

612 Brazos Remodel

Existing office building within National Register Historic District
612 Brazos St
Austin, Texas 78701

Contact

Client

Location

Date

Image



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Location

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Image

National Register Historic District (Sixth Street/ Pecan Street)



GIS map of National Register Historic District (Sixth Street)



Contact

Client

Location

Date

Image



Existing East Exterior Elevation



Existing North Exterior Elevation



Contact

Client

Location

Date

Image



Proposed Rendering of East Exterior Elevation



Proposed Rendering of North Exterior Elevation



Contact

Client

Location

Date

Image



Demolition Floor Plan General Notes:

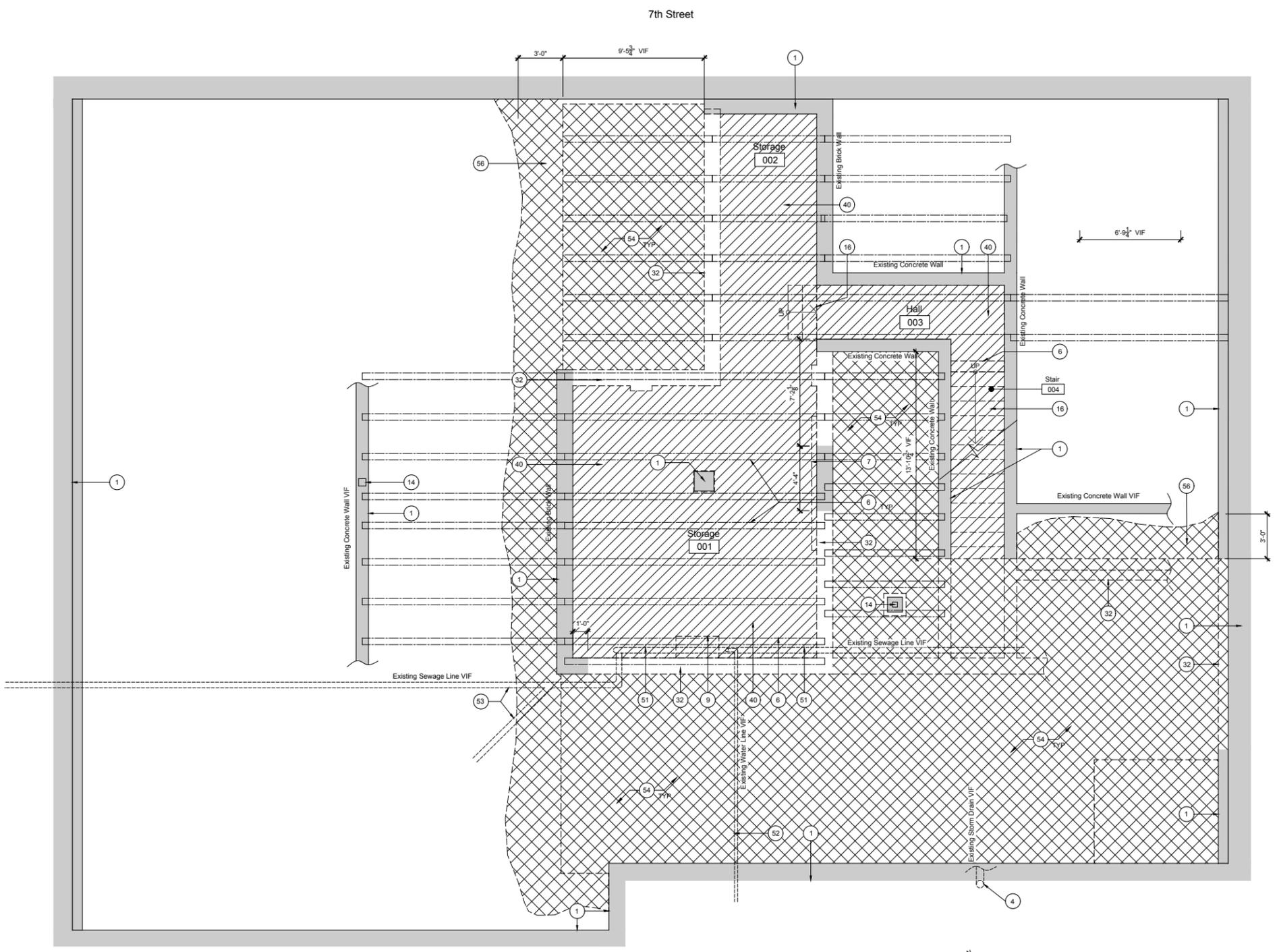
- The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning.
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- (E) denotes existing item
- If certain items are in salvageable condition (ie doors and frames, fixtures) notify MHOA before removing.
- Salvage (E) brick at basement for future reuse.

Demolition Floor Plan Keynotes:

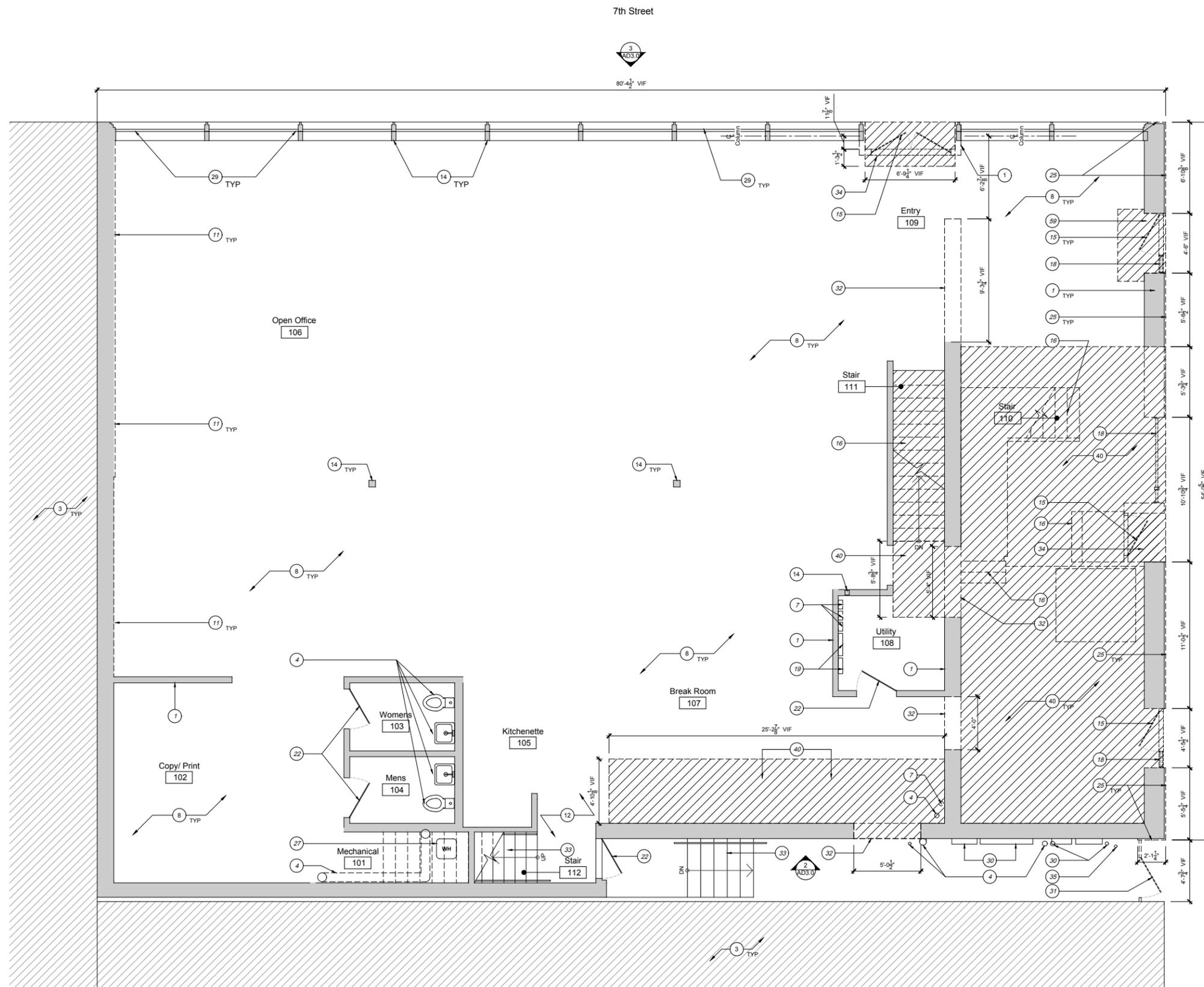
- (E) walls and structural members to remain. Patch/ repair walls as required.
- Reuse/ repair (E) electrical service as required to meet code. Remove unused circuits, switchgear, and telephone lines. Refer to MEP drawings.
- (E) adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- (E) plumbing to remain. Refer to MEP.
- Repair (E) concrete treads and risers at stair.
- Line of (E) beam above to remain per Structural, shown dashed.
- Remove and/or relocate (E) electrical equipment, and associated wires, conduit, etc per MEP.
- (E) flooring to remain, remove misc. debris and prep for future scope.
- (E) pony wall/ buttresses to be removed per Structural.
- Line of (E) joists to remain per Structural. Shown dashed.
- Finish over (E) brick to be removed. Brick wall to remain. Clean, patch, and repoint mortar joints as required.
- (E) tile in vestibule to be removed.
- Not used.
- (E) columns to remain. Beams and joist framing above to remain.
- Remove door.
- Remove stairway, associated framing, handrails, etc.
- Not used.
- Remove window.
- (E) electrical panels, circuits and switchgear to remain. Refer to MEP.
- Not used.
- Not used.
- (E) door to remain.
- Not used.
- (E) steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- Remove (E) exterior cladding and finishes to weather barrier. Existing sheathing and studs to remain. Replace/ repair weather barrier as required.
- Remove (E) plumbing fixtures. Cap off as required.
- (E) water heater to remain. Refer to MEP.
- Not used.
- (E) storefront windows and framing to remain. Remove excess caulk/ debris for future scope of work. Remove (E) tinted film.
- (E) electrical utilities to remain. Refer to MEP.
- Remove (E) gate and fence.
- Remove wall, refer to structural for shoring, demo sequence and new framing plan.
- (E) stair to remain.
- Portion of (E) flooring/ flatwork to be removed to accommodate future scope of work.
- Maintain ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope) where required.
- (E) gas service and meter to remain. Refer to MEP.
- Open to below to remain.
- Reuse (E) electrical panels, circuits, and switch gear. Relocate per new plans.
- Not used.
- (E) mechanical chase and access panels to remain.
- Remove (E) structure and associated flooring materials. Refer to proposed scope of work and Structural drawings.
- (E) window to remain.
- (E) roofing to remain. Repair/ patch as required.
- (E) roof drains to remain. Repair/ refurbish/ flush-clean as required.
- Remove roofing and sheathing for new skylight. (E) beams and structure to remain. Refer to Structural.
- (E) parapet and coping to remain
- Remove (E) coping (Parapet framing, sheathing and weather barrier to remain. Repair as required.)
- (E) electrical equipment per MEP. Refer to MEP drawings.
- (E) mechanical equipment per MEP. Refer to MEP drawings.
- (E) roof framing below shown dashed.
- Dashed line of wall below.
- (E) sewage line to be relocated/ rerouted per MEP engineer design.
- (E) water main to be relocated/ rerouted per MEP engineer design.
- Portion of (E) sewage line to remain. Refer to MEP.
- Excavate (E) sub-grade area per Structural. Provide shoring and new foundation per Structural.
- Troubleshoot area of ponding water on roof and provide narrative for possible fix for owner/ MHOA review.
- Overexcavate for future waterproofing +/- 36". Refer to Structural.
- Remove (E) unused plumbing vents per MEP.
- Remove (E) open web joists and decking per Structural. Refer to Structural for Demolition and Framing Plans.
- Remove portion of (E) flatwork to make flush with floor. (E) slab to remain.

