






-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

NOTIFICATIONS

CASE#: C15-2016-0082
LOCATION: 2100 E 14th Street



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 167'



CITY OF AUSTIN

Development Services Department

One Texas Center | Phone: 512.978.4000

505 Barton Springs Road, Austin, Texas 78704

m6
2/1

Board of Adjustment General/Parking Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. *If more space is required, please complete Section 6 as needed.* All information is required (if applicable).

For Office Use Only

Case # C15-2016-0082 ROW # 11549274 Tax # 0209092010 ⁰¹⁰

Section 1: Applicant Statement

Street Address: 2100 East 14th, Austin, TX 78702

Subdivision Legal Description:

see below

Lot(s): 1 Block(s): 11

Outlot: 34 Division: B

Zoning District: SF-3-NP (Chestnut)

I/We Howard 'Bud' Smith on behalf of myself/ourselves as

authorized agent for 2100 E 14TH VENTURES LLC affirm that on

Month June, Day 12, Year 2016, hereby apply for a hearing before the

Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☒ Complete ☐ Remodel ☐ Maintain ☐ Other: _____

Type of Structure: single family residence and accessory dwelling unit

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

To amend variance C15-2014-0108 we received w/a unanimous BOA vote, HLC support, & NPCT support in order to erect an ADU that's <.15 FAR but >1100sf. The current variance requires historical zoning but that's no longer possible nor supported by the COA Historic Preservation Officer so the requirement needs to be changed to Certificate of Appropriateness.

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Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

We will finish recreating the original residential home (the Lillie Scott Residence) as per the building permit we received and HLC Certificate of Appropriateness approval we already have and it will not just fit into the community and its scale/character—it will be a shining recreation of an original part of Chestnut! And we will complete the also already-permitted/HLC-approved ~1400sf ADU that the variance we already received allows. The ADU will be another residence that will be green and fit into the community and its scale and character.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

We already received a variance to do this but it called for historical zoning and that's no longer possible nor supported by the COA Historic Preservation Officer since the 2 facades attempting to be reused crumbled due to 1. more extensive decay than was initially realized during the permitted exploratory demo process and 2. severe wind/rain during construction, so the requirement needs to be changed from Historic Zoning to Certificate of Appropriateness.

b) The hardship is not general to the area in which the property is located because:

This situation is absolutely unique to this structure, location, set of circumstances as explained above.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

my
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The main focus of this project is to recreate the original home, the Lillie Scott Residence, as historically accurate as possible while building an ADU <.15 FAR in the rear of this oversized lot that fits in with the neighborhood scale/character and zoning. This project will actually significantly ENHANCE the character of the neighborhood, be a project that everyone can be proud of, and also set an example of cooperation and a viable alternate path to historic preservation.

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

Section 3: Applicant Certificate

my
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I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: Bud Smith Date: 06/11/2016

Applicant Name (typed or printed): Howard 'Bud' Smith

Applicant Mailing Address: 5108 Ave. G

City: Austin State: TX Zip: 78751

Phone (will be public information): 512-454-4600

Email (optional – will be public information): _____

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: Dan Graham Date: 6/11/2016

Owner Name (typed or printed): Daniel A. Graham

Owner Mailing Address: 54 Rainey St. Ste 503

City: Austin State: TX Zip: 78701

Phone (will be public information): 512-593-2999

Email (optional – will be public information): _____

Section 5: Agent Information

Agent Name: same as applicant

Agent Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

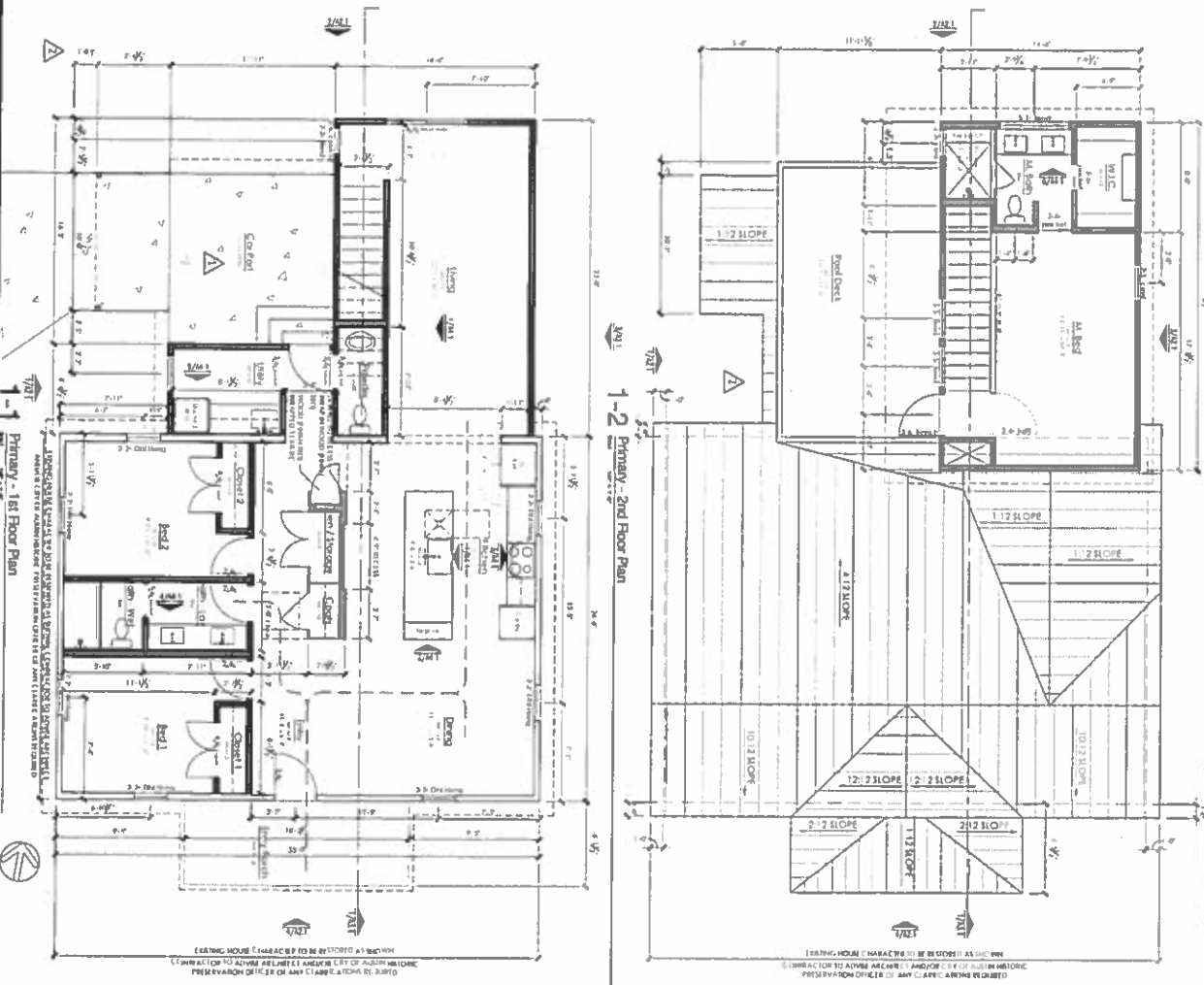
Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

see extensive files from C15-2014-0108 as well as extensive supporting documentation, including letter of support from COA Historic Preservation Officer, Mr. Steve Sadowsky.

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NOTE: WALLS TO REMAIN IN EXISTING BUILDING ARE SHOWN WITH DASHED LINES AND NEW WALLS TO BE CONSTRUCTED ARE SHOWN WITH SOLID LINES. EXISTING DOOR AND WINDOW LOCATIONS ARE SHOWN WITH DASHED LINES AND NEW DOOR AND WINDOW LOCATIONS ARE SHOWN WITH SOLID LINES.



GENERAL PLAN NOTES

1. EXISTING WALLS TO REMAIN ARE SHOWN WITH DASHED LINES AND NEW WALLS TO BE CONSTRUCTED ARE SHOWN WITH SOLID LINES. EXISTING DOOR AND WINDOW LOCATIONS ARE SHOWN WITH DASHED LINES AND NEW DOOR AND WINDOW LOCATIONS ARE SHOWN WITH SOLID LINES.
2. EXISTING ROOF STRUCTURE IS TO REMAIN. NEW ROOF STRUCTURE IS TO BE CONSTRUCTED AS SHOWN ON THE ROOF PLAN.
3. EXISTING FLOOR STRUCTURE IS TO REMAIN. NEW FLOOR STRUCTURE IS TO BE CONSTRUCTED AS SHOWN ON THE FLOOR PLAN.
4. EXISTING FOUNDATION IS TO REMAIN. NEW FOUNDATION IS TO BE CONSTRUCTED AS SHOWN ON THE FOUNDATION PLAN.

WALL LEGEND

- WALLS TO REMAIN
- NEW WALLS
- WALLS TO BE REMOVED
- WALLS TO BE RECONSTRUCTED
- WALLS TO BE RECONSTRUCTED WITH NEW FINISH

GENERAL VISIBILITY NOTES

1. VISIBILITY IS TO BE MAINTAINED AT ALL TIMES. VISIBILITY IS TO BE MAINTAINED AT ALL TIMES.
2. VISIBILITY IS TO BE MAINTAINED AT ALL TIMES. VISIBILITY IS TO BE MAINTAINED AT ALL TIMES.
3. VISIBILITY IS TO BE MAINTAINED AT ALL TIMES. VISIBILITY IS TO BE MAINTAINED AT ALL TIMES.
4. VISIBILITY IS TO BE MAINTAINED AT ALL TIMES. VISIBILITY IS TO BE MAINTAINED AT ALL TIMES.

Lillie Scott Residence
2100 E. 14th Street
Austin, TX 78702

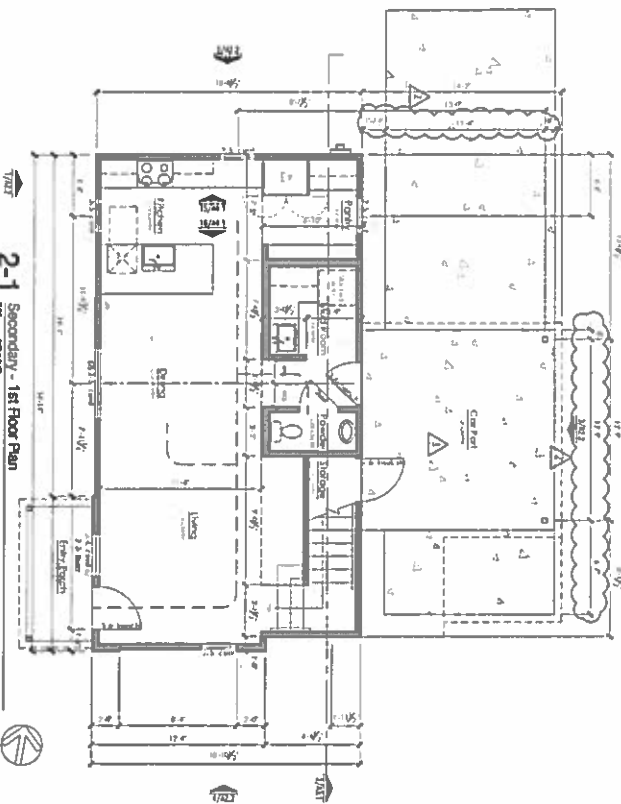
Project by
Architectural Firm

11.25.14

REVISIONS

NO.	DATE	DESCRIPTION
1	11.25.14	Initial Design
2	11.25.14	Final Design

Copyright © 2014 Architectural Firm



2-1 Secondary - 1st Floor Plan

WALL LEGEND

- walls no framing**
- at Pw 2nd walls**
- at Pw 2nd walls**
- walls no if ready rd**
- distance no frame**
- distance no frame**
- distance no frame**

[illegible]

	Size	Type	Material
A	8 x 15	Pinned Connections	
B	8 x 15	Pinned Connections	
C			
D			
E			
F			
G			
H			
I			
J			
K			
L			
M			
N			
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T			
U			
V			
W			
X			
Y			
Z			

Copyright © AIA Architecture
 Drawing Name
 SECONDARY RES
 FLOOR PLANS
 PROJECT NUMBER
 14-043
 DATE
 11.25.14
 SHEET NUMBER
 A1.2

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CITY OF AUSTIN
Board of Adjustment/Sign Review Board
Decision Sheet

DATE: Monday, September 8, 2014

CASE NUMBER: C15-2014-0108

☒ Y _____ Jeff Jack
☒ Y _____ Michael Von Ohlen
☒ Y _____ Ricardo De Camps
☒ Y _____ Bryan King
☒ Y _____ Stuart Hampton - Vincent Harding(left early)
☒ Y _____ Melissa Hawthorne **Motion to Grant**
☒ Y _____ Sallie Burchett **2nd the Motion**

APPLICANT: Lex Zwarun

OWNER: Lex Zwarun

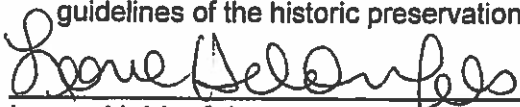
ADDRESS: 2100 14TH ST

VARIANCE REQUESTED: The applicant has requested variance(s) from Section 25-2-774 (B) (7) (a) (*Two-Family Residential Use*) to increase the maximum size of a second dwelling unit from 850 square feet (required) to 1,650 square feet (requested) in order to add a second dwelling unit in an "SF-3-NP", Family Residence – Neighborhood Plan zoning district. (Chestnut)

BOARD'S DECISION: The public hearing was closed on Board Member Michael Von Ohlen motion to Postpone to September 8, 2014, Board Member Bryan King second on a 7-0 vote; POSTPONED TO September 8, 2014. Sept 8, 2014 - The public hearing was closed on Board Member Melissa Hawthorne motion to Grant 1,500 square feet with conditions to maintain .4 FAR on lot and obtain historic zoning, Board Member Sallie Burchett second on a 7-0 vote; **GRANTED 1,500 SQUARE FEET WITH CONDITIONS TO MAINTAIN .4 FAR ON LOT AND OBTAIN HISTORIC ZONING.**

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because: not all properties in the neighborhood have a hundred year old house that allows redevelopment of property with entitlement of a single family home
2. (a) The hardship for which the variance is requested is unique to the property in that: house is going to be zoned historic through the process while allowing for what would amount to the duplex FAR on property
(b) The hardship is not general to the area in which the property is located because: not very many structures deemed worthy of staying there
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because: as secondary unit will meet the guidelines of the historic preservation office and add trees along the façade.


Leane Heldenfels
Executive Liaison



Jeff Jack
Chairman

EXHIBIT A

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Hammerhead Framing, LLC

252-207-6147 jonathan.hhf@gmail.com 104 Oak Grove Circle, Dale TX 78616

May 23, 2016

Lex Zwarun
NewCastle Homes, Austin
5108 Avenue G
Austin, TX 78751

Lex,

I wanted to take the opportunity to weigh in on our firsthand observations regarding the exploratory demo and renovation for the Lillie-Scott project with which we have been working with you, which is at the intersection of E. 14th and Alamo. We have been involved from the pre-construction planning, demolition of the compromised portions of the structure, the shoring of the facades that were to be retained, and the new construction of both the renovation in question and the new secondary unit towards the rear of the property. Suffice it to say, although challenging, we were excited about the prospect of reusing the existing two facades, for both historic value and to keep the original frontage aesthetic and character intact.

Our initial demolition of the bulk of the residence revealed that most, if not all of the perimeter support beam/mudsill had been compromised by rot and termite infestation, including the facades that were to be retained. The two subject facades had a significant amount of the bottom half of the wall structure also suffering from the same termite damage, and to be honest, were largely held together by the exterior sheathing and siding materials, which were also well into their own respective states of decomposition.

We were able to shore the front and side facades with lateral and face mounted bracing which was then pinned to the site with stakes, much akin to shoring of tall concrete forms. The soils at the time were both adequately supportive and allowed us to secure both facades as securely as possible (which under the circumstances was no small feat considering the bulk of the bases of both walls were no longer intact). We provided additional support along the bases of the walls with CMU shoring as needed.

After the facades were secured, we received an extended period of time with both significant amounts of rain, but also stronger than normal wind loads, which continued to undermine the integrity of the two walls. During at least two occasions during the storms, we visited the site to check on the walls, and observed them "waving" at least 6"-7" along

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their vertical axis, even with the additional bracing, which was due in large part to the compromised wall structure bending/hinging along the lap siding/sheathing. This undulation further compromised the walls to a point that our crews were able to provide some additional bracing, and to re-sink the existing stakes, but were not confident enough in the soundness of the walls that we were able to perform any additional work upon them without fear of collapse, or potential injury to our staff.

