

PROJECT TEAM
Owner:
Jason and Erin Martinson
4311 Avenue F
Austin, TX 78751

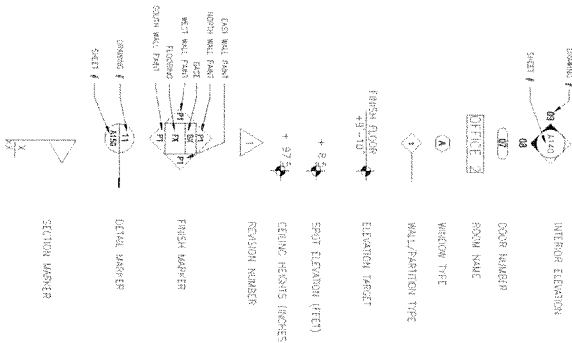
PROJECT DESCRIPTION
NEW SINGLE-FAMILY RESIDENCE ADDITION for Mr. and Mrs
Martinson at 4311 Avenue F Austin, TX 78751

INDEX OF DRAWINGS

Builder:
**TRUE HOME
DESIGN BUILD**
Shawn Truitt
3707 Bedford Rd.
Austin, Texas 78723
979-466-7126

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SYMBOL KEY



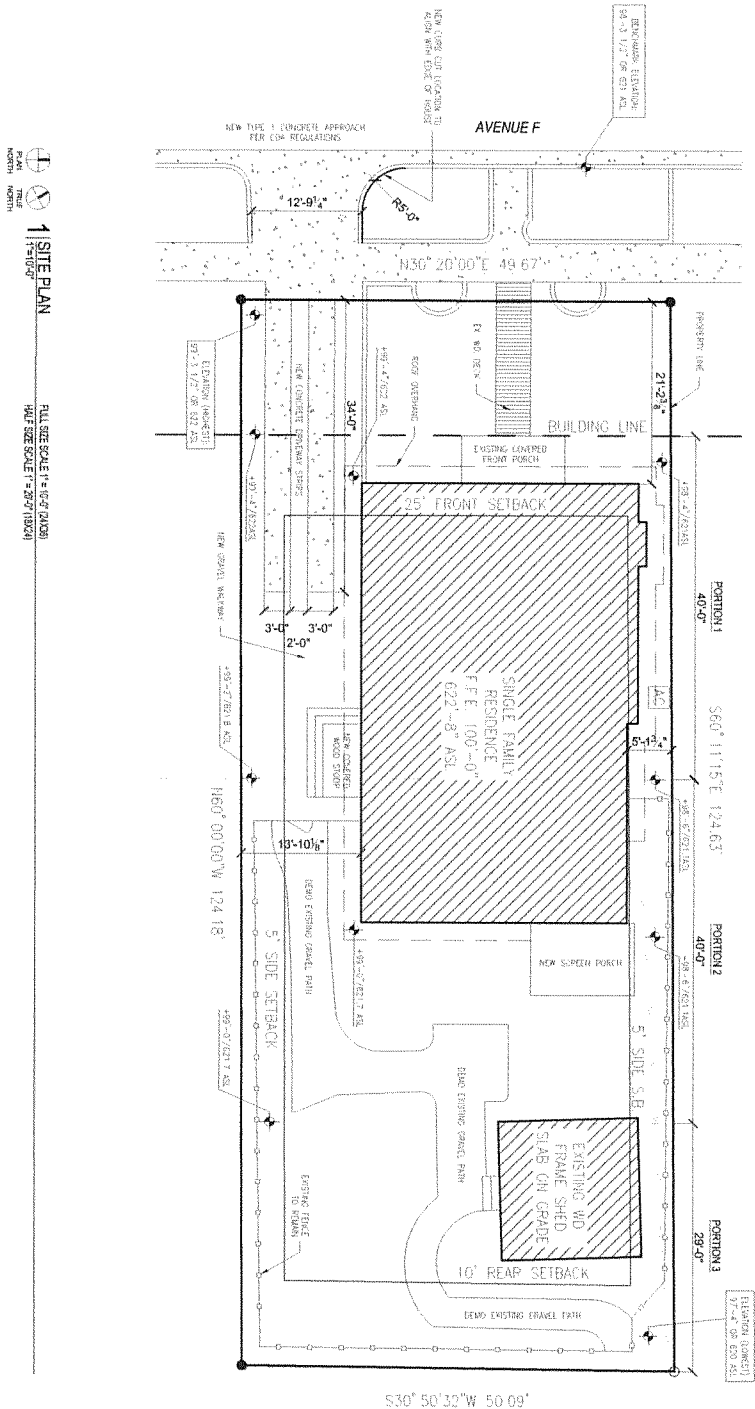
GENERAL NOTES

1. ANY AND ALL WORK INSTALLED IN CONFLICT WITH THESE DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
2. THE GENERAL CONTRACTOR AND SUB CONTRACTORS MUST CERTIFY THAT ALL MATERIALS ARE FREE OF ADDED UREA FORMALINIDE.
3. THE GENERAL CONTRACTOR AND ALL APPROPRIATE SUB-CONTRACTORS ARE RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAYING FOR ALL FEES REQUIRED TO CONSTRUCT THE PROJECT AS DESCRIBED OR INFERRED BY THESE DRAWINGS INCLUDING MECHANICAL, ELECTRICAL, PLUMBING, CONVEYANCE AND ANY PERMITS THAT MAY NOT BE WAIVED BY SHAWH HOLDINGS.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF WATERMETERS, ELECTRICAL METERS, SEWER CONNECTION FEES AND ANY REQUIRED TESTING.
5. WORK NOT SPECIFICALLY SET FORTH IN THESE DOCUMENTS BUT REASONABLY IMPLIED SHALL BE INCLUDED AND INSTALLED IN A WORKMANLIKE MANNER.
6. GENERAL CONTRACTOR SHALL CONSULT WITH THE REPRESENTATIVES OF THE WATER, SEWER, ELECTRIC, GAS AND TELECOM COMPANIES TO VERIFY AVAILABLE FACILITIES ABOVE AND BELOW GROUND AND THE FEE AND CHARGES FOR CONNECTION TO THESE FACILITIES. OWNER SHALL PAY THE COST OF SUCH FEES.
7. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ADJACENT OF ANY DISAPPEARANCE OR OMISSION IN THESE DOCUMENTS PRIOR TO DOING ANY WORK.

AREA CALCULATIONS (EXISTING CONDITIONS)		
AREA DESCRIPTION	EXISTING SQ. FT.	
EXISTING BUILDING COVERAGE		
BUILDING COVERAGE AREA	1435	
PAVING	0	
COVERED PARKING	0	
COVERED PAUL, DECK, PORCH	68	
GRASS	0	
SHED	262	
TOTAL GROSS BUILDING AREA	1,703	
EXISTING SITE COVERAGE		
UNCOVERED DECKS AND STAIRS (SQFT)	706 (33%)	
GRAVEL DRIVE (SQFT)	546 (28%)	
GRAVEL WALK (SQFT)	574 (28%)	
AC PAVES	6	
OTHER	229	
TOTAL EXISTING SITE COVERAGE	2,265 SQ. FT.	
TOTAL SITE AREA *	6,205 SQ. FT.	
PROPOSED WATERWAYS COVER (INCLUDING COVERAGE + SITE COVERAGE) =	2,600 SQ. FT.	
% WATERWAYS COVER =	43.3%	

AREA CALCULATIONS (PROPOSED)		
AREA DESCRIPTION	NEW SQ. FT.	(TOTAL)
PROPOSED NEW BUILDING COVERAGE		
BUILDING COVERAGE AREA	1,277	
PAVING	0	
COVERED PARKING	38	
COVERED PAUL, DECK, PORCH	106	
GRASS	0	
SHED	262	
TOTAL GROSS BUILDING AREA	2,183	
PROPOSED SITE COVERAGE		
UNCOVERED DECKS AND STAIRS (SQFT)	204	
CONCRETE DRIVEWAY STAIRS	63 (31%)	
UNCOVERED WOOD DECKS AND STAIRS	27 (13%)	
GRASS	6	
AC PAVES	0	
OTHER	0	
TOTAL EXISTING SITE COVERAGE	294	
TOTAL SITE AREA *	6,205 SQ. FT.	
PROPOSED WATERWAYS COVER (INCLUDING COVERAGE + SITE COVERAGE) =	2,493 SQ. FT.	
% WATERWAYS COVER =	40%	

FLOOR TO AREA, RATIO (FAR)		
AREA DESCRIPTION	NEW SQ. FT.	
TOTAL REPRESENTATIVE EXISTING SINGLE-FAMILY HOMES		
1ST FLOOR CONDITONED AREA	1,544	
2ND FLOOR CONDITONED AREA	733	
*197 ADDITIONAL SQFT REMAIN FOR ADDITION OF FUTURE GROUND PARCELS	0	
ATTIC	0	
CARPETS	0	
CEILING OVER 16FT	0	
TOTAL GROSS FLOOR AREA =	2,277	
FLOOR TO AREA RATIO (FAR)	0.215	
TOTAL GROSS FLOOR AREA/SITE AREA =	37	