Demolition Legend:

- Existing Wall to Remain
- Demo Wall
- Demo Slab
- Excavate
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)



1 Basement Demo Plan
Scale: 1/4"=1'-0"



Demolition Floor Plan General Notes:

- The dimensions on this sheet are to face of stud and/or masonry, centerline of column/beam, and face of awning.
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- (E) denotes existing item
- If certain items are in salvageable condition (ie doors and frames, fixtures) notify MHOA before removing.
- Salvage (E) brick at basement for future reuse.

Demolition Floor Plan Keynotes:

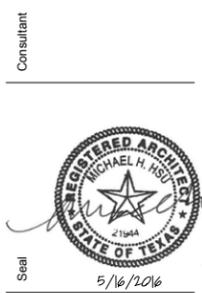
- (E) walls and structural members to remain. Patch/ repair walls as required.
- Reuse/ repair (E) electrical service as required to meet code. Remove unused circuits, switchgear, and telephone lines. Refer to MEP drawings.
- (E) adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- (E) plumbing to remain. Refer to MEP.
- Repair (E) concrete treads and risers at stair.
- Line of (E) beam above to remain per Structural, shown dashed.
- Remove and/or relocate (E) electrical equipment, and associated wires, conduit, etc per MEP
- (E) flooring to remain, remove misc. debris and prep for future scope.
- (E) pony wall buttresses to be removed per Structural.
- Line of (E) joists to remain per Structural, shown dashed.
- Finish over (E) brick to be removed. Brick wall to remain. Clean, patch, and repoint mortar joints as required.
- (E) tile in vestibule to be removed.
- Not used.
- (E) columns to remain. Beams and joist framing above to remain.
- Remove door.
- Remove stairway, associated framing, handrails, etc.
- Not used.
- Remove window.
- (E) electrical panels, circuits and switchgear to remain. Refer to MEP.
- Not used.
- (E) door to remain.
- Not used.
- (E) steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- Remove (E) exterior cladding and finishes to weather barrier. Existing sheathing and studs to remain. Replace/ repair weather barrier as required.
- Remove (E) plumbing fixture. Cap off as required.
- (E) water heater to remain. Refer to MEP.
- Not used.
- (E) storefront windows and framing to remain. Remove excess caulk/ debris for future scope of work. Remove (E) tinted film.
- (E) electrical utilities to remain. Refer to MEP.
- Remove (E) gate and fence.
- Remove wall, refer to structural for shoring, demo sequence and new framing plan.
- (E) stair to remain.
- Portion of (E) flooring/ flatwork to be removed to accommodate future scope of work. Maintain ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope) where required.
- (E) gas service and meter to remain. Refer to MEP.
- Open to below to remain.
- Reuse (E) electrical panels, circuits, and switch gear. Relocate per new plans.
- Not used.
- (E) mechanical chase and access panels to remain.
- Remove (E) structure and associated flooring materials. Refer to proposed scope of work and Structural drawings.
- (E) window to remain.
- (E) roofing to remain. Repair/ patch as required.
- (E) roof drains to remain. Repair/ refurbish/ flush-clean as required.
- Remove roofing and sheathing for new skylight. (E) beams and structure to remain. Refer to Structural.
- (E) parapet and coping to remain
- Remove (E) coping (Parapet framing, sheathing and weather barrier to remain. Repair as required.)
- (E) electrical equipment per MEP. Refer to MEP drawings.
- (E) mechanical equipment per MEP. Refer to MEP drawings.
- (E) roof framing below shown dashed.
- Dashed line of wall below.
- (E) sewage line to be relocated/ rerouted per MEP engineer design.
- (E) water main to be relocated/ rerouted per MEP engineer design.
- Portion of (E) sewage line to remain. Refer to MEP.
- Excavate (E) sub-grade area per Structural. Provide shoring and new foundation per Structural.
- Troubleshoot area of ponding water on roof and provide narrative for possible fix for owner/ MHOA review.
- Overexcavate for future waterproofing +/- 36". Refer to Structural.
- Remove (E) unused plumbing vents per MEP.
- Remove (E) open web joists and decking per Structural. Refer to Structural for Demolition and Framing Plans.
- Remove portion of (E) flatwork to make flush with floor. (E) slab to remain.

Demolition Legend:

- Existing Wall to Remain
- Demo Wall
- Demo Slab
- Excavate
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)