It is my understanding that the collapse occurred not long thereafter, and that the project engineer was able to safely inspect the structure and discovered that the bulk was indeed compromised, and of not practical reusable value or integrity.

All of this said, we really would like to continue to work towards the end goal of creating, or in this case, recreating, the original facade of the Lillie Scott Residence, and were already poised to repair and replace any compromised portions of the project with materials that would aesthetically match the original style, which also providing resistance to decay and the structural failures that plagued the original structure. One example was going to be the our use of hand cut/field cut fiber cement siding to match the original diamond cut shakes in the front gable, which were at the point of failure. Although challenging, I am confident that we can recreate the spirit of the original street facades while utilizing current materials so that we can ensure the spirit of the Lillie-Scott Residence can be rebuilt for decades of enjoyment by the owners and community.

We did not plan for, or hope for the unfortunate loss of those facades due to the circumstances that were well out of all of our control, however it does present us with an opportunity to bring the Lillie Scott Residence back in a manner aligned with its original timeless aesthetic, that will also ensure it's longevity.

I hope you find the information above helpful, and please do not hesitate to contact us with any questions or if you need clarification.



Jonathan W. White

Head of Operations, Hammerhead Framing, LLC

jonathan.hhf@gmail.com mbl: 252-207-6147

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EXHIBIT B

Austin Wind Data from February and March 2016

Week of January 31 – Feb. 6

Winds hit nearly 30mph Feb. 1 and again Feb. 6.

Week of Feb. 7 – Feb. 13

Winds again unusually strong and hit nearly 30mph Feb. 8.

Week of Feb. 14 – Feb 20

Another week of unusually strong winds, including wind speeds nearing 30mph on Feb. 14 and again for two days in a row on Feb. 18 and 19.

Week of Feb. 21 – Feb. 27

Thunderstorms produced 1.33" of rain on Feb. 23 with wind gusts topping 37mph! Winds were close to 30mph the following day as well. This was the 48 hours that really damaged the facades—too much water, new damage on top of old damage, and steady high winds, especially after the unusually windy weeks preceding this.

Week of Feb. 28 – March 5

Unusually windy with gusts nearing 30mph 3 days in a row!

Week of March 6-12

3.17" of rain, including 2.18" on March 9

Wind gusts AVERAGED 21mph and hit 33, including 27mph they day we got over 2" of rain and 26mph the following day! This week of thunderstorms and high winds was just too much for the 110 year old facades to take!

Week of March 13-19

Unusually windy with gusts nearing 30mph 2 days in a row TWICE this week!

Week of March 20-26

Wind gusts again averaged 21mph and hit 31 on March 22 and then neared 30 for the next two days!

Exhibit D - Photos of structure/materials from exploratory demo process and bracing

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EXISTING EXTERIOR: Bracing was professionally installed under the guidance of the project engineer at the start of the permitted exploratory demolition process, and project sign illustrating design intent to maintain historic character BEFORE the two major weather events. Major sagging of the middle of the structure is already visible and, while hard to tell from this picture, the original foundation was improperly built right on grade, allowing for a decades of water damage, rot, and termite infestation.



EXISTING EXTERIOR – more detailed picture of temporary bracing. The bottom started to bulge out where the façade and walls met the foundation since the foundation was totally rotten, improperly built on grade originally, and never properly tie to the structure.

12/5



EXISTING INTERIOR during exploratory demolition: We knew all the plumbing and electric were obsolete and dangerous, but also found the home was improperly constructed in the first place in terms of blocking, lateral support, water barriers between layers, etc. Note the cast iron plumbing itself is out of line from decades of the home twisting!

15/36



EXISTING INTERIOR during exploratory demolition: Walls were improperly tied to foundation and rafters, leading to instability from both the foundation sinking and uplift of the structure off its foundation. The structure had twisted in multiple directions over the decades, as well as bulged where not directly tied into the rafters or beams..



EXISTING EXTERIOR – rear during exploratory demolition: Bracing was professionally installed and adjusted multiple times, but the façade crumbled due to rot, termite damage, and harsh weather in February and March, 2016. There was simply not enough solid wood to tie into with the braces or to support the structure itself. In some areas, entire sections of framing were missing and the home was being held up by the rotten deck and its exterior lap!

5/12



EXISTING EXTERIOR – front during exploratory demolition: the home got increasingly unstable and literally was crumbling by the day anywhere there was not bracing. Then even the braced areas gave out. Adjusting the bracing was akin to putting a finger in a dyke: wherever there was not immediate support the material simply game out!



EXISTING EXTERIOR – with temporary bracing on Alamo Street elevation: twisting and leaning are visible.

EXHIBIT C



Structural Engineering

Martin & Wallin, LLC
13785 Research Blvd, Suite 125
Austin, Texas 78750
512-368-4088 (office)

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March 29, 2016

Mr. Jamie Crawley, AIA, LEED AP BD+C, NCARB
Director of Architecture
HA Architects
2401 E. 6th Street, Suite 2019
Austin, TX 78702

Re: Newcastle Homes
2100 E. 14th Street
Austin, TX

The purpose of this letter is to confirm that during construction it was revealed that the existing exterior wall studs were significantly decayed and were not acceptable for the anticipated, code required service or construction loads. It was our recommendation that the stud walls be replaced with new wood studs to accommodate anticipated code design loads from a structural engineering standpoint. This work was necessary to conform to International Residential Code 2012 structural requirements.

We also understand the importance of maintaining the historic design intent, and believe this to be the least invasive solution. In addition, this solution appears to also address the contractors concern with respect to safety during the construction process.

Please contact this office if there are further questions regarding his matter.

Sincerely,

A handwritten signature in cursive script that reads "Paul Martin".

Paul H. Martin, P.E.
Principal





City of Austin

Founded by Congress, Republic of Texas, 1839
Historic Preservation Office
Planning and Zoning Department
One Texas Center, 505 Barton Springs Road
P.O. Box 1088, Austin, Texas 78767

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June 27, 2016

City of Austin Board of Adjustment
c/o Leane Heldenfels

Re: 2100 E. 14th Street

Dear Members of the Board of Adjustment

I am writing in support of the application of Newcastle Homes for the property at 2100 E. 14th Street. This case came to the Board of Adjustment last year for a variance to build a secondary unit behind a historic-age house facing the street. The variance was granted with the condition that the existing house be zoned historic.

Since the time of the granting of the variance, the existing house was demolished due to structural unsoundness and weather factors that collapsed the remaining walls of the house. It is now impossible to zone this site as a historic landmark, as there is no historic fabric left. The condition for the designation of the house as a historic landmark in the initial variance cannot be satisfied.

The Historic Preservation Office staff has worked closely with the applicant to reproduce the old house. The new construction will have the exact size, scale, and massing of the house that was demolished, and staff believes that this is the best solution given the circumstances. The intent for this office's initial support of the variance to build the ADU on the site was to preserve the historic character of the street and neighborhood, not necessarily to zone the house as a historic landmark.

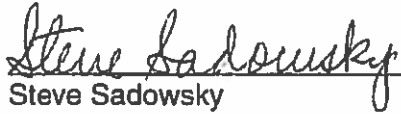
We need to have a process in place for allowing applicants to build ADU's in central neighborhoods without requiring a variance if the ADU exceeds the size of the primary structure on the lot AND without requiring that the existing house on the property be designated as a historic landmark. Our older neighborhoods are full of small houses that will be demolished because a property owner cannot build an ADU on the property if the small, historic age house is preserved. Many of these small houses will not qualify as individual historic landmarks, because designation requires a finding that the house has significance in at least two areas as set out in the Land Development Code – primarily architectural significance and historical associations. If the house does not qualify as a historic landmark, then the historic zoning process should not be used to ensure its preservation, when the real focus is the preservation of the character of the neighborhood through the retention of historic streetscapes. The house at 2100 E. 14th Street would not have qualified as a historic landmark on its own merits absent the condition for historic zoning placed on this variance, but its retention in the context of the neighborhood is important to maintaining the character of the streetscape and the historic-age neighborhood. The applicant is willing to reconstruct the house, which will serve the

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desired purpose of preserving the scale and character of the neighborhood. We therefore support his application.

If you have further questions, please do not hesitate to call or e-mail me.

Sincerely,



Steve Sadowsky
Historic Preservation Officer
City of Austin, Texas

First of 15 local support letters, 10 of them coming from Chestnut residents, including 2 that live on the same block.

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Doug Marcis
2401 e14th ST
Austin, TX 78702
512.577.3542
doug@30n.us

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Board Members:

I've been a resident of Chestnut and a member of Chestnut Neighborhood Association for over ten years.

I've also remodeled over thirty houses in central east austin.

I've been familiar with the dilapidated property at 2100 e14th St since I first moved here. I personally inspected the property when its future was being voted on by CANA. At that point the property had been suffering from severe neglect: extensive termite and water damage; bowing walls; sinking piers, etc. I was quite surprised to hear that there was going to be an attempted remodel on the project. I had a hard time imagining what of the existing house could be salvaged.

Needless to say, I was not surprised to hear that the façade fell apart during the remodel.

I understand that the developer is now seeking a variance which involves recreating the façade of the old building. This sounds like the best possible path forward at this point and I support granting the requested variance.

Sincerely,



Doug Marcis

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Heberto Alanis
1900 Simond Ave
Apt 4015
Austin, TX 78723

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I recently moved to Austin and have been professionally and personally involved in East Austin since I moved here. Furthermore, I am familiar with the 2100 E 14th Street project as it has unfolded over the last 10+ months. I support this variance request since it serves and balances everyone's best interests fairly.

Despite best efforts, the Lillie Scott was beyond saving, so recreating it is the next best thing, and doing so would be excellent for Chestnut and its history. The point of this project has always been to save the Lillie Scott, and that is what will occur if the project is allowed to resume. Whether the site gets historical zoning is not important—what matters is recreating the Lillie Scott, and that will be done with the approved plans and the Certificate of Appropriateness the project already received from the Historical Landmark Commission.

Allowing an ADU of ~1400sf (instead of just 1100sf as code now allows) also makes sense since East Austin needs homes this size and the 2100 East 14th lot is very large and can easily accommodate both homes. Also note the ADU has an appealing design and both it and the Lillie Scott will not only fit in with the local scale and vernacular, it will improve Chestnut as whole.

Please allow the project to resume—not only is there no other truly viable option, but this variance is supported by many local residents and the City's Historical Preservation Officer. This project is good for Chestnut and Austin as a whole and also shows neighborhood groups, developers, and the City CAN cooperate and develop win-win-win scenarios!

Thank you for your attention, feel free to contact me should you need anything.

Sincerely,



Heberto Alanis

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6/23/2016

Mark Wimmer
1600 Ulit Ave
Austin, TX 78702

Board of Adjustments
City of Austin

Re: Variance for 2100 E. 14th Street

Honorable Board Members:

My family and I live in the Chestnut neighborhood--very close to 2100 E. 14th St-- and I am writing in support of the variance request for this property.

Over the past few years I have become familiar with this property and the historic house located there. While the preservation of a historic house is a laudable goal, unfortunately the Lillie Scott house was in such poor condition that it could not be preserved. That is why I support allowing the project to continue with the goal of recreating the Lillie Scott house, which will benefit our neighborhood. I don't think it is important that the site get historical zoning because the goals of our neighborhood will be served by recreating the Lillie Scott house, which can be accomplished with the approved plans and the Certificate of Appropriateness the project has already received from the Historical Landmark Commission.

Furthermore, allowing a larger ADU of approximately 1400sf will also benefit our neighborhood and Austin by helping to address our city's housing shortage in general and the need for homes of this size in East Austin in particular. The design of the ADU will fit within the existing character of our neighborhood and its construction, as well as the recreation of the Lillie Scott house, will improve the Chestnut neighborhood as a whole by making it an even more desirable place to live.

Please allow the project to resume. This variance is supported by many local residents and the City's Historical Preservation Officer. This project is good for Chestnut and Austin and also shows how neighborhood groups, developers, and the city can work together to balance everyone's interests.

Sincerely,



Mark Wimmer

Alejandra Gutierrez
1201 E 13th St
Austin, TX 78702

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Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I live very close to this property and am familiar with the project. I support this variance request.

I understand that despite best efforts the Lillie Scott was beyond saving, so recreating it is the next best thing, and doing so would be excellent for Chestnut and its history. The point of this project has been to save the Lillie Scott, and that is what will occur if the project is allowed to resume. Whether the site gets historical zoning is not important—what matters is recreating the Lillie Scott, and that will be done with the approved plans and the Certificate of Appropriateness the project already received from the Historical Landmark Commission.

Allowing an ADU of ~1400sf also makes sense - the lot is very large and can easily accommodate this. Also it has an appealing design and both it and the Lillie Scott will improve Chestnut as whole.

Please allow the project to resume—I understand that there is no other viable option and that this variance is supported by many local residents and the City's Historical Preservation Officer. This project is good for Chestnut and Austin as a whole.

Sincerely,



Alejandra Gutierrez

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Bill Corrigan
1903 E 17TH ST Unit A
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I support this variance request since it serves and balances everyone's best interests fairly. I have moved in to the area recently and have enjoyed walking around the neighborhood and seeing the diverse mix of new and old housing.

From what I could see as I walk by, the Lillie Scott was beyond saving, so recreating it would be excellent for the Chestnut neighborhood and its history. As I understand it, the point of this project was to save the Lillie Scott, and that is will occur if the project may continue. Recreating the house is what is important, and that will be done with the approved plans and the Certificate of Appropriateness the project already received from the Historical Landmark Commission.

East Austin needs homes in the range of 1400sf (instead of just 1100sf as code now allows), so allowing an ADU of ~ also makes sense since and the 2100 East 14th lot is very large and can easily accommodate both homes. Also note the ADU has an appealing design and both it and the Lillie Scott will not only fit in with the local scale and vernacular, it will improve Chestnut as whole.

Please allow the project to resume—not only is there no other truly viable option, but this variance is supported by many local residents and the City's Historical Preservation Officer. This project is good for Chestnut and Austin as a whole and also shows neighborhood groups, developers, and the City CAN cooperate and develop win-win-win scenarios!

Thank you for your attention, feel free to contact me should you need anything.

Sincerely,

Bill Corrigan

Bill Corrigan

m4
25

Houston Wanier
Evan Aldrich
2705 Lyons
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

We actively follow and participate in local development issues and neighborhood groups. We also live close this property and are intimately familiar with the project as it has unfolded over the last 2 years or so. We support this variance request since it serves and balances everyone's best interests fairly.

Despite best efforts, the Lillie Scott was beyond saving, so recreating it is the next best thing, and doing so would be excellent for Chestnut and its history. The point of this project has always been to save the Lillie Scott, and that is what will occur if the project is allowed to resume. Whether the site gets historical zoning is not important—what matters is recreating the Lillie Scott, and that will be done with the approved plans and the Certificate of Appropriateness the project already received from the Historical Landmark Commission.

Allowing an ADU of ~1400sf (instead of just 1100sf as code now allows) also makes sense since East Austin needs homes this size and the 2100 East 14th lot is very large and can easily accommodate both homes. Also note the ADU has an appealing design and both it and the Lillie Scott will not only fit in with the local scale and vernacular, it will improve Chestnut as whole.

Please allow the project to resume—not only is there no other truly viable option, but this variance is supported by many local residents and the City's Historical Preservation Officer. This project is good for Chestnut and Austin as a whole and also shows neighborhood groups, developers, and the City CAN cooperate and develop win-win-win scenarios!

Thank you for your attention, feel free to contact us should you need anything.

Sincerely,



Houston Wanier



Evan Aldrich

m6
26

Myrna Garcia
1207 Cedar Ave.
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I live very close to this property and am intimately familiar with the project as it has unfolded over the last 2 years or so. As a residential Realtor and neighbor, I support this variance request since it serves and balances everyone's best interests fairly.

Despite best efforts, the Lillie Scott was beyond saving, so recreating it is the next best thing, and doing so would be excellent for Chestnut and its history. The point of this project has always been to save the Lillie Scott, and that is what will occur if the project is allowed to resume. Whether the site gets historical zoning is not important—what matters is recreating the Lillie Scott, and that will be done with the approved plans and the Certificate of Appropriateness the project already received from the Historical Landmark Commission.

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Please allow the project to resume—not only is there no other truly viable option, but this variance is supported by many local residents and the City's Historical Preservation Officer. This project is good for Chestnut and Austin as a whole and also shows neighborhood groups, developers, and the City CAN cooperate and develop win-win-win scenarios!

Thank you for your attention, feel free to contact me should you need anything.

Sincerely,

Myrna Garcia
Myrna Garcia

3/6
27

Steve & Anne Teng
2509 E 16th St
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I live very close this property and am intimately familiar with the project as it has unfolded over the last 2 years or so. I support this variance request since it serves and balances everyone's best interests fairly.

