

PROJECT:
SAWTELLE RESIDENCE
RENOVATION & ADDITION
4405 AVENUE B
AUSTIN, TEXAS 78751

ARCHITECT:
CLARK | RICHARDSON LLC
1715 E. 6th SUITE #206
AUSTIN, TX 78702
CONTACT: EDWARD RICHARDSON
512-529-9047
ed@clarkrichardson.com

GENERAL CONTRACTOR:

STRUCTURAL:
ARCH CONSULTING ENGINEERING PLLC
T.B.P.E. # F-9361
510 SOUTH CONGRESS
SUITE B-100
AUSTIN, TEXAS 78704
CONTACT: JUSTIN BILLODEAU
512-328-5353
justin@archce.net

ARCHITECT'S SEAL:



SCALE:
22X34: NTS
11X17: NTS

DATE:
03.28.2015

COVER

A0.00

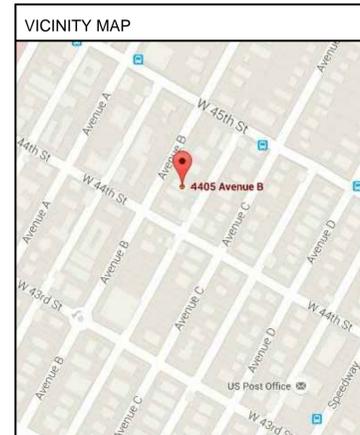


SAWTELLE RESIDENCE

4405 AVENUE B, AUSTIN, TEXAS 78751

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REVISION INDEX		
RVS.	DATE	DESCRIPTION
XX	XX/XX/20XX	XX SHEETS: AX.XX



ARCHITECTURAL SYMBOLS

DRAWING TITLE
DRAWING NUMBER → 1
FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

DETAIL KEY
DRAWING NUMBER → X
SHEET NUMBER → AX.X

REVISION MARKER
REVISION ADDENDA NUMBER → SKT

DOOR & WINDOW NUMBERS
1 DOOR DESIGNATION NUMBER
A WINDOW DESIGNATION NUMBER
WP-3 MATERIAL TAG
PARTITION TYPE

INTERIOR ELEVATION KEY
SOLID ARROW W/ CORRESPONDING LETTER DESIGNATION INDICATES DRAWING
1/A4.1 B SHEET NUMBER

WALL SECTION KEY
3/A4.1 DRAWING NUMBER
SHEET NUMBER

BUILDING SECTION CUT LINE
1/A3.2a DRAWING NUMBER/SHEET NUMBER
1/A3.2a

FINISH FLOOR ELEVATION
FIN. FLR. ENTRY 0'-0" F.F.
FINISH FLOOR ELEVATION

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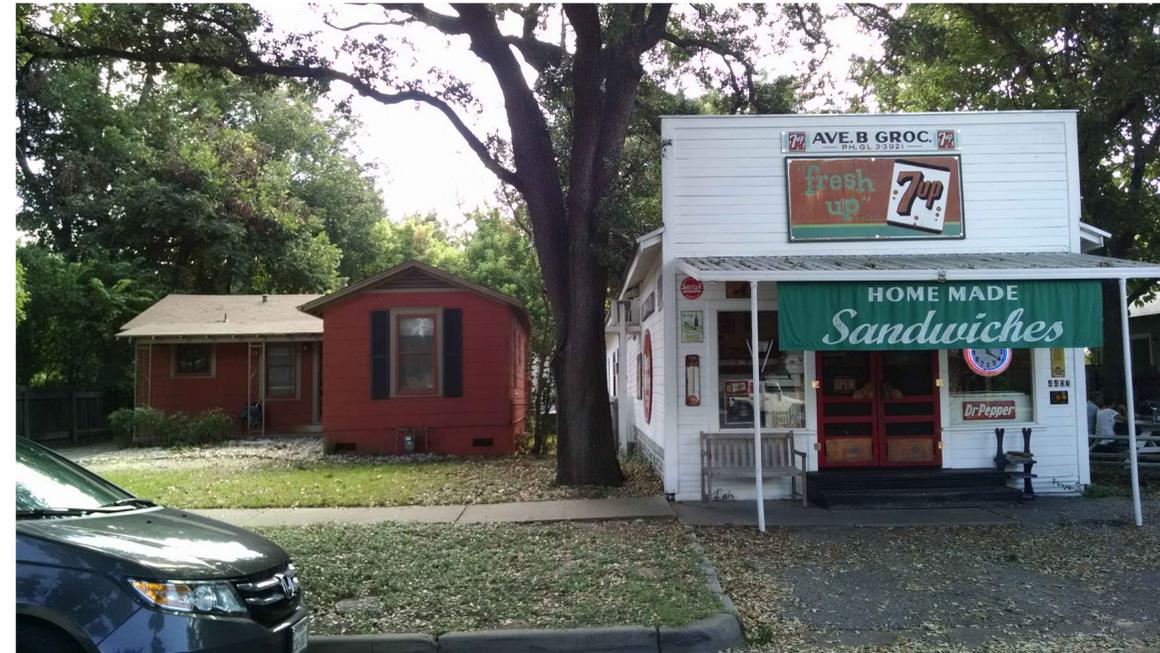
EXISTING PHOTOS

A0.01



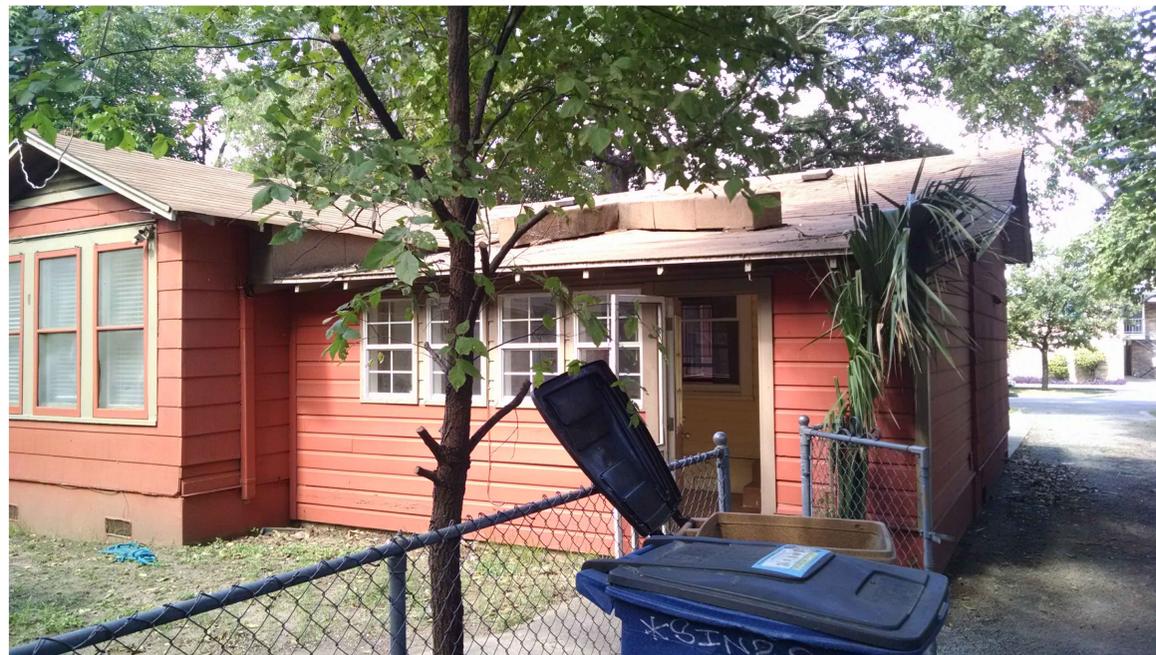
WEST FACADE

④



WEST FACADE W/ CONTEXT

③



EAST FACADE

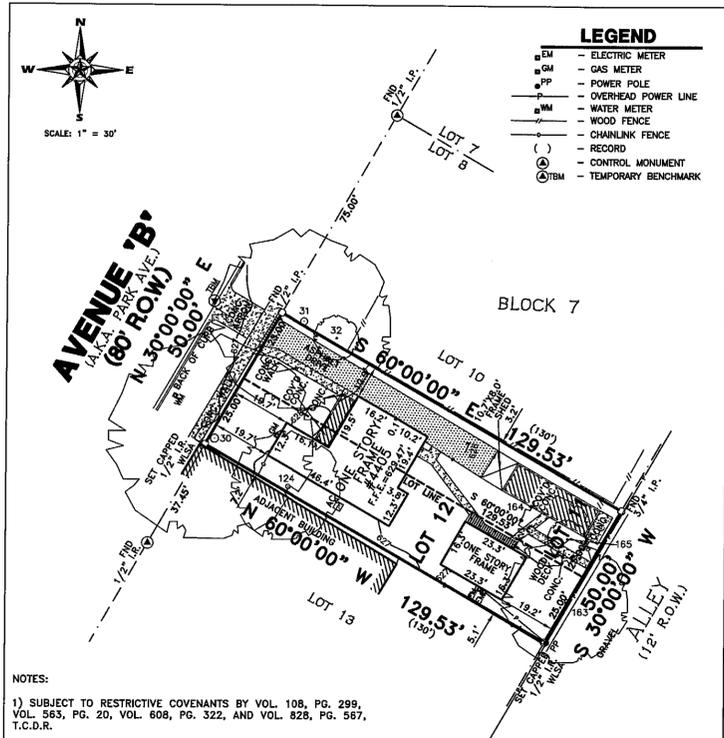
②



NORTH & SOUTH FACADE

①

SITE SURVEY



NOTES:

- SUBJECT TO RESTRICTIVE COVENANTS BY VOL. 108, PG. 299, VOL. 563, PG. 20, VOL. 806, PG. 322, AND VOL. 828, PG. 567, T.C.D.R.
- ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATION USING NAVD83 VERTICAL DATUM. THE TEMPORARY BENCHMARK SHOWN HEREON IS A MAG NAIL SET IN ASPHALT HAVING AN ELEVATION OF 626.38'.
- SUBJECT TO ALL APPLICABLE CITY AND/OR COUNTY DEVELOPMENT CODES AND ORDINANCES.
- ALL BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF NORTH 30°00'00" EAST ALONG THE EAST RIGHT-OF-WAY LINE OF AVENUE "B".

LEGEND

- EM - ELECTRIC METER
- GM - GAS METER
- PP - POWER POLE
- OP - OVERHEAD POWER LINE
- WM - WATER METER
- WF - WOOD FENCE
- CF - CHAINLINK FENCE
- R - RECORD
- CM - CONTROL MONUMENT
- TBM - TEMPORARY BENCHMARK

TREE TABLE

TAG#	SIZE / TYPE
30	32" OAK
31	28" PECAN
32	7" PECAN
124	17" CEDARELM
163	5,17" CHINABERRY (RATED)
164	11" CHINABERRY
165	6" HACKBERRY

ALL BEARINGS ARE BASED ON THE RECORDED PLAT UNLESS OTHERWISE NOTED. ALL EASEMENTS AND BUILDING LINES ARE BASED ON THE RECORDED PLAT, UNLESS OTHERWISE NOTED. SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY HAS BEEN COMPILED IN ACCORDANCE WITH INFORMATION CONTAINED IN THE TITLE COMMITMENT REFERENCED IN OF NO. 074-02-CIT-150165650.

SURVEY OF LOTS 11 AND 12, BLOCK 7, HYDE PARK ADDITION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 1, PAGE 67, OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

THIS TRACT IS LOCATED WITHIN FLOOD ZONE (UNSHADED) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 480624 0465 H, REVISED SEPTEMBER 26, 2008. FLOOD ZONE DETERMINED BY GRAPHIC PLOTTING ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.

I do hereby certify that this survey was this day made on the ground and that this plot correctly represents the property legally described herein (or on attached sheets). That the facts found at the time of this survey above the improvements and that there are no encroachments apparent on the ground, except as shown. Surveyor for Windrow Land Services Austin.

Windrow Land Services Austin
4120 Commercial Center Dr.
Suite 300
Austin, Texas 78744
TEL (512) 326-2100 FAX (512) 326-2770
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MICHAEL TURNER
6441
REGISTERED PROFESSIONAL SURVEYOR
STATE OF TEXAS

10/7/15

FIELD WORK	09/24/15	RW	DRAFTED BY	10/06/15	MDL	CHECKED BY	10/07/15	MT
REVISION	-	-	-	-	-	MAPSCO PAGE	-	JOB NO.
REVISION	-	-	-	-	-	555 P	-	31404

PROJECT INFORMATION

PROJECT DESCRIPTION:
THE PROJECT SCOPE INCLUDES THE RENOVATION & EXPANSION OF AN EXISTING SINGLE STORY HOUSE AND THE ADDITION OF A SECOND STORY MASTER SUITE, STACKED REAR COVERED PORCHES ARE ALSO INCLUDED. NEW DRIVE, NEW ENTRY WALK, AND NEW FRONT PORCH ARE ALSO INCLUDED. EXISTING ALLEY-ACCESS STRUCTURES ARE NOT INCLUDED IN THE SCOPE.

ZONING:
SF-3-HD-NCCD-NP

NEIGHBORHOOD:
HYDE PARK

PARKING:
(2) TWO REQUIRED FOR THE SINGLE FAMILY DWELLING

MAX BUILDING HEIGHT:
32' PER SUBCHAPTER F

FLOODPLAIN:
UNSHADED ZONE X PER SURVEY

MINIMUM SETBACKS:
FRONT YARD: TBD AVERAGE OF 4 HOUSES ON SAME SIDE OF STREET
STREET YARD: 15'
SIDE YARD: 5'
REAR YARD: 10'

LANDSCAPING:
PROTECTED TREES ARE LOCATED ON THE LOT.

OCCUPANCY:
OWNER OCCUPIED SINGLE FAMILY RESIDENCE

APPLICABLE BUILDING CODES:
2012 IRC, 2012 IECC, 2011 NEC, 2012 IFC, 2012 UMC, 2012 UPC, TAS, AND LOCAL AMENDMENTS

SITE NOTES

- TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIAL SHALL BE OPERATED OR STORED WITHIN THE FENCED-IN AREA. FENCES SHALL BE AT THE DRIP LINE AND COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES. NO BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS, ETC. WILL BE ALLOWED WITHIN THESE AREAS.
- CONTRACTOR TO VERIFY EXACT LOCATION OF STRUCTURES, AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET OF DRAWINGS.
- ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR MUST NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES TO THE DRAWINGS.

GENERAL NOTES

- AT NO TIME ARE CHANGES TO THE CONSTRUCTION METHODS, MATERIALS, DETAILS, SPECIFICATIONS, GENERAL NOTES OR SCHEDULES, OR DELETION OF ANY REQUIREMENT SHOWN ON THESE DRAWINGS ACCEPTABLE WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE ARCHITECT AND CLIENT. TO OBTAIN PERMISSION - PRICING, RELEVANT DRAWINGS AND DOCUMENTS MUST BE PROVIDED.
- ALL PROPOSALS SHALL TAKE INTO CONSIDERATION ALL SITE & CONSTRUCTION CONDITIONS AFFECTING WORK UNDER THIS CONTRACT.
- COORDINATE MECHANICAL PLUMBING AND ELECTRICAL DIVISIONS WITH OTHER TRADES AFFECTING OR AFFECTED BY SAME.
- CONTRACTOR TO COORDINATE STAGING AREAS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH ALL PROVISIONS OF APPLICABLE CODES AND ORDINANCES. WORKMANSHIP AND MATERIALS TO BE OF THE HIGHEST INDUSTRY STANDARDS.
- THE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED WITH THE INTENT OF MEETING OR EXCEEDING THE MINIMUM REQUIRED STANDARDS. SHOULD THE PLANS AND SPECIFICATIONS DISAGREE WITH THEMSELVES, THE GREATER QUALITY OR GREATER QUANTITY SHALL BE PERFORMED OR FURNISHED.
- NOTICE TO ALL SUBCONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR AN EXTRA SERVICES, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS OR IF IT IS IMPLIED AS PART OF THE SCOPE OF WORK.
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AND ITEMS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- IN THE EVENT OF THEFT OR DAMAGE OF MATERIALS STORED ON SITE, EACH PRIME CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL AFFECTED MATERIALS.
- PROVIDE FIRST AID AND FIRE PROTECTION AS REQUIRED BY OSHA.
- GENERAL CONTRACTOR AND SUB-CONTRACTOR ARE TO BID THIS PROJECT AS DESIGNED. VALUE ENGINEERING IS WELCOMED IN AN EFFORT TO GET THE BEST VALUE. GENERAL CONTRACTOR SHALL SUBMIT THEIR BID PER PLANS AND SPECIFICATIONS AND SUBMIT VALUE ENGINEERING ITEMS SEPARATELY.
- PROVIDE ARCHITECT W/SHOP DWGS. OF ALL MILLWORK, SHOP FABRICATED STRUCTURAL TRUSSES AND FRAMING AS WELL AS WINDOWS.
- ALL NEW & ORIGINAL CONSTRUCTION SHALL BE THOROUGHLY CLEANED AND PAINTED, BOTH EXTERIOR & INTERIOR PRIOR TO OWNERS OCCUPANCY.
- SEE FINISH SCHEDULE FOR ALL MATERIALS, FINISHES, FIXTURES AND PAINT COLORS.
- CONTRACTOR SHALL PROVIDE APPROPRIATE WRITTEN DOCUMENTS THAT REFLECT ANY CHANGES TO ORIGINAL DRAWINGS, FINISH AND MATERIAL SPECIFICATIONS OR LAYOUT.
- SITE MEETINGS ARE REQUIRED TO BE HELD WITH THE ARCHITECT, CONTRACTOR AND EACH TRADE SUBCONTRACTOR AT THE START OF EACH PHASE INCLUDING THE FOLLOWING PHASES: PRE-CONSTRUCTION, MILLWORK.
- EMPLOY THE FOLLOWING IN COMPLIANCE WITH THE ENERGY STAR CERTIFIED HOME CHECKLIST (MOST RECENT VERSION); ENSURE FULL AND PROPER INSULATION WITHOUT MISALIGNMENTS, COMPRESSIONS, GAPS, VOIDS, OR SAGGING IN ALL EXTERIOR WALL CAVITIES AT ALL EXTERIOR WALL CONDITIONS; USE RECESSED CORNERS OF NO MORE THAN 3 STUDS PER CORNER TO ALLOW FOR MAXIMUM THERMAL COVERAGE, UNLESS OTHERWISE STRUCTURALLY REQUIRED, AND LIMIT FRAMING TO MAX. OF ONE PAIR OF KING STUDS AND ONE PAIR OF JACK STUDS PER WINDOW OPENING. LIMIT EXTERIOR FRAMING IN GENERAL TO ONLY WHAT IS NECESSARY. INSTALL HEADERS OF R-8 MIN. INSULATION VALUE FOR ALL 2X6 EXTERIOR WALL ASSEMBLIES, UNLESS STRUCTURALLY INFEASIBLE. DOORS ADJACENT TO UNCONDITIONED SPACE OR AMBIENT CONDITIONS TO BE GASKETED OR OTHERWISE MADE TO BE AIR-TIGHT. ATTIC ACCESS PANELS AND DROP-DOWN STAIRS TO BE CONTINUOUSLY GASKETED AND EQUIPPED WITH A DURABLE R-10 INSULATED COVER.