Yin

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 Austin, TX 78701

Set
 Permit Set

Issue:
 16 May 2016, Permit Bid Set

Drawing Title

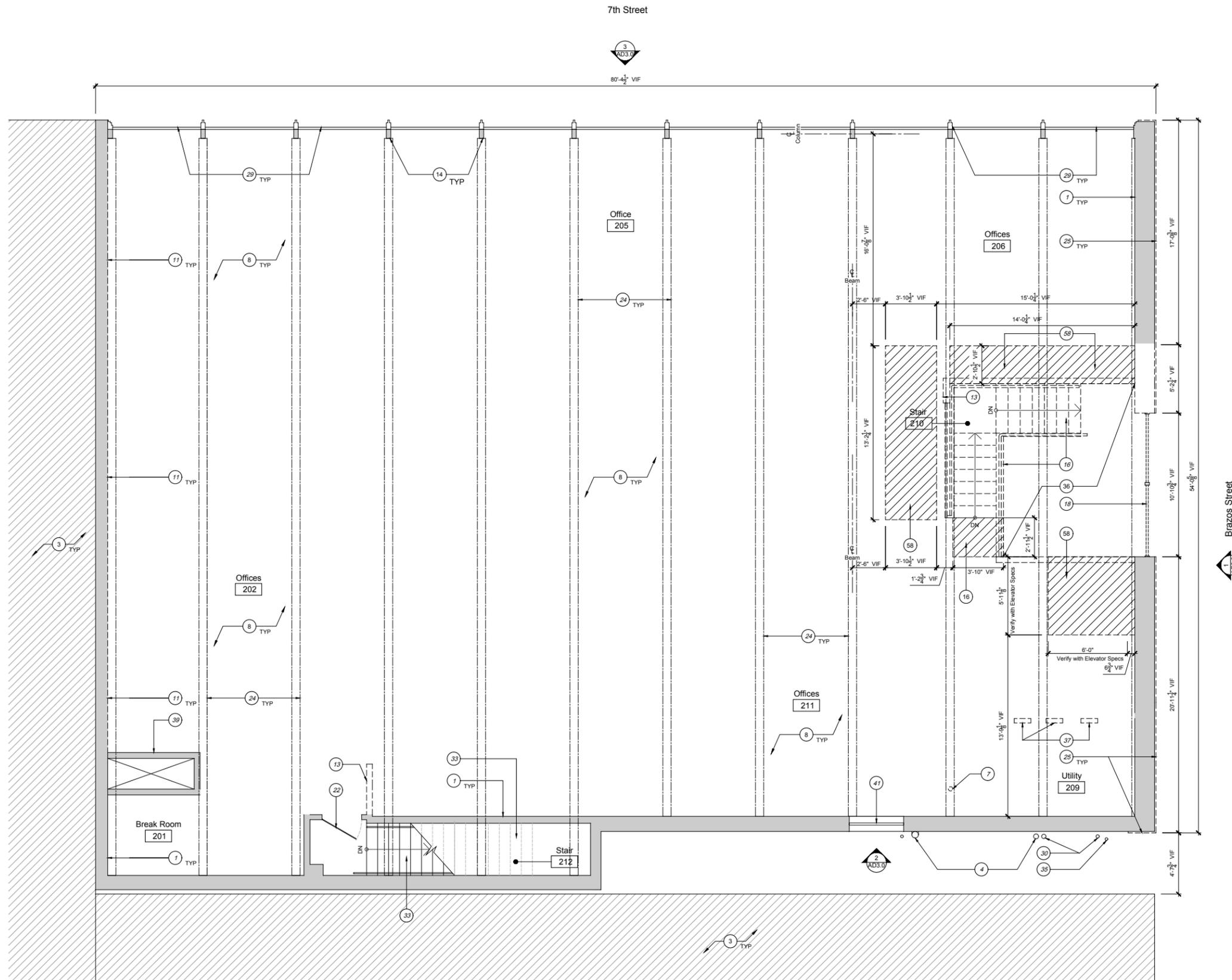
First Floor
 Demo Plan

Sheet

AD1.1

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1 First Floor Demo Plan
 Scale: 1/4"=1'-0"



Demolition Floor Plan General Notes:

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- (E) denotes existing item
- If certain items are in salvageable condition (ie doors and frames, fixtures) notify MHOA before removing.
- Salvage (E) brick at basement for future reuse.

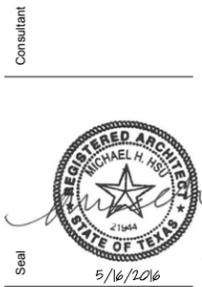
Demolition Floor Plan Keynotes:

- (E) walls and structural members to remain. Patch/ repair walls as required.
- Reuse/ repair (E) electrical service as required to meet code. Remove unused circuits, switchgear, and telephone lines. Refer to MEP drawings.
- (E) adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- (E) plumbing to remain. Refer to MEP.
- Repair (E) concrete treads and risers at stair.
- Line of (E) beam above to remain per Structural, shown dashed.
- Remove and/or relocate (E) electrical equipment, and associated wires, conduit, etc per MEP
- (E) flooring to remain, remove misc. debris and prep for future scope.
- (E) pony wall/ buttresses to be removed per Structural.
- Line of (E) joists to remain per Structural. Shown dashed.
- Finish over (E) brick to be removed. Brick wall to remain. Clean, patch, and repoint mortar joints as required.
- (E) tile in vestibule to be removed.
- Remove (E) partition wall.
- (E) columns to remain. Beams and joist framing above to remain.
- Remove door.
- Remove stairway, associated framing, handrails, etc.
- Not used.
- Remove window.
- (E) electrical panels, circuits and switchgear to remain. Refer to MEP.
- Not used.
- (E) door to remain.
- Not used.
- (E) steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- Remove (E) exterior cladding and finishes to weather barrier. Existing sheathing and studs to remain. Replace/ repair weather barrier as required.
- Remove (E) plumbing fixture. Cap off as required.
- (E) water heater to remain. Refer to MEP.
- Not used.
- (E) storefront windows and framing to remain. Remove excess caulk/ debris for future scope of work. Remove (E) tinted film.
- (E) electrical utilities to remain. Refer to MEP.
- Remove (E) gate and fence.
- Remove wall, refer to structural for shoring, demo sequence and new framing plan.
- (E) stair to remain.
- Portion of (E) flooring/ flatwork to be removed to accommodate future scope of work.
- Maintain ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope) where required.
- (E) gas service and meter to remain. Refer to MEP.
- Open to below to remain.
- Reuse (E) electrical panels, circuits, and switch gear. Relocate per new plans.
- Not used.
- (E) mechanical chase and access panels to remain.
- Remove (E) structure and associated flooring materials. Refer to proposed scope of work and Structural drawings.
- (E) window to remain.
- (E) roofing to remain. Repair/ patch as required.
- (E) roof drains to remain. Repair/ refurbish/ flush-clean as required.
- Remove roofing and sheathing for new skylight. (E) beams and structure to remain. Refer to Structural.
- (E) parapet and coping to remain
- Remove (E) coping (Parapet framing, sheathing and weather barrier to remain. Repair as required.)
- (E) electrical equipment per MEP. Refer to MEP drawings.
- (E) mechanical equipment per MEP. Refer to MEP drawings.
- (E) roof framing below shown dashed.
- Dashed line of wall below.
- (E) sewage line to be relocated/ rerouted per MEP engineer design.
- (E) water main to be relocated/ rerouted per MEP engineer design.
- Portion of (E) sewage line to remain. Refer to MEP.
- Excavate (E) sub-grade area per Structural. Provide shoring and new foundation per Structural.
- Troubleshoot area of ponding water on roof and provide narrative for possible fix for owner/ MHOA review.
- Overexcavate for future waterproofing +/- 36". Refer to Structural.
- Remove (E) unused plumbing vents per MEP.
- Remove (E) open web joists and decking per Structural. Refer to Structural for Demolition and Framing Plans.
- Remove portion of (E) flatwork to make flush with floor. (E) slab to remain.

Demolition Legend:

- Existing Wall to Remain
- Demo Wall
- Demo Slab
- Excavate
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)

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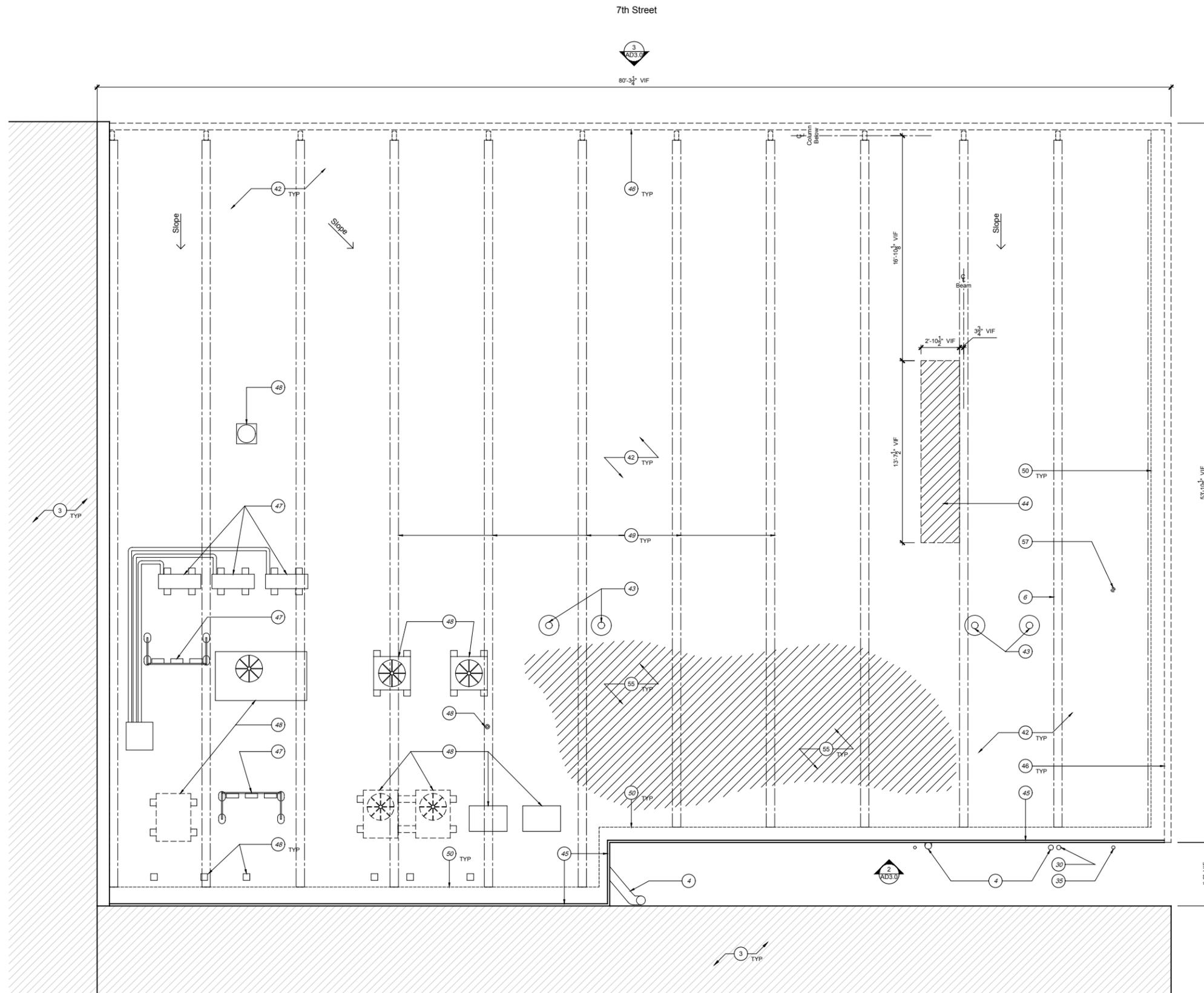
Set
 Permit Set

Issue:
 16 May 2016, Permit/ Bid Set

Drawing Title
 Second Floor
 Demo Plan

Sheet

AD1.2



Demolition Floor Plan General Notes:

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- (E) denotes existing item
- If certain items are in salvageable condition (ie doors and frames, fixtures) notify MHOA before removing.
- Salvage (E) brick at basement for future reuse.

