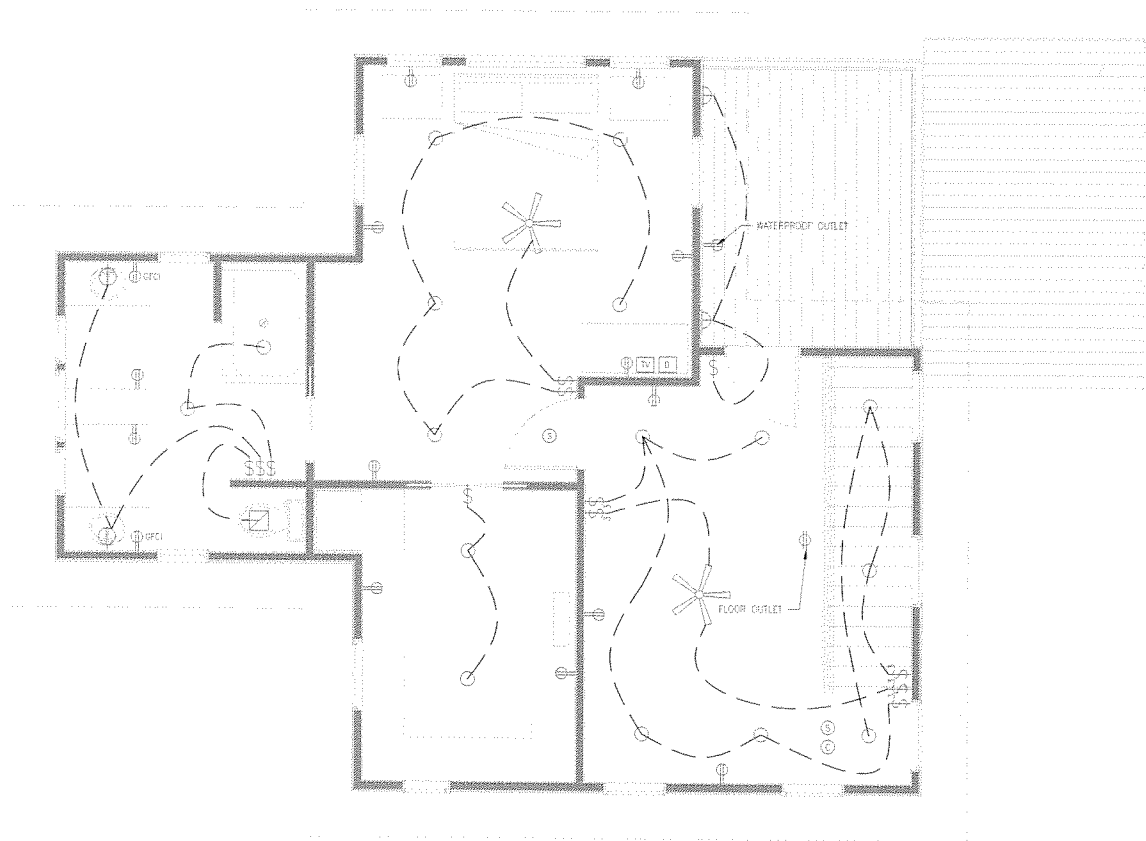
SHEET NUMBER

E102

ELECTRICAL PLAN NOTES

1. PROVIDE CARBON MONOXIDE ALARM - HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA AND IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE IN ACCORDANCE WITH 2012 IRC SEC R315
2. PROVIDE SMOKE ALARMS - HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS IN ACCORDANCE WITH 2012 IRC SEC R314
3. PRIOR TO DRYWALL INSTALLATION OWNER AND CONTRACTOR SHALL WALK THE PROJECT FOR FINAL ELECTRICAL SWITCH, OUTLET, AND LIGHT LOCATION'S APPROVAL

LEGEND:	[TV]	CABLE	○	RECESSED CAN FIXTURE	⊕	CEILING FIXTURE
	Ⓢ	ELECTRICAL OUTLET GROUND	✱	CEILING FAN	Ⓢ	SMOKE DETECTOR
	Ⓢ	ELECTRICAL OUTLET	Ⓢ	APPLIANCE OUTLET	Ⓢ	CARBON MONOXIDE DETECTOR
	Ⓢ	SWITCH	Ⓢ	FLOOD LIGHT	Ⓢ	VANITY LIGHT
	Ⓢ	3 WAY SWITCH	Ⓢ	GARAGE DISPOSAL	Ⓢ	EXHAUST FAN VENT TO OUTSIDE
	Ⓢ	HALL SWITCH			Ⓢ	EXTERIOR WALL MOUNTED FIXTURE
[D]	DATA					



1 2ND FLOOR ELECTRICAL PLAN
1/4"=1'-0"
FULL SIZE SCALE 1/4" = 1'-0" (24X36)
HALF SIZE SCALE 1/8" = 1'-0" (18X24)

GENERAL NOTES

GENERAL CONDITIONS

1. THESE GENERAL NOTES SHALL APPLY UNLESS SPECIFICALLY NOTED ON THE PLANS AND DETAILS.
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND SHALL BE RESPONSIBLE FOR CONDITIONS OF ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
3. DISCREPANCIES AND/OR VARIATIONS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT AND ENGINEER.
4. CONSTRUCTION, WORKMANSHIP, AND MATERIALS SHALL COMPLY WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE.
5. THE STRUCTURAL SYSTEM OF THE BUILDING IS DESIGNED TO PERFORM AS A COMPLETED UNIT. PRIOR TO COMPLETION OF THE STRUCTURE, THE STRUCTURAL COMPONENTS MAY BE UNSTABLE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY SHORING AND/OR BRACING AS REQUIRED FOR THE STABILITY OF THE INCOMPLETE STRUCTURE AND FOR THE SAFETY OF ALL ON-SITE PERSONNEL.
6. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
7. THE DRAWINGS SHOW ONLY REPRESENTATIVE AND TYPICAL DETAILS TO ASSIST THE CONTRACTOR. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. ALL ATTACHMENTS, CONNECTIONS, FASTENINGS, ETC., SHALL BE PROPERLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THEM.
8. THE CONTRACT STRUCTURAL DRAWINGS SHALL NOT BE USED IN WHOLE OR IN PART FOR SHOP DRAWING SUBMITTALS.
9. CONTRACTOR SHALL NOTE THAT ARCH CONSULTING ENGINEERS, PLLC, REQUIRES A MINIMUM OF TWO WEEKS TO REVIEW ALL SHOP DRAWING SUBMITTALS.
10. GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE OF ALL REQUIRED SITE VISITS.

DESIGN CRITERIA

1. BUILDING CODE: 2012 INTERNATIONAL RESIDENTIAL CODE
2. GRAVITY LOADS:
- A. DEAD LOADS
- 1) ROOF 16 PSF
- 2) FLOOR 20 PSF
- B. LIVE LOADS
- 1) ROOF 20 PSF
- 2) FLOOR 40 PSF
- C. SNOW LOADS
- 1) GROUND SNOW LOAD, P_g 5 PSF
- 2) IMPORTANCE FACTOR, I 1.0
3. LATERAL LOADS
- A. WIND LOADS
- 1) WIND SPEED (ULT) 115 MPH
- 2) IMPORTANCE FACTOR, I 1.0
- 3) EXPOSURE C_e
- B. SEISMIC LOADS
- 1) SEISMIC DESIGN CATEGORY A
- 2) SITE CLASS D
- 3) SEISMIC IMPORTANCE FACTOR, I_E 1.0

FOUNDATION SUBGRADE PREPARATIONS

1. THE FOUNDATIONS HAVE BEEN DESIGNED USING AN ALLOWABLE SOIL BEARING VALUE OF 2,000 PSF FOR SPREAD FOOTINGS IN ACCORDANCE WITH TABLE R401.4.1 IN THE 2012 INTERNATIONAL RESIDENTIAL CODE.
2. SPREAD FOOTING LOCATIONS MAY NOT BE ALTERED WITHOUT APPROVAL BY THE ENGINEER.
3. ALL TOPSOIL, VEGETATION, AND ANY DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROPOSED BUILDING AREA TO PERMIT THE INSTALLATION OF A WOOD FLOORING SYSTEM WITH PIER-AND-BEAM SUPPORTS AND A MINIMUM 18-INCH TALL CRAWL SPACE.
4. PROVIDE VENTING OF CRAWL SPACE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE.
5. FOOTINGS SHALL BEAR AT LEAST 36 INCHES BELOW FINISHED GRADE ON UNDISTURBED SOIL UNLESS LIMESTONE IS ENCOUNTERED. FOOTINGS SHALL BE EMBEDDED A MINIMUM OF 6" INTO LIMESTONE AT A MINIMUM DEPTH OF 12" BELOW FINISHED GRADE.
6. FOOTINGS SHALL BE POURED THE SAME DAY THE EXCAVATIONS ARE COMPLETED.

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE BUILDING CODE (ACI 318-05). ALL CONCRETE FLOOR AND SLAB CONSTRUCTION SHALL CONFORM TO ACI 302.1R-04. ALL CONCRETE WORK SHALL ALSO CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE", ACI 301-05.
2. CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
- 28 DAY COMPRESSIVE STRENGTH 3,000 PSI
- MINIMUM CEMENT CONTENT 520-610 LB/CY
- WATER / CEMENT RATIO 0.47-0.55
- SLUMP RANGE 2" MIN - 5" MAX
- NOMINAL MAX AGGREGATE SIZE 1"
- AIR CONTENT FOR TROWEL-FINISHED INTERIOR SLABS LESS THAN 5%
- FLY ASH CAN BE SUBSTITUTED FOR CEMENT UP TO 30% BY WEIGHT. CALCIUM CHLORIDE IS NOT ACCEPTABLE FOR USE IN MIX.
- FURNISH MIX DESIGNS FOR ALL CLASSES OF CONCRETE. RETAIN A QUALIFIED TESTING LABORATORY TO MAKE CONCRETE CYLINDERS AND PERFORM COMPRESSIVE TESTS.
3. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150. AGGREGATE SHALL CONFORM TO ASTM C-33.

REINFORCEMENT

1. ALL DETAILING, FABRICATION, AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE", ACI 315 LATEST EDITION.
2. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60.
3. STANDARD PROTECTIVE COVER OF REINFORCING BARS UNLESS OTHERWISE NOTED SHALL BE:
- SLABS ON GRADE (TOP) 1 1/2 IN.
- GRADE BEAMS AND PIERS
- TOPS 1 1/2 IN.
- SIDES 3 IN.
- BOTTOMS 3 IN.
- OTHER 1 1/2 IN.
4. LAP REINFORCING 30 BAR DIAMETERS AT SPLICES UNLESS NOTED OR DETAILED OTHERWISE.
5. WELDING OR HEAT BENDING OF REINFORCING BARS SHALL NOT BE PERMITTED, UNLESS APPROVED BY THE ENGINEER.
6. PROVIDE (3) #4 X 3'-0" LONG DIAGONAL BARS AT ALL RE-ENTRANT CORNERS.
7. PROVIDE 1/2" DIAMETER X 10" LONG HOT DIPPED GALVANIZED ANCHOR BOLTS AT 4'-0" O.C. IN THE FOUNDATION AT THE LOCATIONS OF ALL EXTERIOR WOOD FRAMED WALLS.
8. AT CORNERS AND 77" INTERSECTIONS OF ALL BEAMS EXTEND 4 CORNER BARS EQUAL TO THE SCHEDULED STEEL IN THE ADJACENT BEAMS 2'-0" EACH WAY. 2 BARS TOP AND 2 BARS BOTTOM. PROVIDE CORNER BARS AT ALL INTERMEDIATE REINFORCING BARS IN WALLS AND DEEP BEAMS.