PROJECT CALCULATIONS

Impervious Cover Calculations
4405 Avenue B, Austin TX 78751

Lot	Totals	
	Existing	New
45% of total lot	2,914	1,274
a. Total Building Coverage on lot*	1,428	675
b. Driveway area on private property **	0	572.5
c. Sidewalk / walkways on private property	0	0
d. Uncovered (impervious) patios	0	0
e. Uncovered wood decks (may be counted at 50%)	0	0
50% Wood Deck (Uncovered)	0	0
50% Wood Stairs (Uncovered)	0	0
50% Wood Deck 2nd Flr (Uncovered)	0	0
f. AC Pads	0	18
g. Concrete decks	0	0
h. Other (Stone Walls, Stone Stairs, Covered Stairs)	0	8.9
Pool (Area of Water Only)	0	0
Spa (Area of Water Only)	0	0
** Note portion of Existing Drive demolished in scope *Includes overhangs over 2' and covered decks, porches & patios		
Total New	1,274	1,274
Total Existing	1,428	1,428
45% of total lot	2,914	
Total Impervious Cover	2,702	
Total Percentage of Lot	42%	
Remaining SQFT of Impervious cover	212	

Building and Site Area
4405 Avenue B, Austin TX 78751

Lot	Totals	
	Existing	New
40% of total lot	2,590	470.93
a. 1st Floor Conditioned Area and Non Incidental Overhangs	871.55	470.93
b. Contributing 2nd Floor Conditioned Area	0	0
c. Non Incidental Overhangs (Over 2' Deep)	0	34.02
d. Contributing Basement	0	0
e. Covered Parking and Non-Incidental Overhangs	0	0
f. Contributing Covered Patio, Deck or Porch	93.26	170.22
g. Balcony	0	0
h. Shed	83.7	0
i. Accessory Building	379	0
Total Building Area	2,103	675
Exclude b,c,d from total		
* Contributing Denotes 2nd Flr Areas that does not stack on 1st * Includes Area of Eaves over 2'		
40% of total lot	2,590	
Proposed Building Coverage on Lot	2,103	
Percentage of lot	32%	
Remaining SQFT of Building Coverage Allowable	488	

Subchapter F - "McMansion"
4405 Avenue B, Austin TX 78751

Lot	Totals		SQ FT		
	Existing	New	Existing	New	Exemption
40% of total lot	2,590	470.93			
1st Floor Gross Area					
1st floor area*					
		871.55	470.93		
		0	0		
2nd Floor Conditioned Area					
2nd floor area with ceiling height over 15 feet					
		0	559		
		0	0		
3rd Floor Conditioned Area					
3rd floor area**					
		0	0		
		0	0		
Basement Gross Area					
Floor Area Under First Floor					
		0	0	0	0
Attic					
		0	0	0	0
Shop / Shed (Detached)					
		83.7	0	0	83.7
		0	0		
		0	0		
Carpport					
open on two or more sides without habitable space above it subtract 450sqft					
		0	0	0	0
Accessory Building(s) (detached)					
		379	0	0	379
*Excluding covered or uncovered finished ground floor porches not connected to driveways.					
**** Subtract 400 sqft for Attached Parking Area Exemption					
			2,364		2,364.18
			36.51%		36.51%
40% of total lot					2,590
Total FAR Coverage					2,364.18
Remaining SQFT of FAR					226
Is this project claiming a "parking area" exemption as described under Article 3? No					
Is this project claiming a "ground floor porch" exemption as described under Article 3? Yes					
Is this project claiming a basement exemption as described under Article 3? No					
Is this project claiming a "habitable attic" exemption as described under Article 3? No					
Is a sidewall articulation required for this project? No					
Does any portion of the structure extend beyond a setback plane? Yes					



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SURVEY, CODE REVIEW,
& NOTES

A0.10

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11X17: 1/16" = 1'

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EXISTING & DEMO
SITE PLAN

A1.00

CONTRACTOR NOTES
CONTRACTOR TO VIF ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

WALL LEGEND

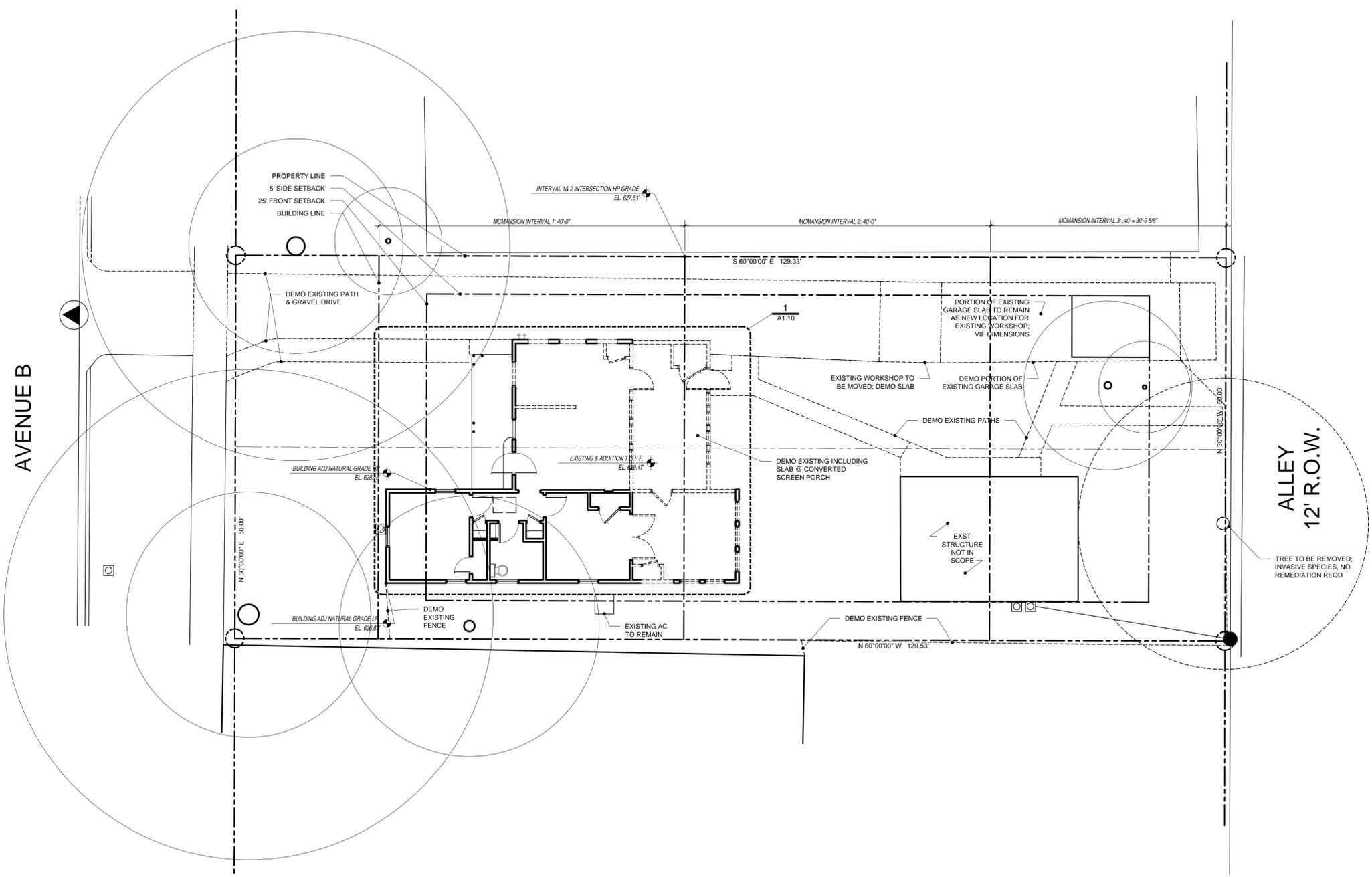
- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED
- AREA TO BE DEMOLISHED
- NEW WOOD FRAME WALL

DEMOLITION NOTES

- PERFORM DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER IN ORDER TO ACCOMMODATE NEW WORK. PROTECT EXISTING FOUNDATION, WALLS AND SUPPORTING MEMBERS WHICH ARE TO REMAIN.
- WHERE POSSIBLE RECYCLE ANY LIGHTLY USED FIXTURES, WINDOWS, CABINETS AND DOORS TO BE REMOVED AT LOCAL RE-USE STORES, SUCH AS HABITAT-FOR-HUMANITY RE-STORE.
- CEASE DEMOLITION IMMEDIATELY AND NOTIFY THE STRUCTURAL ENGINEER AND ARCHITECT, IF SAFETY OR STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- SCRAPE, SAND, STRIP OR BRUSH AND PREPARE ALL SURFACES AS REQUIRED IN ORDER TO RECEIVE NEW FINISHES.
- PROTECT FINISH WORK THAT IS TO REMAIN IN PLACE FROM DAMAGE
- PROTECT ADJACENT TREES AND SHRUBS TO REMAIN IN PLACE FROM DAMAGE PER CITY OF AUSTIN ARBORIST REQUIREMENTS
- REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE CLEAN AND FREE OF DEBRIS.
- REPAIR ALL DEMOLITION OR DAMAGE CAUSED IN EXCESS OF THAT REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL WALLS AND ROOF STRUCTURES TO REMAIN ARE TO BE PROPERLY SHORED PRIOR TO THE REMOVAL OF ANY STRUCTURAL ELEMENTS. SHORING IS RESPONSIBILITY OF CONTRACTOR AND IS TO BE ENGINEERED BY A REGISTERED ENGINEER. INSTALLED SHORING MUST BE REVIEWED BY ENGINEER RESPONSIBLE.
- CAP ALL WATER / WASTEWATER & GAS LINES WITHIN DEMO AREAS.

SITE NOTES

1. SEE SURVEY ON A0.10 FOR ALL TREE CALIPERS. PLEASE NOTE, PER MICHAEL EMBESI THE EXISTING POMEGRANATE IS NOT PROTECTED.
2. ALL ROOT ZONES ARE FULL CRZ UNLESS NOTED OTHERWISE.
3. DASHED OVERHEAD LINES TO REMAIN NOT SHOWN FOR CLARITY.



EXISTING & DEMOLITION SITE PLAN
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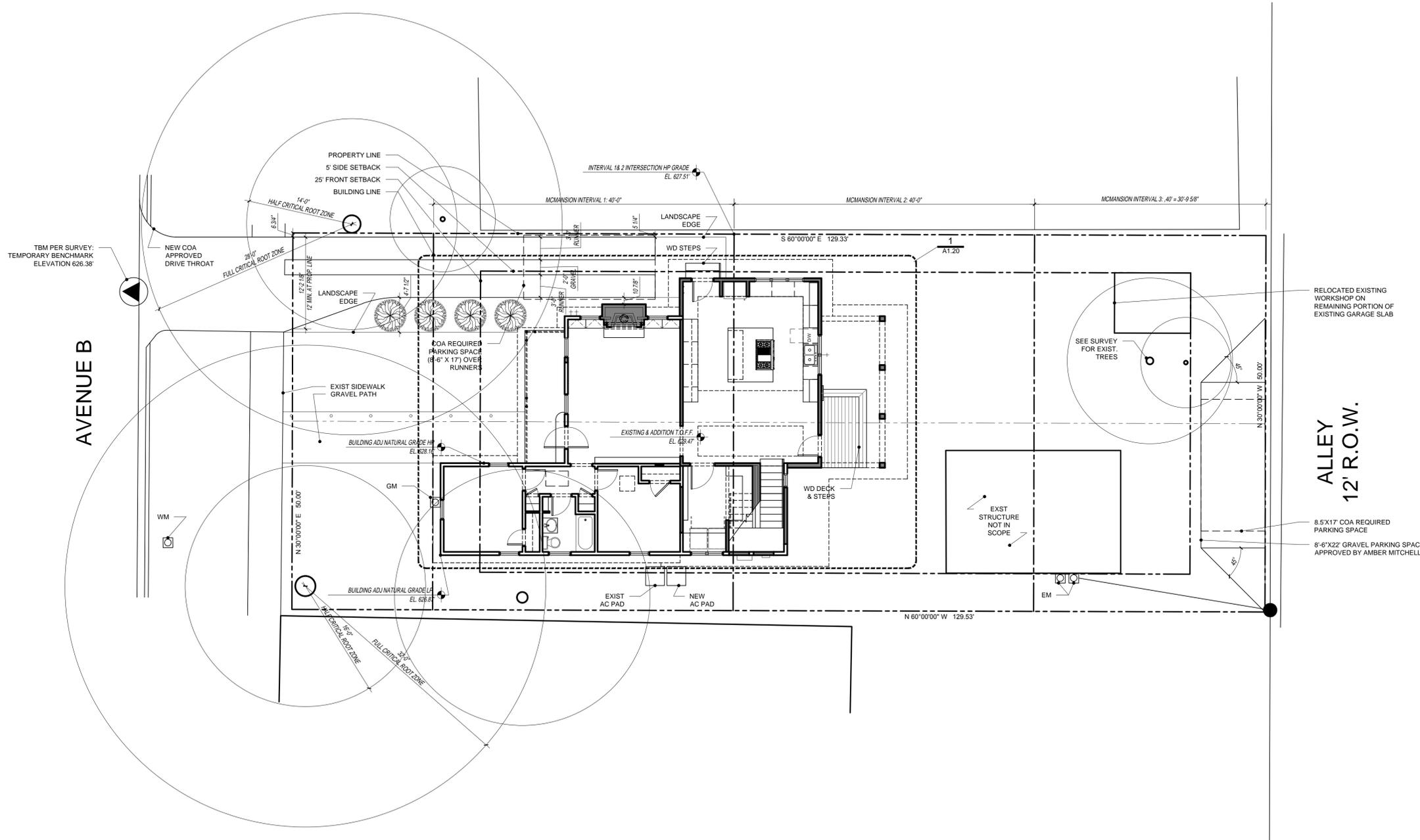
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WALL LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED
- AREA TO BE DEMOLISHED
- NEW WOOD FRAME WALL

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EXISTING & DEMO
ROOF PLAN

A1.11

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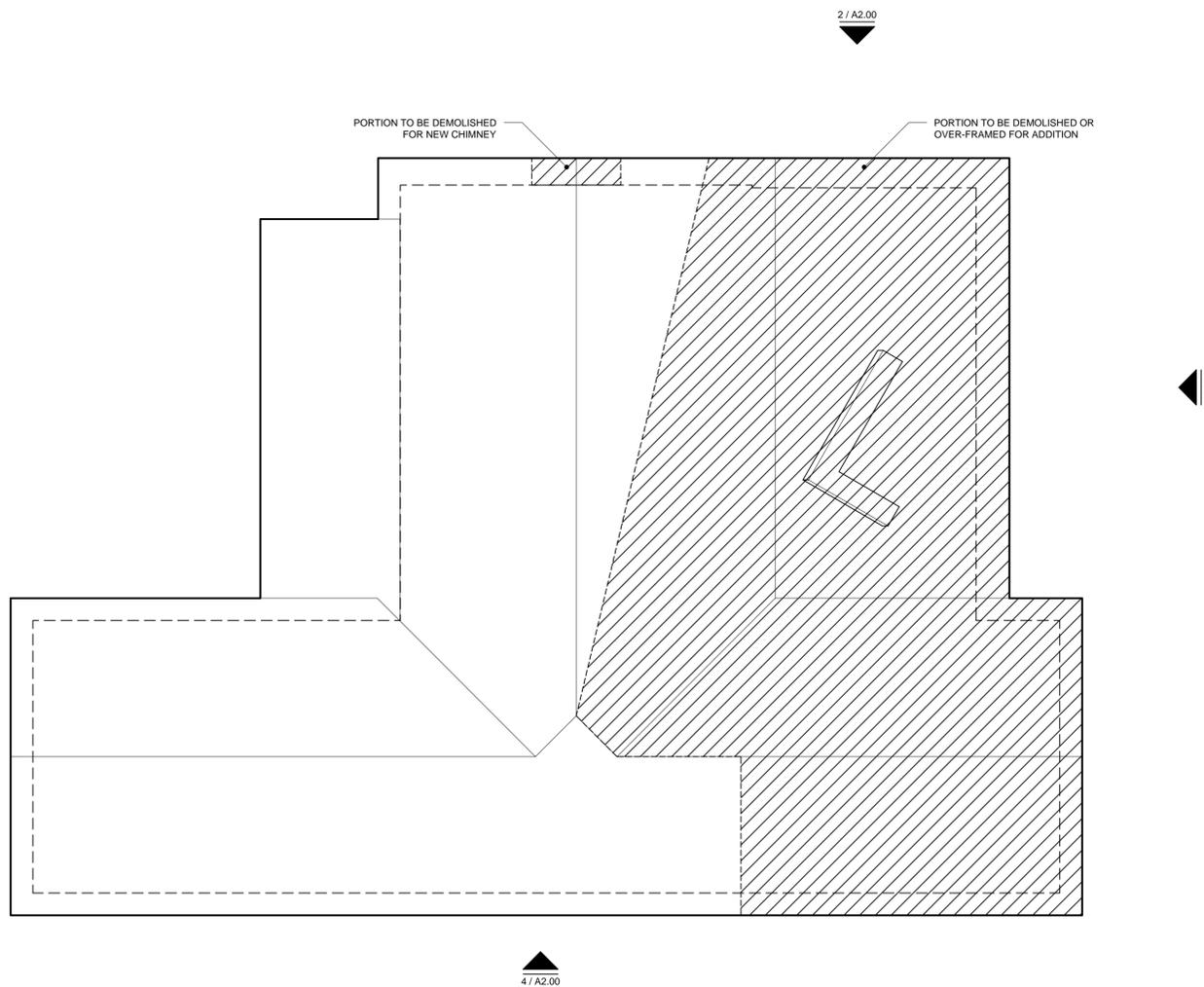
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- PERFORM DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER IN ORDER TO ACCOMMODATE NEW WORK. PROTECT EXISTING FOUNDATION, WALLS AND SUPPORTING MEMBERS WHICH ARE TO REMAIN.
- WHERE POSSIBLE RECYCLE ANY LIGHTLY USED FIXTURES, WINDOWS, CABINETS AND DOORS TO BE REMOVED AT LOCAL RE-USE STORES, SUCH AS HABITAT-FOR-HUMANITY RE-STORE.
- CEASE DEMOLITION IMMEDIATELY AND NOTIFY THE STRUCTURAL ENGINEER AND ARCHITECT, IF SAFETY OR STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- SCRAPE, SAND, STRIP OR BRUSH AND PREPARE ALL SURFACES AS REQUIRED IN ORDER TO RECEIVE NEW FINISHES.
- PROTECT FINISH WORK THAT IS TO REMAIN IN PLACE FROM DAMAGE
- PROTECT ADJACENT TREES AND SHRUBS TO REMAIN IN PLACE FROM DAMAGE PER CITY OF AUSTIN ARBORIST REQUIREMENTS
- REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE CLEAN AND FREE OF DEBRIS.
- REPAIR ALL DEMOLITION OR DAMAGE CAUSED IN EXCESS OF THAT REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL WALLS AND ROOF STRUCTURES TO REMAIN ARE TO BE PROPERLY SHORED PRIOR TO THE REMOVAL OF ANY STRUCTURAL ELEMENTS. SHORING IS RESPONSIBILITY OF CONTRACTOR AND IS TO BE ENGINEERED BY A REGISTERED ENGINEER. INSTALLED SHORING MUST BE REVIEWED BY ENGINEER RESPONSIBLE.
- CAP ALL WATER / WASTEWATER & GAS LINES WITHIN DEMO AREAS.

ROOF NOTES

1. REMOVE ALL ROOFING MTRL FROM STRUCT. IN AREAS TO BE FRAMED-OVER.
2. REMOVE ALL ROOFING MTRL FROM EXISTING TO REMAIN FOR APPLICATION OF NEW R-1 OR R-2 ROOF. SEE A1.22 ROOF PLAN.