Demolition Floor Plan Keynotes:

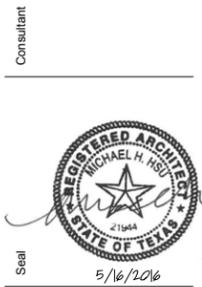
- (E) walls and structural members to remain. Patch/ repair walls as required.
- Reuse/ repair (E) electrical service as required to meet code. Remove unused circuits, switchgear, and telephone lines. Refer to MEP drawings.
- (E) adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- (E) plumbing to remain. Refer to MEP.
- Repair (E) concrete treads and risers at stair.
- Line of (E) beam above to remain per Structural, shown dashed.
- Remove and/or relocate (E) electrical equipment, and associated wires, conduit, etc per MEP
- (E) flooring to remain, remove misc. debris and prep for future scope.
- (E) pony wall/ buttresses to be removed per Structural.
- Line of (E) joists to remain per Structural. Shown dashed.
- Not used.
- Not used.
- Not used.
- (E) columns to remain. Beams and joist framing above to remain.
- Remove door.
- Remove stairway, associated framing, handrails, etc.
- Not used.
- Remove window.
- (E) electrical panels, circuits and switchgear to remain. Refer to MEP.
- Not used.
- (E) door to remain.
- Not used.
- (E) steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- Remove (E) exterior cladding and finishes to weather barrier. Existing sheathing and studs to remain. Replace/ repair weather barrier as required.
- Remove (E) plumbing fixture. Cap off as required.
- (E) water heater to remain. Refer to MEP.
- Not used.
- (E) storefront windows and framing to remain. Remove excess caulk/ debris for future scope of work.
- (E) electrical utilities to remain. Refer to MEP.
- Remove (E) gate and fence.
- Remove wall, refer to structural for shoring, demo sequence and new framing plan.
- (E) stair to remain.
- Portion of (E) flooring/ flatwork to be removed to accommodate future scope of work. Maintain ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope) where required.
- (E) gas service and meter to remain. Refer to MEP.
- Open to below to remain.
- Reuse (E) electrical panels, circuits, and switch gear. Relocate per new plans.
- Not used.
- (E) mechanical chase and access panels to remain.
- Remove (E) structure and associated flooring materials. Refer to proposed scope of work and Structural drawings.
- (E) window to remain.
- (E) roofing to remain. Repair/ patch as required.
- (E) roof drains to remain. Repair/ refurbish/ flush-clean as required.
- Remove roofing and sheathing for new skylight. (E) beams and structure to remain. Refer to Structural.
- (E) parapet and coping to remain.
- Remove (E) coping (Parapet framing, sheathing and weather barrier to remain. Repair as required.)
- (E) electrical equipment per MEP. Refer to MEP drawings.
- (E) mechanical equipment per MEP. Refer to MEP drawings.
- (E) roof framing below shown dashed.
- Dashed line of wall below.
- (E) sewage line to be relocated/ rerouted per MEP engineer design.
- (E) water main to be relocated/ rerouted per MEP engineer design.
- Portion of (E) sewage line to remain. Refer to MEP.
- Excavate (E) sub-grade area per Structural. Provide shoring and new foundation per Structural.
- Troubleshoot area of ponding water on roof and provide narrative for possible fix for owner/ MHOA review.
- Overexcavate for future waterproofing +/- 36". Refer to Structural.
- Remove (E) unused plumbing vents per MEP.
- Remove (E) open web joists and decking per Structural. Refer to Structural for Demolition and Framing Plans.

Demolition Legend:

- Existing Wall to Remain
- Demo Wall
- Demo Slab
- Excavate
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)

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Project
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 Austin, TX 78701

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Issue:
 16 May 2016, Permi/ Bid Set

Drawing Title

Demo Roof Plan
 Sheet

AD1.3



1 Demo Roof Plan
 Scale: 1/4"=1'-0"

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Demo Elevation General Notes:

1. The dimensions on this sheet are based off of the face of finish material or masonry. All dimensions are to face of finish material, edge of awning, or centerline of support, unless otherwise noted.
2. Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify MHOA immediately.
3. Elevations are shown for reference only. Refer to Building Plans, Sections, Wall Sections and Window Elevations for additional information.
4. All glass to be tempered in areas required by applicable code.
5. Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
6. Keynotes located on this sheet are for this sheet only.
7. Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
8. Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
9. Install all products per manufacturer's recommendations.
10. (E) denotes existing item.

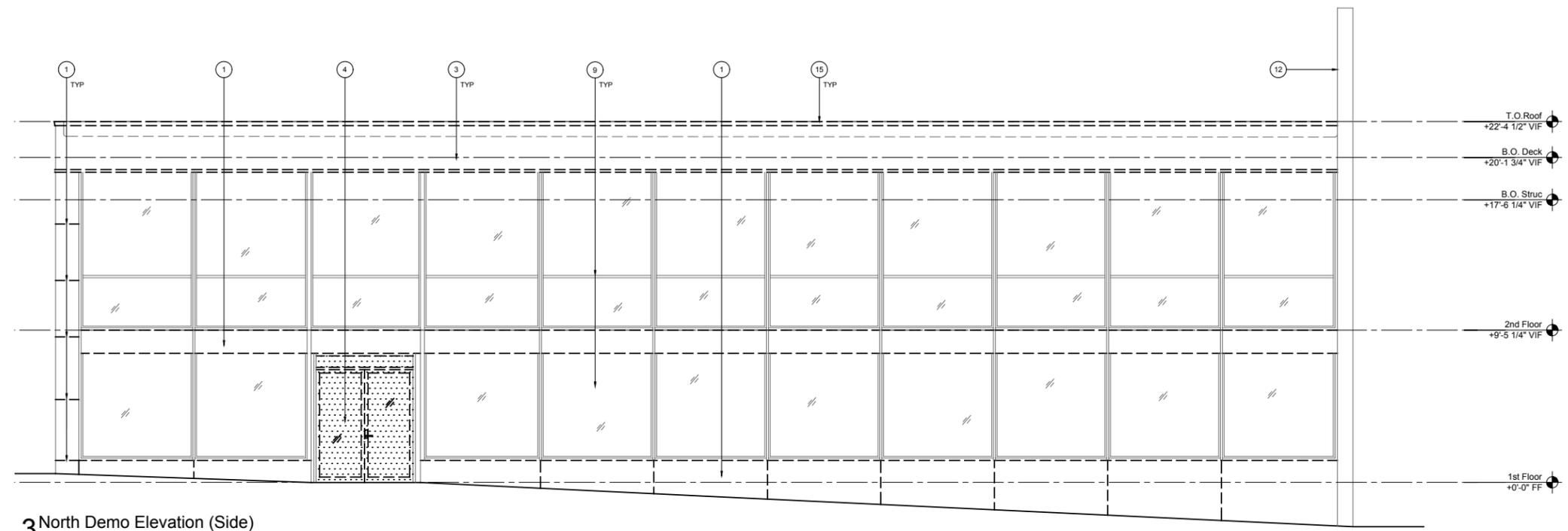
Demo Elevation Keynotes:

1. Remove (E) cladding and exterior finishes to sheathing. (E) sheathing and studs to remain.
2. (E) roofing to remain.
3. Remove (E) parapet cladding to sheathing. (E) sheathing and studs to remain.
4. Remove (E) door and frame.
5. Remove (E) window.
6. (E) brick wall to remain.
7. (E) utilities to remain.
8. (E) handrail to remain.
9. (E) storefront windows and framing to remain. Remove excess caulk/debris for future scope of work. Remove (E) tinted film.
10. Remove (E) wall, refer to demo plans.
11. (E) concrete steps to remain.
12. (E) party wall to remain.
13. (E) window to remain.
14. (E) door to remain.
15. Remove (E) coping.
16. Remove (E) metal fence/ gate.

Demo Elevation Legend:

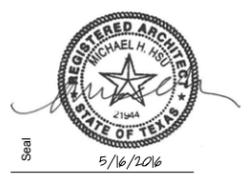
- Existing to be removed.
- Existing wall cladding and exterior finishes to be removed.