TIMBER NOTES

1. UNLESS NOTED OTHERWISE, ALL STRUCTURAL FRAMING LUMBER SHALL BE CLEARLY MARKED NO. 2 K.D. PINE BY THE SPIB WITH A MINIMUM $F_b=1000$ PSI. ALL WALL STUDS SHALL BE S-P-F LUMBER, NO. 2 OR BETTER.
2. SOLID 2" BLOCKING SHALL BE PROVIDED AT THE ENDS AND POINTS OF SUPPORT OF ALL JOISTS, RAFTERS, AND PURLINS, AND SHALL BE PLACED BETWEEN SUPPORTS IN ROWS NOT EXCEEDING 8'-0" APART. ALL WALLS SHALL HAVE SOLID 2" BLOCKING AT 8'-0" O.C. MAX. VERTICALLY. END NAIL WITH (2)-16d NAILS OR SIDE TOE NAIL WITH (2)-12d NAILS. ALL BLOCKING SHALL BE SAME DEPTH AS MEMBERS BEING BLOCKED.
3. ALL CONNECTIONS FOR WOOD FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FASTENING SCHEDULE (TABLE R602.3(1)).
4. ALL WOOD STUD WALLS SHALL BE FULL HEIGHT WITHOUT INTERMEDIATE PLATE LINE UNLESS DETAILED OTHERWISE.
5. INCLUDE AN ALLOWANCE FOR 200 BOARD FEET OF LUMBER TO BE USED AS DIRECTED IN THE FIELD FOR SPECIAL CONDITIONS NOT COVERED BY NOTE OR DRAWING (LABOR FOR ERECTING SAME TO BE INCLUDED). UPON COMPLETION OF PROJECT, REBATE TO OWNER ANY AMOUNT REMAINING.
6. PROVIDE TRIPLE STUDS (OR CHIPPLES) AT EACH END OF ANY HEADER, BEAM, RIDGE, VALLEY, OR HIP SPANNING OVER 10'-0" UNLESS NOTED OTHERWISE. PROVIDE DOUBLE STUDS (OR CHIPPLES) AT EACH END OF ANY HEADER, BEAM, RIDGE, VALLEY, OR HIP SPANNING 3'-0" TO 10'-0" UNLESS NOTED OTHERWISE.
7. ALKALINE COPPER QUATERNARY (ACQ) PRESSURE TREATED LUMBER PRODUCTS ARE HIGHLY CORROSIVE TO METAL CONNECTORS AND FASTENERS. ALL FASTENERS AND METAL CONNECTORS USED IN CONJUNCTION WITH THE ACQ PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED (MIN. G165 COATING) OR TYPE 304 OR 316 STAINLESS STEEL. THESE LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- ANCHOR BOLTS AT SOLE PLATE TO FOUNDATION
- MUD SILL ANCHORS AT SOLE PLATE TO FOUNDATION
- NAILS FROM SOLE PLATE TO WALL STUDS
- NAILS AT EXTERIOR PLYWOOD SHEATHING TO SOLE PLATE
- BOLTS AT LEDGER TO CONCRETE
- JOIST TO TREATED LEDGER CONNECTIONS
- ALL HANGERS ON TREATED JOISTS
- PLYWOOD DECKING TO TREATED JOISTS
- WOOD POSTS TO CONCRETE
- NAILS AT FLOOR JOISTS AND RIM JOISTS TO SOLE PLATE
- DECK BOARDS TO TREATED JOISTS

PLYWOOD DECKING AND SHEATHING

1. ALL PLYWOOD SHEATHING AT WALLS SHALL BE 15/32" THICK GRADE C-D WITH EXTERIOR GLUE. PROVIDE SOLID 2" BLOCKING AT ALL JOINTS IN PLYWOOD SHEAR WALLS.
2. ALL PLYWOOD DECKING AT ROOFS SHALL BE 19/32" THICK GRADE C-D WITH EXTERIOR GLUE. ALL JOINTS IN PLYWOOD DECKING SHALL BE STAGGERED.
3. ALL WALL SHEATHING AND ROOF DECKING SHALL BE NAILED TO SUPPORTING MEMBERS ALONG THE EDGES WITH #8 NAILS SPACED AT 6" O.C. AND AT INTERMEDIATE SUPPORTS WITH #d NAILS SPACED AT 12" O.C. 1 3/4" 16 GAGE STAPLES CAN BE USED IN LIEU OF NAILS FOR EXTERIOR SHEATHING PROVIDED THAT STAPLES ARE SPACED AT 3" O.C. AT ALL EDGES AND 6" O.C. AT ALL INTERMEDIATE SUPPORTS. ORIENTED STRAND BOARD MAY BE USED IN LIEU OF PLYWOOD AT CONTRACTOR'S OPTION.
4. ALL PLYWOOD DECKING AT FLOORS SHALL BE 3/4" THICK OR 1 1/8" THICK GRADE C-D WITH EXTERIOR GLUE. ALL JOINTS IN PLYWOOD DECKING SHALL BE STAGGERED. GLUE AND SCREW ALL FLOOR DECKING TO WOOD FRAMING MEMBERS.
5. FLOOR DECKING SHALL BE SCREWED TO SUPPORTING MEMBERS ALONG THE EDGES WITH 2 1/2" LONG #8 WOOD SCREWS SPACED AT 6" O.C. AND AT INTERMEDIATE SUPPORTS WITH 2 1/2" LONG #8 WOOD SCREWS SPACED AT 12" O.C.

PRE-FABRICATED WOOD TRUSSES

1. FOR SIZE AND LOCATION OF MECHANICAL UNITS AND / OR OPENINGS REQUIRED IN TRUSS WEBS FOR DUCTS OR MECHANICAL UNITS, SEE MECHANICAL DRAWINGS.
2. ALL FLOOR TRUSSES SHALL BE DESIGNED FOR A LIVE LOAD ACCORDING TO THE DESIGN CRITERIA OR TO THE LOADING DIAGRAMS SHOWN.
3. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS, AND CALCULATIONS, WITH SEAL OF REGISTERED ENGINEER IN THE STATE OF TEXAS, FOR REVIEW. SHOP DRAWINGS SHALL INCLUDE SIZE AND LOCATION OF ALL REQUIRED BRACING MEMBERS (TEMPORARY AND PERMANENT), AND DETAILS OF ALL TRUSSES TO TRUSS CONNECTIONS (EXAMPLE: HIP JACK TRUSS TO GIRDER TRUSS AND COMMON JACK TRUSSES TO GIRDER TRUSS).
4. TRUSS MANUFACTURER SHALL PROVIDE A COPY OF BCSI GUIDE FOR HANDLING, INSTALLING, AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES TO TRUSS ERECTOR.
5. MAXIMUM LIVE LOAD DEFLECTION SHALL BE $SPAN LENGTH / 360$ FOR ROOF, FLOOR, BALCONY, AND CORRIDOR TRUSSES. MAXIMUM TOTAL LOAD DEFLECTION SHALL BE $SPAN LENGTH / 240$ FOR ROOF, FLOOR, BALCONY, AND CORRIDOR TRUSSES. THE MAXIMUM DEFLECTION SHALL NOT EXCEED 1 INCH.

LAMINATED VENEER LUMBER

1. ALL LVL'S SHALL BE FABRICATED TO STANDARDS SET FORTH IN THE NATIONAL EVALUATION SERVICE (NES) REPORT NO. NER-481 AND SHALL PROVIDE MINIMUM ALLOWABLE DESIGN VALUES OF 2600 PSI IN BENDING, 265 PSI IN HORIZONTAL SHEAR PERPENDICULAR TO THE GLUE LINE, AND 1,900,000 PSI IN MODULUS OF ELASTICITY.

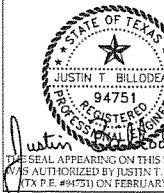
POST-INSTALLED ANCHORS

1. POST-INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER-OF-RECORD PRIOR TO INSTALLING POST-INSTALLED ANCHORS IN PLACE OF MISSING OR MISPLACED CAST-IN-PLACE ANCHORS. CARE SHALL BE TAKEN IN PLACING POST-INSTALLED ANCHORS TO AVOID CONFLICTS WITH EXISTING REBAR. HOLES SHALL BE DRILLED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. SUBSTITUTION REQUESTS FOR PRODUCTS OTHER THAN THOSE SPECIFIED BELOW SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER-OF-RECORD ALONG WITH CALCULATIONS THAT ARE PREPARED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER. THE CALCULATIONS SHALL DEMONSTRATE THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERTINENT EQUIVALENT PERFORMANCE VALUES (MINIMUM) OF THE SPECIFIED PRODUCT USING THE APPROPRIATE DESIGN PROCEDURE AND/OR STANDARD(S) AS REQUIRED BY THE BUILDING CODE. PROVIDE CONTINUOUS SPECIAL INSPECTION FOR ALL MECHANICAL AND ADHESIVE ANCHORS PER THE APPLICABLE EVALUATION REPORT (ICC-ES ESR). CONTACT MANUFACTURER'S REPRESENTATIVE FOR THE INITIAL TRAINING AND INSTALLATION OF ANCHORS AND FOR PRODUCT RELATED QUESTIONS AND AVAILABILITY. CALL SIMPSON STRONG-TIE AT (800) 999-5099.
2. CONCRETE ANCHORS
- a. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ACI 308.2 AND ICC-ES AC108 FOR CRACKED AND UNCRACKED CONCRETE RECOGNITION. PRE-APPROVED MECHANICAL ANCHORS INCLUDE:
- (1) SIMPSON STRONG-TIE "TITEN-HD" AND "TITEN-HD ROD HANGER" (ICC-ES ESR-2713)
- (2) SIMPSON STRONG-TIE "STRONG-BOLT" (ICC-ES ESR-1771)
- (3) SIMPSON STRONG-TIE "STRONG-BOLT 2" (ICC-ES ESR-3037)
- b. ADHESIVE ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ICC-ES AC308 FOR CRACKED AND UNCRACKED CONCRETE RECOGNITION. PRE-APPROVED ADHESIVE ANCHORS INCLUDE:
- (1) SIMPSON STRONG-TIE "SET-XP" (ICC-ES ESR-2508)
3. MASONRY ANCHORS
- a. ANCHORAGE TO SOLID-GROUTED CONCRETE MASONRY
- (1) MECHANICAL ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ICC-ES AC101 OR AC106. PRE-APPROVED MECHANICAL ANCHORS INCLUDE:
- (2) SIMPSON STRONG-TIE "TITEN-HD" (ICC-ES ESR-1056)
- (3) SIMPSON STRONG-TIE "TITEN-HD" (ICC-ES ESR-1394)
- (4) ADHESIVE ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ICC-ES AC08. PRE-APPROVED ADHESIVE ANCHORS INCLUDE:
- (5) SIMPSON STRONG-TIE "SET" (ICC-ES ESR-1772)
- (6) SIMPSON STRONG-TIE "ACRYLIC-TIE" (ICC-ES ESR-5791)
- b. ANCHORAGE TO HOLLOW CONCRETE MASONRY / UNREINFORCED CLAY BRICK MASONRY
- (1) MECHANICAL ANCHORS FOR SHALL HAVE BEEN TESTED AND QUALIFIED IN ACCORDANCE WITH ICC-ES AC106. PRE-APPROVED SCREW ANCHORS INCLUDE:
- (2) SIMPSON STRONG-TIE "TITEN-HD" (ICC-ES ESR-1056)
- (3) ADHESIVE ANCHORS WITH SCREEN TUBES SHALL BE TESTED AND QUALIFIED IN ACCORDANCE WITH ICC-ES AC08 OR AC60, AS APPROPRIATE. THE APPROPRIATE SCREEN TUBE SHALL BE USED AS RECOMMENDED BY THE ADHESIVE MANUFACTURER. PRE-APPROVED ADHESIVE ANCHORS WITH SCREEN TUBES INCLUDE:
- (4) SIMPSON STRONG-TIE "SET" (ICC-ES ESR-1772)