EXISTING & DEMO ROOF PLAN
22X34 SCALE: 1/4" = 1'-0"
11X17 SCALE: 1/8" = 1'-0"

1





PROJECT:
SAWTELLE RESIDENCE
RENOVATION & ADDITION
4405 AVENUE B
AUSTIN, TEXAS 78751

ARCHITECT:
CLARK | RICHARDSON LLC
1715 E. 6th SUITE #206
AUSTIN, TX 78702
CONTACT: EDWARD RICHARDSON
512-529-9047
ed@clarkrichardson.com

GENERAL CONTRACTOR:

STRUCTURAL:
ARCH CONSULTING ENGINEERING PLLC
T.B.P.E. # F-9361
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SUITE B-100
AUSTIN, TEXAS 78704
CONTACT: JUSTIN BILLODEAU
512-328-5353
justin@archce.net

ARCHITECT'S SEAL:



SCALE:
22X34: 1/4" = 1'-0"
11X17: 1/8" = 1'-0"
DATE:
03.28.2015

FIRST FLOOR PLAN

A1.20

CONTRACTOR NOTES

CONTRACTOR TO VIF ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

WALL LEGEND

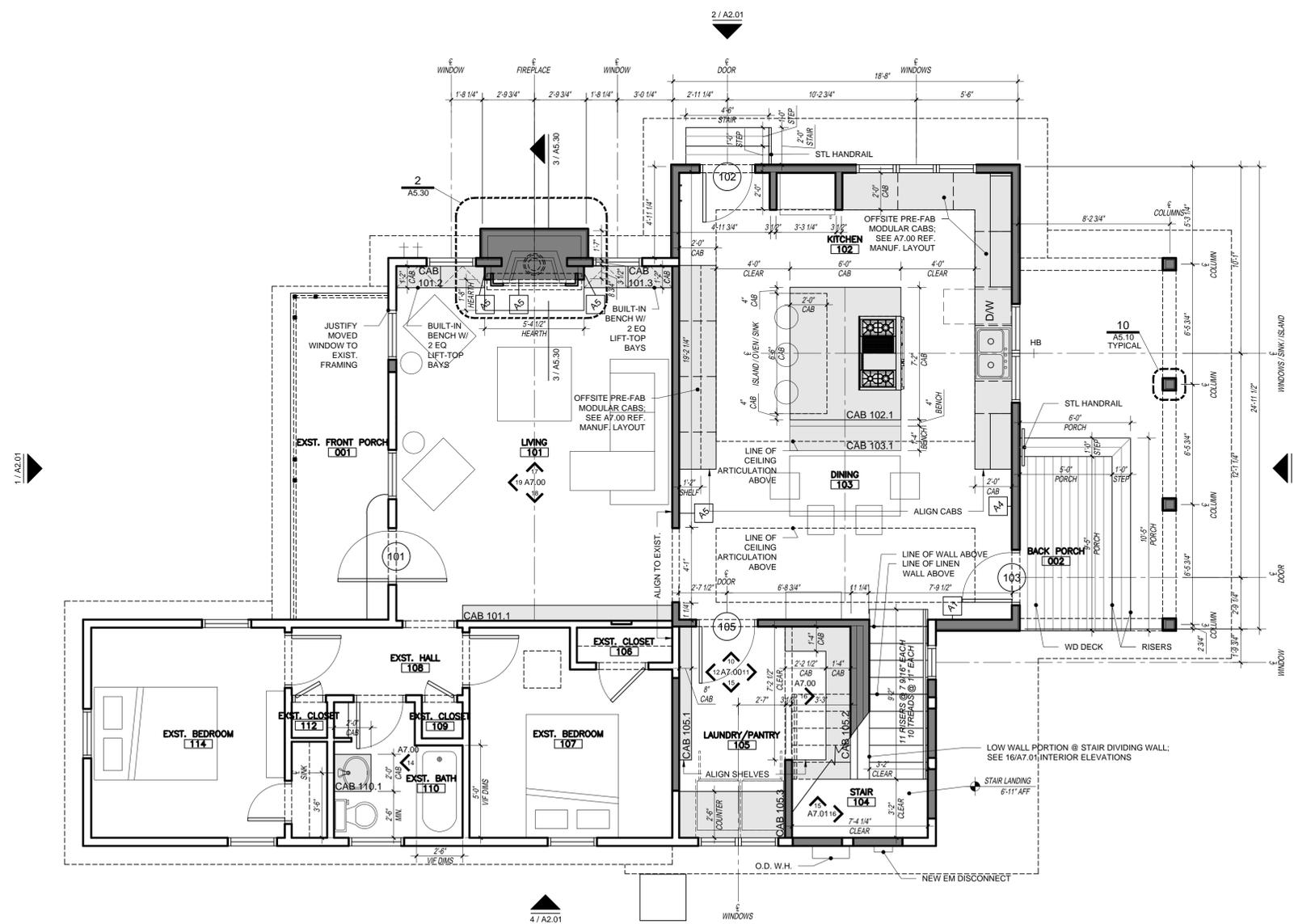
- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED
- AREA TO BE DEMOLISHED
- NEW WOOD FRAME WALL

TYPICAL NOTES

1. ALL CABINET INTERIORS TO BE PRE-FINISHED CLEAR-COATED BIRCH UNLESS OTHERWISE NOTED.
2. AT ALL CATY LOCATIONS, PROVIDE IN WALL CHASE FROM LOW RECEPTACLES OR BASE CABINETS (LIVING) TO WALL MOUNT LOCATION. CONFIRM HEIGHT IN FIELD WITH ARCHITECT.
3. ALL TOILET PAPER DISPENSERS TO BE PLACED 8" O.C. FROM THE FRONT OF THE DEDICATED TOILET AND BETWEEN 15" AND 48" ABOVE THE FINISH FLOOR IN COMPLIANCE WITH TAS 2012 604.7.
4. TOWEL BAR HEIGHT FOR SINGLE TOWEL BAR TO BE 48" MAX. TOWEL BAR HEIGHT FOR DUAL STACKED TOWEL BARS TO BE 48" AND 56" MAX. AS MEASURED TO THE CENTER OF THE BAR FROM THE FINISH FLOOR, UNLESS OTHERWISE NOTED.

PLAN NOTES

1. SEE 4/A8.00 FINISH PLAN FOR FLOORING & MATERIALS.



FIRST FLOOR PLAN
22X34 SCALE: 1/4" = 1'-0"
11X17 SCALE: 1/8" = 1'-0"

1



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ARCHITECT'S SEAL:



SCALE:
22X34: 1/4" = 1'
11X17: 1/8" = 1'

DATE:
03.28.2015

SECOND FLOOR PLAN

A1.21

CONTRACTOR NOTES

CONTRACTOR TO VIF ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

WALL LEGEND

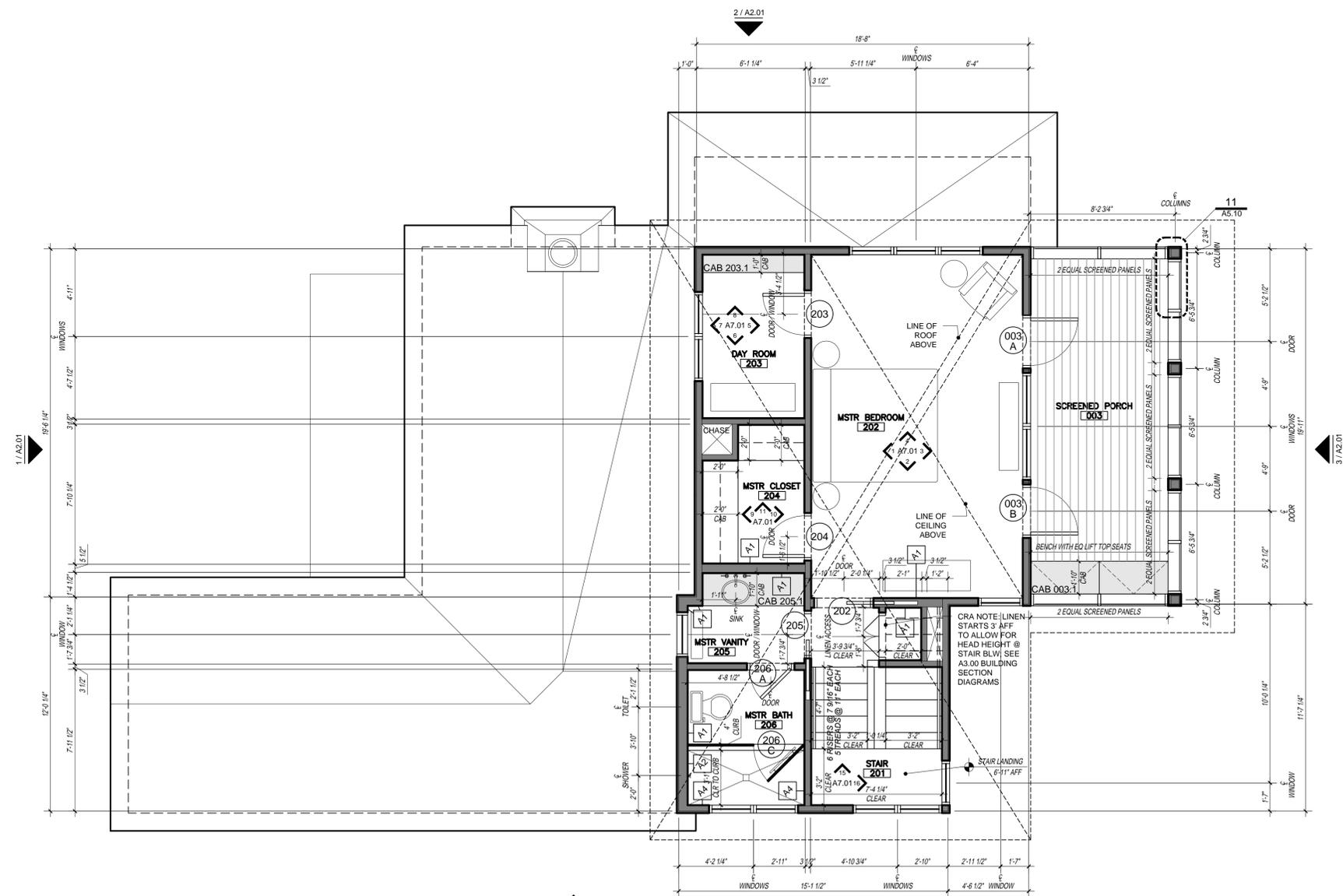
- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED
- AREA TO BE DEMOLISHED
- NEW WOOD FRAME WALL

TYPICAL NOTES

1. ALL CABINET INTERIORS TO BE PRE-FINISHED CLEAR-COATED BIRCH UNLESS OTHERWISE NOTED.
2. AT ALL CABY LOCATIONS, PROVIDE IN WALL CHASE FROM LOW RECEPTACLES OR BASE CABINETS (LIVING) TO WALL MOUNT LOCATION. CONFIRM HEIGHT IN FIELD WITH ARCHITECT.
3. ALL TOILET PAPER DISPENSERS TO BE PLACED 8" O.C. FROM THE FRONT OF THE DEDICATED TOILET AND BETWEEN 15" AND 48" ABOVE THE FINISH FLOOR IN COMPLIANCE WITH TAS 2012 604.7.
4. TOWEL BAR HEIGHT FOR SINGLE TOWEL BAR TO BE 48" MAX. TOWEL BAR HEIGHT FOR DUAL STACKED TOWEL BARS TO BE 48" AND 56" MAX. AS MEASURED TO THE CENTER OF THE BAR FROM THE FINISH FLOOR, UNLESS OTHERWISE NOTED.

PLAN NOTES

1. SEE 5/A8.00 FINISH PLAN FOR FLOORING & MATERIALS.



SECOND FLOOR PLAN
22X34 SCALE: 1/4" = 1'-0"
11X17 SCALE: 1/8" = 1'-0"



1



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ARCHITECT'S SEAL:



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DATE:
03.28.2015

ROOF PLAN

A1.22

CONTRACTOR NOTES

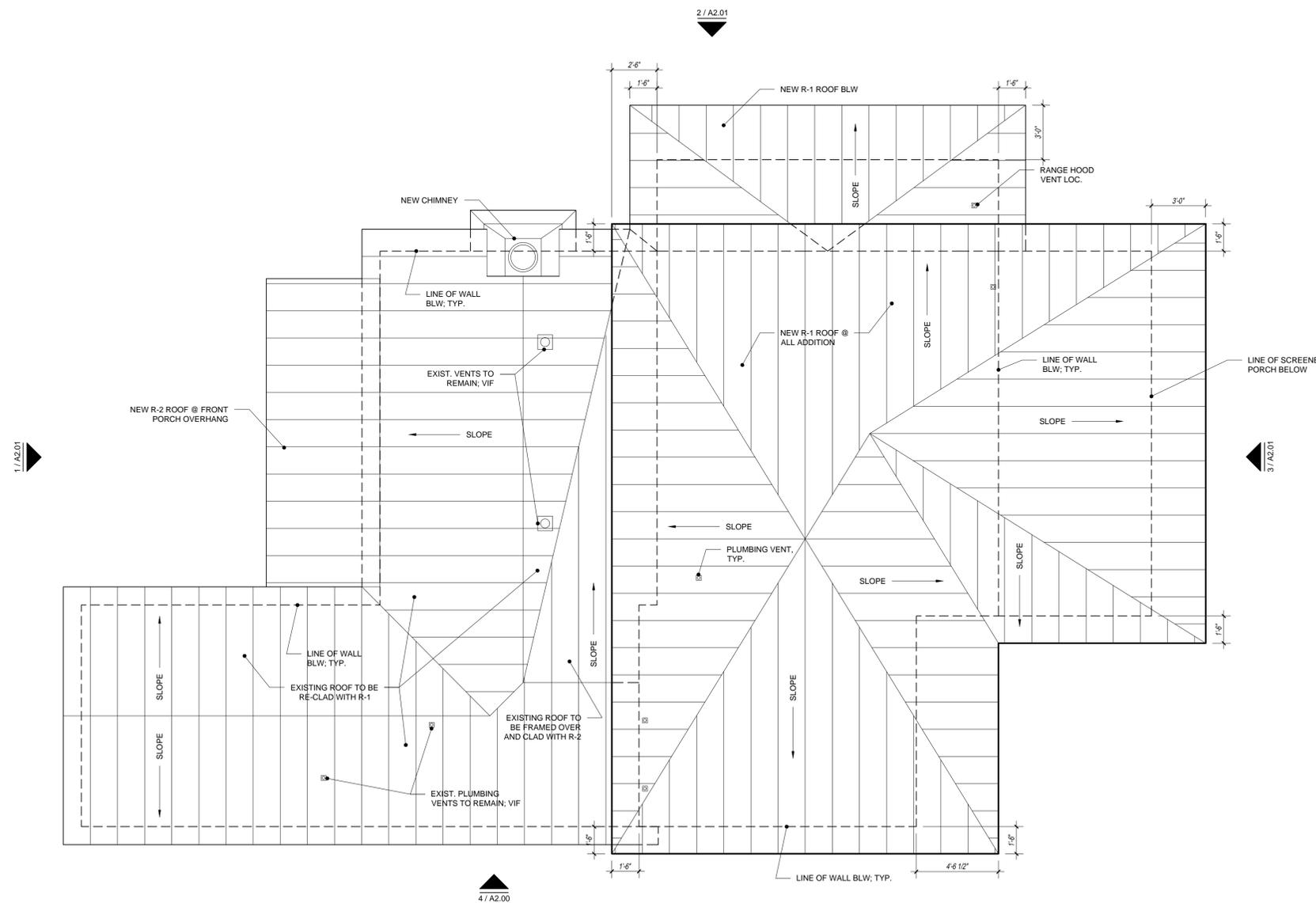
CONTRACTOR TO VIF ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

WALL LEGEND

-  EXISTING WALL TO REMAIN
-  WALL TO BE DEMOLISHED
-  AREA TO BE DEMOLISHED
-  NEW WOOD FRAME WALL

MATERIALS LEGEND

- R-1: STANDING SEAM DBL LOCK, ANNODIZED
- R-2: R-1 WICE AND WTRSHILD UNDERLAYMENT



ROOF PLAN

22X34 SCALE: 1/4" = 1'-0"
11X17 SCALE: 1/8" = 1'-0"

1





CLARK | RICHARDSON
ARCHITECTS

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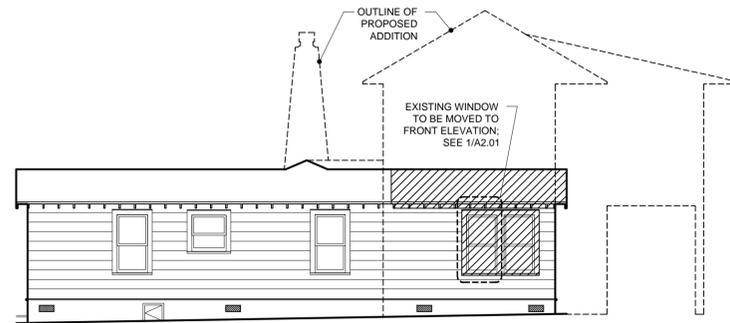


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11X17: 1/16" = 1'-0"

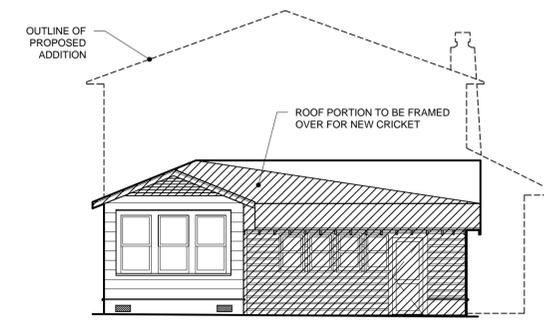
DATE:
03.28.2015

EXISTING & DEMO
ELEVATIONS

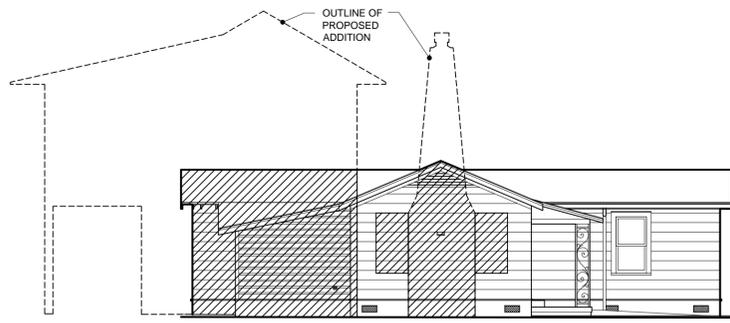
A2.00



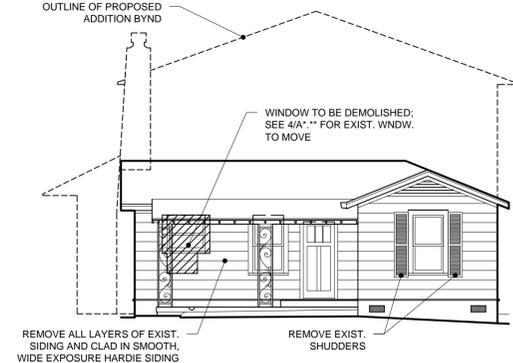
EXISTING & DEMO SOUTH ELEVATION ④
22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



EXISTING & DEMO EAST ELEVATION ③
22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



EXISTING & DEMO NORTH ELEVATION ②
22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"



EXISTING & DEMO WEST ELEVATION ①
22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0"