Despite best efforts, the Lillie Scott was beyond saving, so recreating it is the next best thing, and doing so would be excellent for Chestnut and its history. The point of this project has always been to save the Lillie Scott, and that is what will occur if the project is allowed to resume. Whether the site gets historical zoning is not important—what matters is recreating the Lillie Scott, and that will be done with the approved plans and the Certificate of Appropriateness the project already received from the Historical Landmark Commission.

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Please allow the project to resume—not only is there no other truly viable option, but this variance is supported by many local residents and the City's Historical Preservation Officer. This project is good for Chestnut and Austin as a whole and also shows neighborhood groups, developers, and the City CAN cooperate and develop win-win-win scenarios!

Thank you for your attention, feel free to contact me should you need anything.

Sincerely,

Steve and Anne Teng

Steve & Anne Teng

m4
28

Keith Zeiler & Tim Andrews
2007 East 17th St
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

We live just a few blocks from this property and have been watching what's been happening with it over the last couple of years. We understand that the builder has asked for a variance to get his project completed and we support his request. We think his plan for the property honors its heritage respects the wishes of the neighborhood.

That old house was falling down. We were shocked that it had to be preserved at all, since it was so termite-ridden and rotted. I think Newcastle Homes did everything they could to save it. Recreating it is the next best thing, and doing so would respect Chestnut and its history. We think the builder always intended to save the Lillie Scott, whether that was with the original structure or a modern, safe replacement. We understand that a Certificate of Appropriateness for his project already received from the Historical Landmark Commission.

Austin needs more affordable, dense housing. No one can argue with this. Allowing a 1400sf ADU makes sense since East Austin needs homes this size and the lot is very large and looks like it can accommodate both homes. We think Newcastle's design for the ADU is appealing and both it and the Lillie Scott replacement will fit in with the surrounding neighborhood.

Please let Newcastle finish their project— what is the alternative? Leave another empty lot to collect trash on? The builder's project is supported by many neighbors and the City's Historical Preservation Officer. It's good for our neighborhood and Austin as a whole; it shows neighborhood groups, respectful and responsible developers, and the City can work together to create attractive, affordable housing where we need it most - in our urban core neighborhoods.

Sincerely,

Keith Zeiler
Tim Andrews
Chestnut homeowners

m4
29

Michael Madison
2103 E 14th St
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I live very close this property and am intimately familiar with the project as it has unfolded over the last 2 years. I support this variance request since it serves and balances everyone's best interests fairly.

Despite best efforts, the Lillie Scott was beyond saving, so recreating it is the next best thing, and doing so would be excellent for Chestnut and its history. In my opinion one of the worst things that's happening right now is the forced salvage of unsalvageable housing. I'm personally dealing with such an issue now as the siding that was "preserved" on our home is rotting and has potential termite damage. Coming as a homeowner perspective I'm rather angry that some of my property wasn't discarded because now the burden of cost is being passed on to the buyer rather than the builder being able to do it right from the outset.

I am in full support of recreating the Lillie Scott but with material that will actually hold up and not be a massive burden one or two years from now.

Additionally, I'm in support of the allowance of the 1,400 square foot second unit. I've seen the early build because it's directly across the street from me and also seen the plans. It's appealing, is not oversized for the lot which is a rather large lot, and in the end will be an improvement to Chestnut.

Why I also support this is because I trust Newcastle based on their prior history to build a home that is right for the neighborhood. Compare what Newcastle is doing at 2100 E 14th St versus the home being built at 2101 E 14th St. Both of the 2100 E 14th lot homes will fit in the neighborhood, add value and preserve the look and feel of the area history. At 2101, a 32-foot high, three-story home on a lot that is ONLY 2,840 total square feet is nearing completion. This house is an eyesore to the neighborhood, has no historical look and feel and is an obscene invasion of my property as the second and third floors look directly over our house, in to our backyard and even partially in to our bedroom.

Please allow the project to resume without further delay. I've been staring at a fenced lot across the street from me for months now and would love to instead be looking at the finished version of the house. From the outset I could clearly see there was no other viable option and it is a variance supported by myself and many other

m4
30

direct neighbors. I've also been informed it has the support of the City's Historical Preservation Officer.

Thank you for your attention, feel free to contact me should you need anything.

Sincerely,

Michael Madison

Michael Madison
512.589.1310

michael.e.madison@gmail.com

m4
31

Alykhan Mohamed
1907 E 13th Street
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I live very close this property and am familiar with the project as it has unfolded over the last 2 years or so. I support this variance request since it serves and balances everyone's best interests fairly.

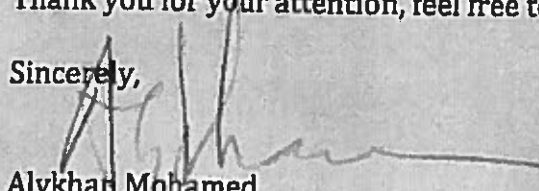
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Allowing an ADU of ~1400sf (instead of just 1100sf as code now allows) also makes sense since East Austin needs homes this size and the 2100 East 14th lot is very large and can easily accommodate both homes. Also note the ADU has an appealing design and both it and the Lillie Scott will not only fit in with the local scale and vernacular, it will improve Chestnut as whole.

Please allow the project to resume—not only is there no other truly viable option, but this variance is supported by many local residents and the City's Historical Preservation Officer. This project is good for Chestnut and Austin as a whole and also shows neighborhood groups, developers, and the City CAN cooperate and develop win-win-win scenarios!

Thank you for your attention, feel free to contact me should you need anything.

Sincerely,


Alykhan Mohamed

m4
32

Bill Goodpasture
2106 East 13th Street, Unit B
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I live very close to this property and am intimately familiar with the project as it has unfolded over the last 2 years or so. I support this variance request since it serves and balances everyone's best interests fairly.

Despite best efforts, the Lillie Scott was beyond saving, so recreating it is the next best thing, and doing so would be excellent for Chestnut and its history. The point of this project has always been to save the Lillie Scott, and that is what will occur if the project is allowed to resume. Whether the site gets historical zoning is not important—what matters is recreating the Lillie Scott, and that will be done with the approved plans and the Certificate of Appropriateness the project already received from the Historical Landmark Commission.

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Please allow the project to resume—not only is there no other truly viable option, but this variance is supported by many local residents and the City's Historical Preservation Officer. This project is good for Chestnut and Austin as a whole and also shows neighborhood groups, developers, and the City CAN cooperate and develop win-win-win scenarios!

Thank you for your attention, feel free to contact me should you need anything.

Sincerely,
Bill Goodpasture
Bill Goodpasture

m4
33

Manny Cavazos
2106 E 14th st,
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I live very close this property and am intimately familiar with the project as it has unfolded over the last 2 years or so. I support this variance request since it serves and balances everyone's best interests fairly.


Despite best efforts, the Lillie Scott was beyond saving, so recreating it is the next best thing, and doing so would be excellent for Chestnut and its history. The point of this project has always been to save the Lillie Scott, and that is what will occur if the project is allowed to resume. Whether the site gets historical zoning is not important—what matters is recreating the Lillie Scott, and that will be done with the approved plans and the Certificate of Appropriateness the project already received from the Historical Landmark Commission.

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Thank you for your attention, feel free to contact me should you need anything.

Sincerely,



Manny Cavazos
Manicotti88@hotmail.com
(832) 282-4175

m4
34

Victor Tran
1601 Maple Ave
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I live very close this property and am intimately familiar with the project as it has unfolded over the last 2 years or so. I support this variance request since it serves and balances everyone's best interests fairly.

Despite best efforts, the Lillie Scott was beyond saving, so recreating it is the next best thing, and doing so would be excellent for Chestnut and its history. The point of this project has always been to save the Lillie Scott, and that is what will occur if the project is allowed to resume. Whether the site gets historical zoning is not important—what matters is recreating the Lillie Scott, and that will be done with the approved plans and the Certificate of Appropriateness the project already received from the Historical Landmark Commission.

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Thank you for your attention, feel free to contact me should you need anything.

Sincerely,


Victor Tran

m4
35

Kevin Smith
1004-A East 13th Street
Austin, TX 78702

Board of Adjustments
City of Austin

Re: 2100 East 14th Variance

Dear Honorable Board Members:

I live very close this property and am intimately familiar with the project as it has unfolded over the last 2 years or so. I support this variance request since it serves and balances everyone's best interests fairly.

Despite best efforts, the Lillie Scott was beyond saving, so recreating it is the next best thing, and doing so would be excellent for Chestnut and its history. The point of this project has always been to save the Lillie Scott, and that is what will occur if the project is allowed to resume. Whether the site gets historical zoning is not important—what matters is recreating the Lillie Scott, and that will be done with the approved plans and the Certificate of Appropriateness the project already received from the Historical Landmark Commission.

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Please allow the project to resume—not only is there no other truly viable option, but this variance is supported by many local residents and the City's Historical Preservation Officer. This project is good for Chestnut and Austin as a whole and also shows neighborhood groups, developers, and the City CAN cooperate and develop win-win-win scenarios!

Thank you for your attention, feel free to contact me should you need anything.

Regards,


Kevin Smith

m4
36

Board of Adjustments
City of Austin

June 2, 2016

Re: 2100 East 14th, Austin, TX – "Lillie Scott" Residence

Honorable Board Members,

I am writing to share Newcastle Homes' commitment to preserving the Lillie Scott Residence at 2100 East 14th Street in East Austin, and to clarify some issues that have led the City to temporarily shut down the worksite for code compliance issues. I believe everyone is actually 'on the same page' as far as what they would like to see happen with this project, and our hope is that by clearly illustrating this, we will be able to proceed with work to recreate this significant residence.

The original plan, as specified in variance C15-2014-0108, was to *preserve and rehabilitate* the Lillie Scott residence and construct a new ADU up to 1500sf behind the original home provided we obtain Historical zoning and the site as a whole stays within .4 FAR. That plan involved preserving the home's exterior facades facing East 14th Street and Alamo Street, and incorporating them into the restoration and re-creation of the house. During the exploratory demolition process, however, it was revealed that these walls were in substantially worse condition than was previously known due to rot, neglect, and termite damage. They were then professionally braced by our framer, working with all permits in place and under close City supervision. (See attached Exhibit A – letter from Hammerhead Framing.)

Unfortunately, significant rain events in February and March, along with well-documented and unusually strong wind storms (see attached Exhibit B – weather notes from February and March, 2016), made the facades crumble even more than they already had, and they were deemed unusable and a hazard to the workers on site by the project engineer (see attached Exhibit C - March 29, 2016 letter from engineer, as well as Exhibit D – photos of structure/materials from exploratory demo process and bracing). We had no choice but to remove them. Obviously, without the two facades, "preserving and rehabilitating" is not possible. However, we are committed to the spirit of the variance, which is to recreate the Lillie Scott and pay homage to its historical significance by precisely maintaining its original aesthetic, scale, and character.

We intend to do that by rebuilding the home to its original aesthetic and scale, and by featuring critical architectural elements that make it *the* Lillie Scott. We have conducted an extensive detailed analysis of the property and historic record, and have identified several features of the home that were updates from the 1950s or 1960s that were NOT historically accurate. We will remove those anachronous features and replace them with REAL elements from when the Lillie Scott was built circa 1906. This includes replacing wrought iron posts with turned wood columns, restoring the original 'fish-scale' or 'tear drop' above the front porch, and more. These proposed changes have been planned and approved by the City of Austin Historic Preservation Officer, Mr. Steve Sadowsky, and the Historic Landmark Commission (HLC). The end result will be a historically accurate, 'improved' version of the house that contributes to the historic character of Chestnut and serves as an exemplary 'thread' in the historic fabric of the City of Austin.

Unfortunately, once we removed the crumbling structures for safety reasons, Code Enforcement realized that the property had not yet been zoned Historic and issued a stop work order that remains in effect at this time since the variance called for Historic zoning to be in place. Obviously, there can be no progress towards accomplishing our mutual goal with this project given this status, which is the impetus for this letter.

Our whole team understands that it is easy to be suspicious of a builder, and Chestnut is especially sensitive to this. It is true that the variance was obtained so that we could also build an ADU up to 1500

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square feet behind the original residence. We would like to point out that this entire project was presented to and discussed with the Historic Landmark Commission. This variance was applied for and approved under the guidance of the HLC and with its support as well. The Chestnut Neighborhood also was intimately involved with conceiving this project and supportive of obtaining the variance. With the assistance of Mr. Sadowsky, the project has from the outset intended to preserve the character of the Lillie Scott Residence in the spirit of the Secretary of Interior's Standards for Preservation of Historic Buildings. The HLC and Mr. Sadowsky guided the project development and approved the design to meet the intent of the HLC, and specifically issued a Certificate of Appropriateness, which was shared with the Board of Adjustments (BOA) when Mr. Sadowsky assisted in getting the variance. Moreover, before our involvement with the site, the Lillie Scott was in serious jeopardy of being lost for good due to the prior owner's neglect and the lack of realistic historic preservation efforts in Chestnut. The structure had been sitting completely dilapidated, unsafe, and non-code-compliant for decades.

Newcastle Homes prides itself on being a reputable, responsible, active member of the community in East Austin for over 15 years—we were working with East Austin residents and neighborhood associations long before the myriad players who are there today! And as Mr. Sadowsky has told us, we are lauded for our community activism, quality of work, and commitment to green building and sustainability. Our intent is the same as yours: to bring the Lillie Scott back to life as closely to its original design as can be done 110 years after its initial construction. While that was initially conceived as something that would be done using the tool of Historic Zoning, Mr. Sadowsky and the HLC now see reconstructing the Lillie Scott as per the Certificate of Appropriateness approved design as the best mechanism with which to accomplish this mission. 2100 East 14th has not been zoned Historic NOT because the builder has ignored this issue or is trying to manipulate any agreement or code provision, but simply because Mr. Sadowsky informs us this site can not get Historic zoning since the small portion of the house that was thought to be able to be preserved, reused, and incorporated into the home no longer can be.

In order to accomplish the mission of restoring the home and maintaining its essence, we need to resume work. Thus, we need to maintain the variance but with the permission for the ADU to be reworded so it is not based on the term 'Historic zoning' but rather on the term 'Certificate of Appropriateness approved plans.'

We defer to Mr. Sadowsky, as the City's staff expert on all things historic. He played a pivotal role in negotiating the agreement and obtaining the variance. First, it should be noted that Mr. Sadowsky never thought that Historic zoning should have been a requirement for the variance. Instead, that requirement should have been that the Lillie Scott be built as per plans approved by the Historic Landmark Commission (HLC) and its Certificate of Appropriateness Subcommittee. We have those plans and obtained that certificate, and those are still the plans we are following.

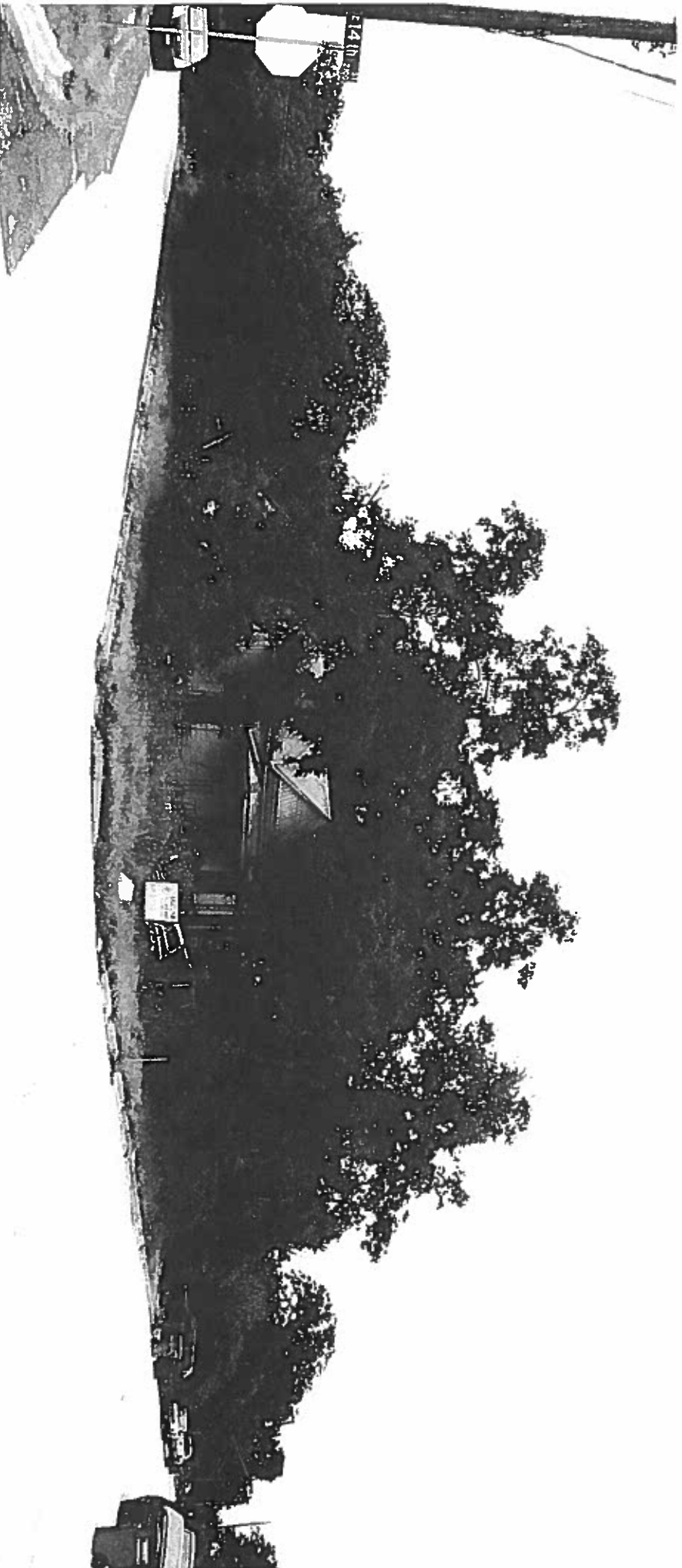
Shutting down the job site will not accomplish our collective mission—restoring the Lillie Scott to be a safe, sustainable, living, inhabited, shining example of the historic fabric from another era! Once complete, this project will prove to be an excellent example of 1. the City, neighborhoods, and builders cooperating to create realistic win-win scenarios, and 2. REAL historic preservation occurring *without* using up very limited historical zoning resources or other precious City resources, or negatively affecting the tax base.