NAILING SCHEDULE	
CONNECTIONS	NAILING
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8D
2. 1"x6" SUBFLOOR OR LESS TO EA JOIST, FACE NAIL	2-8D
3. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16D
4. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16D AT 16" O.C.
5. TOP OF SOLE PLATE TO STUD, END NAIL	2-16D
6. STUD TO SOLE PLATE, TOENAIL	3-8D OR 2-16D
7. DOUBLE STUDS, FACE NAIL	18D AT 24" O.C.
8. DOUBLE TOP PLATES, FACE NAIL	18D AT 24" O.C.
9. SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16D AT 16" O.C.
10. DOUBLE TOP PLATES, MINIMUM 24-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16D
11. BLOCKING BTWN. JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8D
12. RIM JOIST TO TOP PLATE, TOE NAIL	8D AT 6" O.C.
13. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10D
14. BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16D AT 16" O.C. ALONG EACH EDGE
15. CONTINUED HEADER, TWO PIECES	16D AT 16" O.C. ALONG EACH EDGE
16. CEILING JOIST TO PLATE, TOENAIL	3-8D
17. CONTINUOUS HEADER TO STUD, TOENAIL	4-8D
18. CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3-10D
19. CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	3-10D
20. RAFTER TO PLATE, TOENAIL	2-16D
21. 1" BRACE TO EA STUD AND PLATE, FACE NAIL	3-8D
22. 1"x6" SHEATHING TO EA BEARING, FACE NAIL	2-8D
23. 1"x8" SHEATHING TO EA BEARING, FACE NAIL	2-8D
24. WIDER THAN 1"x8" SHEATHING TO EA BEARING, FACE NAIL	3-8D
25. BUILT-UP CORNER STUDS	10D @ 24" O.C.
26. BUILT-UP CHORDS AND BEAMS 2-INCH LUMBER LAYERS, FACE NAIL	18D @ 32" O.C. AT TOP AND BOTTOM AND STAGGERED, 2-10D @ ENDS AND AT EACH SPLICE
27. 2" PLANKS, EACH BEARING	2-16D
28. ROOF RAFTER TO RIDGE, VALLEY, OR HIP RAFTERS	4-16D, TOENAIL OR 5-16D, FACE NAIL
29. RAFTER TIES TO RAFTERS, FACE	3-8D
30. COLLAR TIE TO RAFTER, FACE	3-10D

2012 IRC NAILING SCHEDULE

SHEET IS FORMATTED TO 22"x34".
SCALES ARE ONE HALF OF NOTED
WHEN PRINTED AT HALF SIZE.



ARCH
CONSULTING ENGINEERS, PLLC
Austin, Texas 78751
4311 AVENUE F

MARTINSON ADDITION

AUSTIN, TEXAS 78751

4311 AVENUE F

DATE: 0
PROJECT NUMBER:
REVISIONS:

GENERAL NOTE

S0.0

1 OF 9

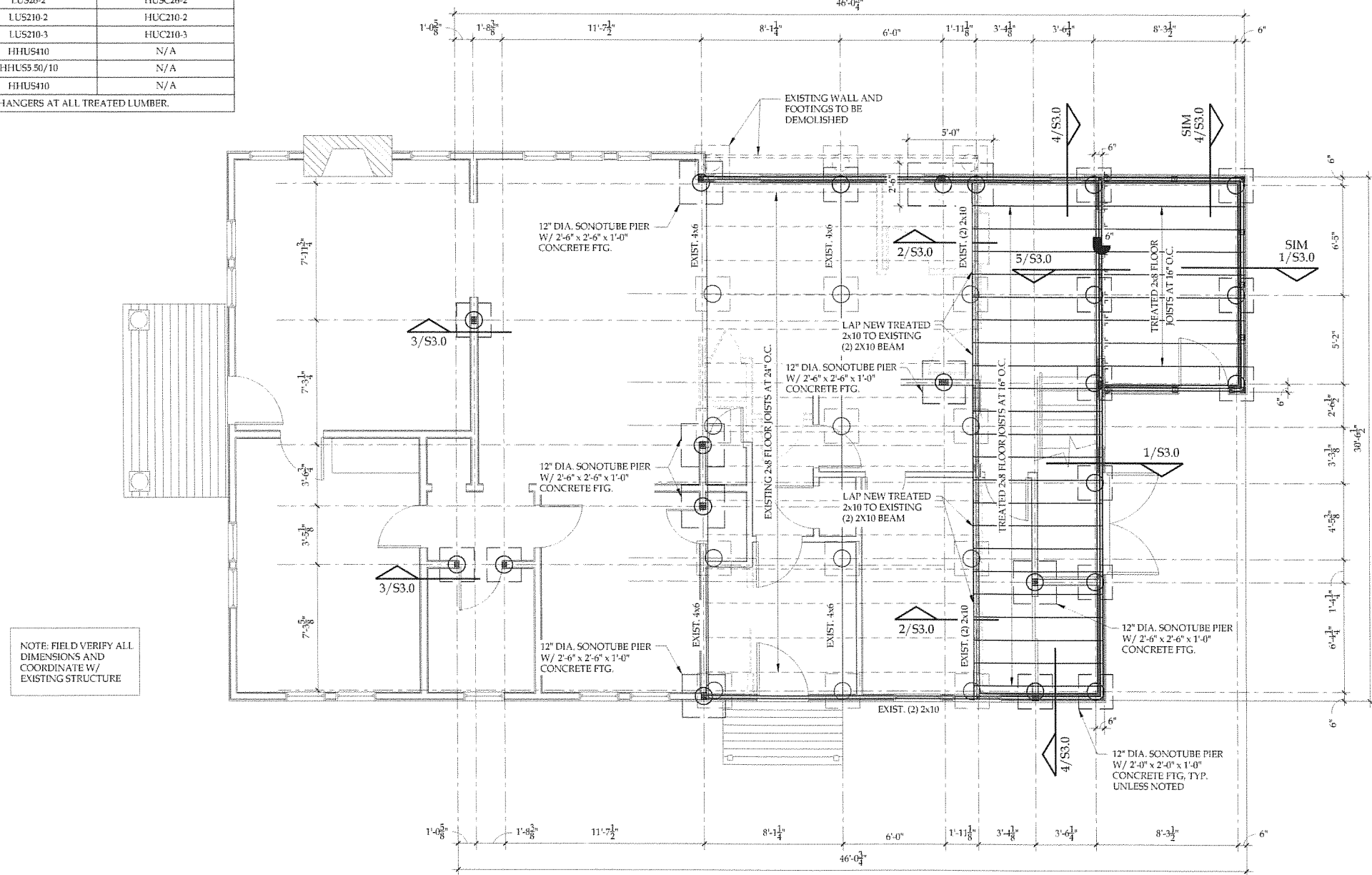
1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION. CONTACT ENGINEER IF CONDITIONS ARE DIFFERENT THAN SHOWN.
2. PROVIDE SHORING, BRACING, ETC. OF REMAINING STRUCTURE AS REQD. FOR SAFETY AND STRUCTURAL INTEGRITY.
3. PROVIDE WEATHER PROTECTION FOR THE DURATION OF THE DEMOLITION WORK.
4. REF. ARCH'L DRAWINGS FOR ALL OPENING DIMENSIONS AND LOCATIONS TO LOCATE NEW FRAMING AND FOOTING LOCATIONS.
5. REPLACE ANY DAMAGED WOOD FRAMING WITH MEMBERS OF SAME SIZE AND SPACING. NOTIFY ENGINEER OF ANY STRUCTURAL DEFICIENCIES FOUND IN EXISTING FRAMING THAT NEED TO BE ADDRESSED (I.E. SPLIT, CUT, OR MEMBERS SHOWING EXCESSIVE DEFLECTIONS).
6. ALL NEW FLOOR JOISTS ARE TREATED 2x8 NO. 2 SOUTHERN YELLOW PINE AT 16" ON CENTER MAXIMUM SPACING.
7. ALL NEW BEAMS AT FOUNDATION ARE TO BE TREATED (3) 2x10 NO. 2 SOUTHERN YELLOW PINE.

JOISTS / SPACING	MAX. SPAN W/O ATTIC STORAGE (LIVE LOAD = 10 PSF)	MAX. SPAN W/ ATTIC STORAGE (LIVE LOAD = 20 PSF)
2 x 6s AT 24" O.C.	11'-0"	10'-0"
2 x 8s AT 24" O.C.	14'-6"	13'-0"
2 x 10s AT 24" O.C.	18'-6"	16'-6"
2 x 12s AT 24" O.C.	22'-6"	19'-6"
ALL JOISTS ARE NO. 2 SOUTHERN YELLOW PINE		
INSTALL FULL DEPTH BLOCKING BETWEEN JOISTS AT 8'-0" O.C. MAX. SPACING		

JOIST/RAFTER HANGER SCHEDULE

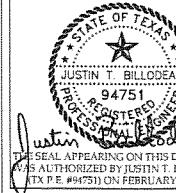
JOIST/RAFTER SIZE	SIMPSON FACEMOUNT HANGER	SIMPSON CONCEALED FLANGE HANGER
2 x 6s/2 x 8s	LUS26	LUC26
2 x 10s/2 x 12s	LUS210	LUC210
(2) 2 x 6s/ (2) 2 x 8s	LUS26-2	HUSC26-2
(2) 2 x 10s/ (2) 2 x 12s	LUS210-2	HUC210-2
(3) 2 x 10s	LUS210-3	HUC210-3
(2) 1 3/4" x 11 1/4" LVL	HHUS410	N/A
(3) 1 3/4" x 11 1/4" LVL	HHUS550/10	N/A
(2) 1 3/4" x 14" LVL	HHUS410	N/A

PROVIDE ZMAX HANGERS AT ALL TREATED LUMBER.