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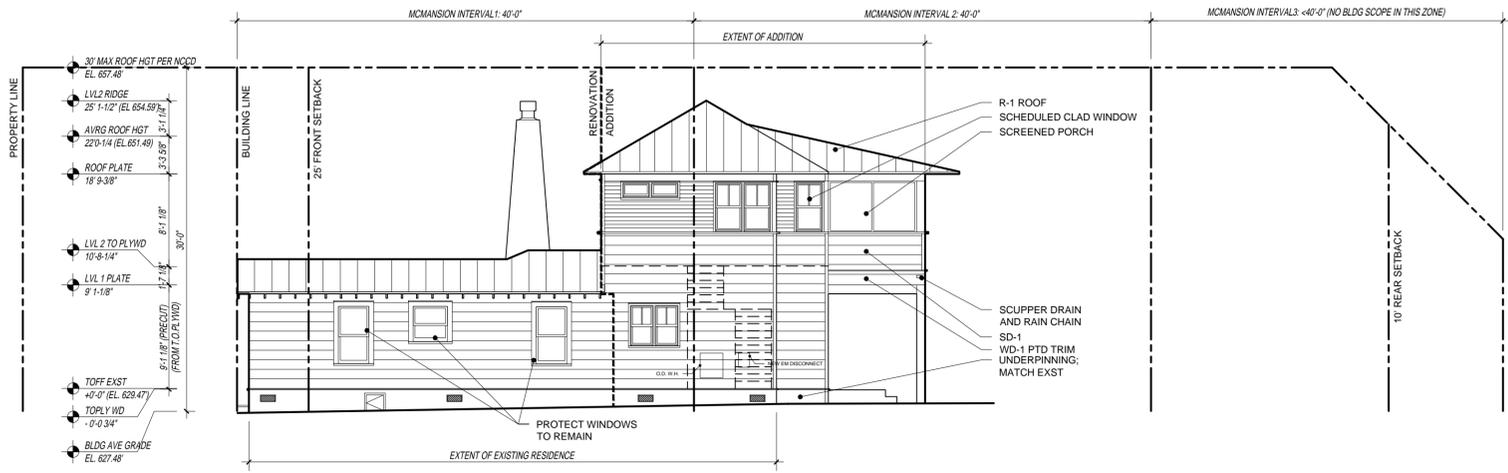
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DATE:
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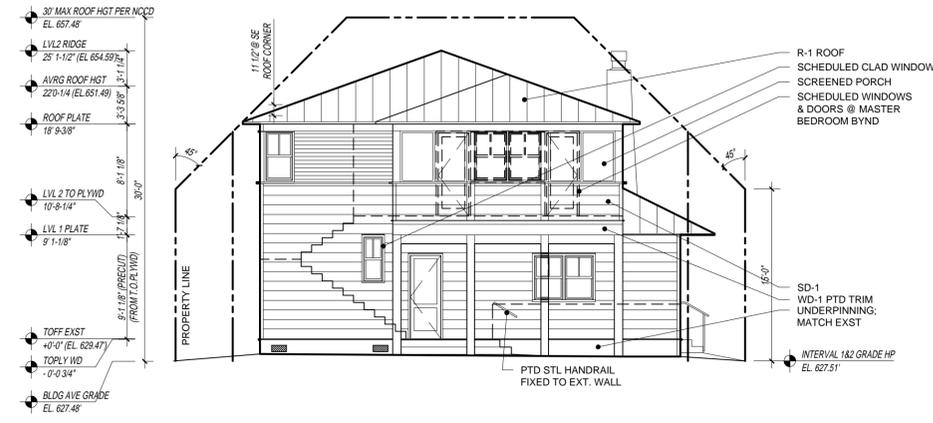
ELEVATIONS

A2.01

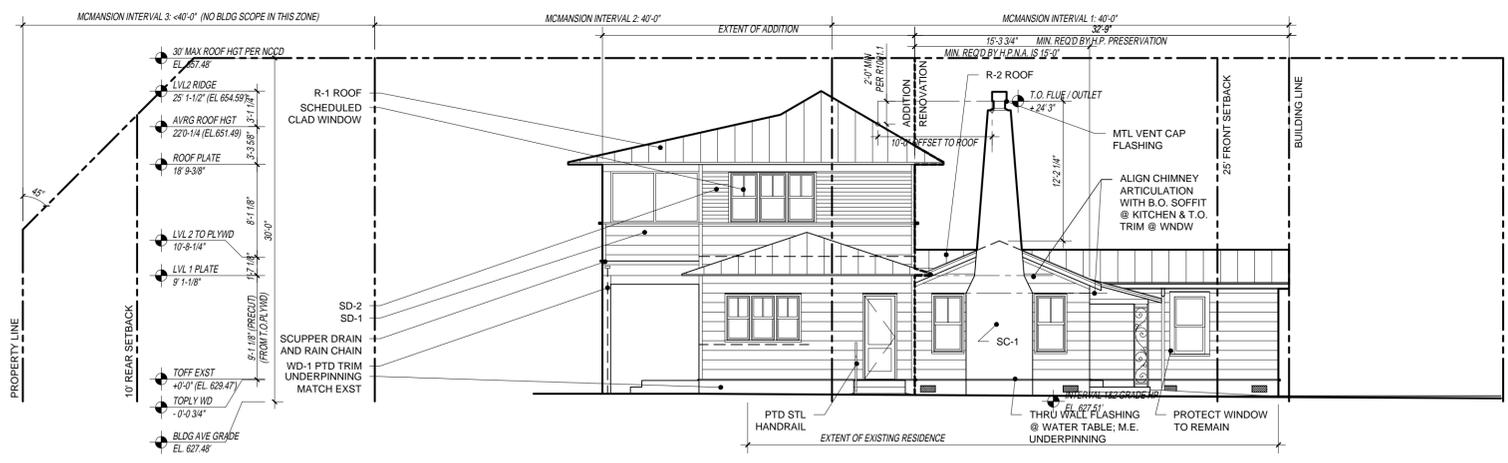
LEGEND	
SD-1:	12" HARDIE SIDING
SD-2:	4" HARDIE SIDING
WD-1:	PTD WD SIDING
R-1:	STANDING SEAM DBL LOCK, ANNOZIZED
R-2:	R-1 W/ ICE AND WTRSHIELD UNDERLAYMNT
SC-1:	3 COAT STUCCO
* ALL WINDOWS TO BE MARVIN INTEGRITY CLAD WOOD WINDOWS EXCEPT EXISTING TO REMAIN.	



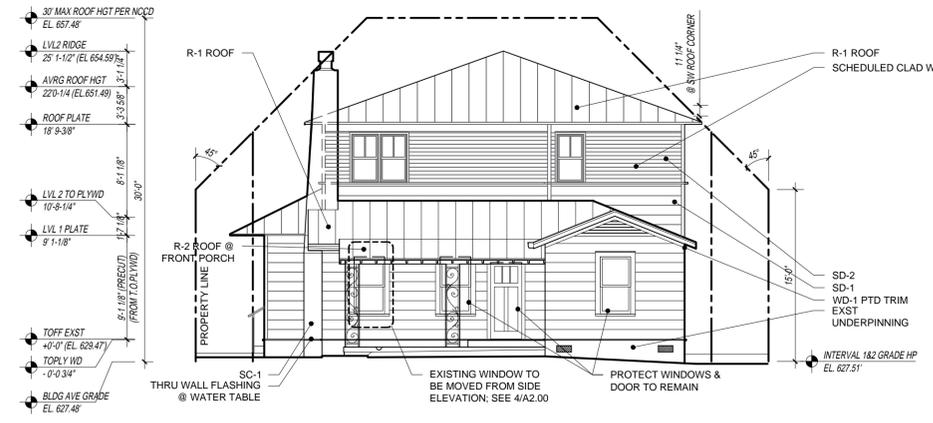
SOUTH ELEVATION
22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0" ④



EAST ELEVATION
22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0" ③



NORTH ELEVATION
22X34 SCALE: 1/8" = 1'-0"
11X17 SCALE: 1/16" = 1'-0" ②



WEST ELEVATION
22X34 SCALE: 1/8" = 1'-0"
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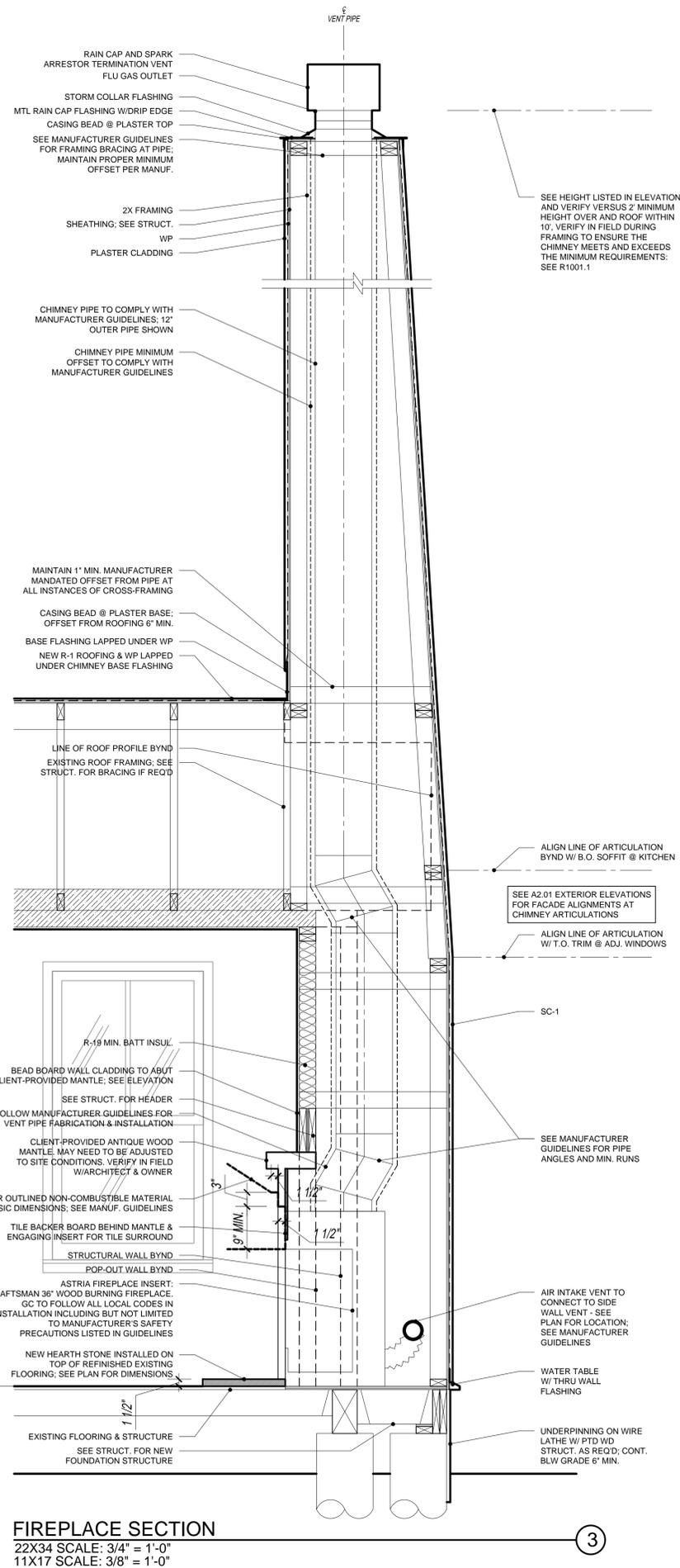


SCALE:
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11X17: 3/8" = 1'

DATE:
03.28.2015

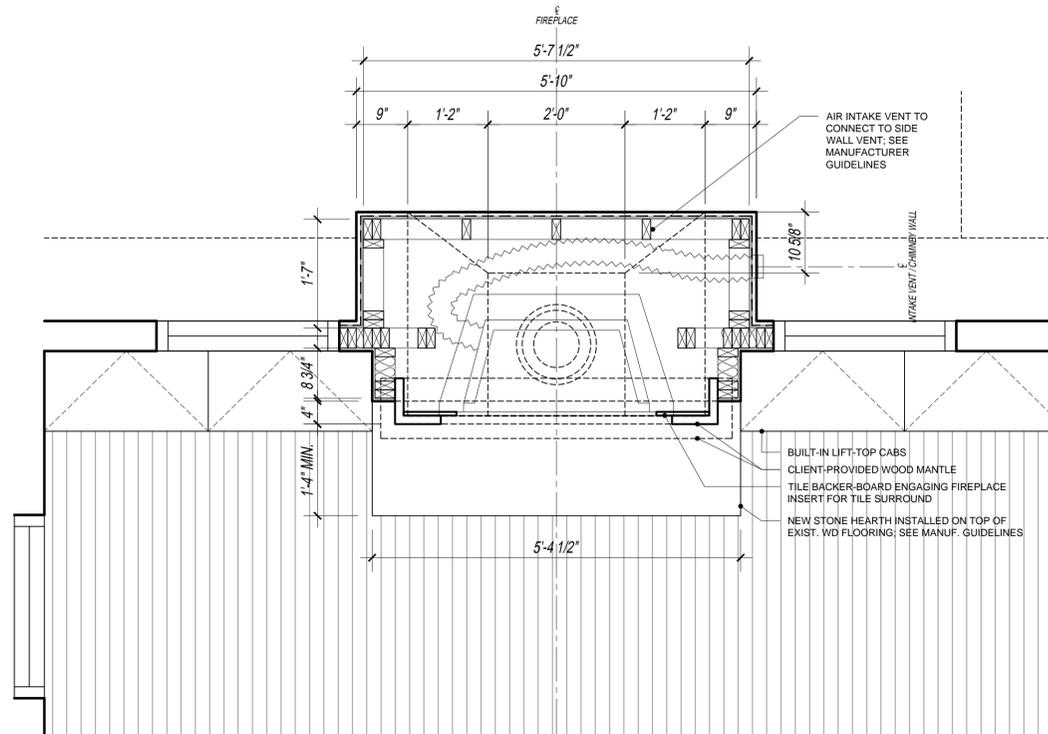
FIREPLACE DETAILS

A5.30



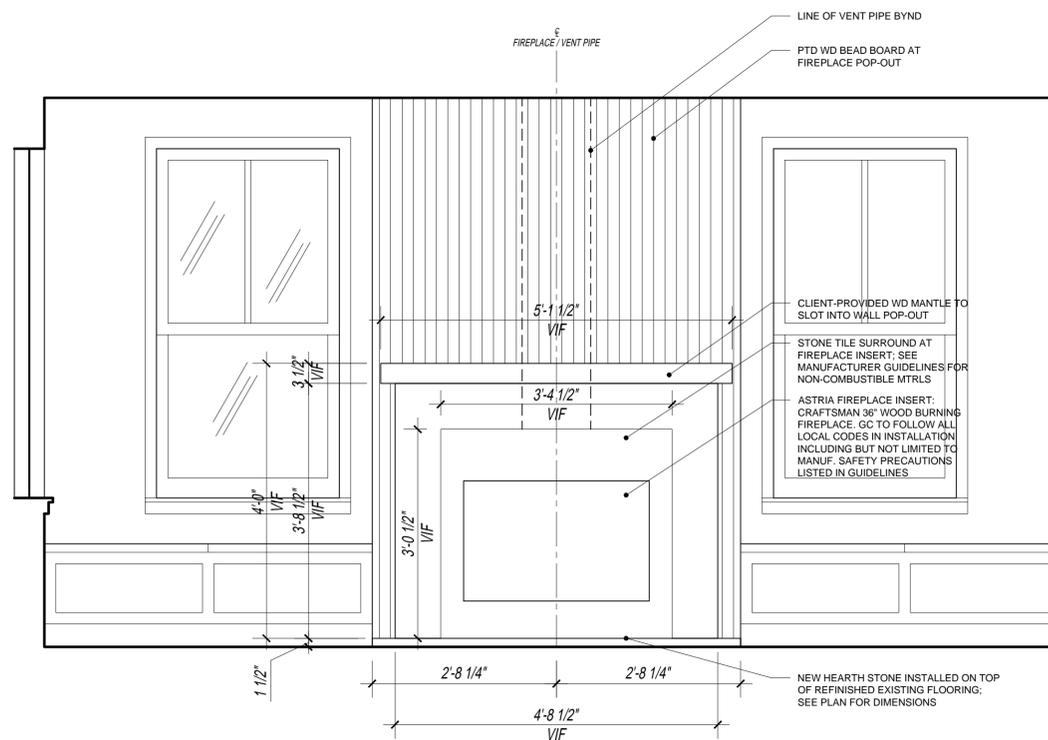
FIREPLACE SECTION
22X34 SCALE: 3/4" = 1'-0"
11X17 SCALE: 3/8" = 1'-0"

3



FIREPLACE PLAN
22X34 SCALE: 3/4" = 1'-0"
11X17 SCALE: 3/8" = 1'-0"

2



FIREPLACE INTERIOR ELEVATION
22X34 SCALE: 3/4" = 1'-0"
11X17 SCALE: 3/8" = 1'-0"

1

GENERAL NOTES

GENERAL CONDITIONS

- THESE GENERAL NOTES SHALL APPLY UNLESS SPECIFICALLY NOTED ON THE PLANS AND DETAILS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND SHALL BE RESPONSIBLE FOR CONDITIONS OF ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
- DISCREPANCIES AND/OR VARIATIONS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT AND ENGINEER.
- CONSTRUCTION, WORKMANSHIP, AND MATERIALS SHALL COMPLY WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE.
- THE STRUCTURAL SYSTEM OF THE BUILDING IS DESIGNED TO PERFORM AS A COMPLETED UNIT. PRIOR TO COMPLETION OF THE STRUCTURE, THE STRUCTURAL COMPONENTS MAY BE UNSTABLE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY SHORING AND/OR BRACING AS REQUIRED FOR THE STABILITY OF THE INCOMPLETE STRUCTURE AND FOR THE SAFETY OF ALL ON-SITE PERSONNEL.
- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- THE DRAWINGS SHOW ONLY REPRESENTATIVE AND TYPICAL DETAILS TO ASSIST THE CONTRACTOR. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. ALL ATTACHMENTS, CONNECTIONS, FASTENINGS, ETC., SHALL BE PROPERLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THEM.
- THE CONTRACT STRUCTURAL DRAWINGS SHALL NOT BE USED IN WHOLE OR IN PART FOR SHOP DRAWING SUBMITTALS.
- CONTRACTOR SHALL NOTE THAT ARCH CONSULTING ENGINEERS, PLLC REQUIRES A MINIMUM OF TWO WEEKS TO REVIEW ALL SHOP DRAWING SUBMITTALS.
- GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE OF ALL REQUIRED SITE VISITS.

DESIGN CRITERIA

- BUILDING CODE: 2012 INTERNATIONAL RESIDENTIAL CODE
- GRAVITY LOADS:
 - DEAD LOADS
 - ROOF 16 PSF
 - FLOOR 20 PSF
 - LIVE LOADS
 - ROOF 20 PSF (REDUCIBLE)
 - FLOOR 40 PSF
 - SNOW LOADS
 - GROUND SNOW LOAD, P_g 5 PSF
 - IMPORTANCE FACTOR, I 1.0
- LATERAL LOADS
 - WIND LOADS
 - WIND SPEED (ULT) 115 MPH
 - IMPORTANCE FACTOR, I 1.0
 - EXPOSURE "C"
 - SEISMIC LOADS
 - SEISMIC DESIGN CATEGORY A
 - SITE CLASS D
 - SEISMIC IMPORTANCE FACTOR, I_E 1.0

FOUNDATION SUBGRADE PREPARATIONS

- THE FOUNDATIONS HAVE BEEN DESIGNED USING AN ALLOWABLE SOIL BEARING VALUE OF 3,500 PSF FOR SPREAD FOOTINGS IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT NO. 15-0219 BY CAPITAL GEOTECHNICAL SERVICES, PLLC DATED JANUARY 12, 2016.
- SPREAD FOOTING AND CONTINUOUS FOOTING DIMENSIONS AND/OR LOCATIONS MAY NOT BE ALTERED WITHOUT APPROVAL BY THE ENGINEER.
- ALL TOPSOIL, VEGETATION, AND ANY DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROPOSED ADDITION AREA TO PERMIT THE INSTALLATION OF A WOOD FLOORING SYSTEM WITH PIER-AND-BEAM SUPPORTS AND A MINIMUM 18-INCH TALL CRAWL SPACE.
- PROVIDE VENTING OF CRAWL SPACE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE.
- FOOTINGS SHALL BEAR AT LEAST 30 INCHES BELOW FINISHED GRADE ON UNDISTURBED SOIL.
- FOOTINGS SHALL BE POURED THE SAME DAY THE EXCAVATIONS ARE COMPLETED.

CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE BUILDING CODE (ACI 318-14).
- CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

28 DAY COMPRESSIVE STRENGTH.....	3,000 PSI
MINIMUM CEMENT CONTENT.....	520-610 LB/CY
WATER / CEMENT RATIO.....	0.47-0.55
SLUMP RANGE.....	2" MIN - 5" MAX
NOMINAL MAX AGGREGATE SIZE.....	1"
AIR CONTENT FOR TROWEL-FINISHED INTERIOR SLABS.....	LESS THAN 3%

FLY ASH CAN BE SUBSTITUTED FOR CEMENT UP TO 30% BY WEIGHT. CALCIUM CHLORIDE IS NOT ACCEPTABLE FOR USE IN MIX.