C 2013 TRUE HOME DESIGN BUILD

MARTINSON ADDITION
4311 AVENUE F
AUSTIN, TX 78751

ISSUE DATES:
01-06-16 ISSUE FOR OWNER REVIEW
01-31-16 ISSUE FOR PERMIT

PROJECT NO:

DATE:

SHEET NAME:
COVER &
PLOT PLAN

SHEET NUMBER:

G101

Shawn Truitt
Shawn Truitt Design Build
3707 Bedford Rd.
Austin, TX 78723
979-466-7126

truehome
Design.Build

MARTINSON ADDITION

4311 AVENUE F
AUSTIN, TX 78751

C 2013 SHALE CONCEPTS, LLC

ISSUE DATES:	
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PROJECT NO:

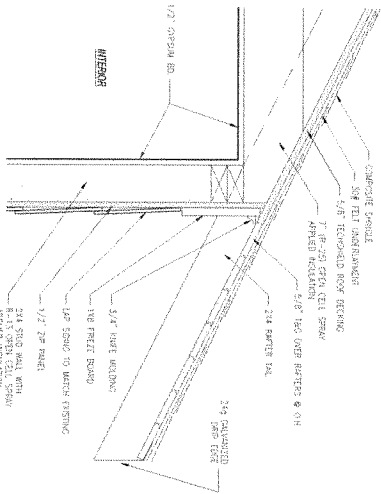
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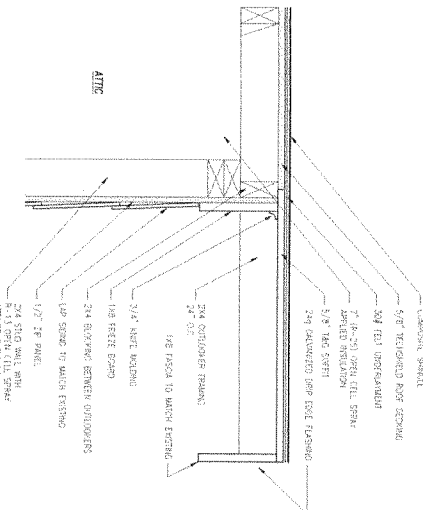
ROOF PLAN

SHEET NUMBER:

A104

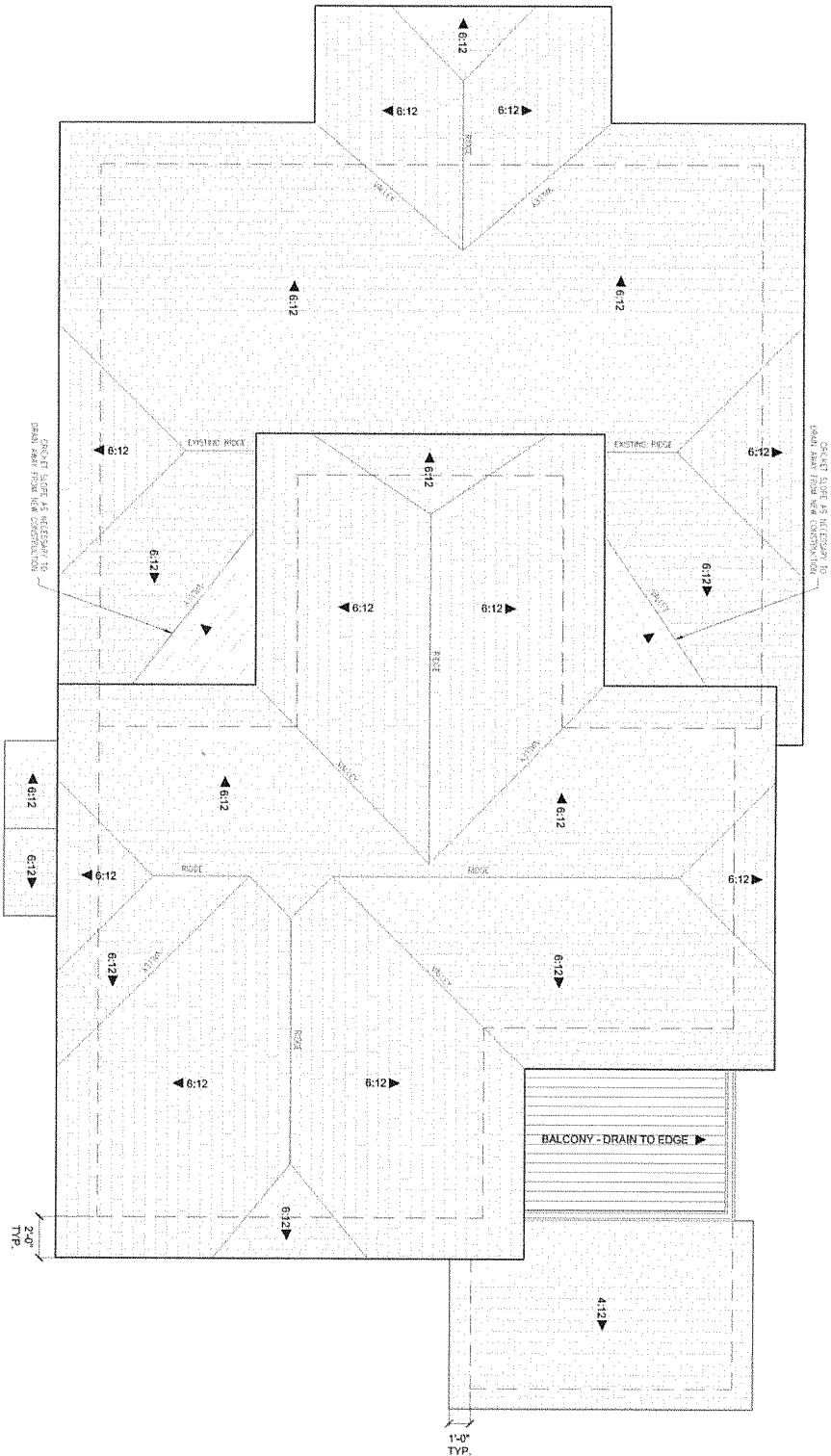


3) TYPICAL O.H. DETAIL @ RAFTER TAIL
FULL SIZE SCALE 1/2" = 1'-0" (2X25)
HALF SIZE SCALE 3/4" = 1'-0" (10X4)



2) TYPICAL O.H. DETAIL @ OUTLOOKER
FULL SIZE SCALE 1/2" = 1'-0" (2X25)
HALF SIZE SCALE 3/4" = 1'-0" (10X4)

- ROOF PLAN NOTES:
1. ALL ROOFS TO RECEIVE NEW COMPOSITE SHINGLES.
 2. ALL NEW ROOF FINCHES TO BE 6:12 UNLESS OTHERWISE NOTED.



1) GROUND FLOOR PLAN
FULL SIZE SCALE 1/4" = 1'-0" (2X25)
HALF SIZE SCALE 3/8" = 1'-0" (10X4)



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PROJECT NO.

DATE _____

SHEET NAME

ELEVATIONS

SHEET NUMBER

A105

Shook Travis
Ideal True Home Design Build
3707 Bedford Rd.
Austin, TX 78723
979-996-7126



MARTINSON ADDITION
4311 AVENUE F
AUSTIN, TX 78751

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PROJECT NO.

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SHEET NAME:

ELEVATIONS

SHEET NUMBER

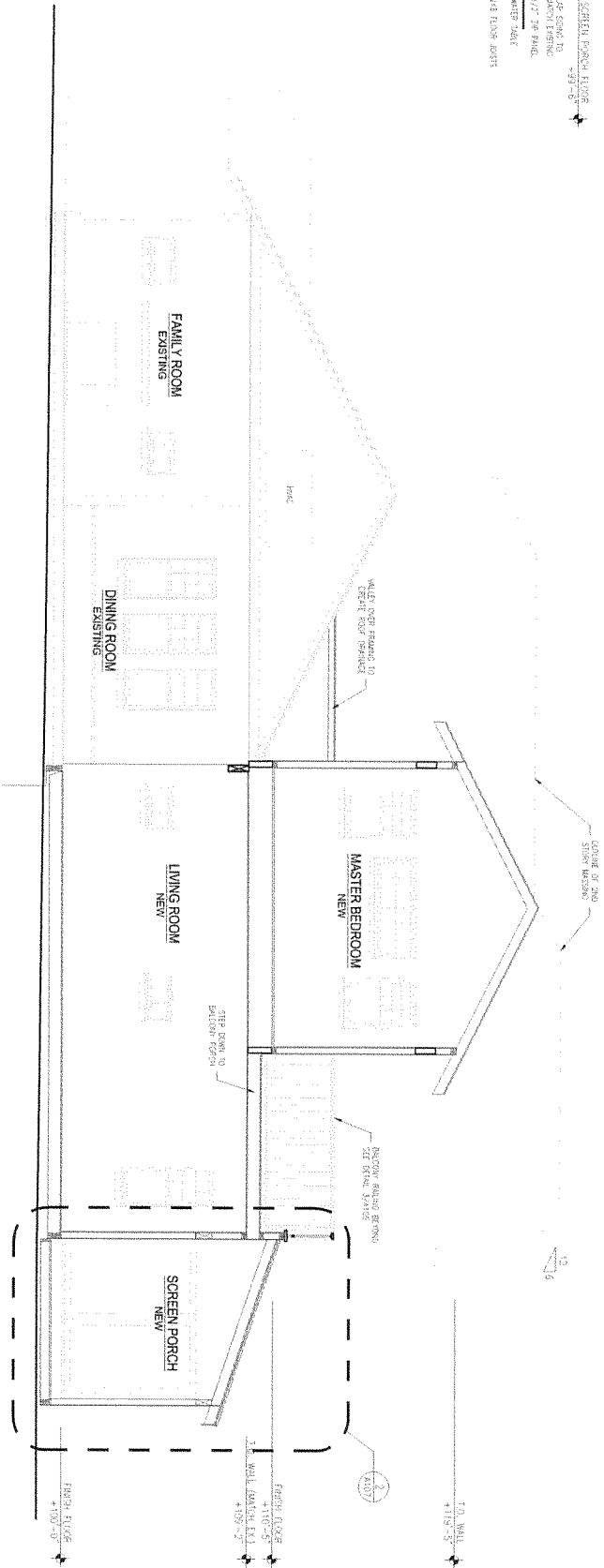
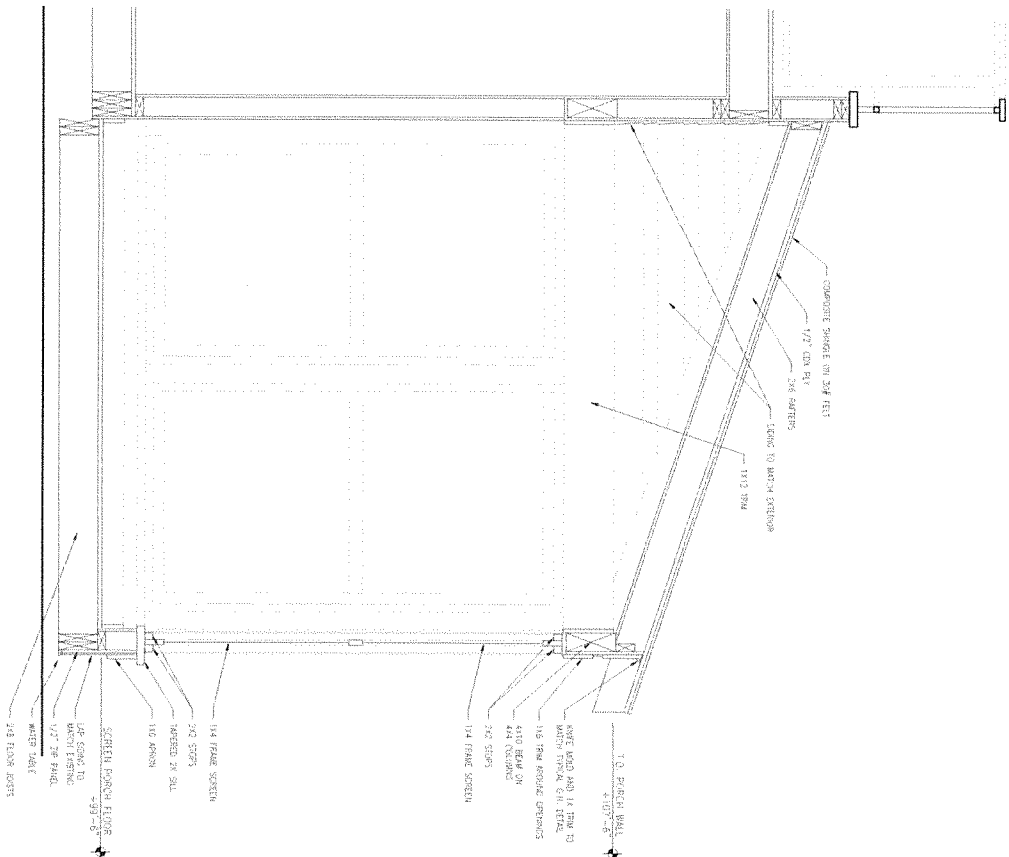
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AUSTIN, TX 78751

ISSUE DATES:	
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SHEET NAME	BUILDING SECTION
SHEET NUMBER	A107



2 | SCREEN PORCH SECTION
NEW
FULL SIZE SCALE (W=1/4\"/>

1 | BUILDING SECTION
NEW
FULL SIZE SCALE (W=1/4\"/>