1. FOUNDATION PLAN

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TYPE Registration #E-0083

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4311 AVENUE F
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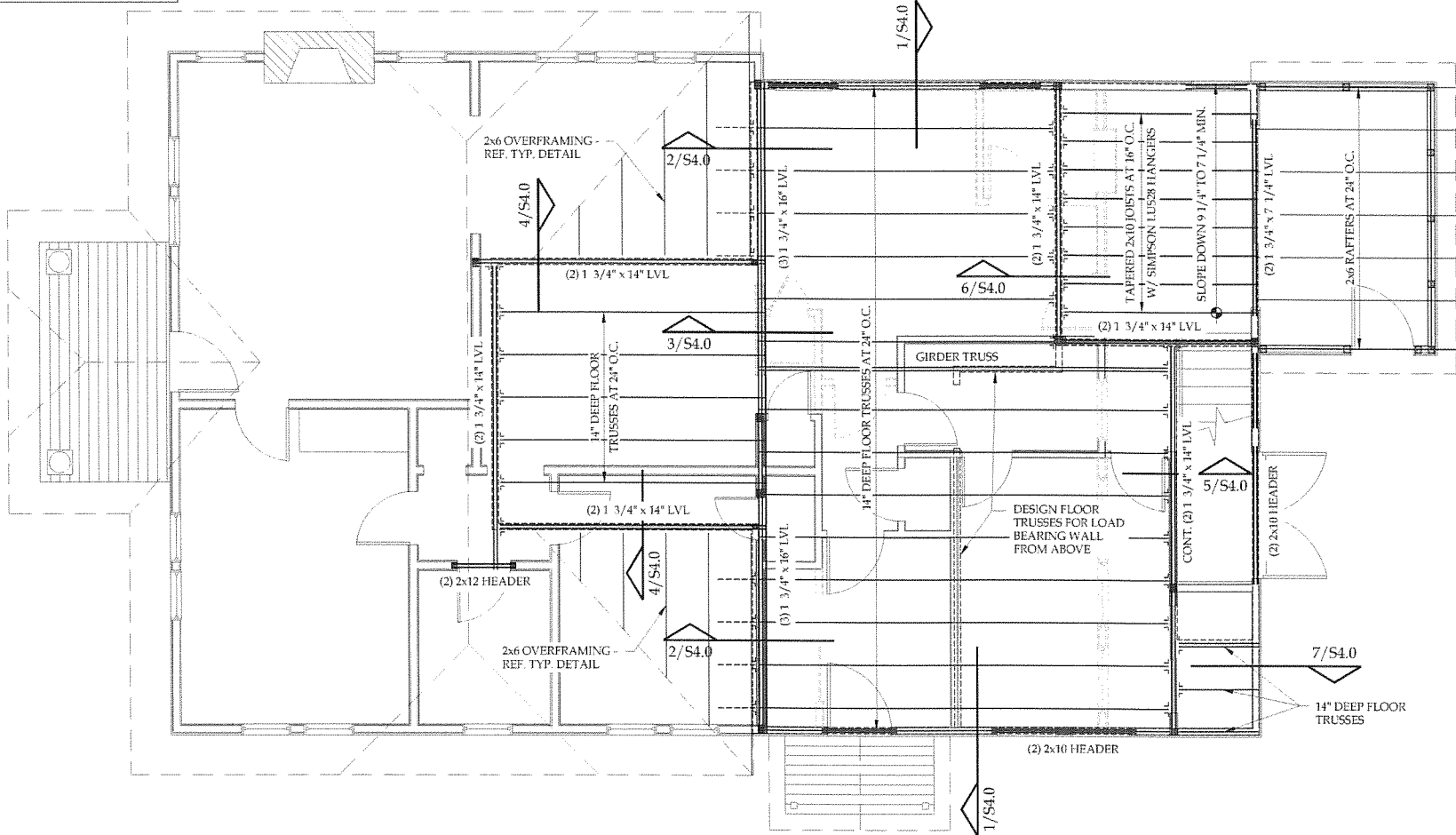
FOUNDATION PRINCIPLES

S1.0

2 OF 9

- NOTES:
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION. CONTACT ENGINEER IF CONDITIONS ARE DIFFERENT THAN SHOWN.
 - PROVIDE SHORING, BRACING, ETC. OF REMAINING STRUCTURE AS REQ'D. FOR SAFETY AND STRUCTURAL INTEGRITY.
 - PROVIDE WEATHER PROTECTION FOR THE DURATION OF THE DEMOLITION WORK.
 - REF. ARCH'L DRAWINGS FOR ALL OPENING DIMENSIONS AND LOCATIONS TO LOCATE NEW FRAMING AND FOOTING LOCATIONS.
 - REPLACE ANY DAMAGED WOOD FRAMING WITH MEMBERS OF SAME SIZE AND SPACING. NOTIFY ENGINEER OF ANY STRUCTURAL DEFICIENCIES FOUND IN EXISTING FRAMING THAT NEED TO BE ADDRESSED (I.E. SPLIT, CUT, OR MEMBERS SHOWING EXCESSIVE DEFLECTIONS).
 - ALL NEW HEADERS IN 2x4 STUD WALLS SHALL BE (2) 2x6 NO. 2 SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
 - ALL RAFTERS ARE 2x8 NO. 2 SOUTHERN YELLOW PINE AT 24" ON CENTER MAXIMUM SPACING UNLESS NOTED OTHERWISE.
 - TRUSS MFR. TO PROVIDE FACE MOUNT HANGERS FOR ALL TRUSSES WHERE REQUIRED.
 - BRACE DOWN TO WALL OR BEAM BELOW

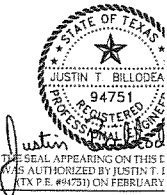
CEILING JOIST SCHEDULE		
JOISTS / SPACING	MAX. SPAN W/O ATTIC STORAGE (LIVE LOAD = 10 PSF)	MAX. SPAN W/ ATTIC STORAGE (LIVE LOAD = 20 PSF)
2 x 6's AT 24" O.C.	11'-0"	10'-0"
2 x 8's AT 24" O.C.	14'-6"	13'-0"
2 x 10's AT 24" O.C.	18'-6"	16'-6"
2 x 12's AT 24" O.C.	22'-6"	19'-6"
ALL JOISTS ARE NO. 2 SOUTHERN YELLOW PINE		
INSTALL FULL DEPTH BLOCKING BETWEEN JOISTS AT 8'-0" O.C. MAX. SPACING		
JOIST/RAFTER HANGER SCHEDULE		
JOIST/RAFTER SIZE	SIMPSON FACEMOUNT HANGER	SIMPSON CONCEALED FLANGE HANGER
2 x 6's/2 x 8's	LUS26	LUC26
2 x 10's/2 x 12's	LUS210	LUC210
(2) 2 x 6's/ (2) 2 x 8's	LUS26-2	HUC26-2
(2) 2 x 10's/ (2) 2 x 12's	LUS210-2	HUC210-2
(3) 2 x 10's	LUS210-3	HUC210-3
(2) 1 3/4"x 11 1/4" LVL	HHUS410	N/A
(3) 1 3/4"x 11 1/4" LVL	HHUS530/10	N/A
(2) 1 3/4"x 14" LVL	HHUS410	N/A
PROVIDE ZMAX HANGERS AT ALL TREATED LUMBER.		



1. FLOOR AND LOW ROOF FRAMING PLAN

1/4" = 1'-0"