Thank you for your prompt and cooperative attention to this matter—please contact us if you have any questions or concerns, or need anything, including the plans or architectural detail, clarified.

Sincerely,


Judith Y. Zwarun
President, Newcastle Homes

2015-2016-008 2



CORNER OF 14TH + ALAMO LOOKING AT
WHITE SCOTT RESIDENCE (2014)

CITY OF AUSTIN DEVELOPMENT WEB MAP

2100 E. 14TH

(602-44-1100)

Legend

Lot Lines

Streets

Building Footprints

Named Creeks

Lakes and Rivers

Parks

County

Contours Year 2012

Index

Intermediate

Special

Building Footprints Year 2012

Boundary

Footprint

Image

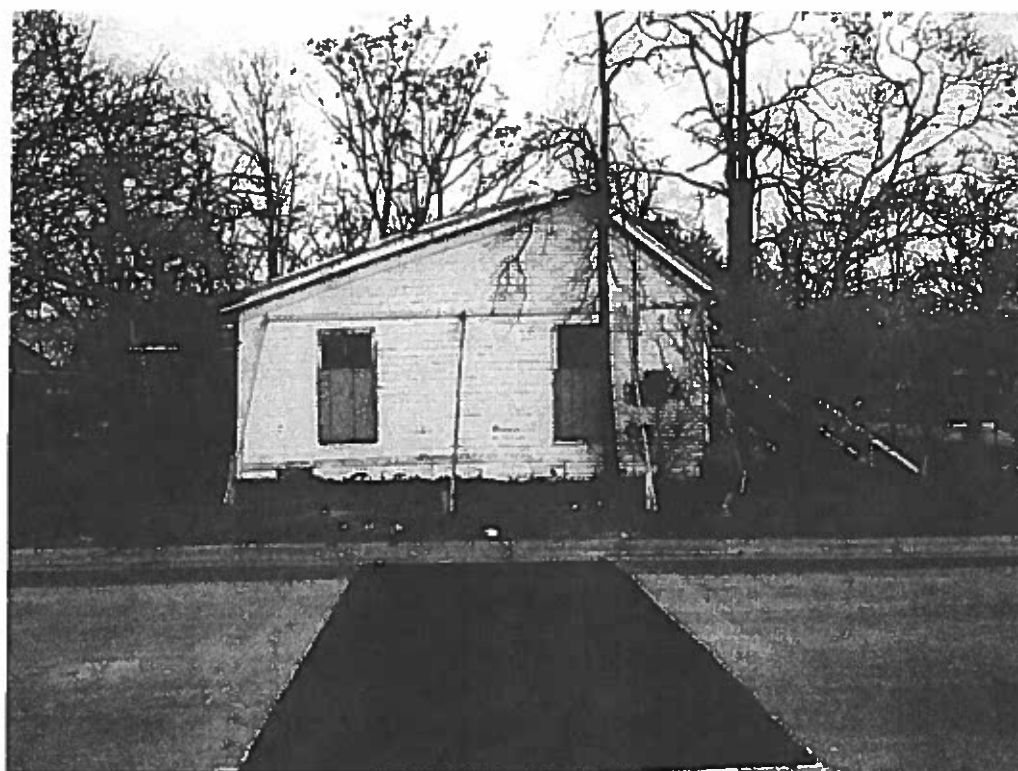


THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS.

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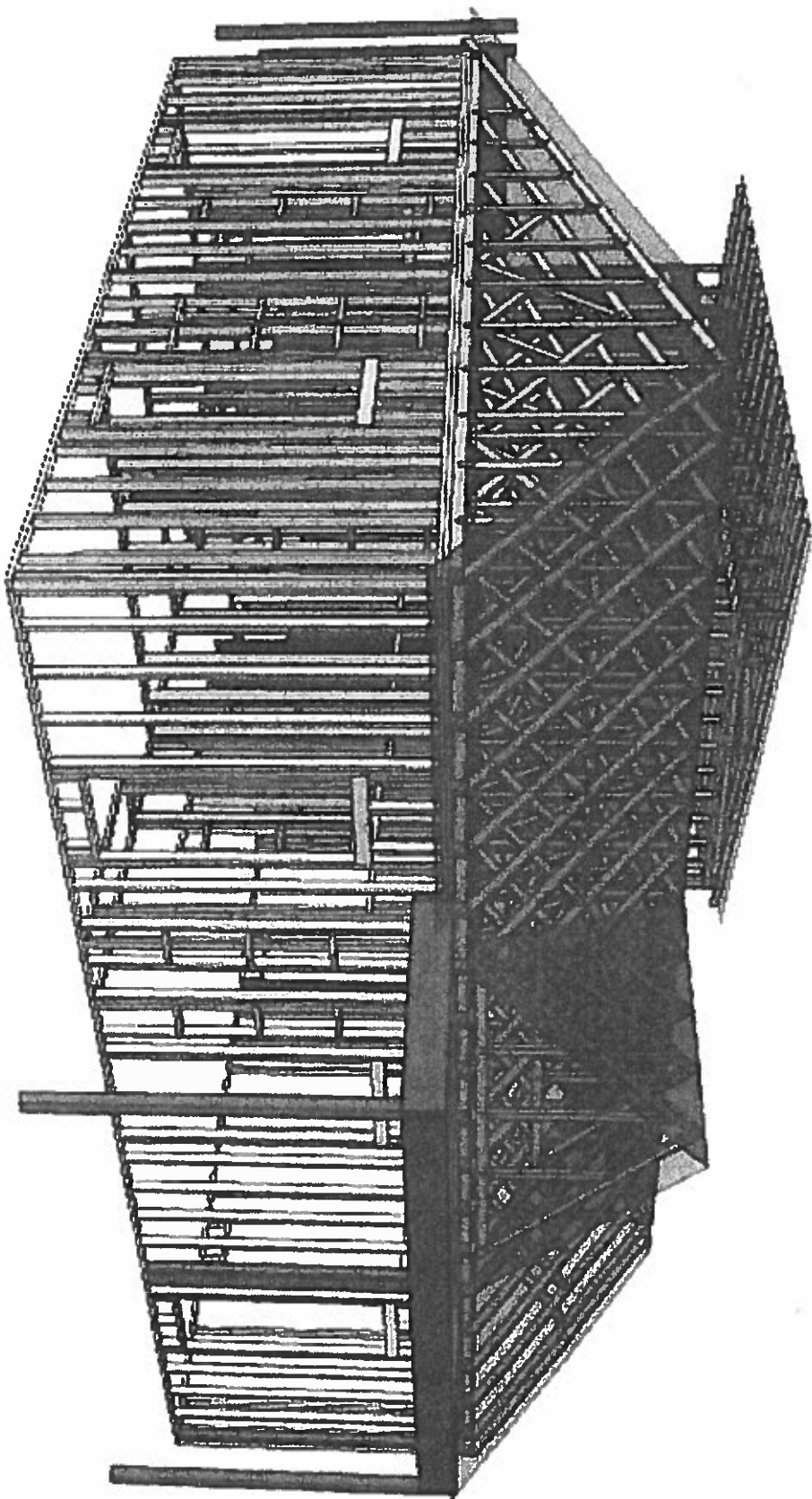
EXISTING EXTERIOR – with temporary bracing and project sign illustrating design intent to maintain historic character.



EXISTING EXTERIOR – with temporary bracing

EXHIBIT - INCLUDES START OF TEMPORARY
BRACING AND JOBSITE SIGN
W/ RENDERING OF DESIGN INTENT.
SEE ENLARGED IN THIS PACKET.

5/5



FRAMING MODEL - REFERENCE TO
LETTER FROM CONTRACTORS MODEL
RE: STRUCTURAL MAINTENANCE



MITek USA, Inc.
7777 Greenback Lane
Suite 109
Citrus Heights, CA, 95610
Telephone 916/676-1900
Fax 916/676-1909

Re: 15-055488_Main_House
Main House2100 E14th St

The truss drawing(s) referenced below have been prepared by MITek USA, Inc. under my direct supervision based on the parameters provided by BMC West-New Braunfels, TX.
Pages or sheets covered by this seal: R47020357 thru R47020372
My license renewal date for the state of Texas is December 31, 2016.
Texas COA: F-12513

Lumber design values are in accordance with ANSI/TPI 1 section 6.3
These truss designs rely on lumber values established by others.



COR F-12513

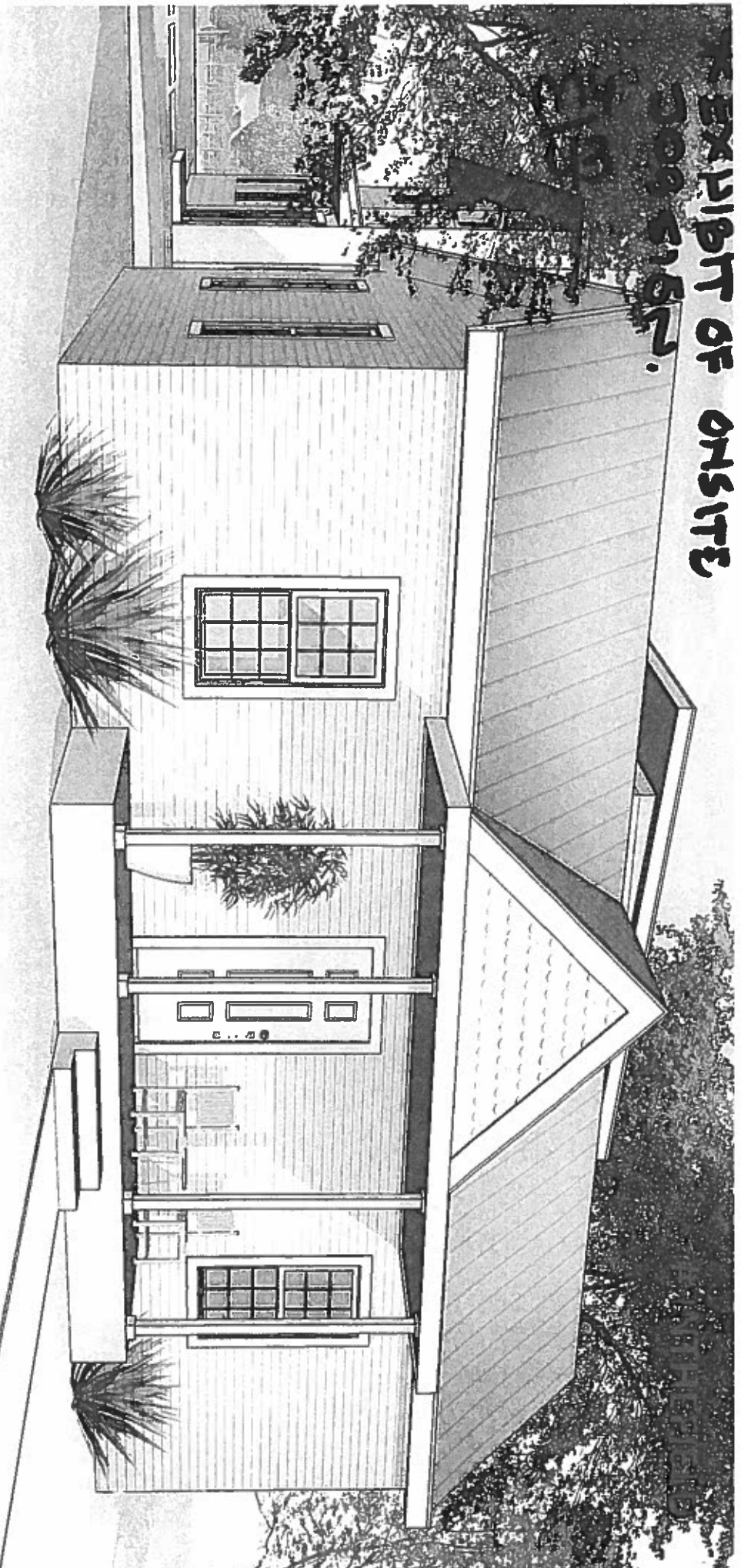
April 8, 2016

Hernandez, Marcos

The seal on these drawings indicate acceptance of professional engineering responsibility solely for the truss components shown. The suitability and use of this component for any particular building is the responsibility of the building designer, per ANSI/TPI 1.

2/25/16

EXHIBIT OF ON-SITE
HOUSING.



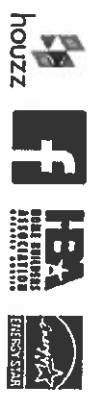
"With the assistance of the City Of Austin Historic Landmark Commission and the Chestnut Addition Neighborhood Association we are proud to help preserve this property and add to the sense of place and community."