FURNISH MIX DESIGNS FOR ALL CLASSES OF CONCRETE. RETAIN A QUALIFIED TESTING LABORATORY TO MAKE CONCRETE CYLINDERS AND PERFORM COMPRESSIVE TESTS.

- PORTLAND CEMENT SHALL CONFORM TO ASTM C-150. AGGREGATE SHALL CONFORM TO ASTM C-33.

REINFORCEMENT

- ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE", ACI 315 LATEST EDITION.
- ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60.
- STANDARD PROTECTIVE COVER OF REINFORCING BARS UNLESS OTHERWISE NOTED SHALL BE:

FOOTINGS AND PIERS	
TOPS.....	2 IN.
SIDES.....	3 IN.
BOTTOMS.....	3 IN.
OTHER.....	1 1/2 IN.

TIMBER NOTES

- UNLESS NOTED OTHERWISE, ALL STRUCTURAL FRAMING LUMBER SHALL BE CLEARLY MARKED NO. 2 K.D. PINE BY THE SPIB WITH A MINIMUM F_b=1000 PSI. ALL WALL STUDS SHALL BE S-P-F LUMBER, NO. 2 OR BETTER.
- SOLID 2" BLOCKING SHALL BE PROVIDED AT THE ENDS AND POINTS OF SUPPORT OF ALL JOISTS, RAFTERS, AND PURLINS, AND SHALL BE PLACED BETWEEN SUPPORTS IN ROWS NOT EXCEEDING 8'-0" APART. ALL WALLS SHALL HAVE SOLID 2" BLOCKING AT 8'-0" O.C. MAX. VERTICALLY, END NAIL WITH (2)-16d NAILS OR SIDE TOE NAIL WITH (2)-12d NAILS. ALL BLOCKING SHALL BE SAME DEPTH AS MEMBERS BEING BLOCKED.
- ALL CONNECTIONS FOR WOOD FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FASTENING SCHEDULE (TABLE R602.3(1)).
- ALL WOOD STUD WALLS SHALL BE FULL HEIGHT WITHOUT INTERMEDIATE PLATE LINE UNLESS DETAILED OTHERWISE.
- INCLUDE AN ALLOWANCE FOR 200 BOARD FEET OF LUMBER TO BE USED AS DIRECTED IN THE FIELD FOR SPECIAL CONDITIONS NOT COVERED BY NOTE OR DRAWING (LABOR FOR ERECTING SAME TO BE INCLUDED). UPON COMPLETION OF PROJECT, REBATE TO OWNER ANY AMOUNT REMAINING.
- PROVIDE TRIPLE STUDS (OR CRIPPLES) AT EACH END OF ANY HEADER, BEAM, RIDGE, VALLEY, OR HIP SPANNING OVER 10'-0" UNLESS NOTED OTHERWISE. PROVIDE DOUBLE STUDS (OR CRIPPLES) AT EACH END OF ANY HEADER, BEAM, RIDGE, VALLEY, OR HIP SPANNING 5'-0" TO 10'-0" UNLESS NOTED OTHERWISE.
- ALKALINE COPPER QUATERNARY (ACQ) PRESSURE TREATED LUMBER PRODUCTS ARE HIGHLY CORROSIVE TO METAL CONNECTORS AND FASTENERS. ALL FASTENERS AND METAL CONNECTORS USED IN CONJUNCTION WITH THE ACQ PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED (MIN. G185 COATING) OR TYPE 304 OR 316 STAINLESS STEEL. THESE LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - ANCHOR BOLTS AT SOLE PLATE TO FOUNDATION
 - MUD SILL ANCHORS AT SOLE PLATE TO FOUNDATION
 - NAILS FROM SOLE PLATE TO WALL STUDS
 - NAILS AT EXTERIOR PLYWOOD SHEATHING TO SOLE PLATE
 - BOLTS AT LEDGER TO CONCRETE
 - JOIST TO TREATED LEDGER CONNECTIONS
 - ALL HANGERS ON TREATED JOISTS
 - PLYWOOD DECKING TO TREATED JOISTS
 - WOOD POSTS TO CONCRETE
 - NAILS AT FLOOR JOISTS AND RM JOISTS TO SOLE PLATE
 - DECK BOARDS TO TREATED JOISTS

PLYWOOD DECKING AND SHEATHING

- ALL PLYWOOD SHEATHING AT WALLS SHALL BE 15/32" THICK GRADE C-D WITH EXTERIOR GLUE. PROVIDE SOLID 2" BLOCKING AT ALL JOINTS IN PLYWOOD SHEAR WALLS.
- ALL PLYWOOD DECKING AT ROOFS SHALL BE 19/32" THICK GRADE C-D WITH EXTERIOR GLUE. ALL JOINTS IN PLYWOOD DECKING SHALL BE STAGGERED.
- ALL WALL SHEATHING AND ROOF DECKING SHALL BE NAILED TO SUPPORTING MEMBERS ALONG THE EDGES WITH 8d NAILS SPACED AT 6" O.C. AND AT INTERMEDIATE SUPPORTS WITH 8d NAILS SPACED AT 12" O.C. 1 3/4" 16 GAGE STAPLES CAN BE USED IN LIEU OF NAILS FOR EXTERIOR SHEATHING PROVIDED THAT STAPLES ARE SPACED AT 3" O.C. AT ALL EDGES AND 6" O.C. AT ALL INTERMEDIATE SUPPORTS. ORIENTED STRAND BOARD MAY BE USED IN LIEU OF PLYWOOD AT CONTRACTOR'S OPTION.
- ALL PLYWOOD DECKING AT FLOORS SHALL BE 3/4" OR 1 1/8" THICK GRADE C-D WITH EXTERIOR GLUE. ALL JOINTS IN PLYWOOD DECKING SHALL BE STAGGERED. GLUE AND SCREW ALL FLOOR DECKING TO WOOD FRAMING MEMBERS.
- FLOOR DECKING SHALL BE SCREWED TO SUPPORTING MEMBERS ALONG THE EDGES WITH 2 1/2" LONG #8 WOOD SCREWS SPACED AT 6" O.C. AND AT INTERMEDIATE SUPPORTS WITH 2 1/2" LONG #8 WOOD SCREWS SPACED AT 12" O.C.

PRE-FABRICATED WOOD TRUSSES

- FOR SIZE AND LOCATION OF MECHANICAL UNITS AND / OR OPENINGS REQUIRED IN TRUSS WEBS FOR DUCTS OR MECHANICAL UNITS, SEE MECHANICAL DRAWINGS.
- ALL FLOOR TRUSSES SHALL BE DESIGNED FOR A LIVE LOAD ACCORDING TO THE DESIGN CRITERIA OR TO THE LOADING DIAGRAMS SHOWN.
- TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS, AND CALCULATIONS, WITH SEAL OF REGISTERED ENGINEER IN THE STATE OF TEXAS, FOR REVIEW. SHOP DRAWINGS SHALL INCLUDE SIZE AND LOCATION OF ALL REQUIRED BRACING MEMBERS (TEMPORARY AND PERMANENT) AND DETAILS OF ALL TRUSS TO TRUSS CONNECTIONS (EXAMPLE: HIP JACK TRUSS TO GIRDER TRUSS AND COMMON JACK TRUSSES TO GIRDER TRUSS).
- TRUSS MANUFACTURER SHALL PROVIDE A COPY OF BCSI GUIDE FOR HANDLING, INSTALLING, AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES TO TRUSS ERECTOR.
- MAXIMUM LIVE LOAD DEFLECTION SHALL BE SPAN LENGTH / 360 FOR ROOF, FLOOR, BALCONY, AND CORRIDOR TRUSSES. MAXIMUM TOTAL LOAD DEFLECTION SHALL BE SPAN LENGTH /240 FOR ROOF, FLOOR, BALCONY, AND CORRIDOR TRUSSES. THE MAXIMUM DEFLECTION SHALL NOT EXCEED 1 INCH.

LAMINATED VENEER LUMBER

- ALL LVL'S SHALL BE FABRICATED TO STANDARDS SET FORTH IN THE NATIONAL EVALUATION SERVICE (NES) REPORT NO. NER-481 AND SHALL PROVIDE MINIMUM ALLOWABLE DESIGN VALUES OF 2600 PSI IN BENDING, 285 PSI IN HORIZONTAL SHEAR PERPENDICULAR TO THE GLUE LINE, AND 1,900,000 PSI IN MODULUS OF ELASTICITY.

PARALLEL STRAND LUMBER

- ALL PSL'S SHALL BE FABRICATED TO STANDARDS SET FORTH IN THE NATIONAL EVALUATION SERVICE (NES) REPORT NO. NER-481 AND SHALL PROVIDE MINIMUM ALLOWABLE DESIGN VALUES OF 2900 PSI IN BENDING, 290 PSI IN HORIZONTAL SHEAR PERPENDICULAR TO THE GLUE LINE, AND 2,000,000 PSI IN MODULUS OF ELASTICITY.
- ALL PSL BEAMS SHALL BE PARALLAM PLUS PSL WITH WOLMANIZED PRESERVATIVE PROTECTION BY WEYERHAEUSER.

POST-INSTALLED ANCHORS

- POST-INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER-OF-RECORD PRIOR TO INSTALLING POST-INSTALLED ANCHORS IN PLACE OF MISSING OR MISPLACED CAST-IN-PLACE ANCHORS. CARE SHALL BE TAKEN IN PLACING POST-INSTALLED ANCHORS TO AVOID CONFLICTS WITH EXISTING REBAR. HOLES SHALL BE DRILLED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. SUBSTITUTION REQUESTS FOR PRODUCTS OTHER THAN THOSE SPECIFIED BELOW SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER-OF-RECORD ALONG WITH CALCULATIONS THAT ARE PREPARED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER. THE CALCULATIONS SHALL DEMONSTRATE THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERTINENT EQUIVALENT PERFORMANCE VALUES (MINIMUM) OF THE SPECIFIED PRODUCT USING THE APPROPRIATE DESIGN PROCEDURE AND/OR STANDARD(S) AS REQUIRED BY THE BUILDING CODE. PROVIDE CONTINUOUS SPECIAL INSPECTION FOR ALL MECHANICAL AND ADHESIVE ANCHORS PER THE APPLICABLE EVALUATION REPORT (ICC-ES ESR). CONTACT MANUFACTURER'S REPRESENTATIVE FOR THE INITIAL TRAINING AND INSTALLATION OF ANCHORS AND FOR PRODUCT RELATED QUESTIONS AND AVAILABILITY. CALL SIMPSON STRONG-TIE AT (800) 999-5099.
- CONCRETE ANCHORS
 - MECHANICAL ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ACI 308.2 AND ICC-ES AC108 FOR CRACKED AND UNCRACKED CONCRETE RECOGNITION. PRE-APPROVED MECHANICAL ANCHORS INCLUDE:
 - SIMPSON STRONG-TIE "TITEN-HID" AND "TITEN-HID ROD HANGER" (ICC-ES ESR-2713)
 - SIMPSON STRONG-TIE "STRONG-BOLT" (ICC-ES ESR-1771)
 - SIMPSON STRONG-TIE "STRONG-BOLT 2" (ICC-ES ESR-3037)
 - ADHESIVE ANCHORS SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ICC-ES AC308 FOR CRACKED AND UNCRACKED CONCRETE RECOGNITION. PRE-APPROVED ADHESIVE ANCHORS INCLUDE:
 - SIMPSON STRONG-TIE "SET-XP" (ICC-ES ESR-2508)

NAILING SCHEDULE		
CONNECTIONS		NAILING
1. JOIST TO SILL OR GIRDER, TOENAIL		3-8D
2. 1"x6" SUBFLOOR OR LESS TO EA JOIST, FACE NAIL		2-8D
3. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL		2-16D
4. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16D AT 16" O.C.	
5. TOP OF SOLE PLATE TO STUD, END NAIL		2-16D
6. STUD TO SOLE PLATE, TOENAIL		3-8D OR 2-16D
7. DOUBLE STUDS, FACE NAIL		10D AT 24" O.C.
8. DOUBLE TOP PLATES, FACE NAIL		10D AT 24" O.C.
9. SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16D AT 16" O.C.	
10. DOUBLE TOP PLATES, MINIMUM 24-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA		8-16D
11. BLOCKING BTWN. JOISTS OR RAFTERS TO TOP PLATE, TOENAIL		3-8D
12. RIM JOIST TO TOP PLATE, TOE NAIL		8D AT 6" O.C.
13. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL		2-10D
14. BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16D AT 16" O.C. ALONG EACH EDGE	
15. CONTINUED HEADER, TWO PIECES	16D AT 16" O.C. ALONG EACH EDGE	
16. CEILING JOIST TO PLATE, TOENAIL		3-8D
17. CONTINUOUS HEADER TO STUD, TOENAIL		4-8D
18. CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL		3-10D
19. CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL		3-10D
20. RAFTER TO PLATE, TOENAIL		2-16D
21. 1" BRACE TO EA STUD AND PLATE, FACE NAIL		3-8D
22. 1"x6" SHEATHING TO EA BEARING, FACE NAIL		2-8D
23. 1"x8" SHEATHING TO EA BEARING, FACE NAIL		2-8D
24. WIDER THAN 1"x8" SHEATHING TO EA BEARING, FACE NAIL		3-8D
25. BUILT-UP CORNER STUDS	10D @ 24" O.C.	
26. BUILT-UP GIRDERS AND BEAMS 2-INCH LUMBER LAYERS, FACE NAIL	10D @ 32" O.C. AT TOP AND BOTTOM AND STAGGERED, 2-10D @ ENDS AND AT EACH SPLICE	
27. 2" PLANKS, EACH BEARING		2-16D
28. ROOF RAFTER TO RIDGE, VALLEY, OR HIP RAFTERS	4-16D, TOENAIL OR 3-16D, FACE NAIL	
29. RAFTER TIES TO RAFTERS, FACE		3-8D
30. COLLAR TIE TO RAFTER, FACE		3-10D

2012 IRC NAILING SCHEDULE



PROJECT:
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STRUCTURAL:
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CONTACT: JUSTIN BILLODEAU, P.E.
512-328-5353
justinb@archcne.net

ENGINEER'S SEAL:



SCALE:
22x34: 1/4" = 1'-0"
11x17: 1/8" = 1'-0"

DATE:
03.28.2016

GENERAL NOTES

S0.0

JOIST/RAFTER HANGER SCHEDULE

JOIST/RAFTER SIZE	SIMPSON FACEMOUNT HANGER	SIMPSON CONCEALED FLANGE HANGER
2 x 4's	LUS24	LUC24
2 x 6's/2 x 8's	LUS26	LUC26
2 x 10's/2 x 12's	LUS210	LUC210
(2) 2 x 6's/ (2) 2 x 8's	LUS26-2	HUSC26-2
(2) 2 x 10's/ (2) 2 x 12's	LUS210-2	HUC210-2
(2) 1 3/4" x 11 1/4" LVL	HHUS410	HHUCQ412-SDS
(3) 1 3/4" x 11 1/4" LVL	HHUS5.50/10	HHUCQ612-SDS
(2) 1 3/4" x 18" LVL	HHUS410	HHUCQ412-SDS
(3) 2x8	LUS26-3	HUSC26-3

PROVIDE ZMAX HANGERS AT ALL TREATED LUMBER.



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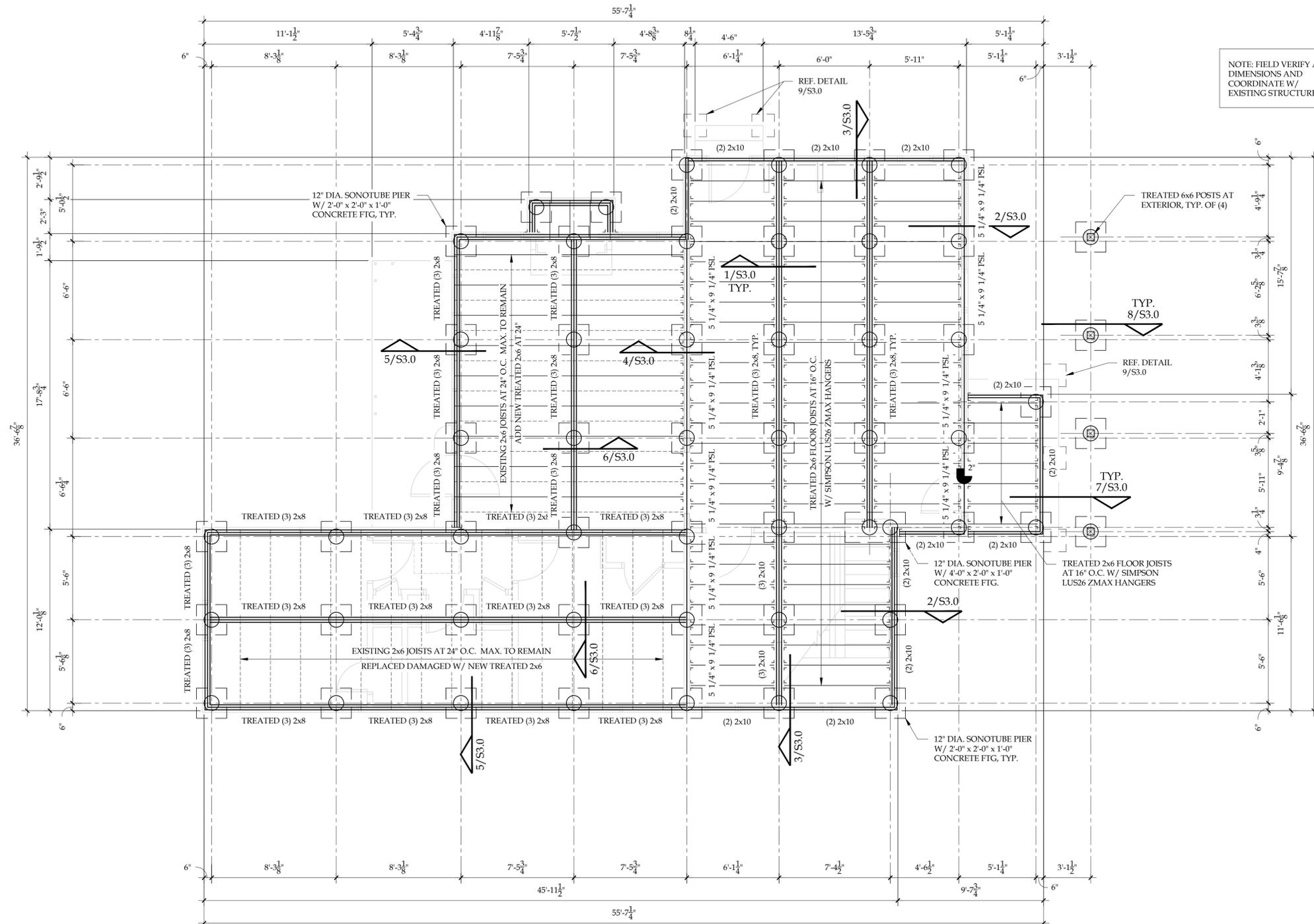


SCALE:
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DATE:
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FOUNDATION PLAN

S1.0



- NOTES:
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION. CONTACT ENGINEER IF CONDITIONS ARE DIFFERENT THAN SHOWN.
 - PROVIDE SHORING, BRACING, ETC. OF REMAINING STRUCTURE AS REQ'D. FOR SAFETY AND STRUCTURAL INTEGRITY.
 - PROVIDE WEATHER PROTECTION FOR THE DURATION OF THE DEMOLITION WORK.
 - REF. ARCH'L DRAWINGS FOR ALL OPENING DIMENSIONS AND LOCATIONS TO LOCATE NEW FRAMING AND FOOTING LOCATIONS.
 - REPLACE ANY DAMAGED WOOD FRAMING WITH MEMBERS OF SAME SIZE AND SPACING. NOTIFY ENGINEER OF ANY STRUCTURAL DEFICIENCIES FOUND IN EXISTING FRAMING THAT NEED TO BE ADDRESSED (I.E. SPLIT, CUT, OR MEMBERS SHOWING EXCESSIVE DEFLECTIONS).
 - SONOTUBE AND FOOTINGS AT EXISTING STRUCTURE ARE SHOWN IN APPROXIMATE LOCATION AS EXISTING. CONTRACTOR TO VERIFY THAT EXISTING SONOTUBES ARE SUPPORTED BY A MINIMUM 2'-0"x2'-0"x1'-0" CONCRETE FOOTING BEARING AT A MINIMUM DEPTH OF 30" BELOW FINISHED GRADE. IF EXISTING FOOTINGS DO NOT MEET THE SPECIFICATIONS ABOVE, SHORE EXISTING STRUCTURE, REMOVE AND REPLACE WITH NEW.
 - ALL NEW BEAMS TO BE TREATED (3) 2x8 NO. 2 SOUTHERN YELLOW PINE AT INTERIOR AND EXTERIOR UNLESS NOTED OTHERWISE ON PLAN. ALL NEW BEAMS AND FLOOR JOISTS TO BE TREATED MATERIAL.