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AUSTIN, TEXAS 78751

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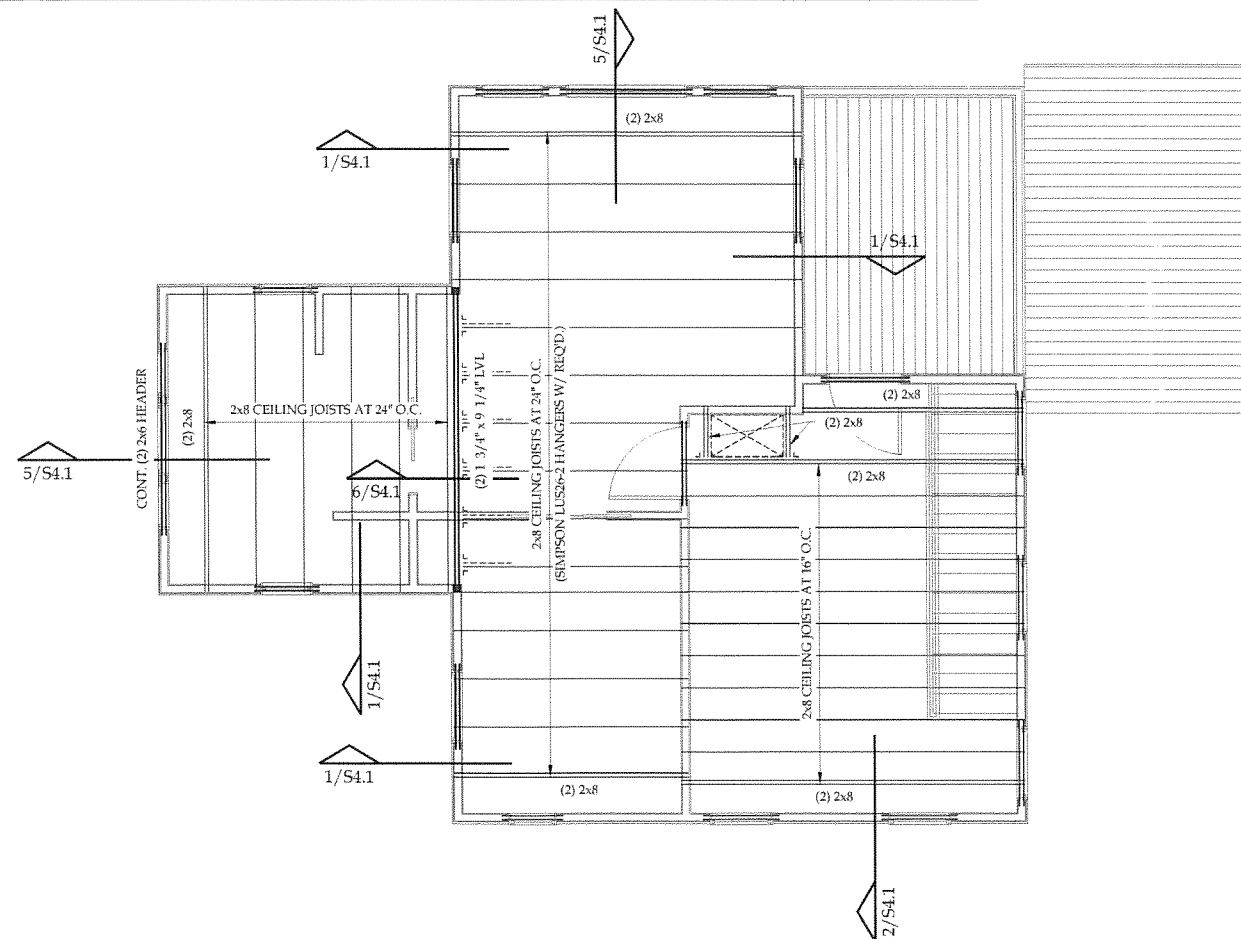
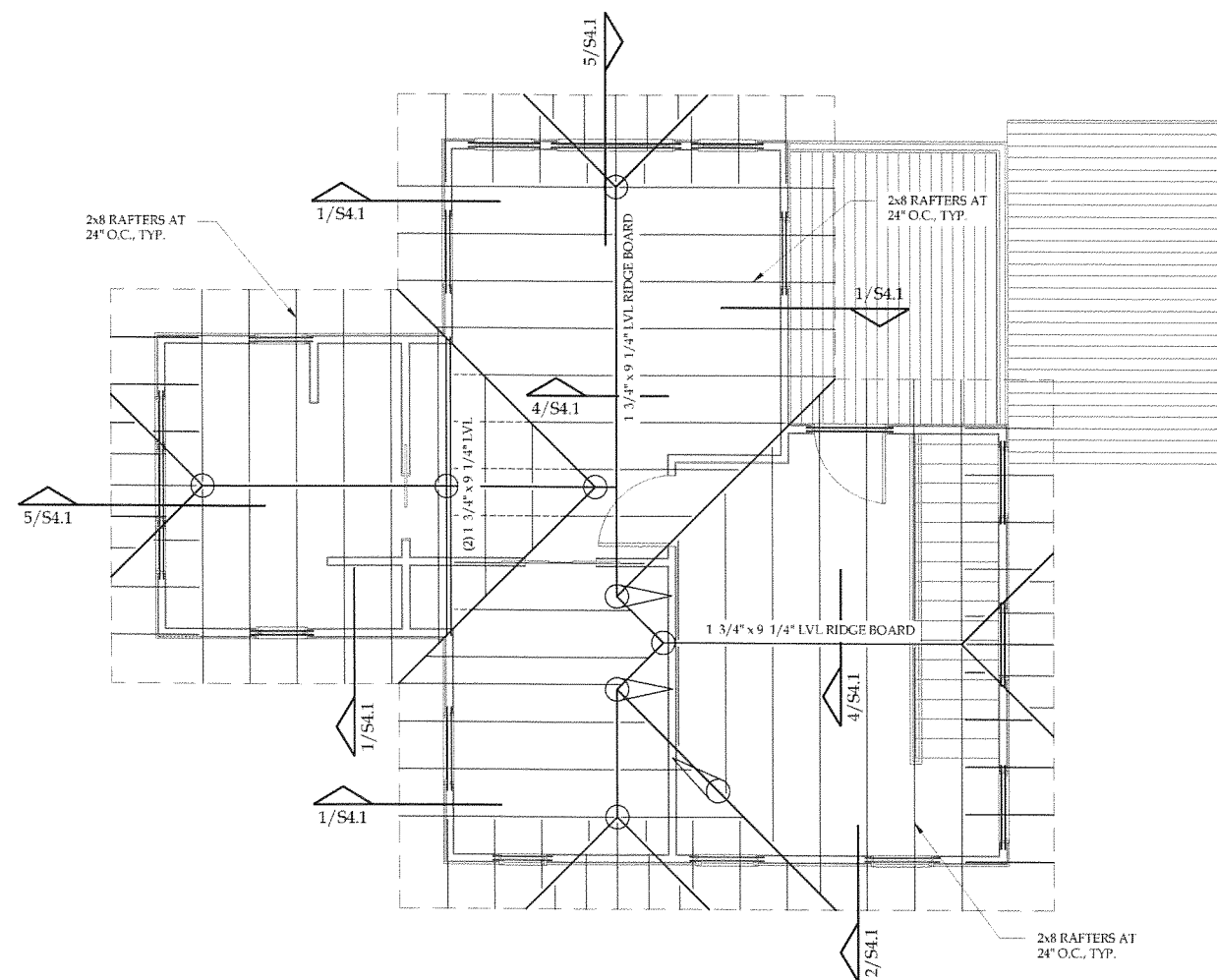
DATE	0
PROJECT NUMBER	
REVISIONS	

FLOOR AND LOW ROOF FRAMING PLAN

S2.0

1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION. CONTACT ENGINEER IF CONDITIONS ARE DIFFERENT THAN SHOWN.
2. PROVIDE SHORING, BRACING, ETC. OF REMAINING STRUCTURE AS REQ'D. FOR SAFETY AND STRUCTURAL INTEGRITY.
3. PROVIDE WEATHER PROTECTION FOR THE DURATION OF THE DEMOLITION WORK.
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6. ALL NEW HEADERS IN 2x4 STUD WALLS SHALL BE (2) 2x6 NO. 2 SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
7. ALL RAFTERS ARE 2x8 NO. 2 SOUTHERN YELLOW PINE AT 24" ON CENTER MAXIMUM SPACING UNLESS NOTED OTHERWISE.
8. TRUSS MFR. TO PROVIDE FACE MOUNT HANGERS FOR ALL TRUSSES WHERE REQUIRED.
9. BRACE DOWN TO WALL OR BEAM BELOW

CEILING JOIST SCHEDULE		
JOISTS / SPACING	MAX. SPAN W/O ATTIC STORAGE (LIVE LOAD = 10 PSF)	MAX. SPAN W/ ATTIC STORAGE (LIVE LOAD = 20 PSF)
2 x 6s AT 24" O.C.	11'-0"	10'-0"
2 x 8s AT 24" O.C.	14'-6"	13'-0"
2 x 10s AT 24" O.C.	18'-6"	16'-6"
2 x 12s AT 24" O.C.	22'-6"	19'-6"
ALL JOISTS ARE NO. 2 SOUTHERN YELLOW PINE		
INSTALL FULL DEPTH BLOCKING BETWEEN JOISTS AT 8'-0" O.C. MAX. SPACING		
JOIST / RAFTER HANGER SCHEDULE		
JOIST / RAFTER SIZE	SIMPSON FACEMOUNT HANGER	SIMPSON CONCEALED FLANGE HANGER
2 x 6s / 2 x 8s	LUS26	LUC26
2 x 10s / 2 x 12s	LUS210	LUC210
(2) 2 x 6s / (2) 2 x 8s	LUS26-2	HUSC26-2
(2) 2 x 10s / (2) 2 x 12s	LUS210-2	HUC210-2
(3) 2 x 10s	LUS210-3	HUC210-3
(2) 1 3/4" x 11 1/4" LVL	HHUS410	N/A
(3) 1 3/4" x 11 1/4" LVL	HHUS55 / 30 / 10	N/A
(2) 1 3/4" x 14" LVL	HHUS410	N/A
PROVIDE ZMAX HANGERS AT ALL TREATED LUMBER.		


$$1/4'' = 1'' - 0''$$

$$1/4'' = 1'-0''$$

Justin

THE SEAL APPEARING ON THIS
 WAS AUTHORIZED BY JUSTIN T.
 (TX P.E. #94751) ON FEBRUARY

ARCH
CONSULTING ENGINEERS, PLLC
TRUCKEE, CALIFORNIA

MARTINSON ADDITION
4311 AVENUE F
AUSTIN, TEXAS 78751

DATE	0
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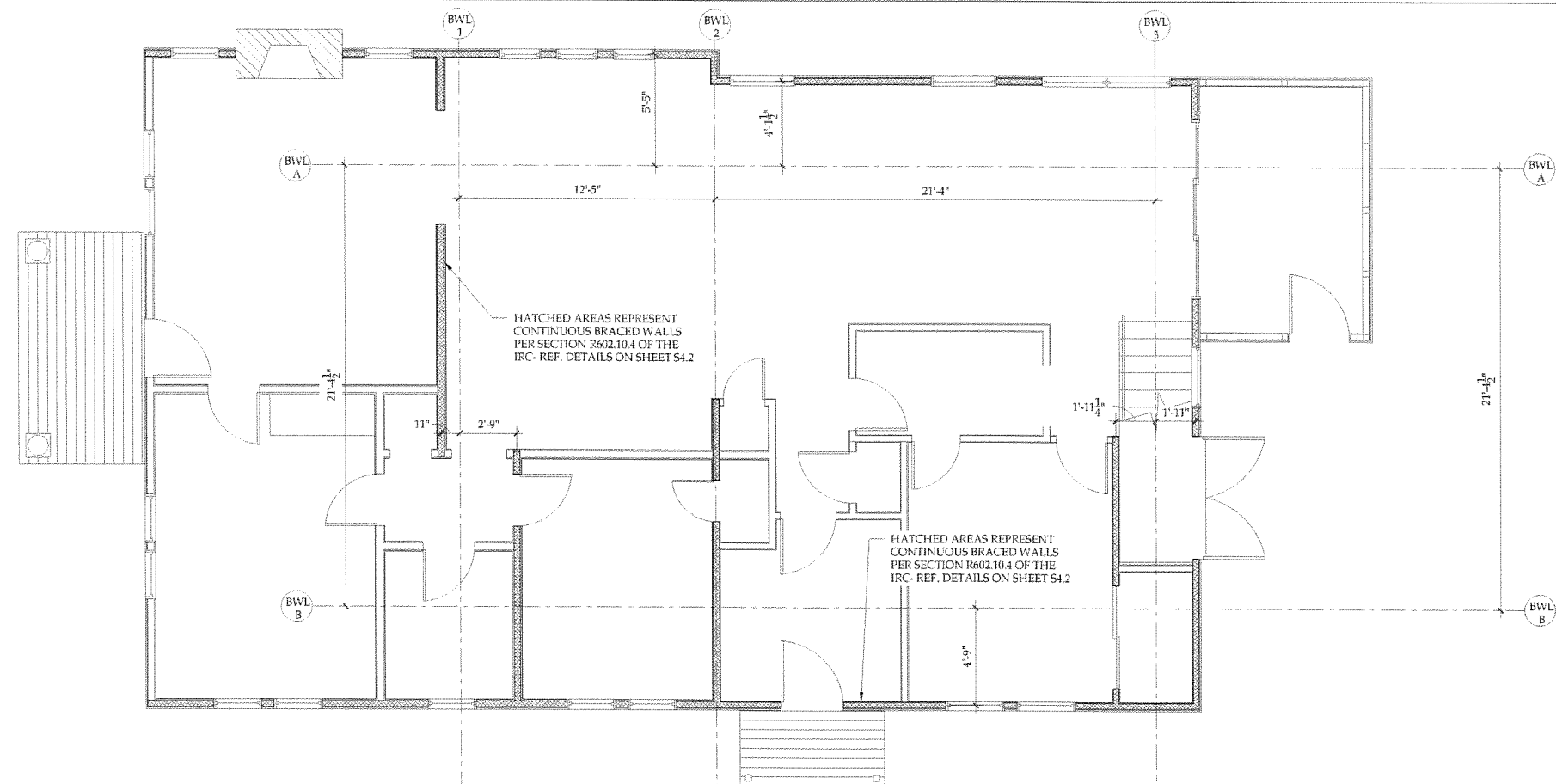
CEILING AND UP
ROOF FRAMING F