UNIQUE URBAN HOMES SINCE 2001

512.454.4600

LAND | DESIGN

FINANCE | CONSTRUCTION



AUSTINNEWCASTLEHOMES.COM



512.251.4279

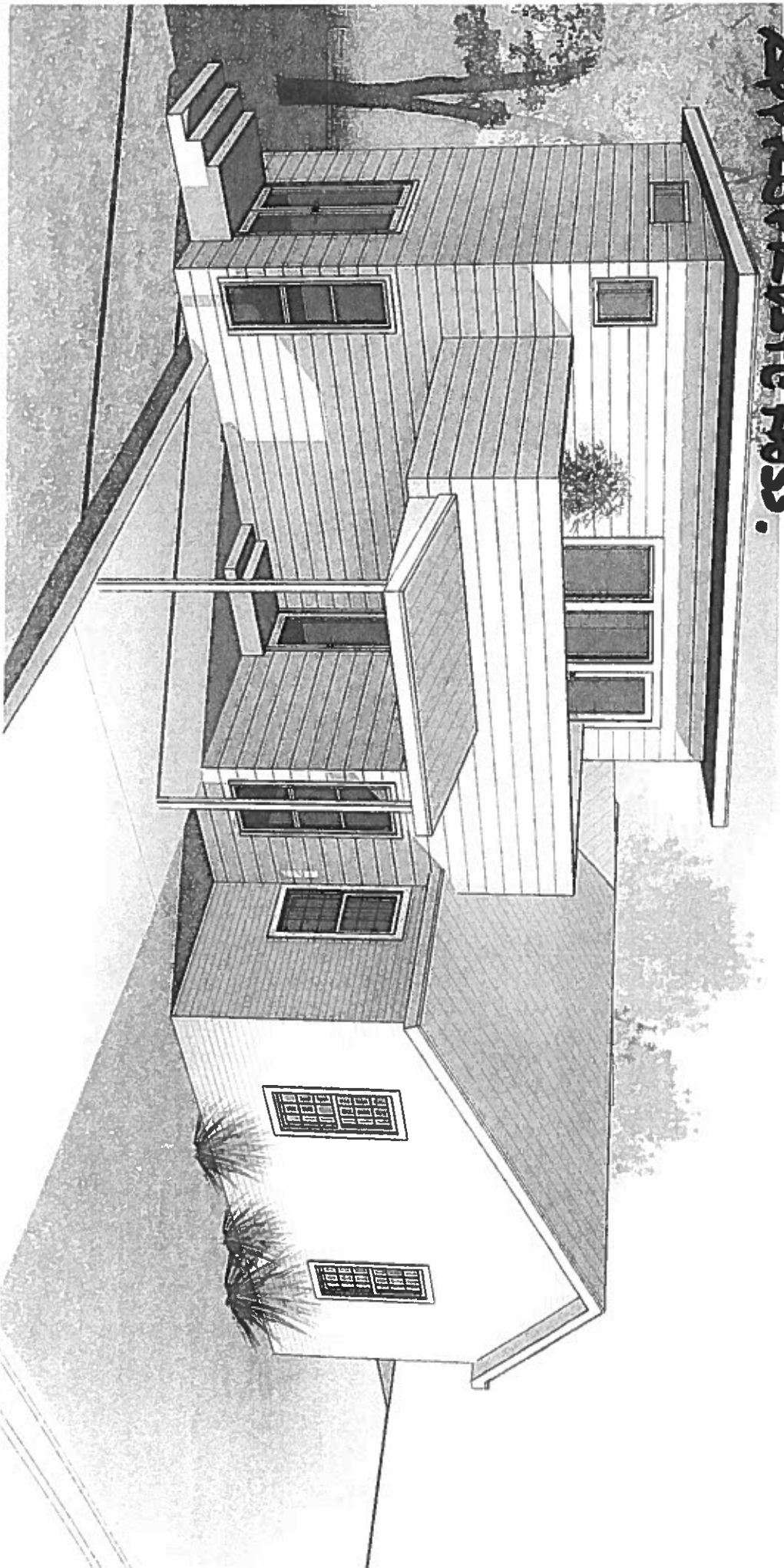
HA-ARCHITECTURE.COM

HA.ARCHITECTURE

@HA_ARCHITECTURE

HA_ARCHITECTURE

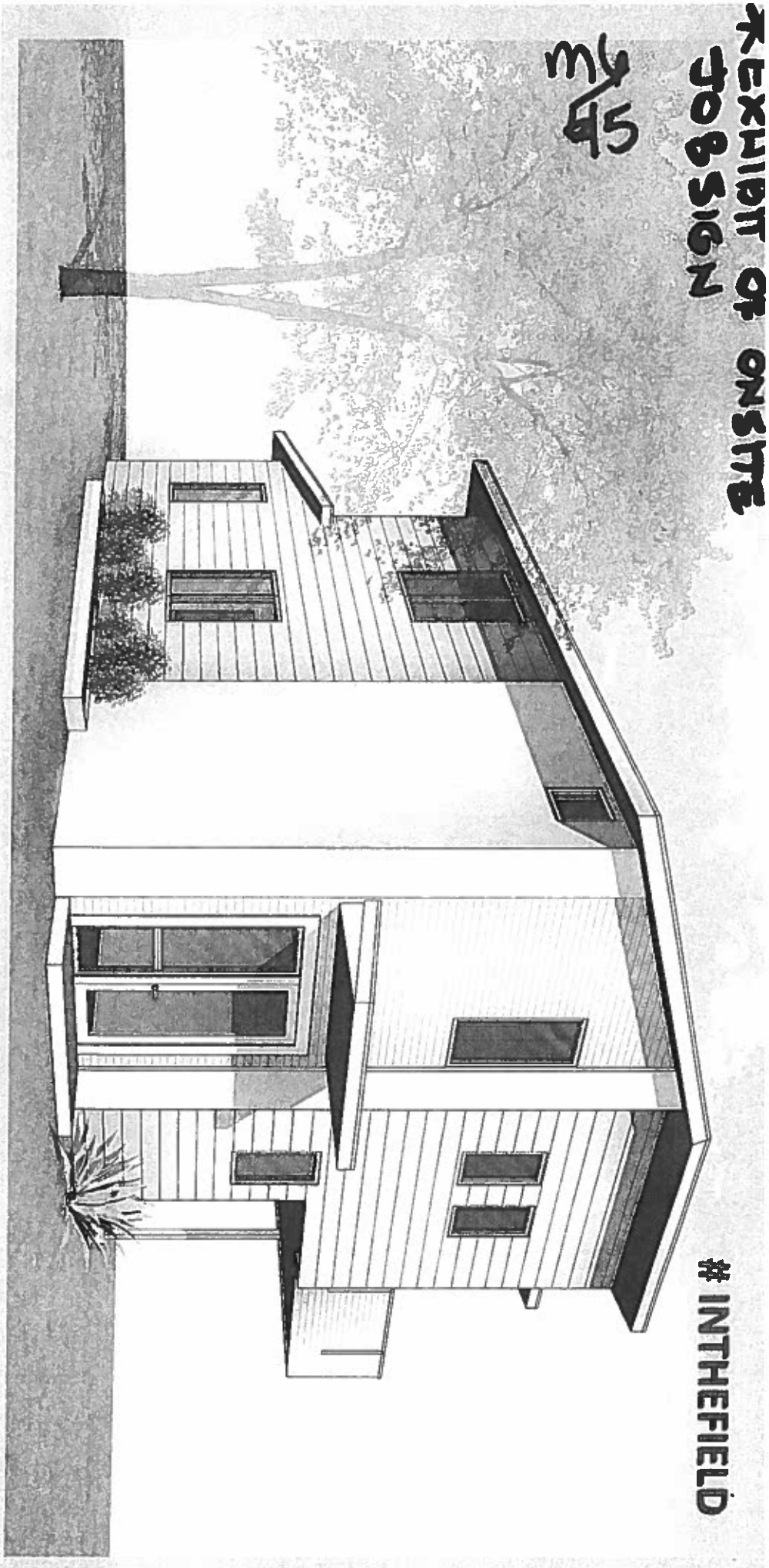
**3/4 ADDITIONAL RENDER FOR REFERENCE ONLY
3/4 VIEW FROM ADJACENT TO EIGHTH. NOTE REAR
ADDITION AS APPROVED BY HISTORIC FOR CERTIFICATE OF
APPROPRIATENESS.**



REXHAIDT OF ONSITE
TO DESIGN

3/5

#INTHEFIELD



UNIQUE URBAN HOMES SINCE 2001

512.454.4600

LAND | DESIGN

FINANCE | CONSTRUCTION



AUSTINNEWCASTLEHOMES.COM



512.251.4279

HA-ARCHITECTURE.COM

HA.ARCHITECTURE

@HA_ARCHITECTURE

HA_ARCHITECTURE

Ryan Campbell

From: Jamie Crawley
Sent: Monday, June 27, 2016 1:07 PM
To: Ryan Campbell
Subject: Please HOLD to print -- email and exhibits /// FW: follow up w/ attachments /// RE: question - 2100 14th
Attachments: 2100 14TH - SK-0.pdf; 2100 14TH - SK-1.pdf; 2100 14TH - SK-2.pdf; 2100 14TH - SK-3.pdf
Importance: High

ml
46

From: Jamie Crawley
Sent: Wednesday, September 3, 2014 8:53 AM
To: 'Sadowsky, Steve'
Subject: question - 2100 14th
Importance: High

← * REFER APPLICABLE
EXHIBITS 2014
1X17 ENCLOSED.

Steve — we are still in the process of working with Lex on finalizing the design for the property. I wanted to inquire about prep for the committee meeting Monday next week. If we were to provide the following exhibits in advance of the meeting for the packet (if necessary/advisable) and then supplement in person at the conference room table with additional detailed elevations for discussion would that work?

Thanks in advance for ALL the assistance you have provided on this one.

Jamie Crawley, AIA, LEED AP BD+C, NCARB
Director of Architecture

///-///-/// Architecture

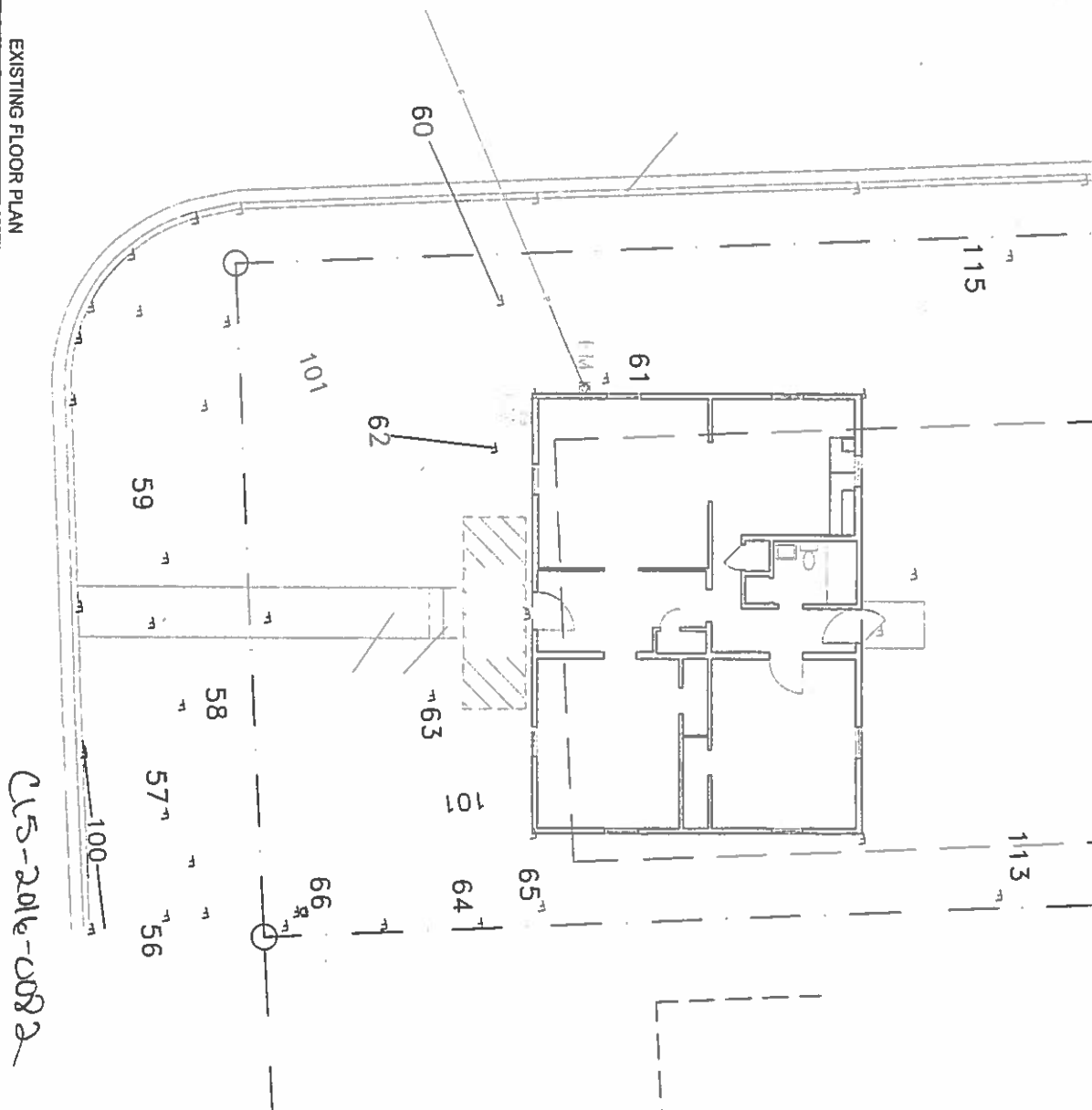
2125 E. Cesar Chavez Call (512) 251.4279
Austin, TX 78702 Fax (512) 251.4705

www.HA-Architecture.com

* REFER CORRESPONDENCE W/ STATE SPADANSKY FOR 2014 EXHIBITS. (1 OF 3)

EXISTING FLOOR PLAN

NOTE: DUE TO THE EXTENSIVE FOUNDATION, ROOF AND EXTERIOR
 DRAINAGE REMAINS, THIS PROJECT FOR PRESERVATION
 OF THE HISTORIC CHARACTER OF THE BUILDING, THE
 ROOF ELEMENTS, WALL PLACEMENT AND SIGNIFICANT EXTERIOR
 DETAILS WILL BE MAINTAINED, REPAIRED AND REPLACED AS REQUIRED.
 THE INTERIOR FINISHES WILL BE RECONSTRUCTED TO
 ALLOW FOR THE REUSE OF THE PROPERTY AS WELL AS
 TO PROVIDE A MODERN INTERIOR AND EXTERIOR
 PLEASE REFER TO THE CONCEPTUAL PLAN AND REVISIONS FOR
 REFERENCE.



EXISTING FLOOR PLAN

CL5-2016-0082



City of Austin
 Historic Preservation Commission
 1000 Red River Street
 Austin, Texas 78702
 512.475.3100
 www.austintexas.gov/hpc

Lillie Scott Residence
 2100 E. 14th Street
 Austin, TX 78702

A project for
 Historical Review

RECORDS

No.	Date	Description
1	07/21/14	AS-BUILT FLOOR PLAN
2	07/21/14	AS-BUILT FLOOR PLAN
3	07/21/14	AS-BUILT FLOOR PLAN
4	07/21/14	AS-BUILT FLOOR PLAN
5	07/21/14	AS-BUILT FLOOR PLAN
6	07/21/14	AS-BUILT FLOOR PLAN
7	07/21/14	AS-BUILT FLOOR PLAN
8	07/21/14	AS-BUILT FLOOR PLAN
9	07/21/14	AS-BUILT FLOOR PLAN
10	07/21/14	AS-BUILT FLOOR PLAN

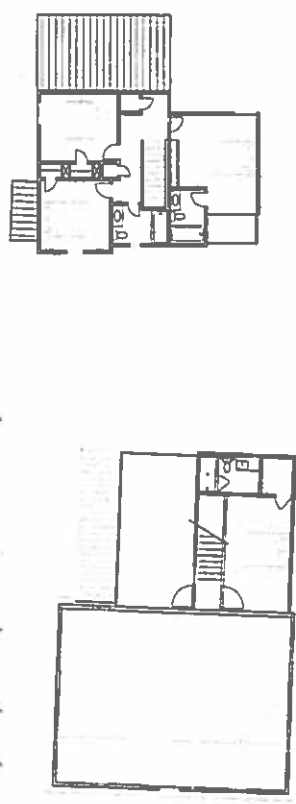
NOTED for regulatory review
 prior to construction
 DATE: 8/11/14
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 14-0000
 07/21/14
 and all revisions