1. FOUNDATION PLAN

1/4" = 1'-0"

JOIST/RAFTER HANGER SCHEDULE

JOIST/RAFTER SIZE	SIMPSON FACEMOUNT HANGER	SIMPSON CONCEALED FLANGE HANGER
2 x 4's	LUS24	LUC24
2 x 6's/2 x 8's	LUS26	LUC26
2 x 10's/2 x 12's	LUS210	LUC210
(2) 2 x 6's/ (2) 2 x 8's	LUS26-2	HUSC26-2
(2) 2 x 10's/ (2) 2 x 12's	LUS210-2	HUC210-2
(2) 1 3/4" x 11 1/4" LVL	HHUS410	HHUCQ412-SDS
(3) 1 3/4" x 11 1/4" LVL	HHUS5.50/10	HHUCQ612-SDS
(2) 1 3/4" x 18" LVL	HHUS410	HHUCQ412-SDS
(3) 2x8	LUS26-3	HUSC26-3

PROVIDE ZMAX HANGERS AT ALL TREATED LUMBER.

CEILING JOIST SCHEDULE

JOISTS / SPACING	MAX. SPAN W/O ATTIC STORAGE (LIVE LOAD = 10 PSF)	MAX. SPAN W/ ATTIC STORAGE (LIVE LOAD = 20 PSF)
2 x 6's AT 24" O.C.	11'-0"	10'-0"
2 x 8's AT 24" O.C.	14'-6"	13'-0"
2 x 10's AT 24" O.C.	18'-6"	16'-6"
2 x 12's AT 24" O.C.	22'-6"	19'-6"

ALL JOISTS ARE NO. 2 SOUTHERN YELLOW PINE
INSTALL FULL DEPTH BLOCKING BETWEEN JOISTS AT 8'-0" O.C. MAX. SPACING



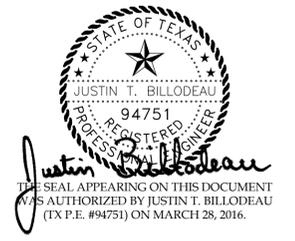
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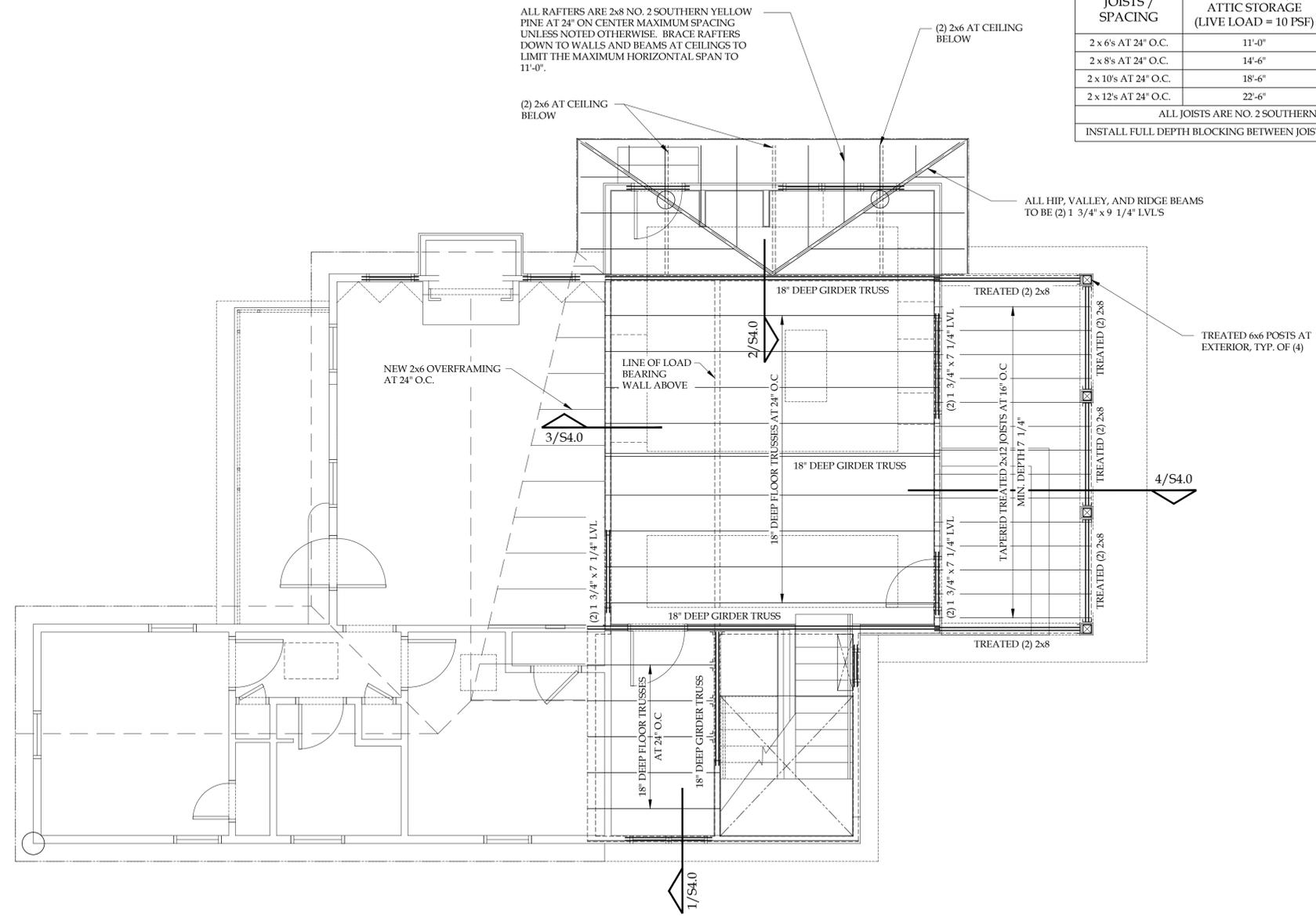


SCALE:
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11x17: 1/8" = 1'-0"

DATE:
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SECOND FLOOR AND LOW ROOF PLAN

S2.0



ALL RAFTERS ARE 2x8 NO. 2 SOUTHERN YELLOW PINE AT 24" ON CENTER MAXIMUM SPACING UNLESS NOTED OTHERWISE. BRACE RAFTERS DOWN TO WALLS AND BEAMS AT CEILINGS TO LIMIT THE MAXIMUM HORIZONTAL SPAN TO 11'-0".

(2) 2x6 AT CEILING BELOW

(2) 2x6 AT CEILING BELOW

ALL HIP, VALLEY, AND RIDGE BEAMS TO BE (2) 1 3/4" x 9 1/4" LVLS

TREATED 6x6 POSTS AT EXTERIOR, TYP. OF (4)

NEW 2x6 OVERFRAMING AT 24" O.C.

LINE OF LOAD BEARING WALL ABOVE

3/S4.0

2/S4.0

18" DEEP GIRDER TRUSS

18" DEEP GIRDER TRUSS

18" DEEP GIRDER TRUSS

18" DEEP GIRDER TRUSS

18" DEEP FLOOR TRUSSES AT 24" O.C.

18" DEEP FLOOR TRUSSES AT 24" O.C.

1/S4.0

(2) 1 3/4" x 7 1/4" LVL

TREATED (2) 2x8

TREATED (2) 2x8

TREATED (2) 2x8

TREATED (2) 2x8

4/S4.0

TAPERED TREATED 2x12 JOISTS AT 16" O.C. MIN. DEPTH 1 1/4"

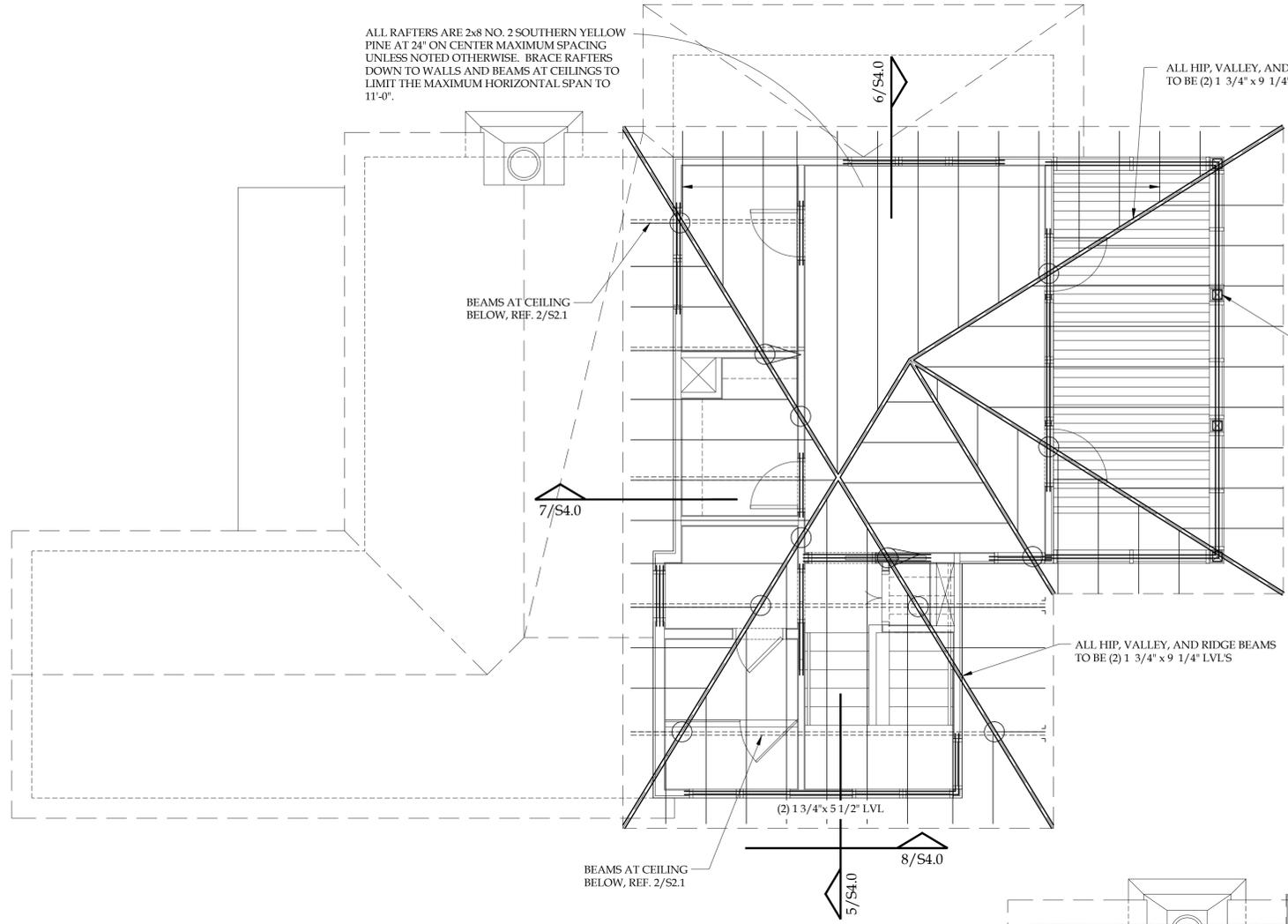
NOTES:

- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION. CONTACT ENGINEER IF CONDITIONS ARE DIFFERENT THAN SHOWN.
- PROVIDE SHORING, BRACING, ETC. OF REMAINING STRUCTURE AS REQ'D. FOR SAFETY AND STRUCTURAL INTEGRITY.
- PROVIDE WEATHER PROTECTION FOR THE DURATION OF THE DEMOLITION WORK.
- REF. ARCH'L DRAWINGS FOR ALL OPENING DIMENSIONS AND LOCATIONS TO LOCATE NEW FRAMING AND FOOTING LOCATIONS.
- REPLACE ANY DAMAGED WOOD FRAMING WITH MEMBERS OF SAME SIZE AND SPACING. NOTIFY ENGINEER OF ANY STRUCTURAL DEFICIENCIES FOUND IN EXISTING FRAMING THAT NEED TO BE ADDRESSED (I.E. SPLIT, CUT, OR MEMBERS SHOWING EXCESSIVE DEFLECTIONS).
- ALL NEW HEADERS IN 2x4 STUD WALLS SHALL BE (2) 2x6 NO. 2 SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
- ALL RAFTERS ARE 2x8 NO. 2 SOUTHERN YELLOW PINE AT 24" ON CENTER MAXIMUM SPACING UNLESS NOTED OTHERWISE. BRACE RAFTERS DOWN TO WALLS AND BEAMS AT CEILINGS TO LIMIT THE MAXIMUM HORIZONTAL SPAN TO 11'-0".
- TRUSS MFR. TO PROVIDE FACE MOUNT HANGERS FOR ALL TRUSSES WHERE REQUIRED.
- BRACE DOWN TO WALL OR BEAM BELOW

1. SECOND FLOOR AND LOW ROOF PLAN

1/4" = 1'-0"

ALL RAFTERS ARE 2x8 NO. 2 SOUTHERN YELLOW PINE AT 24" ON CENTER MAXIMUM SPACING UNLESS NOTED OTHERWISE. BRACE RAFTERS DOWN TO WALLS AND BEAMS AT CEILINGS TO LIMIT THE MAXIMUM HORIZONTAL SPAN TO 11'-0".



1. UPPER ROOF PLAN
1/4" = 1'-0"

- NOTES:
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION. CONTACT ENGINEER IF CONDITIONS ARE DIFFERENT THAN SHOWN.
 - PROVIDE SHORING, BRACING, ETC. OF REMAINING STRUCTURE AS REQ'D. FOR SAFETY AND STRUCTURAL INTEGRITY.
 - PROVIDE WEATHER PROTECTION FOR THE DURATION OF THE DEMOLITION WORK.
 - REF. ARCH'L DRAWINGS FOR ALL OPENING DIMENSIONS AND LOCATIONS TO LOCATE NEW FRAMING AND FOOTING LOCATIONS.
 - REPLACE ANY DAMAGED WOOD FRAMING WITH MEMBERS OF SAME SIZE AND SPACING. NOTIFY ENGINEER OF ANY STRUCTURAL DEFICIENCIES FOUND IN EXISTING FRAMING THAT NEED TO BE ADDRESSED (I.E. SPLIT, CUT, OR MEMBERS SHOWING EXCESSIVE DEFLECTIONS).
 - ALL NEW HEADERS IN 2x4 STUD WALLS SHALL BE (2) 2x6 NO. 2 SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
 - ALL RAFTERS ARE 2x8 NO. 2 SOUTHERN YELLOW PINE AT 24" ON CENTER MAXIMUM SPACING UNLESS NOTED OTHERWISE. BRACE RAFTERS DOWN TO WALLS AND BEAMS AT CEILINGS TO LIMIT THE MAXIMUM HORIZONTAL SPAN TO 11'-0".
 - TRUSS MFR. TO PROVIDE FACE MOUNT HANGERS FOR ALL TRUSSES WHERE REQUIRED.
 - BRACE DOWN TO WALL OR BEAM BELOW

ALL HIP, VALLEY, AND RIDGE BEAMS TO BE (2) 1 3/4" x 9 1/4" LVL'S

ALL HIP, VALLEY, AND RIDGE BEAMS TO BE (2) 1 3/4" x 9 1/4" LVL'S

TREATED 6x6 POSTS AT EXTERIOR, TYP. OF (4)

NOTE: ALL CEILING JOISTS ARE 2x6 NO. 2 SOUTHERN YELLOW PINE AT 24" ON CENTER MAXIMUM SPACING UNLESS NOTED OTHERWISE.

JOIST/RAFTER HANGER SCHEDULE

JOIST/RAFTER SIZE	SIMPSON FACEMOUNT HANGER	SIMPSON CONCEALED FLANGE HANGER
2 x 4's	LUS24	LUC24
2 x 6's/2 x 8's	LUS26	LUC26
2 x 10's/2 x 12's	LUS210	LUC210
(2) 2 x 6's/ (2) 2 x 8's	LUS26-2	HUSC26-2
(2) 2 x 10's/ (2) 2 x 12's	LUS210-2	HUC210-2
(2) 1 3/4" x 11 1/4" LVL	HHUS410	HHUCQ412-SDS
(3) 1 3/4" x 11 1/4" LVL	HHUS5.50/10	HHUCQ612-SDS
(2) 1 3/4" x 18" LVL	HHUS410	HHUCQ412-SDS
(3) 2x8	LUS26-3	HUSC26-3

PROVIDE ZMAX HANGERS AT ALL TREATED LUMBER.