S2.1

4 OF 9

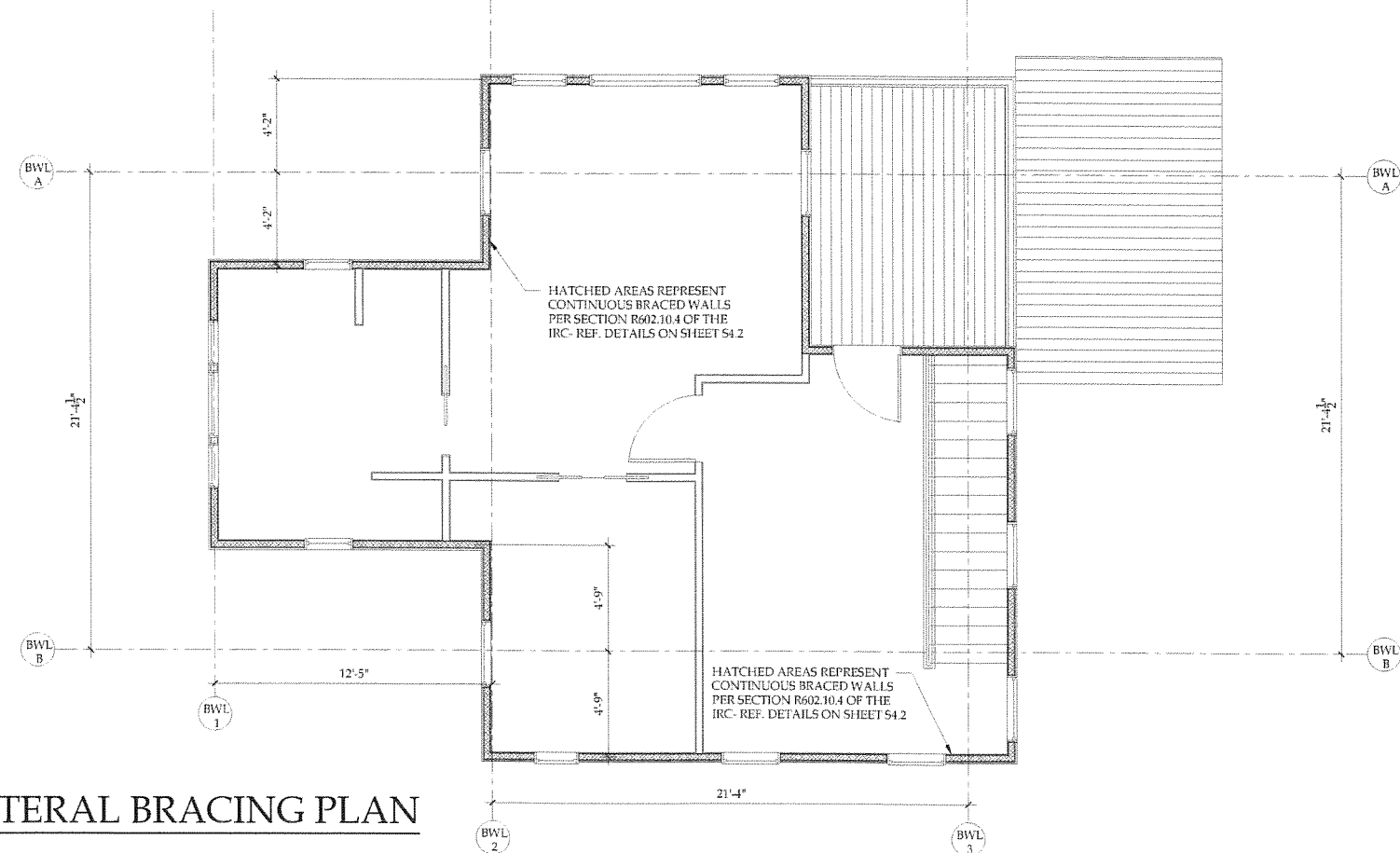
LATERAL BRACING NOTES

1. ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH PLYWOOD PER GENERAL NOTES. ALL SHEATHING SHALL BE NAILED TO SUPPORTING MEMBERS ALONG THE EDGES WITH 8d NAILS SPACED AT 6" O.C. AND AT INTERMEDIATE SUPPORTS WITH 8d NAILS SPACED AT 12" O.C. PROVIDE SOLID 2" BLOCKING AT ALL JOINTS IN PLYWOOD SHEAR WALLS.
2. ALL INTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH 1/2" MINIMUM THICKNESS GYPSUM BOARD. ALL SHEATHING SHALL BE ATTACHED TO SUPPORTING MEMBERS WITH 1 1/4" LONG SCREWS (TYPE W OR S) SPACED AT 12" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS IN ACCORDANCE WITH TABLE R702.3.5 OF THE IRC.



1. FIRST LEVEL LATERAL BRACING PLAN

1/4" = 1'-0"



2. SECOND LEVEL LATERAL BRACING PLAN

1/4" = 1'-0"

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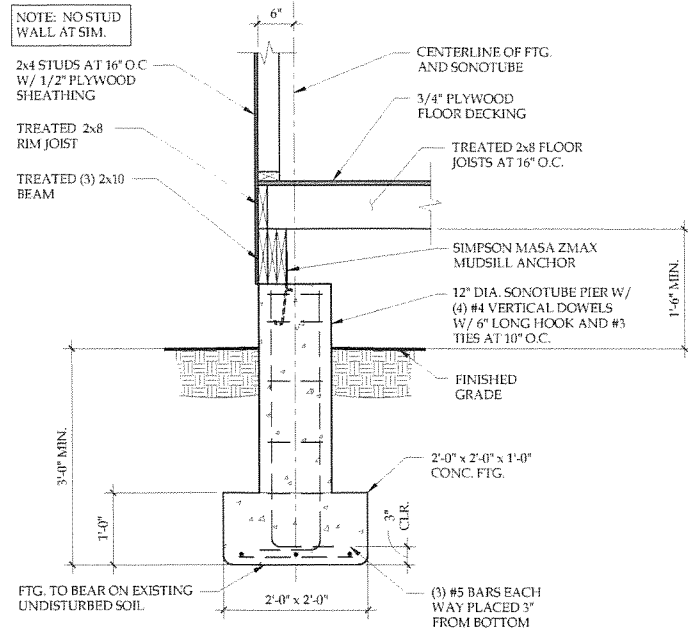
MARTINSON ADDITION
AUSTIN, TEXAS 78751
4311 AVENUE F

DATE: 0
PROJECT NUMBER:
REVISIONS:

LATERAL BRACING
PLANS

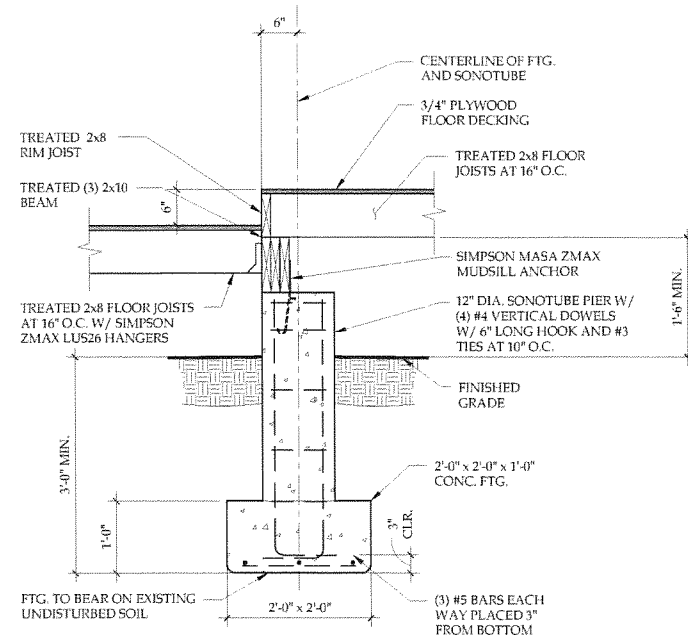
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5 OF 9



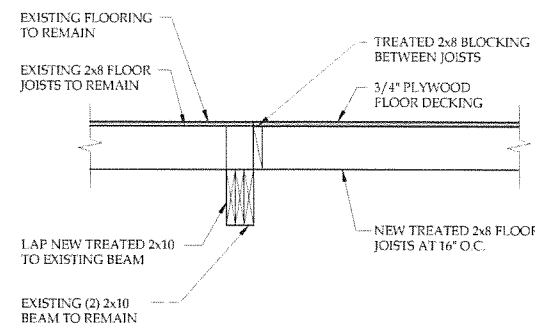
1. TYP. PERIMETER DETAIL

3/4" = 1'-0"



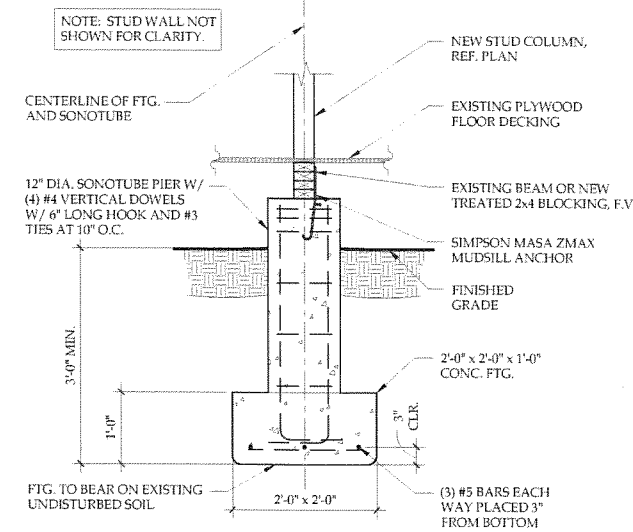
5. DETAIL AT PORCH

3/4" = 1'-0"