AS-BUILT
 FLOOR PLAN

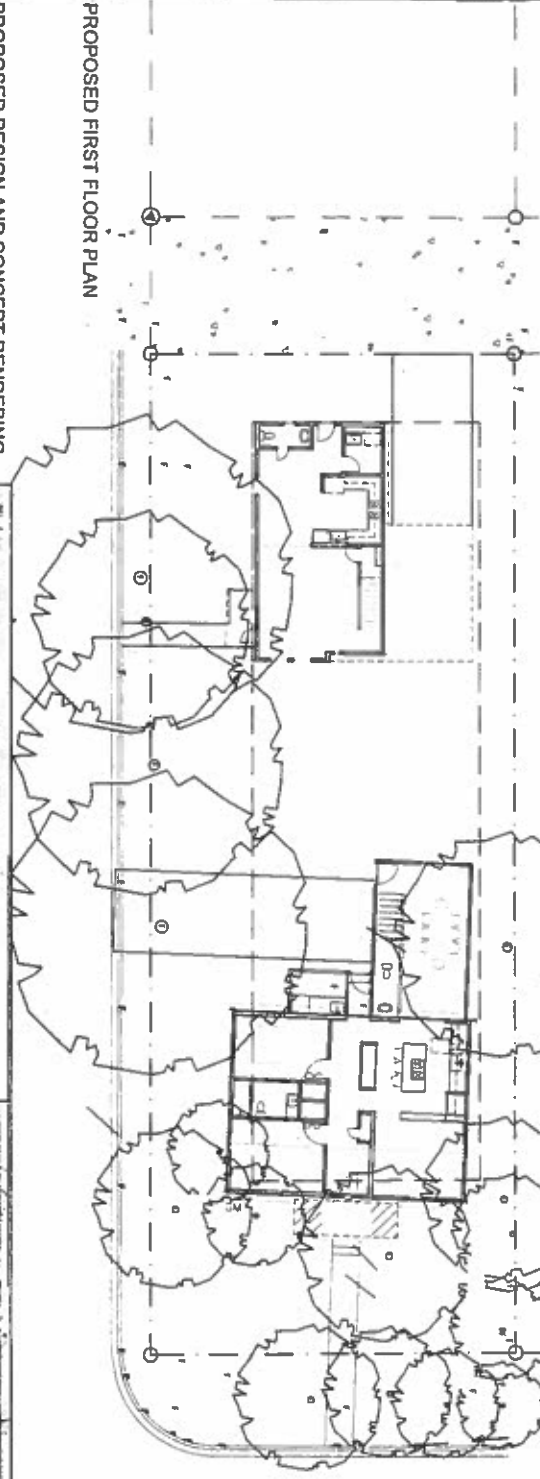
SK-1

87
37
W

PROPOSED SECOND FLOOR PLAN

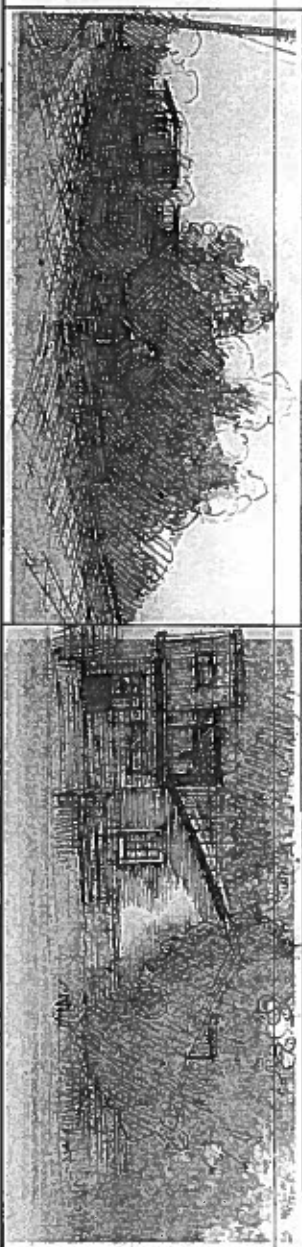


PROPOSED FIRST FLOOR PLAN



PROPOSED DESIGN AND CONCEPT RENDERING

PROJECT INCLUDES RENOVATION AND PRESERVATION OF EXISTING ONE-AND-A-HALF STORY BRICK BUILDING AND ADDITION OF SECOND STORY AND STRUCTURES. THE CHARACTER OF THE HISTORIC SINGLE STORY HOME WILL BE MAINTAINED AT THE CORNER OF 14TH AND ALAMO STREETS AS EVIDENCED BY THE REMAINING INTERIOR AND EXTERIOR. THE CORNER, THE ADDITION WILL UTILIZE SIMILAR EXTERIOR MATERIALS IN TERMS OF SIDING AND METAL ROOF, HOWEVER THE APPLICATION OF THESE WILL BE SET APART AS PER THE SEQUENCE OF INTERIORS. STAIRWAYS SO AS NOT TO COMPROMISE THE HISTORIC PORTION. ADDITION SPACES AS A VISUAL BRIDGE TO THE RESIDENCE, REFLECTING ON THE PROPERTY - UTILIZING SIMILAR MATERIAL, PALETTE, FORM AND DETAILS.



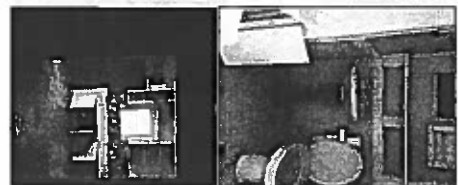
THE ARCHITECTURE
FIRM HAS BEEN
SELECTED BY THE
CLIENT FOR THE
DESIGN OF THE
PROJECT.

Lillie Scott Residence
2100 E. 14th Street
Austin, TX 78702

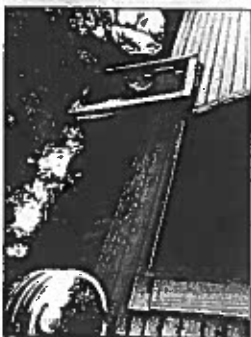
A project for
Historic Visual Architecture

REVISIONS	DATE	DESCRIPTION
1	07/21/14	Initial Design
2		
3		
4		
5		
6		
7		
8		
9		
10		

DESIGNED BY
HISTORIC VISUAL ARCHITECTURE
14-000
DATE
07/21/14
PROJECT NUMBER
SK-2



PRESERVE PERIOD SPECIFIC FRONT ELEVATION

[illegible]

PRESERVE APPEARANCE OF EXTERIOR WITH REPAIRS TO FOUNDATION, EXTERIOR AND ROOF

NOT THINGS THAT WILL BE GUIDED BY THE SECRETARY OF INTERIOR STANDARDS FOR PRESERVATION OF HISTORIC BUILDINGS AND MONUMENTS. THE SECRETARY OF INTERIOR'S STANDARDS FOR PRESERVATION OF HISTORIC BUILDINGS AND MONUMENTS WILL BE MAINTAINED HOWEVER, THE EXTENSION OF THE HOUSE JOINTS COMMITTEE'S RECOMMENDATIONS TO COVER THE REPAIR AND REPLACEMENT OF ELEMENTS DUE TO FOUNDATIONAL FAILURES, ROOF FAILURES AND ENVELOPE EXTENSION FAILURES, SUCH AS THE REPAIR AND REPLACEMENT OF THE STRUCTURE OF ROOF, ALTHOUGH THE REPAIR AND REPLACEMENT OF EXTERIOR WALLS, ROOF, AND ENVELOPE EXTENSION FAILURES, OBSERVED, WATER DAMAGE AFFECTING EXTERIOR AND INTERIOR FINISHES, AND EXTERIOR WALLS, NOTE THESE CONDITIONS ARE NOT COVERED BY THE SECRETARY OF INTERIOR'S STANDARDS FOR PRESERVATION OF HISTORIC BUILDINGS AND MONUMENTS. REPAIR AND REPLACEMENT OF EXTERIOR WALLS ARE FAILING IN SEVERAL LOCATIONS, NOTE NOT ALL EXTERIOR WALLS ARE FAILING, HOWEVER, SOME ARE. REPAIR AND REPLACEMENT ELEMENTS WERE REVIEWED, HOWEVER HOUSE REPAIRS WERE DONE SO BY LICENSED STRUCTURAL ENGINEER.



LOCATION OF PROPOSED ADDITION (NORTHEAST CORNER)

NOTE THE NORTHEAST CORNER OF THE EXISTING HOME WILL SERVE AS THE LOCATION FOR THE PROPOSED ADDITION. THIS ALLOWS THE HISTORIC HOME TO MAINTAIN (AND PRESERVE) THE APPEARANCE FROM THE STREET CORNER. THE AREA AT THE REAR OF THE LOT WILL BE THE LOCATION FOR THE PROPOSED SECONDARY DWELLING WITH ALLEY ACCESS. NOTE IMAGE ABOVE IS VIEW FROM ALLEY TOWARD EXISTING HOME.

[illegible]

**Preserving Your
Preservation**

DETAILS

14. part.

07.21.14

SK-3

Lillie Scott Residence
2100 E. 14th Street
Austin, TX 78702



2100 E. 14th Street
Austin, TX 78702



**A project for
Magnetic Home**

**Copyright by Architectural
Drawing Board
PROJECT INFO &
GENERAL NOTES
PROJECT NUMBER**

AO.1

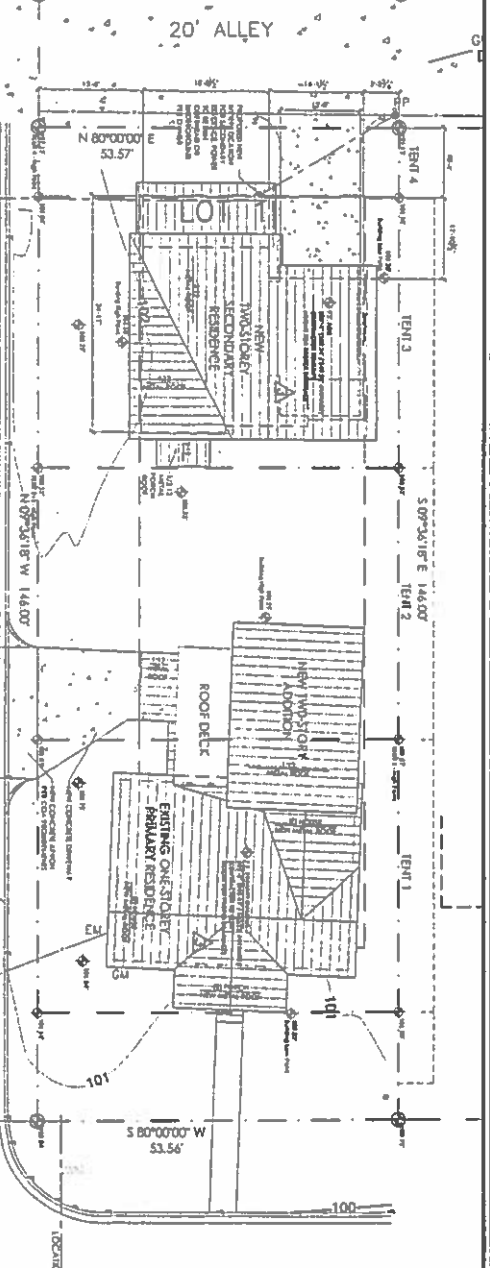
VICINITY MAP

- ARCHITECTURAL**
A1.1 PRODUCT & QUALITY / GENERAL NOTES
A1.2 SITE / INDOOR PLAYS & SITE INFORMATION
A1.3 PALMWAY HOUSE FLOOR PLANS
A1.4 SECONDARY HOUSE FLOOR PLANS
A1.5 PRIMARY HOUSE EXTERIOR ELEVATIONS
A1.6 SECONDARY HOUSE EXTERIOR ELEVATIONS
A1.7 BUILDING SECTIONS
A1.8 EXTERIOR ELEVATIONS
A1.9 DETAILS
- STRUCTURAL**
S1.1 GENERAL NOTES

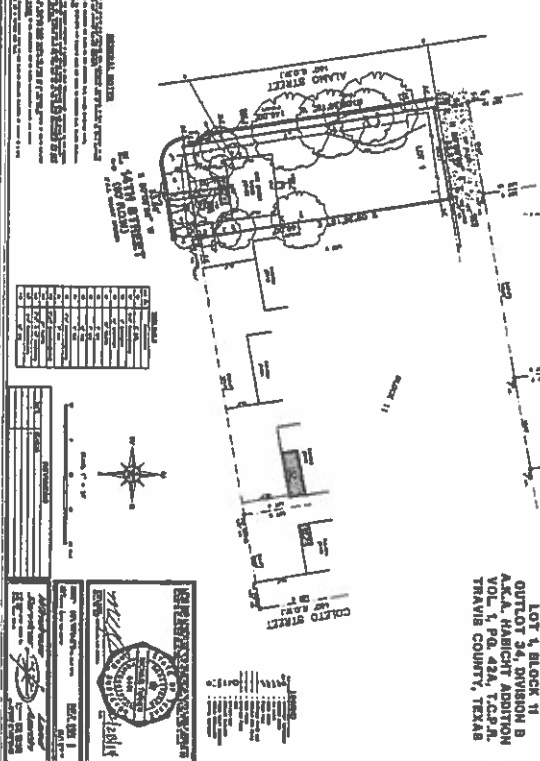
ARCHITECTURAL

- [illegible]





ORIGINAL BUILDING FOOTPRINT



ALAMO STREET
(40' R.O.W.)

PROJECT INFORMATION

PROJECT ADDRESS	2100 E 10th Street, Austin, TX 78722
ZONING	6F-2 (see Comments)
LEGAL DESCRIPTION	LOT 1 (BLOCK 11) OUTLOT 24, DAWSON B
LOT AND FOOTAGE	7.25B A.F.

PROJECT SUMMARY

Project includes Renovation and Preservation of Existing One-Story Residence with a proposed two-story Addition to rear of Existing House and a New Two-Story home adjacent to Alley.

Existing Primary Residences & Addition:
Construction of Existing House and Addition to Pier & Beam Foundation supporting Wood Frame. Proposed Exterior Finish materials include Wood or Cementitious Siding, Wood, Aluminum (clad) Windows and Doors, and Metal Roof.

Lowest Adjacent Grade: 100.5'
Highest Adjacent Grade: 101.5'
Average Adjacent Grade: 100.7'
Highest Part of Road at Two-Storey Addition: 21'-5" (See U4.2.1)

New Secondary Residence
Construction of the New Residence is Concrete Slab on Grade supporting Wood Frame. Exterior Finish includes Cementitious Stucco, Wood, Aluminum, (tilt) Windows and Doors, and Metal Roof (Similar to Primary Residence).

Lowest Adjacent Grade 102'
Highest Adjacent Grade 102.5'
Average Adjacent Grade 102.25'
Hydrot Part of Flood at Two-Story Addition 25'-0" (See UAG 2)

AREA CALCULATIONS

BUILDING CATEGORY:		Existing	New Addition	Total
Primary Residence		870.1	1,120.7	
Secondary Residence		100.0	200.0	
2nd Floor Condominium		340.0	400.0	
3rd Floor Condominium		100.0	100.0	
4th Floor Condominium		100.0	100.0	
5th Floor Condominium		100.0	100.0	
6th Floor Condominium		100.0	100.0	
7th Floor Condominium		100.0	100.0	
8th Floor Condominium		100.0	100.0	
9th Floor Condominium		100.0	100.0	
10th Floor Condominium		100.0	100.0	
11th Floor Condominium		100.0	100.0	
12th Floor Condominium		100.0	100.0	
13th Floor Condominium		100.0	100.0	
14th Floor Condominium		100.0	100.0	
15th Floor Condominium		100.0	100.0	
16th Floor Condominium		100.0	100.0	
17th Floor Condominium		100.0	100.0	
18th Floor Condominium		100.0	100.0	
19th Floor Condominium		100.0	100.0	
20th Floor Condominium		100.0	100.0	
21st Floor Condominium		100.0	100.0	
22nd Floor Condominium		100.0	100.0	
23rd Floor Condominium		100.0	100.0	
24th Floor Condominium		100.0	100.0	
25th Floor Condominium		100.0	100.0	
26th Floor Condominium		100.0	100.0	
27th Floor Condominium		100.0	100.0	
28th Floor Condominium		100.0	100.0	
29th Floor Condominium		100.0	100.0	
30th Floor Condominium		100.0	100.0	
31st Floor Condominium		100.0	100.0	
32nd Floor Condominium		100.0	100.0	
33rd Floor Condominium		100.0	100.0	
34th Floor Condominium		100.0	100.0	
35th Floor Condominium		100.0	100.0	
36th Floor Condominium		100.0	100.0	
37th Floor Condominium		100.0	100.0	
38th Floor Condominium		100.0	100.0	
39th Floor Condominium		100.0	100.0	
40th Floor Condominium		100.0	100.0	
41st Floor Condominium		100.0	100.0	
42nd Floor Condominium		100.0	100.0	
43rd Floor Condominium		100.0	100.0	
44th Floor Condominium		100.0	100.0	
45th Floor Condominium		100.0	100.0	
46th Floor Condominium		100.0	100.0	
47th Floor Condominium		100.0	100.0	
48th Floor Condominium		100.0	100.0	
49th Floor Condominium		100.0	100.0	
50th Floor Condominium		100.0	100.0	
51st Floor Condominium		100.0	100.0	
52nd Floor Condominium		100.0	100.0	
53rd Floor Condominium		100.0	100.0	
54th Floor Condominium		100.0	100.0	
55th Floor Condominium		100.0	100.0	
56th Floor Condominium		100.0	100.0	
57th Floor Condominium		100.0	100.0	
58th Floor Condominium		100.0	100.0	
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60th Floor Condominium		100.0	100.0	
61st Floor Condominium		100.0	100.0	
62nd Floor Condominium		100.0	100.0	
63rd Floor Condominium		100.0	100.0	
64th Floor Condominium		100.0	100.0	
65th Floor Condominium		100.0	100.0	
66th Floor Condominium		100.0	100.0	
67th Floor Condominium		100.0	100.0	
68th Floor Condominium		100.0	100.0	
69th Floor Condominium		100.0	100.0	
70th Floor Condominium		100.0	100.0	
71st Floor Condominium		100.0	100.0	
72nd Floor Condominium		100.0	100.0	
73rd Floor Condominium		100.0	100.0	
74th Floor Condominium		100.0	100.0	
75th Floor Condominium		100.0	100.0	
76th Floor Condominium		100.0	100.0	
77th Floor Condominium		100.0	100.0	
78th Floor Condominium		100.0	100.0	
79th Floor Condominium		100.0	100.0	
80th Floor Condominium		100.0	100.0	
81st Floor Condominium		100.0	100.0	
82nd Floor Condominium		100.0	100.0	
83rd Floor Condominium		100.0	100.0	
84th Floor Condominium		100.0	100.0	
85th Floor Condominium		100.0	100.0	
86th Floor Condominium		100.0	100.0	
87th Floor Condominium		100.0	100.0	
88th Floor Condominium		100.0	100.0	
89th Floor Condominium		100.0	100.0	
90th Floor Condominium		100.0	100.0	
91st Floor Condominium		100.0	100.0	
92nd Floor Condominium		100.0	100.0	
93rd Floor Condominium		100.0	100.0	
94th Floor Condominium		100.0	100.0	
95th Floor Condominium		100.0	100.0	
96th Floor Condominium		100.0	100.0	
97th Floor Condominium		100.0	100.0	
98th Floor Condominium		100.0	100.0	
99th Floor Condominium		100.0	100.0	
100th Floor Condominium		100.0	100.0	
TOTAL BUILDING COVERAGE ON LOT:		2,070.1	2,320.7	4,390.8
PERCENTAGE OF BUILDING COVERAGE:		89.1%	100.0%	122.1%

	DIFFERENTIAL COVERAGE:
	Total Building Coverage
	Firestorm
	Stormwater / Mitigation
	Universal Pools
	All Construction Phases
	\$249,411
	\$354,612
	\$91,612

TOTAL IMPROVEMENTS COVE PAGE	3,153.61
ADDITIONAL COVERAGE / LOT AREA	40.35

Total Gross Profit Above + Primary Mortgage	1,629.61
Lender Level Conditioned (FPA 9.1, ceiling + 411.6 / row)	1,238.07
Lipset Level Conditioned (288.0 / row)	299.61
Uncollected / Reported - E. mortgage 2.3%, R. 1. interest 200.0 ()	1.07
Total Gross Profit Above - Secondary Residences	1,418.67
Lender Level Conditioned (row)	848.61

Upper Level Condition (new)	715 sq. ft.
Unconditioned (C-ty. prop. - Encompass 3 2.2, B. 1, conduct 2004)	83 sq. ft.
TOTAL Gross Floor Area	3,679 sq. ft.
Gross Area of Lot	7,839 sq. ft.
Plat Area Ratio (47% or	39.7%

NOTE: EXISTING PRIMARY RESIDENCE TO BE DESTROYED AND REBUILT TO OBTAIN A LOCATION OFFERED TO THE VETERAN WITH A FAVORABLE SCOTT RESPONSE RUCOR IN AN IDEAL SETTING AND AS A 15.2 AC. SECONDARY RESIDENCE. BOTH PREVIOUSLY APPROVED BY HISTORIC LANDMARK COMMISSION AND BOARD OF ADJUSTMENT.