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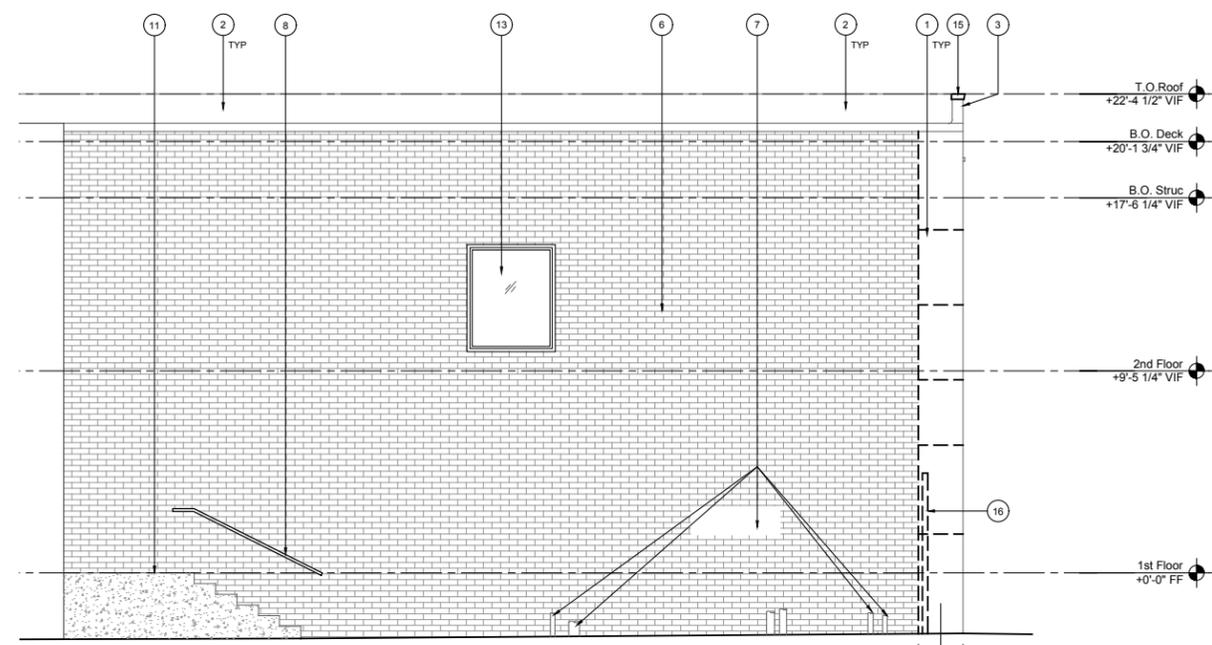


3 North Demo Elevation (Side)
 Scale: 1/4"=1'-0"

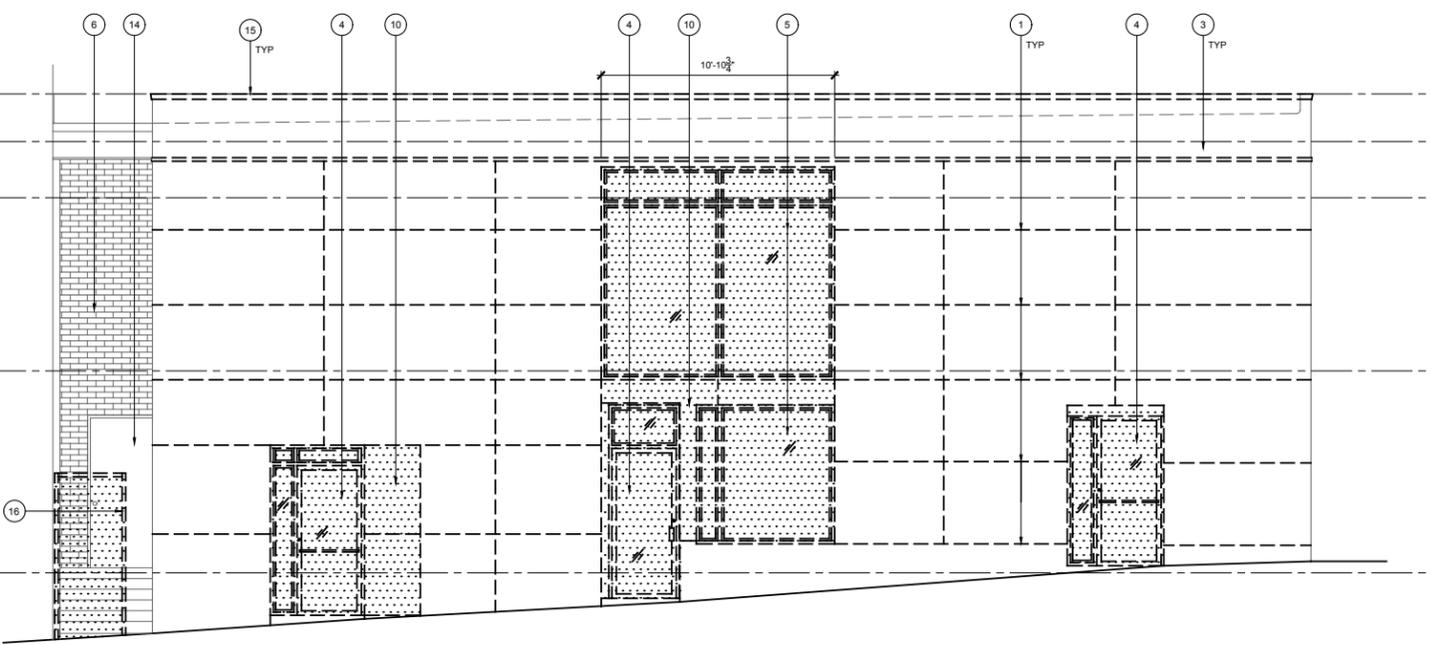
Consultant



Seal



2 South Demo Elevation (Alley)
 Scale: 1/4"=1'-0"



1 East Demo Elevation (Primary)
 Scale: 1/4"=1'-0"

Project
612 Brazos Remodel
 Austin, TX 78701

Set
Permit Set

Issue:
 16 May 2016, Permit Bid Set

Drawing Title

Building
 Demo Elevations
 Sheet

AD3.0

Floor Plan General Notes:

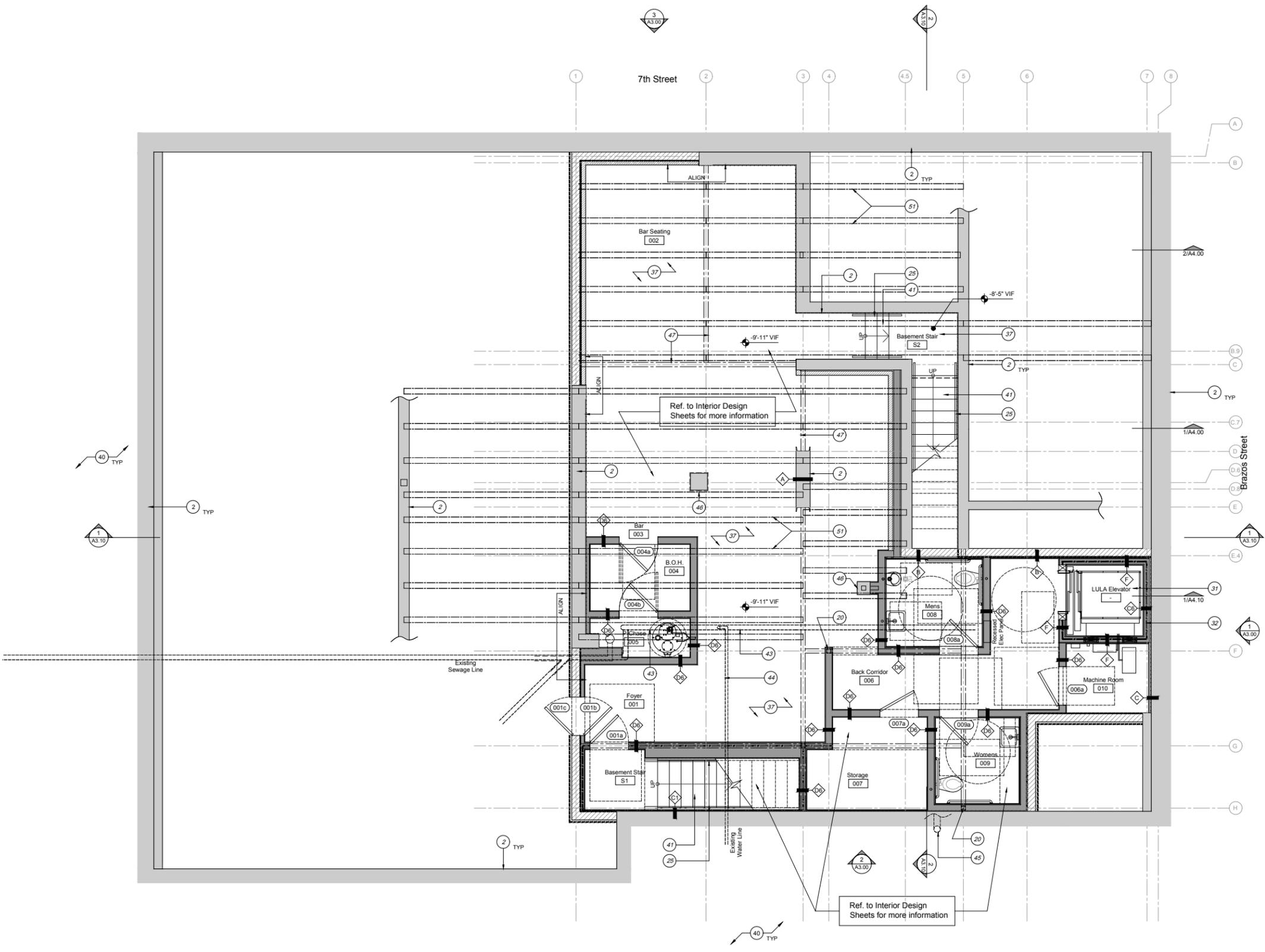
- The dimensions on this sheet are based off of the face of existing stud framing. All dimensions are to face of stud and/or masonry, centerline of column/beam, and face of awning.
- GC to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, please notify MHOA immediately.
- GC to provide portable fire extinguishers as required by local code.
- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
- Keynotes located on this sheet are for all sheets in this series (A1.XX)
- Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
- Install all products per manufacturer's recommendations.
- Repair and replace exterior sheathing and water-resistive barrier as required.