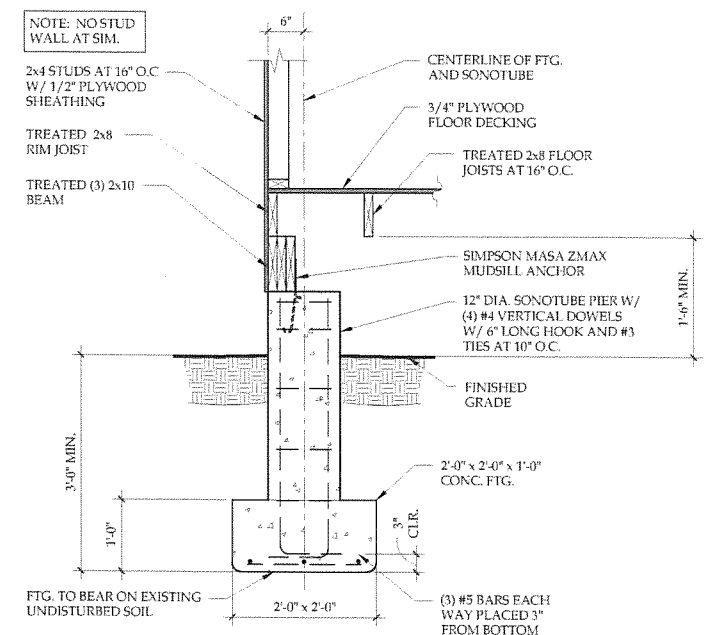
2. DETAIL AT EXISTING

3/4" = 1'-0"



3. FOOTING DET. AT EXISTING

3/4" = 1'-0"



4. TYP. PERIMETER DETAIL

3/4" = 1'-0"



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AUSTIN, TEXAS 78751

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AUSTIN, TEXAS 78751

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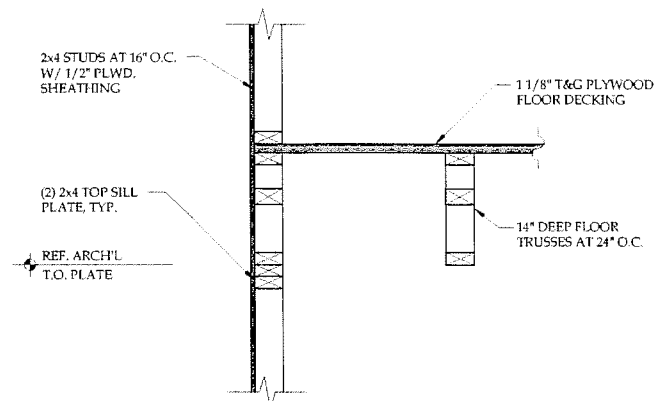
REVISIONS _____

FOUNDATION DET.

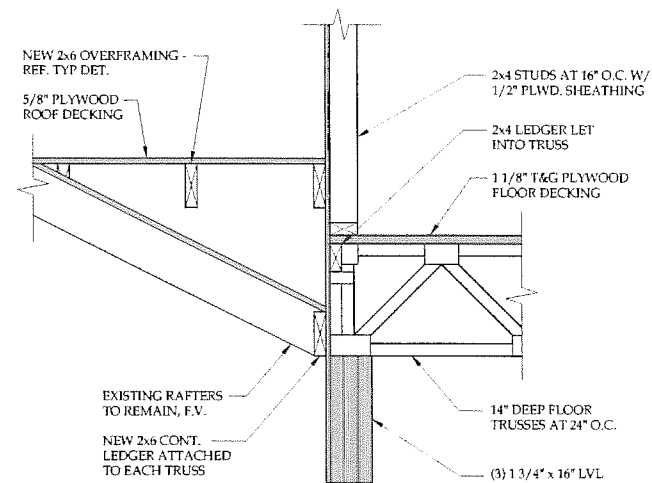
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6 OF 9

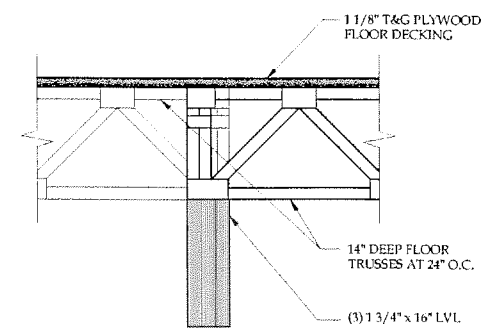
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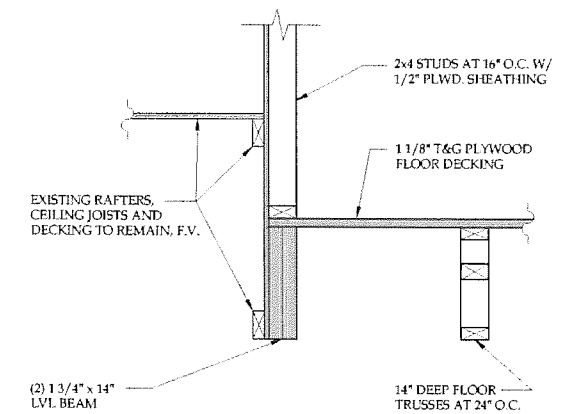
1. FLOOR TRUSS AT EXT. WALL
1" = 1'-0"



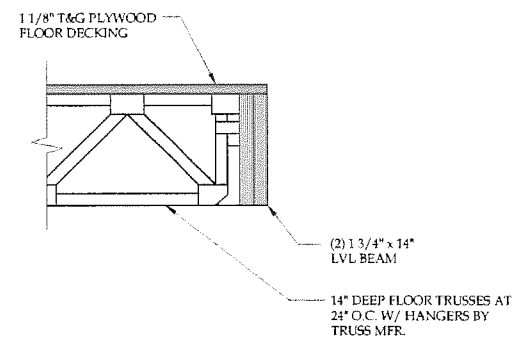
2. TRUSS TO BEAM AT EXISTING
1" = 1'-0"



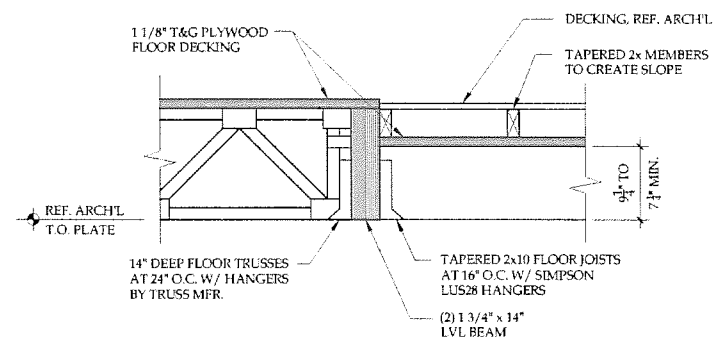
3. TRUSS TO BEAM AT FLOOR
1" = 1'-0"



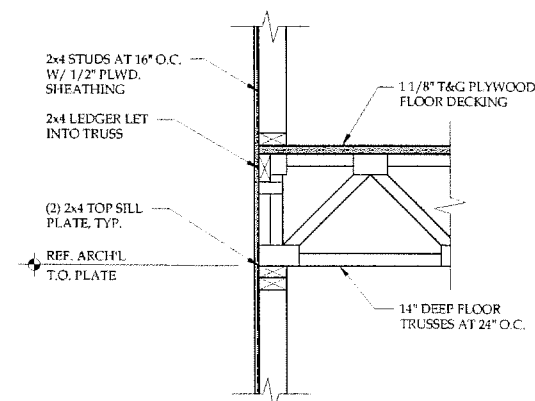
4. BEAM / JOISTS AT FLOOR
1" = 1'-0"



5. TRUSS TO BEAM CONN.
1" = 1'-0"



6. TRUSS TO BEAM AT DECK
1" = 1'-0"



7. FLOOR TRUSS AT EXT. WALL
1" = 1'-0"



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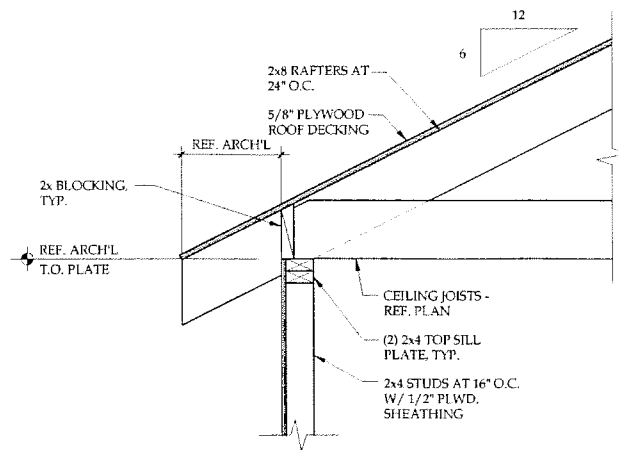
DATE _____
PROJECT NUMBER _____
REVISIONS _____

FRAMING DETAIL

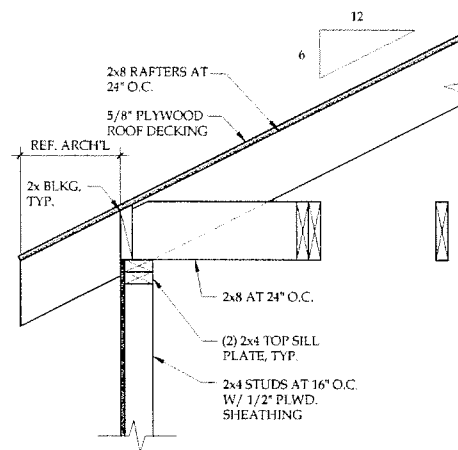
S4.C

7 OF 9

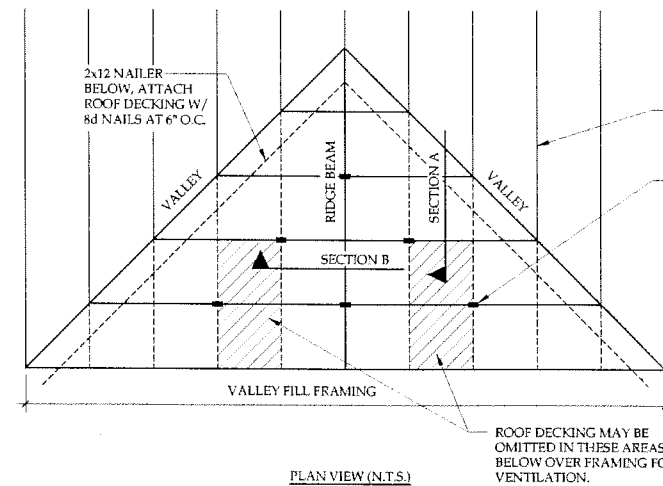
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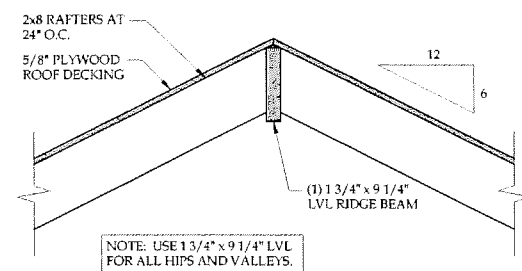
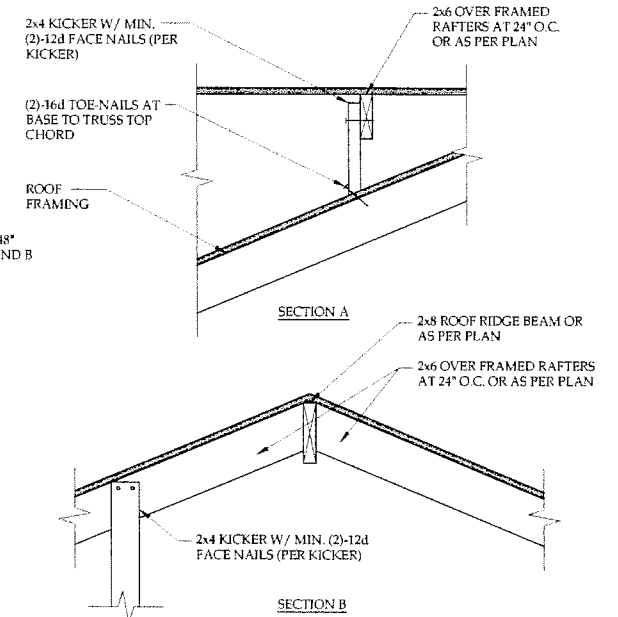
1. SECT. AT RAFTER / CEILING JOIST
1" = 1'-0"