CEILING JOIST SCHEDULE

JOISTS / SPACING	MAX. SPAN W/O ATTIC STORAGE (LIVE LOAD = 10 PSF)	MAX. SPAN W/ ATTIC STORAGE (LIVE LOAD = 20 PSF)
2 x 6's AT 24" O.C.	11'-0"	10'-0"
2 x 8's AT 24" O.C.	14'-6"	13'-0"
2 x 10's AT 24" O.C.	18'-6"	16'-6"
2 x 12's AT 24" O.C.	22'-6"	19'-6"

ALL JOISTS ARE NO. 2 SOUTHERN YELLOW PINE
INSTALL FULL DEPTH BLOCKING BETWEEN JOISTS AT 8'-0" O.C. MAX. SPACING



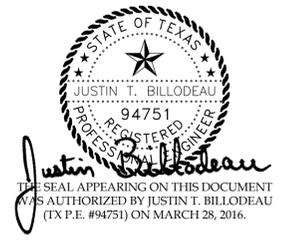
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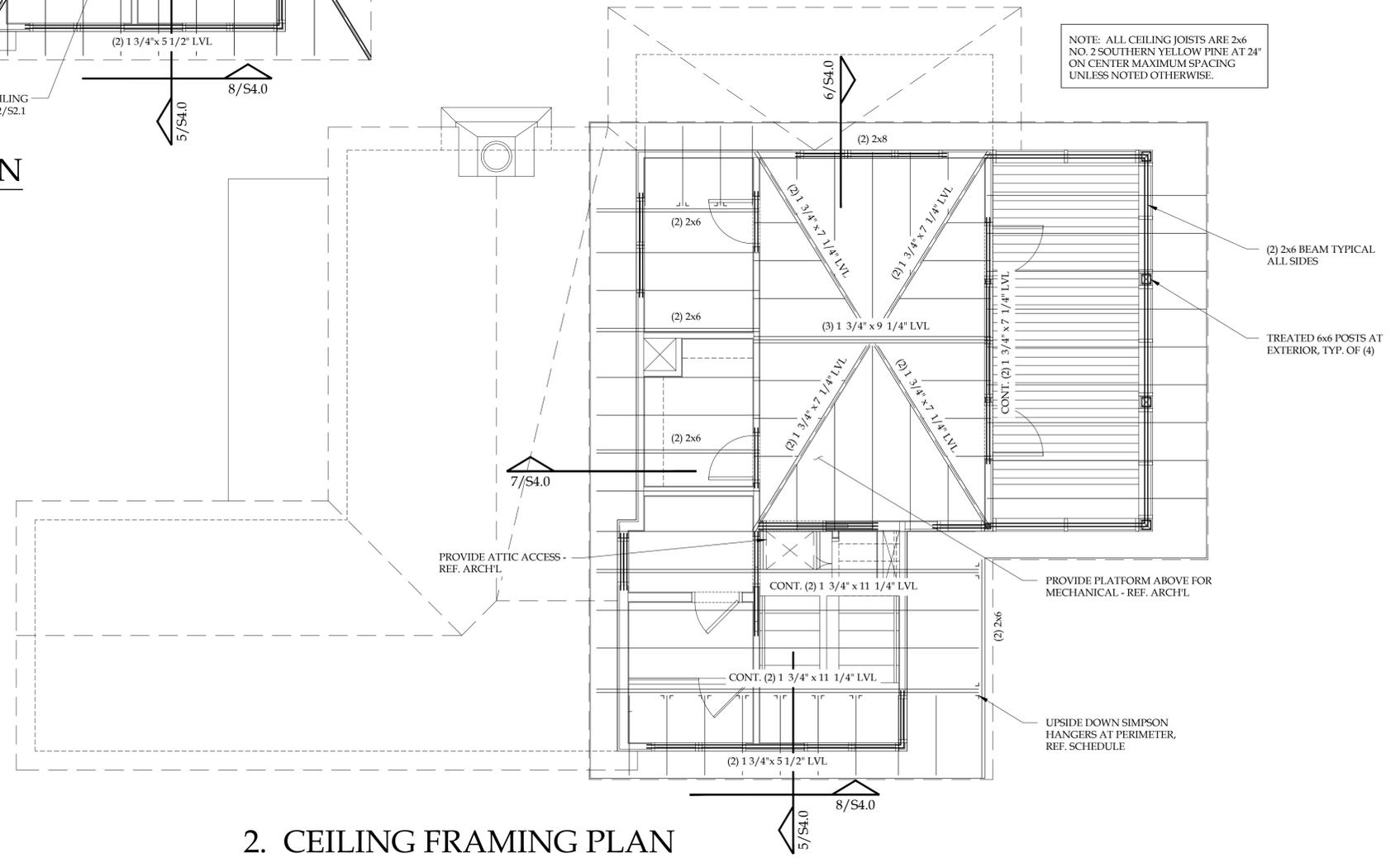
SCALE:
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11x17: 1/8" = 1'-0"

DATE:
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UPPER ROOF AND CEILING FRAMING PLANS

S2.1

2. CEILING FRAMING PLAN
1/4" = 1'-0"



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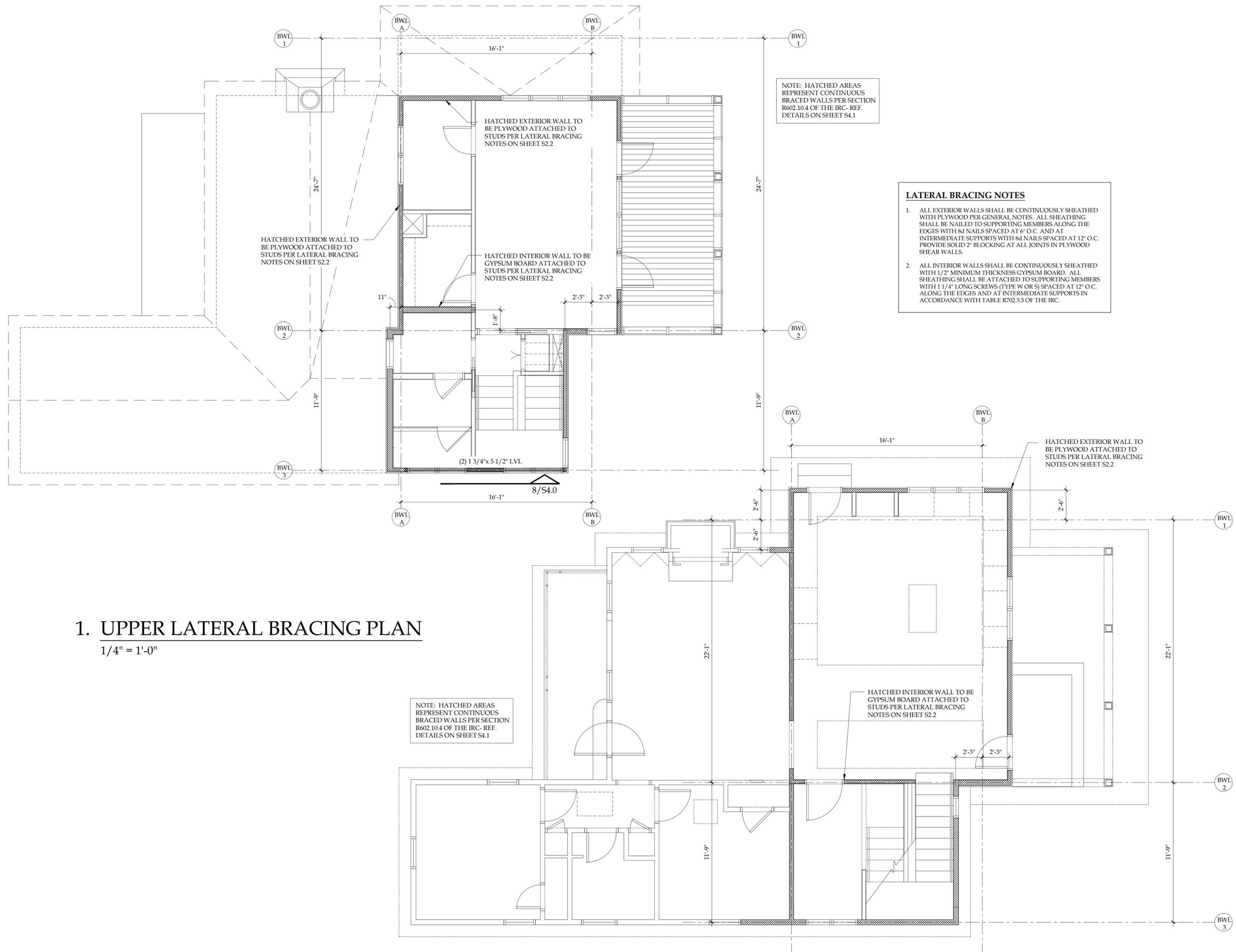


SCALE:
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LATERAL BRACING PLANS

S2.2



NOTE: HATCHED AREAS REPRESENT CONTINUOUS BRACED WALLS PER SECTION R602.10.4 OF THE IRC- REF. DETAILS ON SHEET S4.1

LATERAL BRACING NOTES

- ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH PLYWOOD PER GENERAL NOTES. ALL SHEATHING SHALL BE NAILED TO SUPPORTING MEMBERS ALONG THE EDGES WITH 8d NAILS SPACED AT 6" O.C. AND AT INTERMEDIATE SUPPORTS WITH 8d NAILS SPACED AT 12" O.C. PROVIDE SOLID 2" BLOCKING AT ALL JOINTS IN PLYWOOD SHEAR WALLS.
- ALL INTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH 1/2" MINIMUM THICKNESS GYPSUM BOARD. ALL SHEATHING SHALL BE ATTACHED TO SUPPORTING MEMBERS WITH 1 1/4" LONG SCREWS (TYPE W OR S) SPACED AT 12" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS IN ACCORDANCE WITH TABLE R702.3.5 OF THE IRC.

1. UPPER LATERAL BRACING PLAN
1/4" = 1'-0"

NOTE: HATCHED AREAS REPRESENT CONTINUOUS BRACED WALLS PER SECTION R602.10.4 OF THE IRC- REF. DETAILS ON SHEET S4.1

2. LOWER LATERAL BRACING PLAN
1/4" = 1'-0"



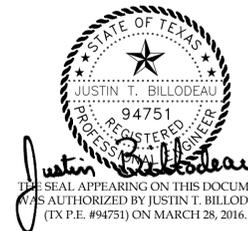
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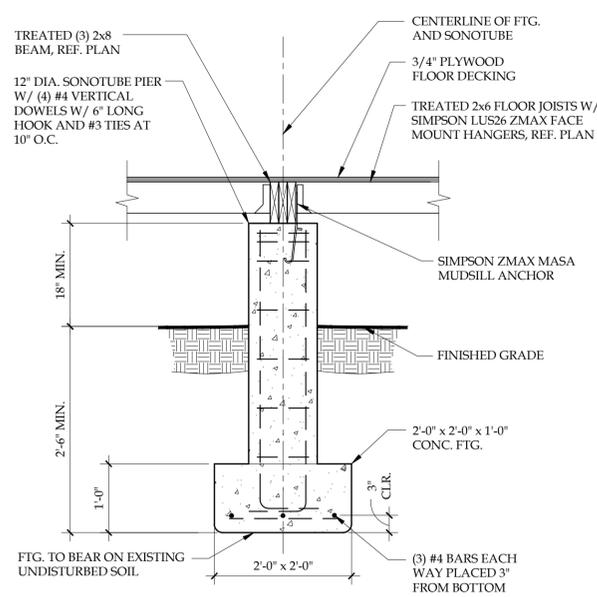
ENGINEER'S SEAL:



SCALE:
22x34: 3/4" = 1'-0"
11x17: 3/8" = 1'-0"
DATE:
03.28.2016

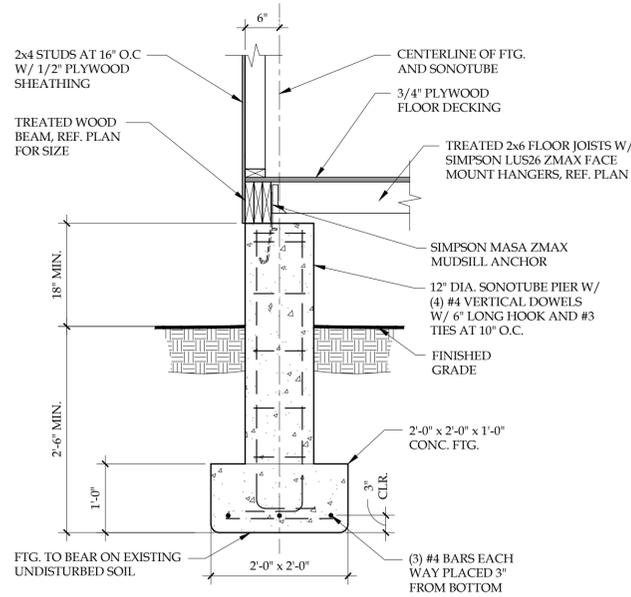
FOUNDATION DETAILS

S3.0



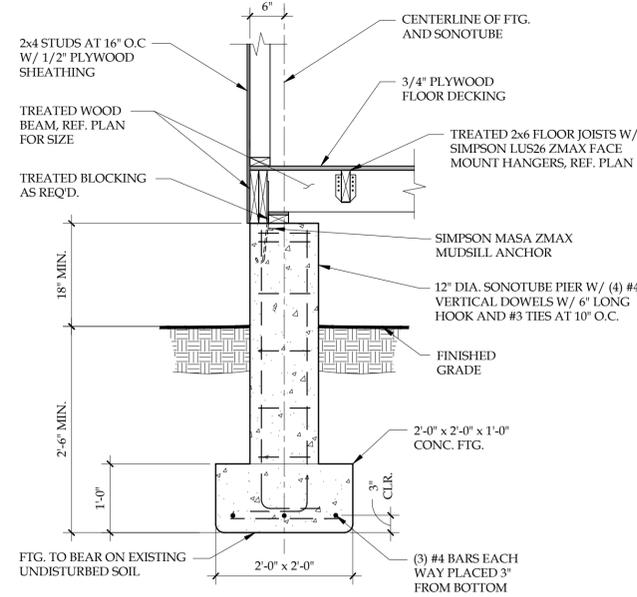
1. TYP. INTERIOR DETAIL

3/4" = 1'-0"



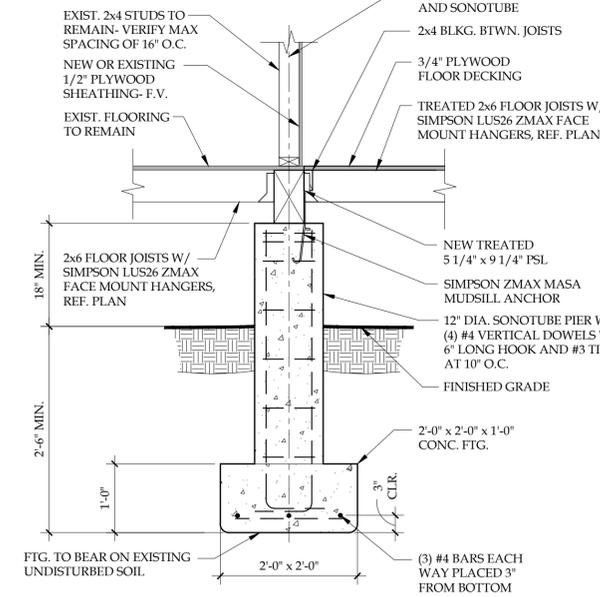
2. TYP. PERIMETER DETAIL

3/4" = 1'-0"



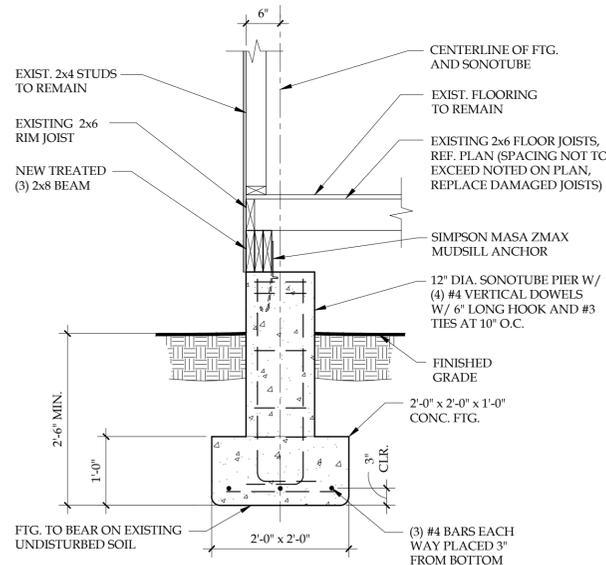
3. TYP. PERIMETER DETAIL

3/4" = 1'-0"



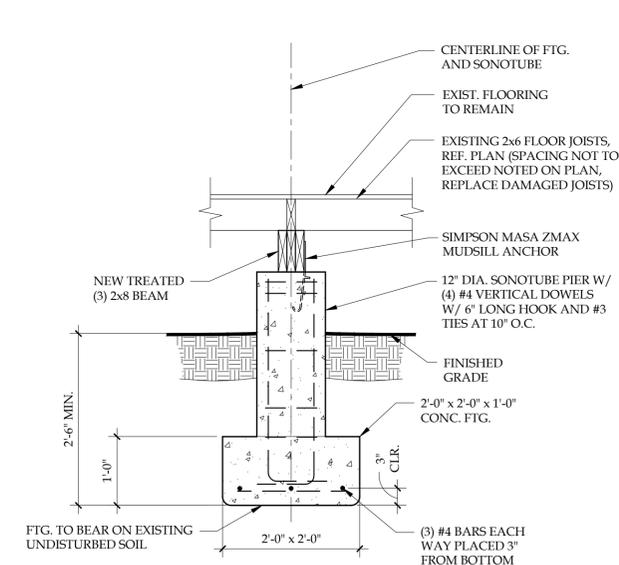
4. FTG. DETAIL AT EXISTING

3/4" = 1'-0"



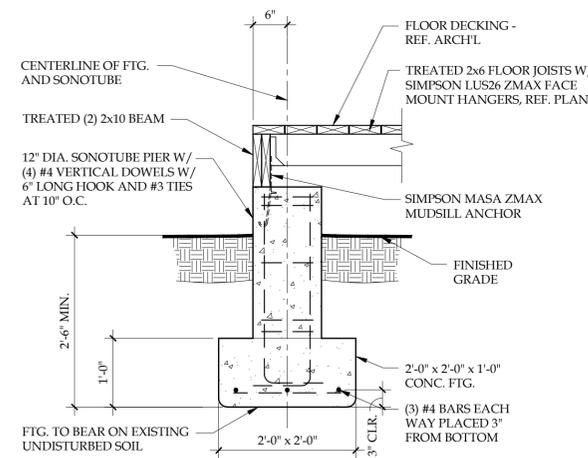
5. PERIMETER DETAIL AT EXIST.

3/4" = 1'-0"



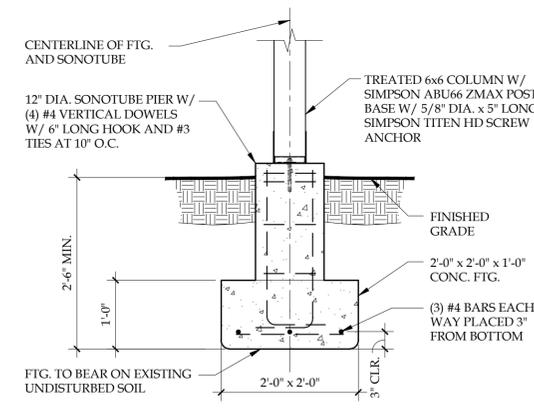
6. INTERIOR DETAIL AT EXIST.