Floor Plan Keynotes:

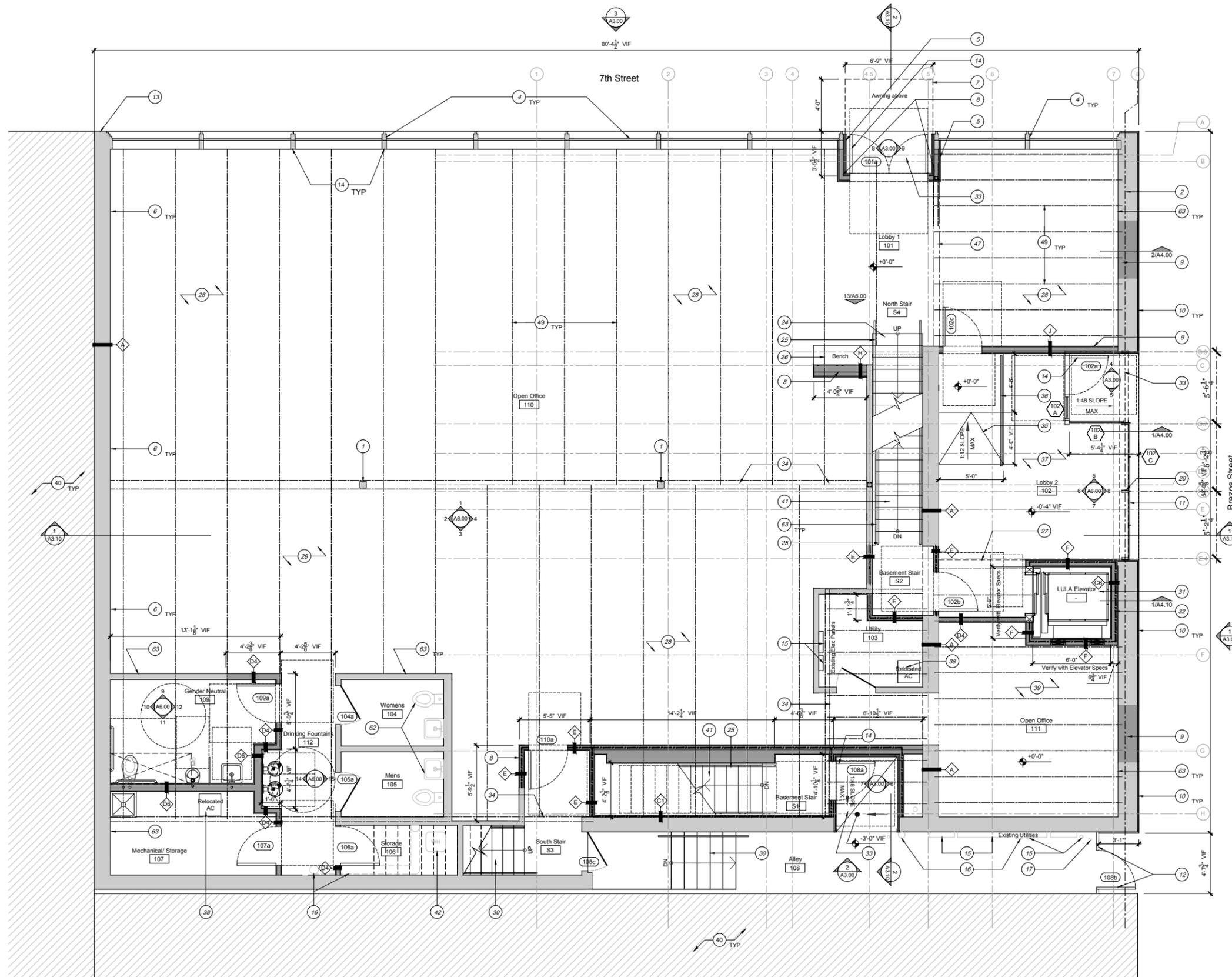
- Existing steel column to remain per Structural. Scrape and prep exposed columns for paint per Finish Schedule.
- Existing wall. Patch repair walls and finishes as required.
- Provide new electrical power distribution panels and circuit breakers as required.
- Existing aluminum windows to remain. Scrape misc. debris from frames. Remove old caulk joints and re-point all caulk joints to match.
- Re-clad existing sheathing with decorative glazed brick veneer (BRICK-2), stacked bond over water-resistive barrier. Provide commercial-grade sealer as required.
- Existing Brick wall to remain. Clean, patch, and repoint mortar joints as required.
- Line of detachable, steel plate awning.
- New wall partition per Wall Types.
- Infill opening with light-gauge metal stud framing sealed tight and filled with interior insulation.
- Provide exterior sheathing, continuous insulation and water resistive barrier. See Wall Types. Re-clad existing sheathing with glazed brick veneer (BRICK-1) over water-resistive barrier. Provide commercial-grade sealer as required. See Finish Schedule.
- Provide new window. See Schedule.
- Provide new painted steel gate and door with panic hardware.
- Existing party wall.
- New exterior door. See Schedule.
- Existing electrical utilities. Reuse/ repair existing power service as required to meet code. Refer to MEP engineer design.
- Existing plumbing. Reuse/ repair existing sanitary waste and vent lines, water service and meter, roof drains, etc.
- Existing gas service. Reuse/ repair existing natural gas meter and service.
- Reused and relocated existing water heater. Refer to MEP.
- Reused and relocated existing electrical panels, circuits, and switchgear. Provide new electrical power distribution panels and circuit breakers as required. Refer to MEP.
- New steel column per Structural. Paint per Finish Schedule.
- New skylight. See Schedule.
- Provide prefinished brake metal copings (MTL-1).
- Dashed line of wall framing below.
- New interior stair oak treads and risers (WD-1).
- New 36" high handrail.
- New oak bench extended from third stair tread.
- Line of new opening to above, shown dashed.
- Existing concrete slab to be ground smooth and sealed. See Finish Plans.
- Dashed line of new skylight above.
- Existing stair to remain undisturbed. Consult with MHOA regarding any field-identified code, or life and safety issues.
- New LULA Elevator. See specifications.
- LULA Elevator enclosure per elevator installer. 6" metal stud wall shown.
- Concrete flatwork landing, ADA compliant threshold (1/2" MAX) and landing (1-48 MAX slope).
- Line of existing steel beam above. See structural for re framing plan as required.
- New concrete ramp. Max 1:12 slope ADA compliant.
- New 36" guardrail above landing and ramp. See Interior Elevations.
- New concrete slab. See structural.
- Relocated AC unit. See MEP.
- New raised slab or metal floor framing to bring floor finish flush with adjacent main floor level. See structural.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- New concrete/ steel stair. Refer to Structural.
- Existing water heater. Reuse to serve existing bathrooms and new bathrooms per MEP.
- Relocated/ rerouted sewage line per MEP engineer design.
- Relocated/ rerouted water main per MEP engineer design.
- Relocated/ rerouted roof drain line per MEP engineer design.
- Existing concrete column to remain per Structural.
- Line of new beam above per Structural.
- Existing slab and framing removed to provide expanded opening. Refer to Structural for new framing design, shoring, and construction sequence.
- Existing steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field).
- New 42" high wall per Wall Partitions.
- Line of existing concrete beam above per Structural. See structural for re framing plan, shoring, and construction sequence as required.
- New cricket at high side of skylight.
- New HVAC equipment. Refer to MEP drawings.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- Existing roof drains to remain. Repair/ refurbish/ flush-clean as required.
- New electrical equipment. Refer to MEP drawings.
- New plumbing vents. Refer to MEP drawings.
- Existing electrical equipment. Refer to MEP drawings.
- Existing mechanical equipment. Refer to MEP drawings.
- Not used.
- Existing roofing to remain. Repair/ patch as required.
- Existing bathrooms to remain per MEP.
- Patch existing gyp bd walls as required. Finish per finish schedule.