E. 14TH STREET
(60' R.O.W.)
(F.K.A. WALNUT STREET)

[illegible]

Lillie Scott Residence
2100 E. 14th Street
Austin, TX 78702

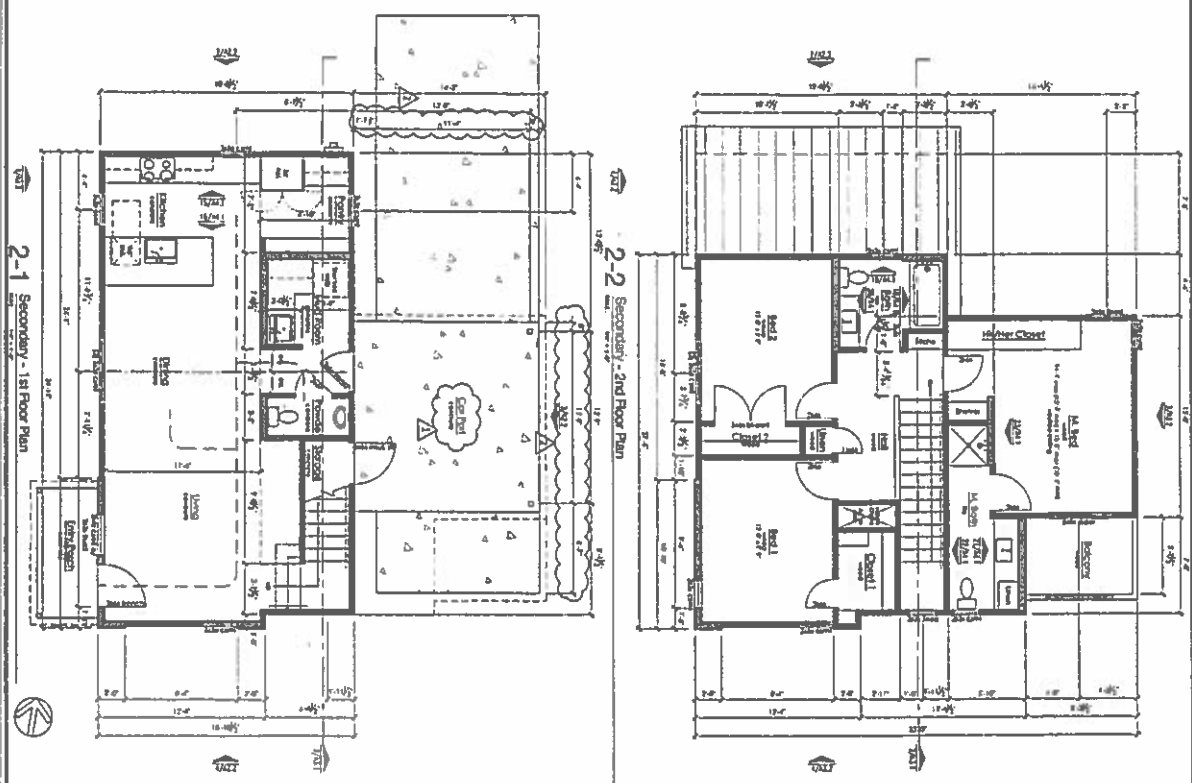
**A project for:
Newcastle Forum**

4.7.18	Fourth Class
4.7.19	CLASSIFICATION

Copyright © 2004
 Division of
**SITE PLAN &
 INFORMATION**
 PROJECT NUMBER:
14-043
 DATE:
11.25.14
 DRAFT NUMBER:
A0.2

A0.2

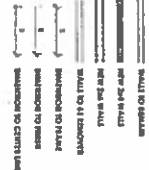
m4/53



GENERAL PLAN NOTES

1. GENERAL NOTE: ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTERLINE OF THE WALL OR TO THE FACE OF THE WALL, UNLESS OTHERWISE NOTED.
2. WALLS: ALL WALLS ARE 8" THICK CONCRETE BLOCK. EXTERIOR WALLS ARE FINISHED WITH 1/2" PLASTER AND 1/4" SAND. INTERIOR WALLS ARE FINISHED WITH 1/2" PLASTER AND 1/4" SAND.
3. FLOORS: ALL FLOORS ARE 4" THICK CONCRETE SLAB ON GRADE. INTERIOR FLOORS ARE FINISHED WITH 1/2" PLASTER AND 1/4" SAND.
4. ROOF: ALL ROOFS ARE 12/12 PITCH. ROOFING IS 1/2" THICK ASPHALT/FLUTE SHINGLES.
5. WINDOWS: ALL WINDOWS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
6. DOORS: ALL DOORS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
7. STAIRS: ALL STAIRS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLAS.
8. HALLS: ALL HALLS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
9. CLOSETS: ALL CLOSETS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
10. BATHROOM: ALL BATHROOMS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
11. KITCHEN: ALL KITCHENS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
12. DINING: ALL DINING AREAS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
13. LIVING: ALL LIVING AREAS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
14. PORCH: ALL PORCHES ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.

WALL LEGEND



GENERAL VISIBILITY NOTES

1. VISIBILITY: ALL VISIBILITY AREAS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
2. VISIBILITY: ALL VISIBILITY AREAS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
3. VISIBILITY: ALL VISIBILITY AREAS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.
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14. VISIBILITY: ALL VISIBILITY AREAS ARE 1/2" THICK ALUMINUM FRAME. GLASS IS 1/4" THICK CLEAR GLASS.



Lillie Scott Residence
2100 E. 14th Street
Austin, TX 78702

REVISION	DATE	BY	DESCRIPTION
1	11/25/14	11/25/14	11/25/14
2	11/25/14	11/25/14	11/25/14
3	11/25/14	11/25/14	11/25/14
4	11/25/14	11/25/14	11/25/14
5	11/25/14	11/25/14	11/25/14
6	11/25/14	11/25/14	11/25/14
7	11/25/14	11/25/14	11/25/14
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9	11/25/14	11/25/14	11/25/14
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16	11/25/14	11/25/14	11/25/14
17	11/25/14	11/25/14	11/25/14
18	11/25/14	11/25/14	11/25/14
19	11/25/14	11/25/14	11/25/14
20	11/25/14	11/25/14	11/25/14

This is a detailed architectural floor plan of a building. The plan is symmetrical around a central vertical axis. At the top center is a staircase with a circular landing. Below the staircase is a large rectangular room with a central circular area containing a radial pattern. To the left of this central room is another large rectangular room, also with a central circular area containing a radial pattern. To the right of the central room is a large rectangular room with a central circular area containing a radial pattern. The plan includes numerous smaller rooms, corridors, and service areas, all labeled with letters and numbers. The overall layout suggests a formal or institutional building, possibly a government office or a university building.

This architectural floor plan shows a building layout with a central corridor. On the left side, there is a large room with a circular feature, possibly a well or a large window, and a smaller room below it. The central corridor runs vertically, with several rooms branching off. On the right side, there is a large rectangular area, possibly a courtyard or a large room, and a smaller room below it. The plan includes various architectural details such as doors, windows, and furniture. Dimensions are indicated by lines and numbers along the edges of the rooms.

This architectural floor plan shows a building layout. A central staircase is located on the left side. To the right of the staircase is a large circular room with a radial pattern, possibly a rotunda or a large hall. The plan includes various rooms, corridors, and structural elements like walls and doors. Dimensions are indicated by lines and numbers around the perimeter and within the plan.

1-1 Primary - 1st Floor PCP & Power Plan

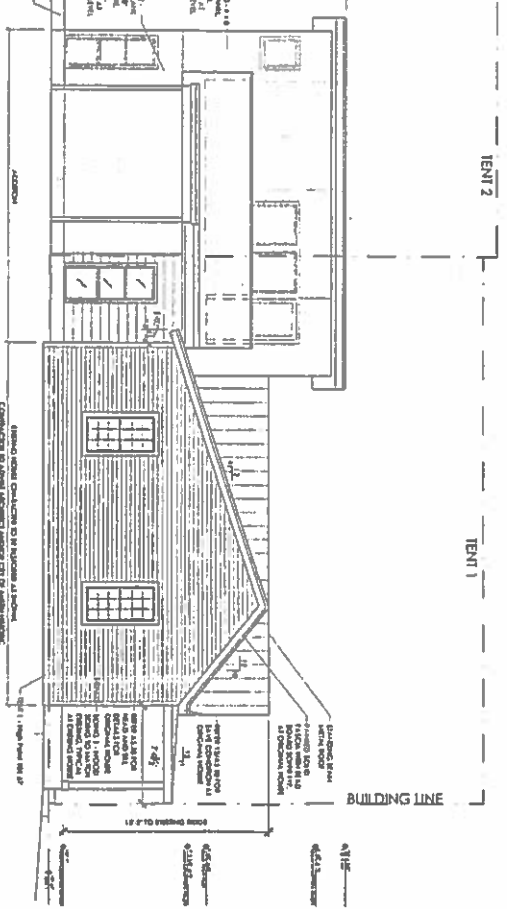
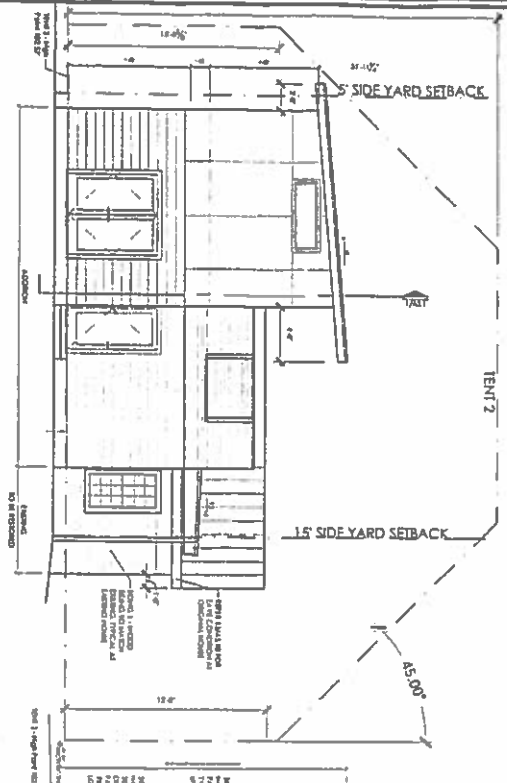
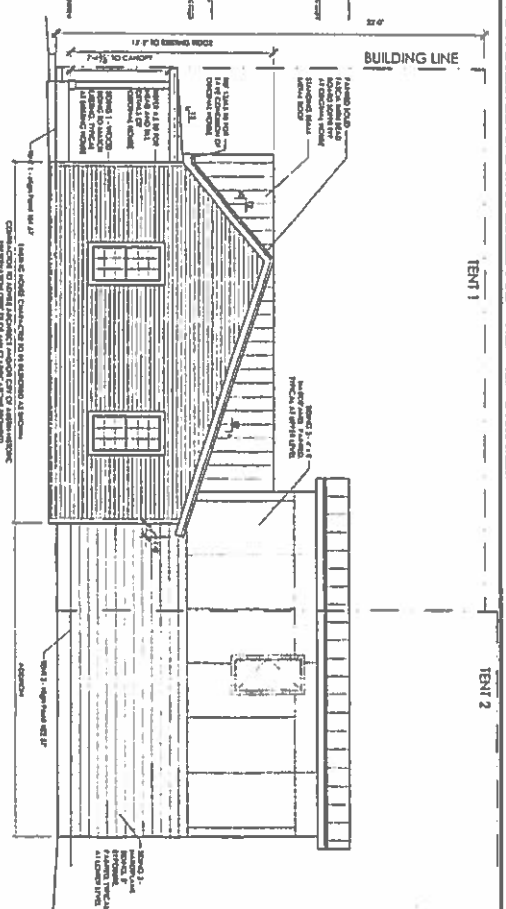
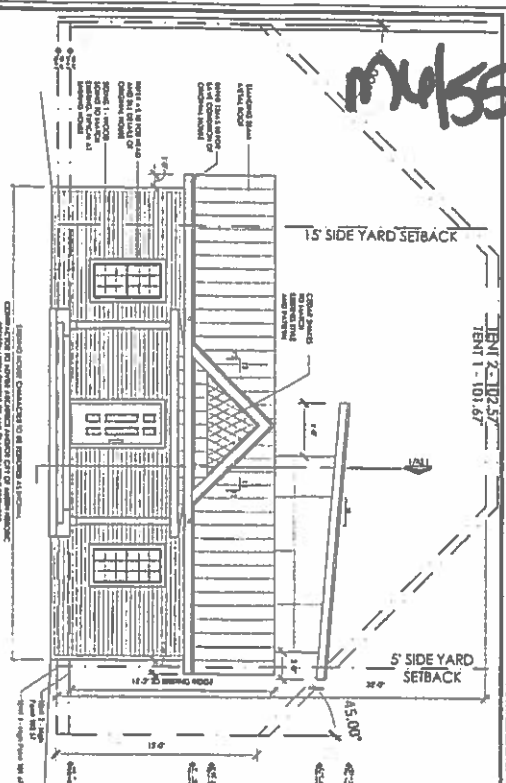
[illegible][illegible]