3/4" = 1'-0"



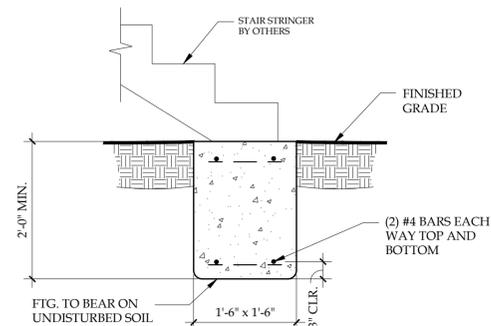
7. FOOTING AT DECK

3/4" = 1'-0"



8. COLUMN FOOTING DETAIL

3/4" = 1'-0"



9. STAIR FOOTING DETAIL

3/4" = 1'-0"



PROJECT:
SAWTELLE RESIDENCE
RENOVATION & ADDITION
4405 AVENUE B
AUSTIN, TEXAS 78751

ARCHITECT:
CLARK | RICHARDSON LLC
1715 E. 6th SUITE #206
AUSTIN, TX 78702
CONTACT: EDWARD RICHARDSON
512-529-9047
ed@clarkrichardson.com

GENERAL CONTRACTOR:

STRUCTURAL:
ARCH CONSULTING ENGINEERS, PLLC
T.B.P.E. # F-9361
510 SOUTH CONGRESS
SUITE B-100
AUSTIN, TEXAS 78704
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512-328-5353
justinb@archce.net

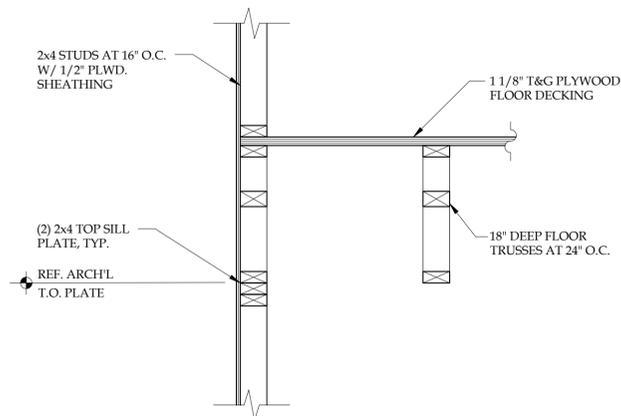
ENGINEER'S SEAL:



SCALE:
22x34: 1" = 1'-0"
11x17: 1/2" = 1'-0"
DATE:
03.28.2016

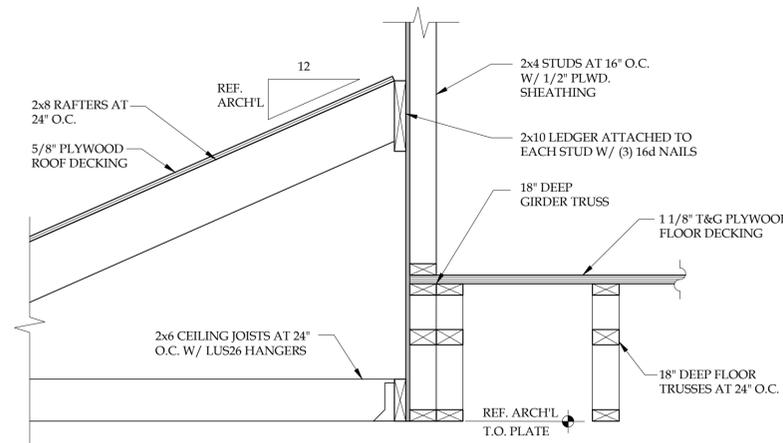
FRAMING DETAILS

S4.0



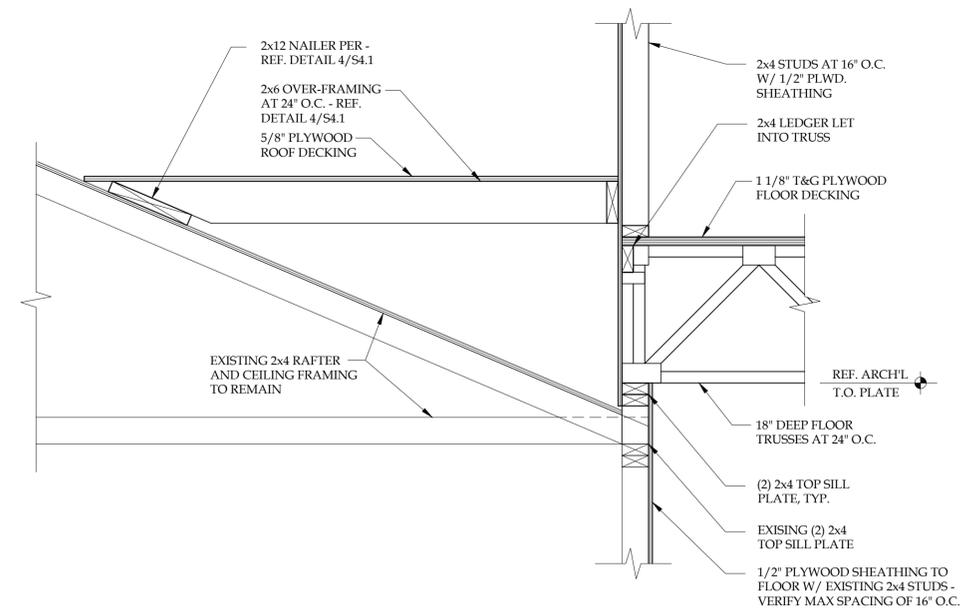
1. FLOOR TRUSS AT EXT. WALL

1" = 1'-0"



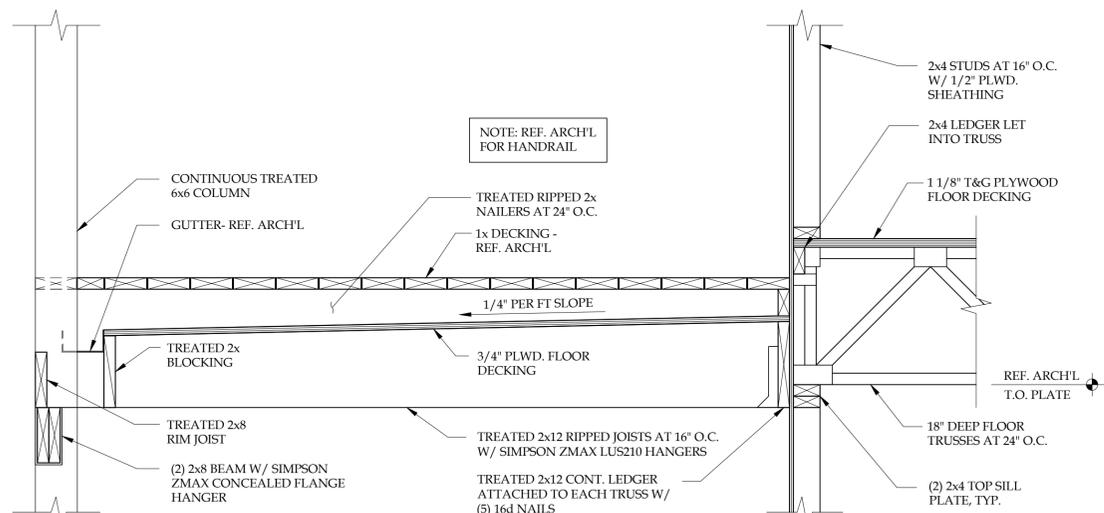
2. FLOOR TRUSS AT EXT. WALL

1" = 1'-0"



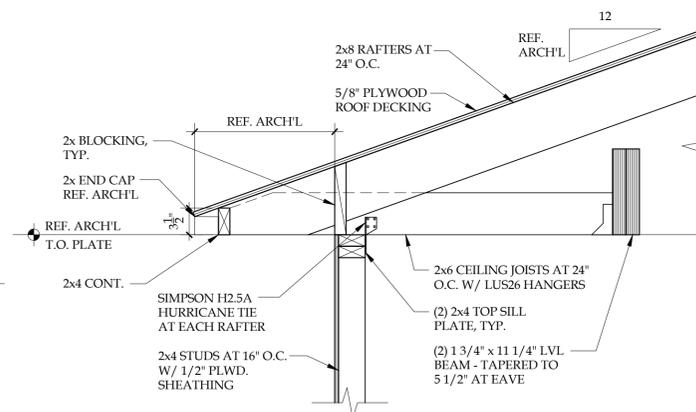
3. FLOOR TRUSS AT EXISTING WALL

1" = 1'-0"



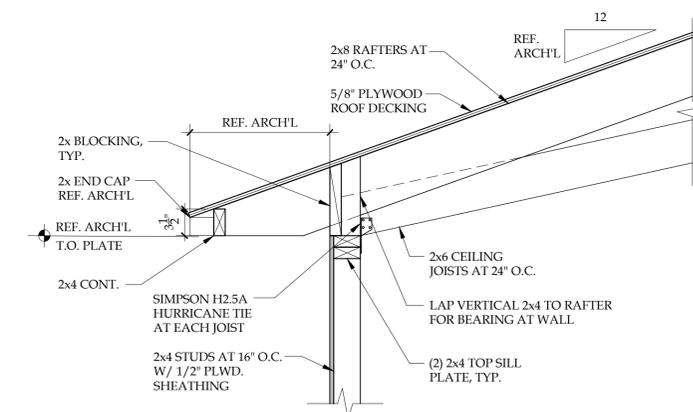
4. FLOOR TRUSS AT NEW DECK

1" = 1'-0"



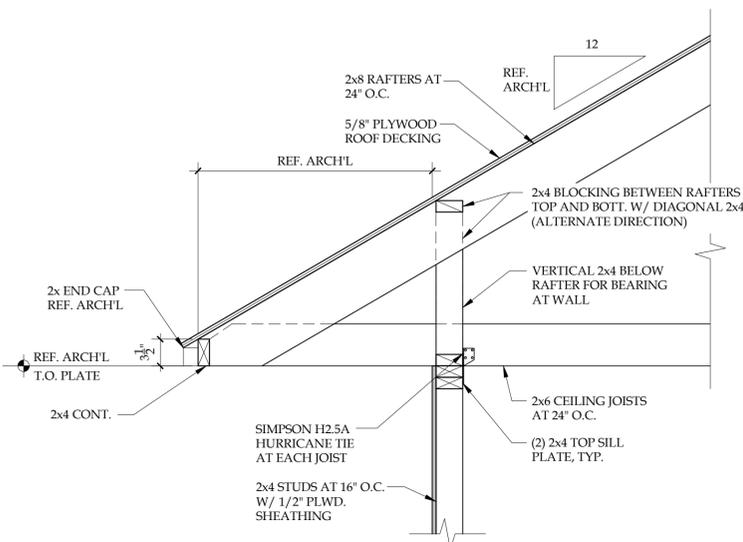
5. SECT. AT RAFTER / CEILING JOIST

1" = 1'-0"



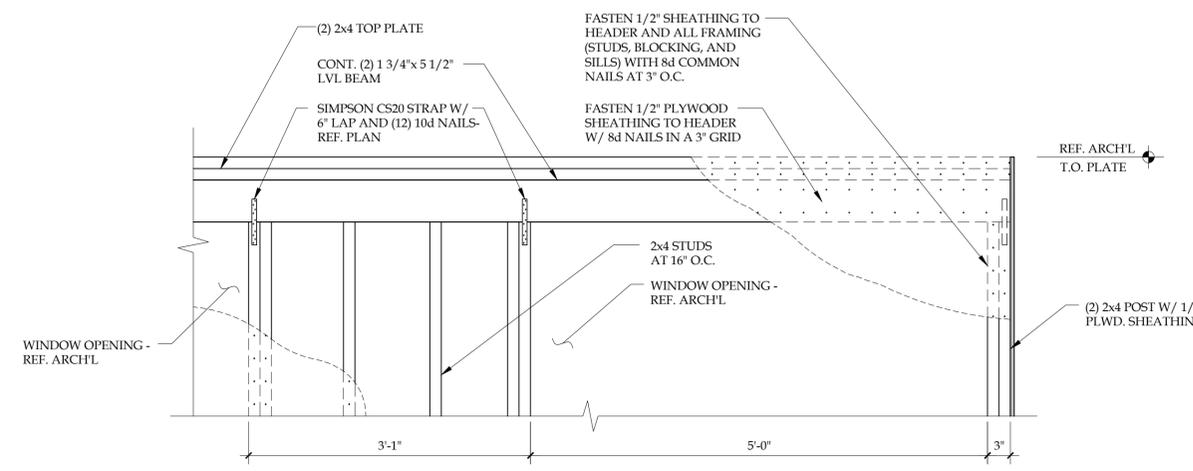
6. SECT. AT RAFTER / CEILING JOIST

1" = 1'-0"



7. SECT. AT RAFTER / CEILING JOIST

1" = 1'-0"



8. STRAP AT LVL

1" = 1'-0"



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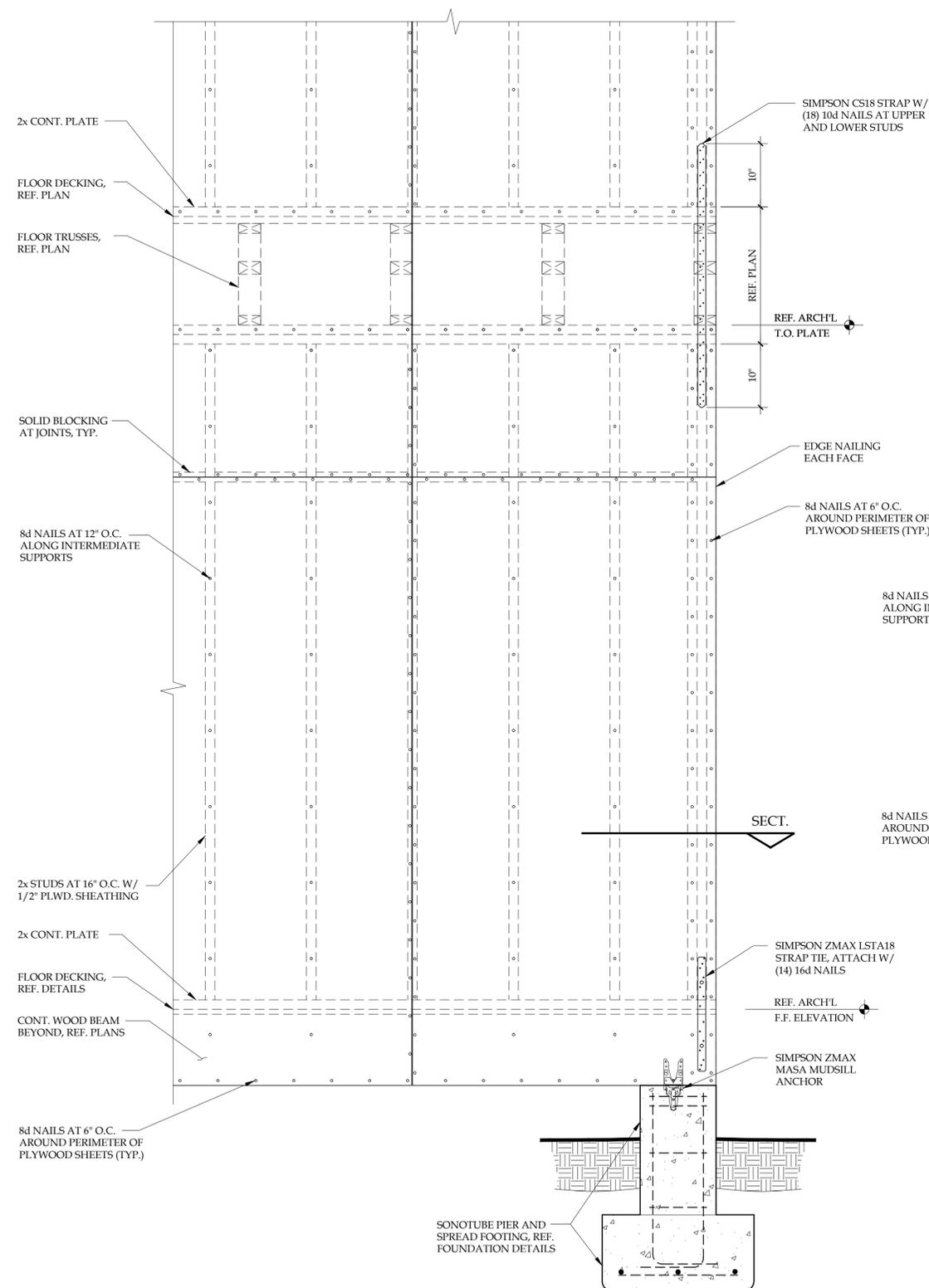
ENGINEER'S SEAL:



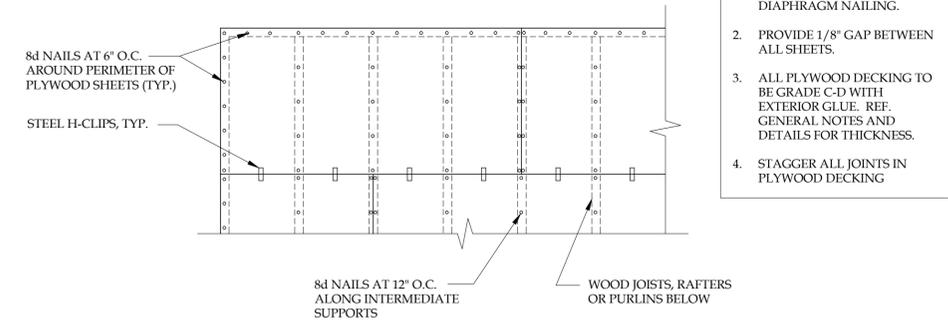
SCALE:
22x34: 1" = 1'-0"
11x17: 1/2" = 1'-0"
DATE:
03.28.2016

LATERAL BRACING DETAILS

S4.1

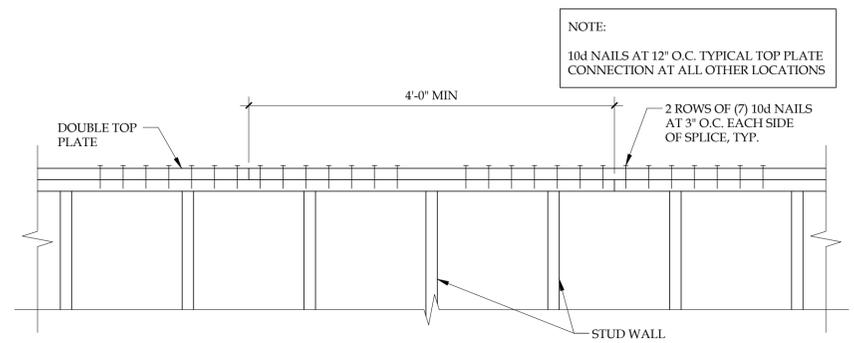


- SHEAR WALL NOTES:**
1. COMMON OR BOX NAILS SHALL BE USED FOR ALL SHEAR WALL NAILING.
 2. PROVIDE 1/8" GAP BETWEEN ALL SHEETS.
 3. ALL PLYWOOD SHEATHING TO BE 15/32" THICK GRADE C-D WITH EXTERIOR GLUE. PROVIDE SOLID 2" BLOCKING AT ALL JOINTS IN PLYWOOD SHEAR WALLS. ORIENTED STRAND BOARD MAY BE USED AT THE CONTRACTOR'S OPTION.



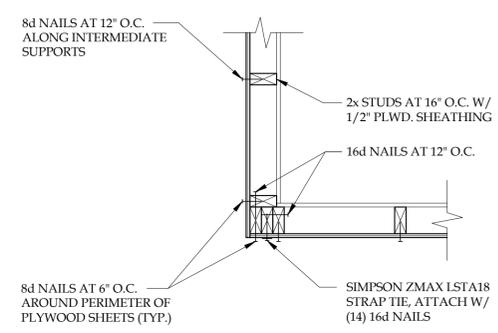
2. TYPICAL ROOF DECK NAILING PATTERN

N.T.S.

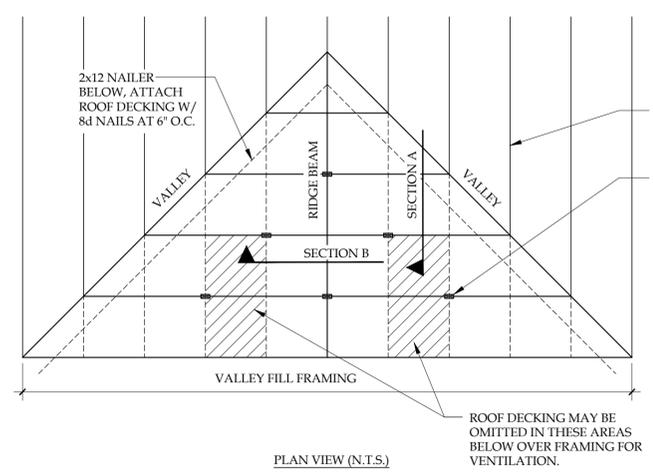


3. TYP. TOP PLATE SPLICE

N.T.S.

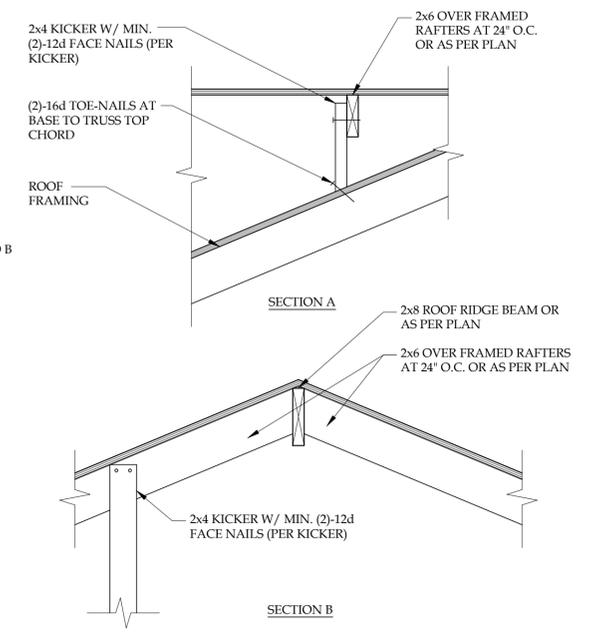


SECTION



4. TYP. OVERFRAMING DETAIL

N.T.S.



1. TYP. EXTERIOR SHEARWALL NAILING PATTERN

N.T.S.

2. TYPICAL ROOF DECK NAILING PATTERN

N.T.S.

3. TYP. TOP PLATE SPLICE

N.T.S.

4. TYP. OVERFRAMING DETAIL

N.T.S.