Plan Legend:

-  Existing Wall to Remain
-  Proposed Metal Stud Framing
-  Proposed CMU Wall
-  Proposed Brick Veneer (Salvaged)
-  Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)
-  1-hour Fire Rated Wall (See Wall Types)



1 Basement Floor Plan
 Scale: 1/8"=1'-0"



Floor Plan General Notes:

- The dimensions on this sheet are based off of the face of existing stud framing. All dimensions are to face of stud and/or masonry, centerline of column/beam, and face of awning.
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- Keynotes located on this sheet are for all sheets in this series (A1.XX)
- Refer to Sheet AD-1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
- Install all products per manufacturer's recommendations.
- Repair and replace exterior sheathing and water-resistive barrier as required.

Floor Plan Keynotes:

- Existing steel column to remain per Structural. Scrape and prep exposed columns for paint per Finish Schedule.
- Existing wall. Patch/ repair walls and finishes as required.
- Provide new electrical power distribution panels and circuit breakers as required.
- Existing aluminum windows to remain. Scrape misc. debris from frames. Remove old caulk joints and re-point all caulk joints to match.
- Re-clad existing sheathing with decorative glazed brick veneer (BRICK-2), stacked bond over water-resistive barrier. Provide commercial-grade sealer as required.
- Provide custom painted steel and glass exterior entry pivot doors.
- Line of detachable, steel plate awning.
- New wall partition per Wall Types.
- Infill opening with light-gauge metal stud framing sealed tight and filled with interior insulation.
- Provide exterior sheathing, continuous insulation and water resistive barrier. See Wall Types.
- Re-clad existing sheathing with glazed brick veneer (BRICK-1) over water-resistive barrier. Provide commercial-grade sealer as required. See Finish Schedule.
- Provide new window. See Schedule.
- Provide new painted steel gate and door with panic hardware.
- Existing party wall.
- New exterior door. See Schedule.
- Existing electrical utilities. Reuse/ repair existing power service as required to meet code. Refer to MEP engineer design.
- Existing plumbing. Reuse/ repair existing sanitary waste and vent lines, water service and meter, roof drains, etc.
- Existing gas service. Reuse/ repair existing natural gas meter and service.
- Reused and relocated existing water heater. Refer to MEP.
- Reused and relocated existing electrical panels, circuits, and switchgear. Provide new electrical power distribution panels and circuit breakers as required. Refer to MEP.
- New steel column per Structural. Paint per Finish Schedule.
- New skylight. See Schedule.
- Provide prefabricated brake metal copings (MTL-1).
- Dashed line of wall framing below.
- New interior stair oak treads and risers (WD-1).
- New 36" high handrail.
- New oak bench extended from third stair tread.
- Line of new opening to above, shown dashed.
- Existing concrete slab to be ground smooth and sealed. See Finish Plans.
- Dashed line of new skylight above.
- Existing stair to remain undisturbed. Consult with MHOA regarding any field-identified code, or life and safety issues.
- New LULA Elevator. See specifications.
- LULA Elevator enclosure per elevator installer. 6" metal stud wall shown.
- Concrete flatwork landing. ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope).
- Line of existing steel beam above. See structural for reframing plan as required.
- New concrete ramp. Max 1:12 slope ADA compliant.
- New 36" guardrail above landing and ramp. See Interior Elevations.
- New concrete slab. See structural.
- Relocated AC unit. See MEP.
- New raised slab or metal floor framing to bring floor finish flush with adjacent main floor level. See structural.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- New concrete/ steel stair. Refer to Structural.
- Existing water heater. Reuse to serve existing bathrooms and new bathrooms per MEP.
- Relocated/ rerouted sewer line per MEP engineer design.
- Relocated/ rerouted water main per MEP engineer design.
- Relocated/ rerouted roof drain line per MEP engineer design.
- Existing concrete column to remain per Structural.
- Line of new beam above per Structural.
- Existing slab and framing removed to provide expanded opening. Refer to Structural for new framing design, shoring, and construction sequence.
- Existing steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- New 42" high wall per Wall Partitions.
- Line of existing concrete beam above per Structural. See structural for reframing plan, shoring, and construction sequence as required.
- New cricket at high side of skylight.
- New HVAC equipment. Refer to MEP drawings.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- Existing roof drains to remain. Repair/ refurbish/ flush-clean as required.
- New electrical equipment. Refer to MEP drawings.
- New plumbing vents. Refer to MEP drawings.
- Existing electrical equipment. Refer to MEP drawings.
- Existing mechanical equipment. Refer to MEP drawings.
- Not used.
- Existing roofing to remain. Repair/ patch as required.
- Existing bathrooms to remain per MEP.
- Patch existing gyp bd walls as required. Finish per finish schedule.

Plan Legend:

- Existing Wall to Remain
- New Wall (Refer to Partition Types)
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)
- 1-hour Fire Rated Wall (See Wall Types)

Design Team
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Project
612 Brazos Remodel
 Austin, TX 78701
 Permit Set

Issue:
 16 May 2016, Permit/ Bid Set

Drawing Title

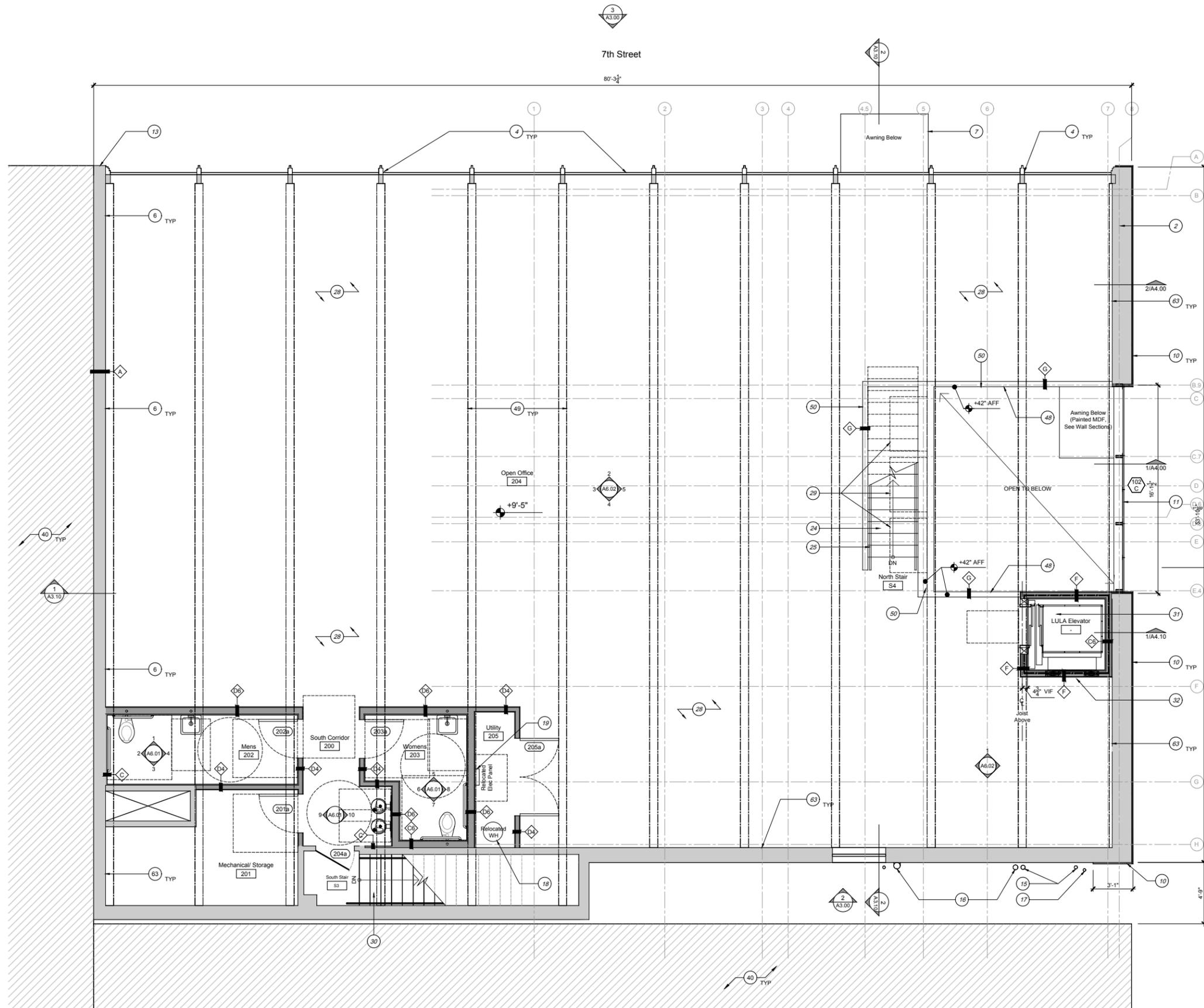
First Floor Plan

Sheet

1 First Floor Plan
 Scale: 1/4"=1'-0"

A1.10

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Floor Plan General Notes:

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- GC to provide portable fire extinguishers as required by local code.
- Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
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- Refer to Sheet AD-1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
- Install all products per manufacturer's recommendations.
- Repair and replace exterior sheathing and water-resistive barrier as required.