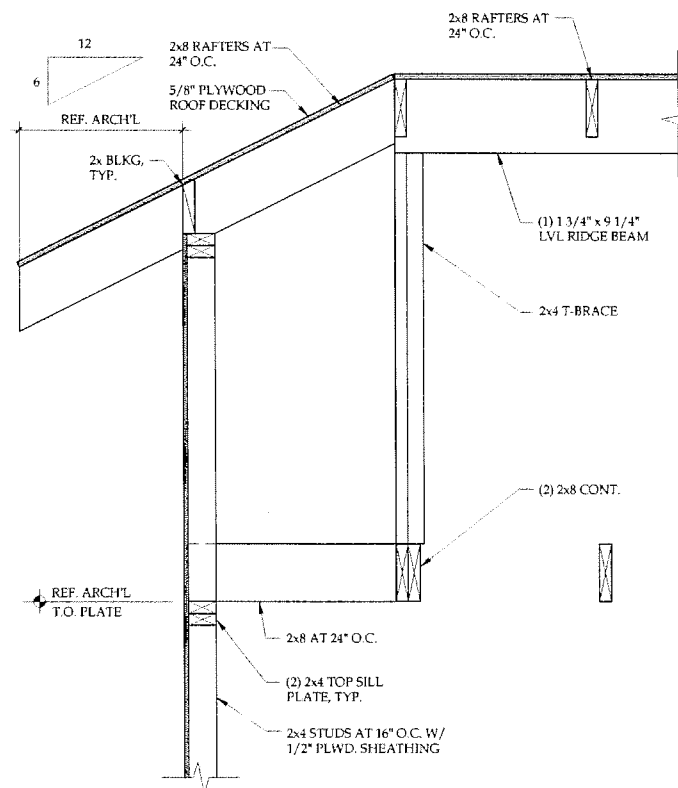
2. SECTION AT RAFTER
1" = 1'-0"



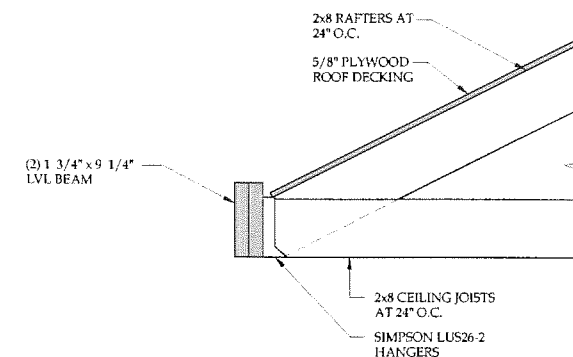
3. TYP. OVERFRAMING DETAIL
N.T.S.



4. SECT. AT RIDGE BEAM
1" = 1'-0"



5. SECTION AT DUTCH HIP
1" = 1'-0"



6. SECTION AT LVL BEAM
1" = 1'-0"

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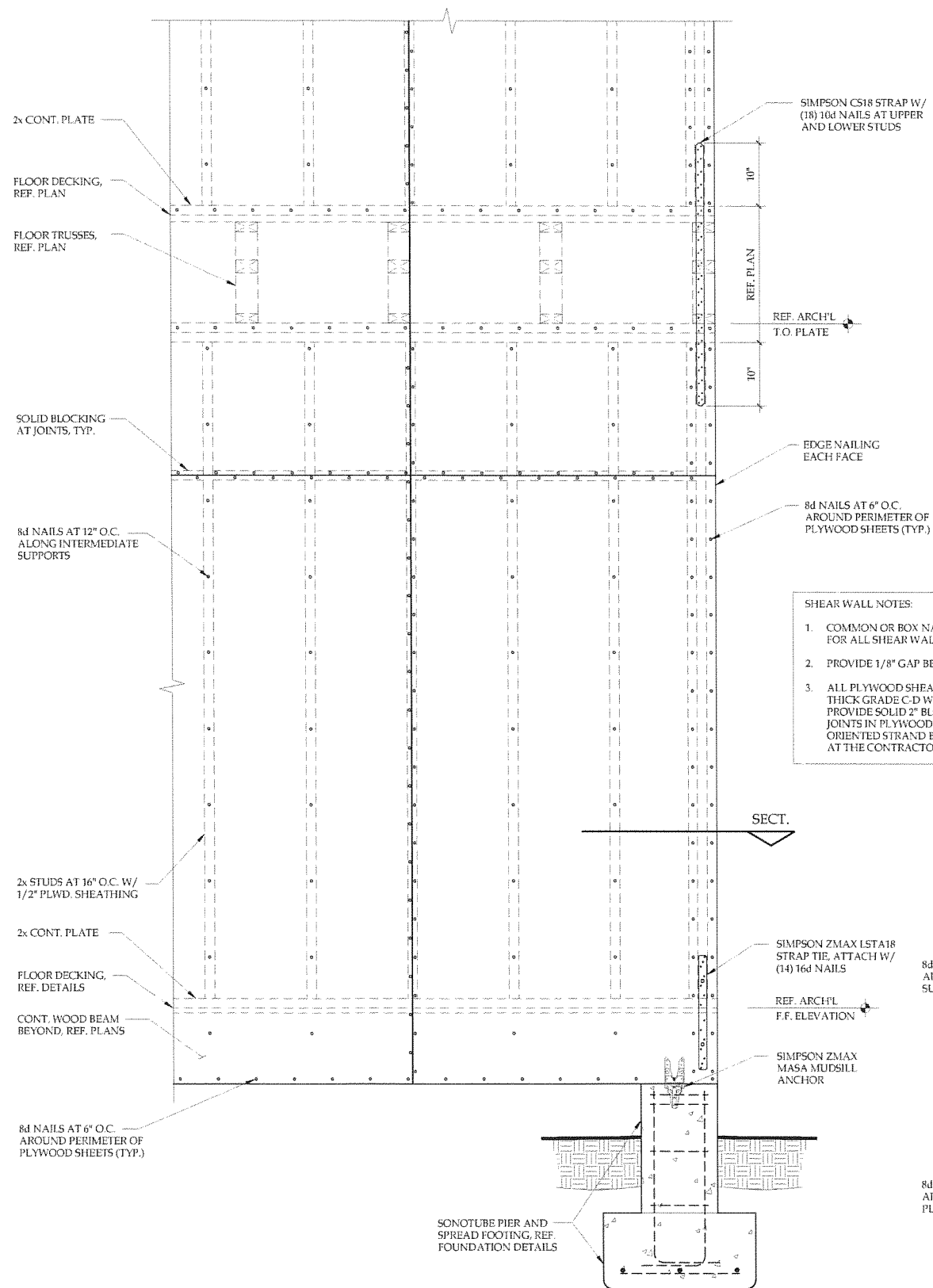
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4311 AVENUE F
AUSTIN, TEXAS 78751

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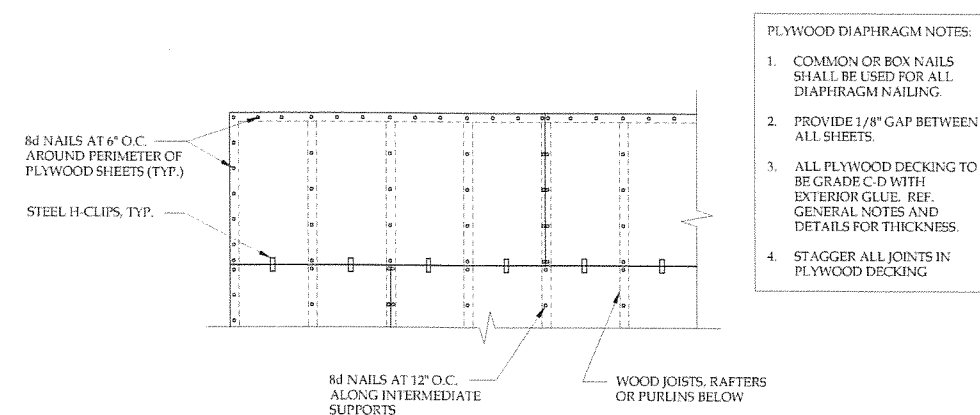
FRAMING DATA

S4.

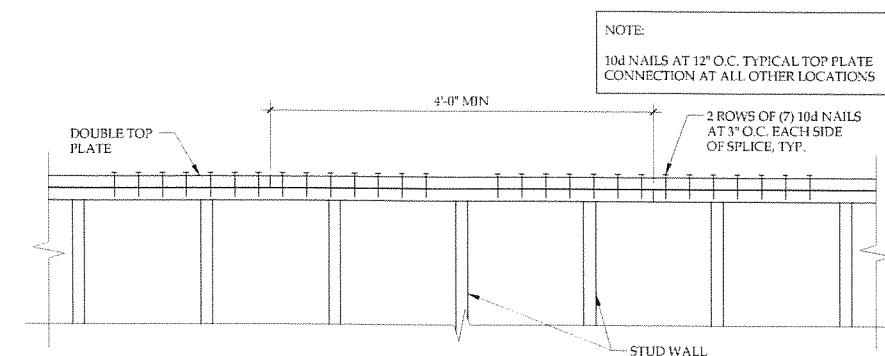
8 OF 9



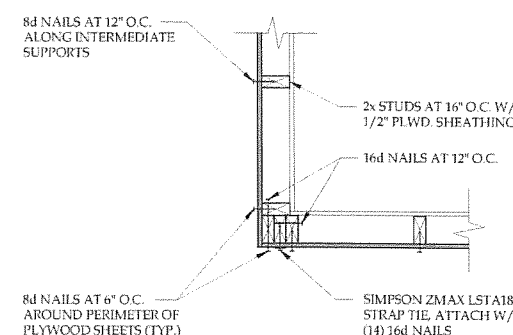
1. TYP. SHEARWALL NAILING PATTERN
N.T.S.



2. TYPICAL ROOF DECK NAILING PATTERN
N.T.S.



3. TYP. TOP PLATE SPLICE
N.T.S.



SECTION

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TRAPE Registration # F-6264

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LATERAL BRACE
DETAILS

S4.2

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