Floor Plan Keynotes:

- Existing steel column to remain per Structural. Scrape and prep exposed columns for paint per Finish Schedule.
- Existing wall. Patch/ repair walls and finishes as required.
- Provide new electrical power distribution panels and circuit breakers as required.
- Existing aluminum windows to remain. Scrape misc. debris from frames. Remove old caulk joints and re-point all caulk joints to match.
- Re-clad existing sheathing with decorative glazed brick veneer (BRICK-2), stacked bond over water-resistive barrier. Provide commercial-grade sealer as required.
- Existing Brick wall to remain. Clean, patch, and repoint mortar joints as required.
- Line of detachable, steel plate awning.
- New wall partition per Wall Types.
- Infill opening with light-gauge metal stud framing sealed tight and filled with interior insulation. Provide exterior sheathing, continuous insulation and water resistive barrier. See Wall Types.
- Re-clad existing sheathing with glazed brick veneer (BRICK-1) over water-resistive barrier. Provide commercial-grade sealer as required. See Finish Schedule.
- Provide new window. See Schedule.
- Provide new painted steel gate and door with panic hardware.
- Existing party wall.
- New exterior door. See Schedule.
- Existing electrical utilities. Reuse/ repair existing power service as required to meet code. Refer to MEP engineer design.
- Existing plumbing. Reuse/ repair existing sanitary waste and vent lines, water service and meter, roof drains, etc.
- Existing gas service. Reuse/ repair existing natural gas meter and service.
- Reused and relocated existing water heater. Refer to MEP.
- Reused and relocated existing electrical panels, circuits, and switchgear. Provide new electrical power distribution panels and circuit breakers as required. Refer to MEP.
- New steel column per Structural. Paint per Finish Schedule.
- New skylight. See Schedule.
- Provide prefabricated brake metal copings (MTL-1).
- Dashed line of wall framing below.
- New interior stair oak treads and risers (WD-1).
- New 36" high handrail.
- New oak bench extended from third stair tread.
- Line of new opening to above, shown dashed.
- Existing concrete slab to be ground smooth and sealed. See Finish Plans.
- Dashed line of new skylight above.
- Existing stair to remain undisturbed. Consult with MHOA regarding any field-identified code, or life and safety issues.
- New LULA Elevator. See specifications.
- LULA Elevator enclosure per elevator installer. 6" metal stud wall shown.
- Concrete flatwork landing. ADA compliant threshold (1/2" MAX) and landing (1:48 MAX slope).
- Line of existing steel beam above. See structural for reframing plan as required.
- New raised slab or metal floor framing to bring floor finish flush with adjacent main floor level. See structural.
- New 36" guardrail above landing and ramp. See Interior Elevations.
- New concrete slab. See structural.
- Relocated AC unit. See MEP.
- New raised slab or metal floor framing to bring floor finish flush with adjacent main floor level. See structural.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- New concrete/ steel stair. Refer to Structural.
- Existing water heater. Reuse to serve existing bathrooms and new bathrooms per MEP.
- Relocated/ rerouted sewage line per MEP engineer design.
- Relocated/ rerouted water main per MEP engineer design.
- Relocated/ rerouted roof drain line per MEP engineer design.
- Existing concrete column to remain per Structural.
- Line of new beam above per Structural.
- Existing slab and framing removed to provide expanded opening. Refer to Structural for new framing design, shoring, and construction sequence.
- Existing steel joists per Structural, shown dashed. (Shown only for diagrammatic purposes. GC shall verify in field)
- New 42" high wall per Wall Partitions.
- Line of existing concrete beam above per Structural. See structural for reframing plan, shoring, and construction sequence as required.
- New cricket at high side of skylight.
- New HVAC equipment. Refer to MEP drawings.
- Existing adjacent building to remain undisturbed. Contractor to take all precautions to protect adjacent building from damage.
- Existing roof drains to remain. Repair/ refurbish/ flush-clean as required.
- New electrical equipment. Refer to MEP drawings.
- New plumbing vents. Refer to MEP drawings.
- Existing electrical equipment. Refer to MEP drawings.
- Existing mechanical equipment. Refer to MEP drawings.
- Not used.
- Existing roofing to remain. Repair/ patch as required.
- Existing bathrooms to remain per MEP.
- Patch existing gyp bd walls as required. Finish per finish schedule.

Plan Legend:

- Existing Wall to Remain
- New Wall
- Existing Beams/ Joists to Remain (shown only for diagrammatic purposes. GC shall verify in field)
- 1-hour Fire Rated Wall (See Wall Types)

Yin

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Consultant



Seal

Project
612 Brazos Remodel
Austin, TX 78701

Set
Permit Set

Issue:
16 May 2016, Permit/ Bid Set

Drawing Title

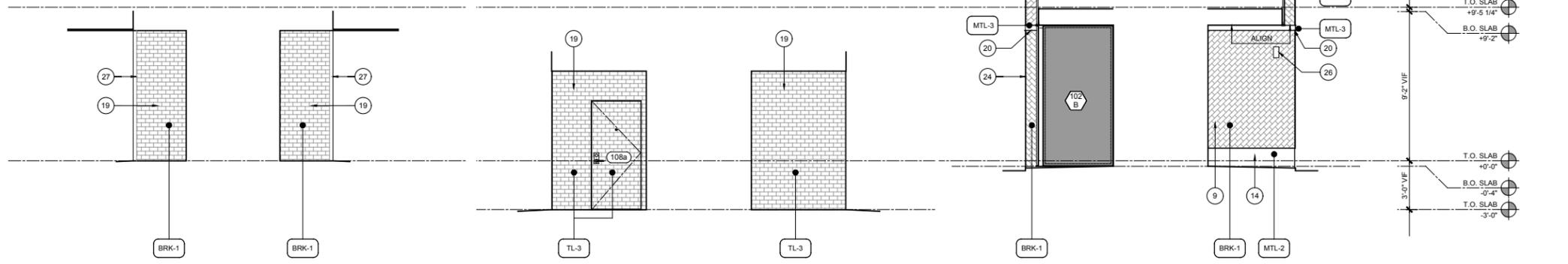
Second
Floor Plan

Sheet

1 Second Floor Plan
Scale: 1/4"=1'-0"

A1.20

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- Building Elevation General Notes:**
- The dimensions on this sheet are based off of the face of finish material or masonry. All dimensions are to face of finish material, edge of awning, or centerline of support, unless otherwise noted.
 - Contractor (GC) to field verify all dimensions prior to construction and/or installation of any equipment, accessories, etc. If a discrepancy is identified, notify MHOA immediately. Elevations are shown for reference only. Refer to Building Plans, Sections, Wall Sections and Window Elevations for additional information.
 - All glass to be tempered in areas required by applicable code.
 - Refer to appropriate sheet and/or schedule for additional information/detail regarding items shown herein.
 - Keynotes located on this sheet are for this sheet only.
 - Do not scale the drawings. If a specific dimension is not given, contact MHOA for clarification.
 - Refer to Sheet A0.1-General Conditions for additional information associated with, but not limited to: submittals, shop drawings, samples, cutting and patching, coordination and staging, protection of work.
 - Install all products per manufacturer's recommendations.

- Building Elevation Keynotes:**
- Line of finish grade.
 - Existing utilities, refer to MEP.
 - Custom window, refer to schedule.
 - (E) door to remain, refer to schedule.
 - Patch/ repair existing roofing membrane, including new penetrations at proposed MEP equipment.
 - Prefinished brake metal coping over existing parapet.
 - (E) parapet to remain.
 - Prefinished brake metal fascias.
 - Re-clad existing sheathing with glazed brick veneer, 45° running bond per Elevations, over water-resistive barrier. Provide commercial-grade sealer as required.
 - Detachable, painted steel plate awning with steel angle supports. Refer to Structural.
 - Existing aluminum windows to remain. Scrape misc. debris from frames. Remove old caulk joints and re-point all caulk joints to match. Remove window film.
 - Joints in brake metal panels. Provide concealed fasteners.
 - Existing building to remain.
 - Prefinished brake metal at base of exterior walls. See Details.
 - Repair/ patch existing concrete stairs as required.
 - Patch/ repair existing brick as required.
 - 12" high, 1" deep, 1" standoff, metal standoff address numbers, powder coated aluminum. Typeface to be chosen by MHOA.
 - (E) joints beyond shown dashed.
 - Clad with glazed brick veneer, running bond, over water-resistive barrier. Provide commercial-grade sealer as required.
 - Painted custom steel C-channel (4"x2") continuous horizontal band. See Finish Schedule.
 - Aluminum storefront door, refer to schedule.
 - (E) window to remain. Recaulk joints.
 - Provide painted aluminum angle edging at new opening. See Details.
 - Provide painted aluminum angle edging at outside tile corners. See Details.
 - New gate. See Door Schedule.
 - New light fixture per RCFP.
 - (E) aluminum window frame to remain.
 - (E) handrail to remain. Scrape and prep for paint per Finish Schedule.

- Subchapter E - Glazed Elevation Requirements**
- Per Subchapter E 1.2.3. B for a "remodeled building or facade"
 - Since the extent of remodeling is such that the work area does not exceed 50% of the principal street facade (Brazos St), compliance with Article 3 is **not required**.

See Finish Schedule (A8.00) for Exterior Materials