1. **SELECT** FROM **TABLE**
 2. **WHERE** **CONDITION**
 3. **ORDER BY** **COLUMN**
 4. **GROUP BY** **COLUMN**
 5. **HAVING** **CONDITION**
 6. **JOIN** **TABLE** **ON** **CONDITION**
 7. **UNION** **TABLE**
 8. **CREATE TABLE** **TABLE** **AS** **TABLE**
 9. **ALTER TABLE** **TABLE** **ADD** **COLUMN**
 10. **DELETE FROM** **TABLE**
 11. **UPDATE** **TABLE** **SET** **COLUMN** **=** **VALUE**
 12. **TRUNCATE TABLE** **TABLE**
 13. **INSERT INTO** **TABLE** **VALUES** **(VALUE, VALUE, ...)**
 14. **CREATE INDEX** **INDEX** **ON** **TABLE** **(COLUMN)**
 15. **CREATE VIEW** **VIEW** **AS** **TABLE**
 16. **CREATE PROCEDURE** **PROCEDURE** **AS** **SQL**
 17. **CREATE TRIGGER** **TRIGGER** **ON** **TABLE** **AFTER** **EVENT** **AS** **SQL**
 18. **CREATE DATABASE** **DATABASE**
 19. **CREATE SCHEMA** **SCHEMA**
 20. **CREATE USER** **USER** **IDENTIFIED BY** **PASSWORD**
 21. **CREATE ROLE** **ROLE**
 22. **CREATE TEMPORARY TABLE** **TABLE** **AS** **TABLE**
 23. **CREATE TABLESPACE** **TABLESPACE**
 24. **CREATE SEQUENCE** **SEQUENCE**
 25. **CREATE SYNONYM** **SYNONYM** **FOR** **TABLE**
 26. **CREATE MATERIALIZED VIEW** **VIEW** **AS** **TABLE**
 27. **CREATE AGGREGATE FUNCTION** **FUNCTION** **AS** **SQL**
 28. **CREATE WINDOW FUNCTION** **FUNCTION** **AS** **SQL**
 29. **CREATE TYPE** **TYPE**
 30. **CREATE DOMAIN** **DOMAIN**
 31. **CREATE TABLE** **TABLE** **WITH** **PARTITION** **BY** **COLUMN**
 32. **CREATE INDEX** **INDEX** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **INDEX**
 33. **CREATE VIEW** **VIEW** **WITH** **LOCALITY** **CLUSTER** **VIEW**
 34. **CREATE PROCEDURE** **PROCEDURE** **WITH** **LOCALITY** **CLUSTER** **PROCEDURE**
 35. **CREATE TRIGGER** **TRIGGER** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **TRIGGER**
 36. **CREATE DATABASE** **DATABASE** **WITH** **LOCALITY** **CLUSTER** **DATABASE**
 37. **CREATE SCHEMA** **SCHEMA** **WITH** **LOCALITY** **CLUSTER** **SCHEMA**
 38. **CREATE USER** **USER** **WITH** **LOCALITY** **CLUSTER** **USER**
 39. **CREATE ROLE** **ROLE** **WITH** **LOCALITY** **CLUSTER** **ROLE**
 40. **CREATE TEMPORARY TABLE** **TABLE** **WITH** **LOCALITY** **CLUSTER** **TEMPORARY TABLE**
 41. **CREATE TABLESPACE** **TABLESPACE** **WITH** **LOCALITY** **CLUSTER** **TABLESPACE**
 42. **CREATE SEQUENCE** **SEQUENCE** **WITH** **LOCALITY** **CLUSTER** **SEQUENCE**
 43. **CREATE SYNONYM** **SYNONYM** **WITH** **LOCALITY** **CLUSTER** **SYNONYM**
 44. **CREATE MATERIALIZED VIEW** **VIEW** **WITH** **LOCALITY** **CLUSTER** **MATERIALIZED VIEW**
 45. **CREATE AGGREGATE FUNCTION** **FUNCTION** **WITH** **LOCALITY** **CLUSTER** **AGGREGATE FUNCTION**
 46. **CREATE WINDOW FUNCTION** **FUNCTION** **WITH** **LOCALITY** **CLUSTER** **WINDOW FUNCTION**
 47. **CREATE TYPE** **TYPE** **WITH** **LOCALITY** **CLUSTER** **TYPE**
 48. **CREATE DOMAIN** **DOMAIN** **WITH** **LOCALITY** **CLUSTER** **DOMAIN**
 49. **CREATE TABLE** **TABLE** **WITH** **LOCALITY** **CLUSTER** **TABLE**
 50. **CREATE INDEX** **INDEX** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **INDEX**
 51. **CREATE VIEW** **VIEW** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **VIEW**
 52. **CREATE PROCEDURE** **PROCEDURE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **PROCEDURE**
 53. **CREATE TRIGGER** **TRIGGER** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **TRIGGER**
 54. **CREATE DATABASE** **DATABASE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **DATABASE**
 55. **CREATE SCHEMA** **SCHEMA** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **SCHEMA**
 56. **CREATE USER** **USER** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **USER**
 57. **CREATE ROLE** **ROLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **ROLE**
 58. **CREATE TEMPORARY TABLE** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **TEMPORARY TABLE**
 59. **CREATE TABLESPACE** **TABLESPACE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **TABLESPACE**
 60. **CREATE SEQUENCE** **SEQUENCE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **SEQUENCE**
 61. **CREATE SYNONYM** **SYNONYM** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **SYNONYM**
 62. **CREATE MATERIALIZED VIEW** **VIEW** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **MATERIALIZED VIEW**
 63. **CREATE AGGREGATE FUNCTION** **FUNCTION** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **AGGREGATE FUNCTION**
 64. **CREATE WINDOW FUNCTION** **FUNCTION** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **WINDOW FUNCTION**
 65. **CREATE TYPE** **TYPE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **TYPE**
 66. **CREATE DOMAIN** **DOMAIN** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **DOMAIN**
 67. **CREATE TABLE** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **TABLE**
 68. **CREATE INDEX** **INDEX** **ON** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **INDEX**
 69. **CREATE VIEW** **VIEW** **ON** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **VIEW**
 70. **CREATE PROCEDURE** **PROCEDURE** **ON** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **PROCEDURE**
 71. **CREATE TRIGGER** **TRIGGER** **ON** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **TRIGGER**
 72. **CREATE DATABASE** **DATABASE** **ON** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **DATABASE**
 73. **CREATE SCHEMA** **SCHEMA** **ON** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **SCHEMA**
 74. **CREATE USER** **USER** **ON** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **USER**
 75. **CREATE ROLE** **ROLE** **ON** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **ROLE**
 76. **CREATE TEMPORARY TABLE** **TABLE** **ON** **TABLE** **ON** **TABLE** **WITH** **LOCALITY** **CLUSTER** **TEMPORARY TABLE**
 77. **CREATE TABLESPACE** **TABLESPACE** **ON** **TABLE** **ON** **TABLE** **WITH**

[illegible]

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Donating Incentive
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& POWER PLANS
PROPERTY RESOURCES
14-043
DATE
11.25.14
BRIEF ALBANY
A1.3

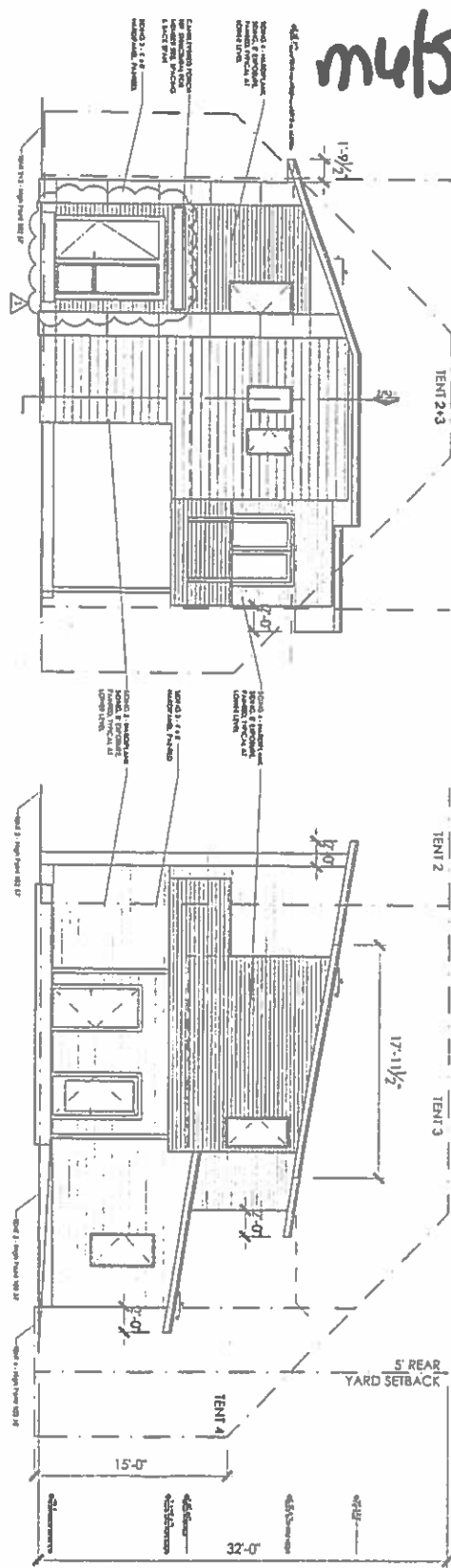
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Lillie Scott Residence
2100 E. 14th Street
Austin, TX 78702

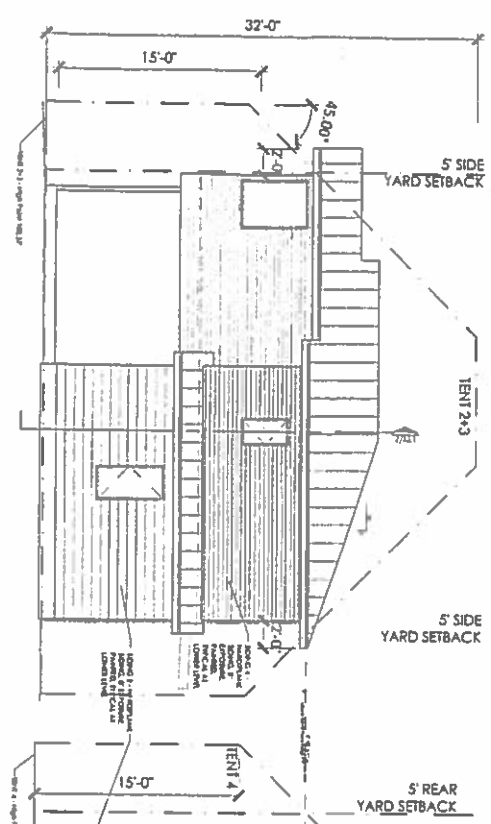


Copyright © 2010
Lillie Scott Residence
2100 E. 14th Street
Austin, TX 78702
11/25/14
A2.1



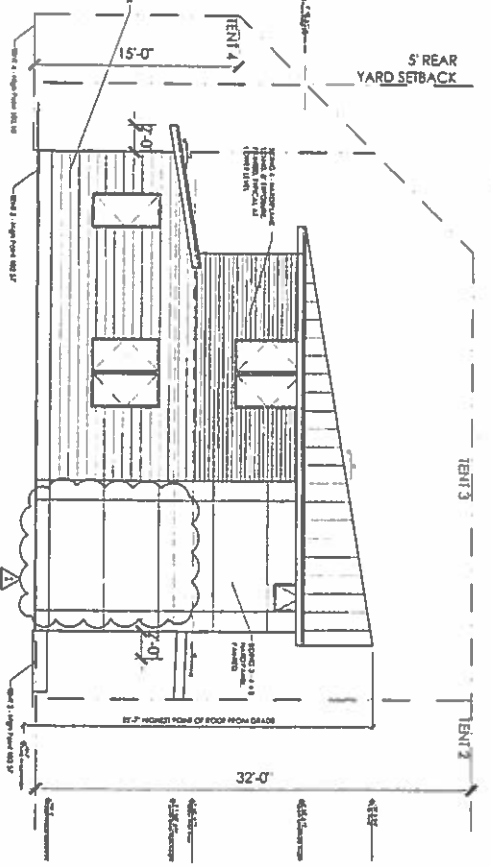
4 **South Elevation**
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



East Elevation

SCALE: 1/4" = 1'-0"



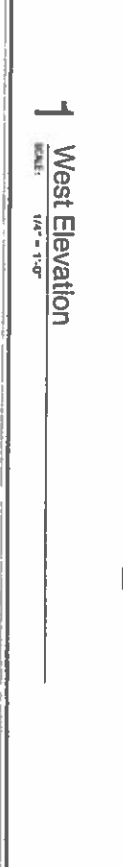
2 North Elevation

SCALES: 14.5 - 15.0



West Elevation

SCALE: 1/4" = 1'-0"

[illegible]

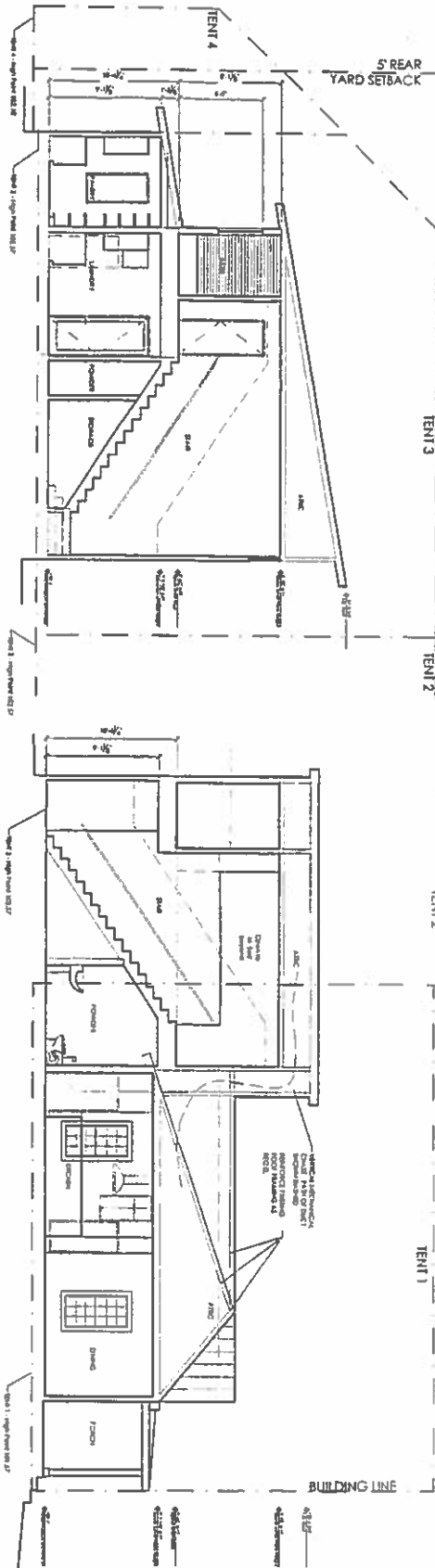
Lillie Scott Residence
2100 E. 14th Street
Austin, TX 78702



Copyright © 1999 by
 Secondary House
 BUILDING TENT
 14-043
 DATE: 11.25.14
 ORDER NUMBER: A2.2 TENT

2 Secondary - Section through Slab

Primary - Section through Stair

[illegible]

A project for:

Lillie Scott Residence
2100 E. 14th Street
Austin, TX 78702

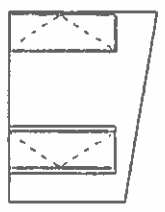


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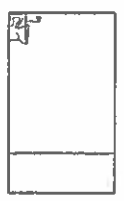


Copyright © AS Architecture
 Planning Unit
BUILDING
SECTIONS
 Project Number:
14-043
 Date:
11.25.14
 Sheet Number:
A3.1

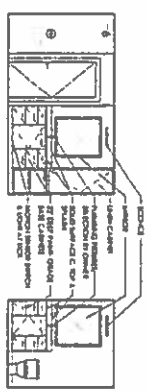
85/173



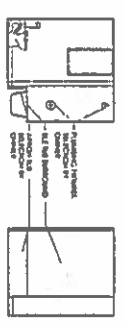
23 M. Bed - West



22 M. Bath - West



21 M. Bath - East



20 Bath - East

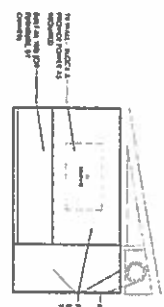
19 Bath - South

18 Bath - West

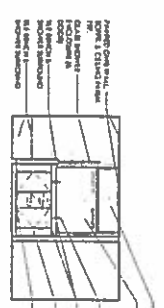


16 Kitchen - South

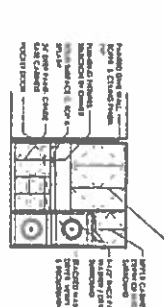
15 Kitchen - North



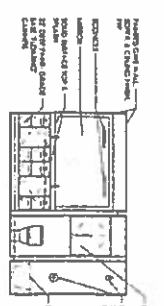
7 M. Bed - South



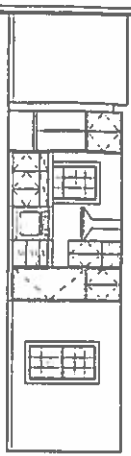
6 M. Bath - North



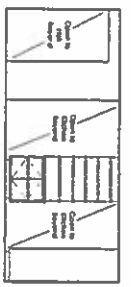
5 Laundry - South



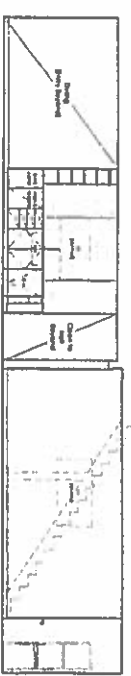
4 Bath - North



3 Kitchen / Dining - East



2 Kitchen - South



1 Dining / Kitchen / Living - West



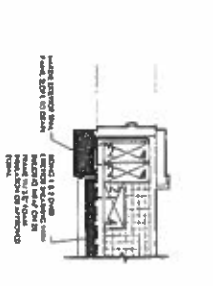
Lillie Scott Residence
2100 E. 14th Street
Austin, TX 78702

A project for
Henderson's House

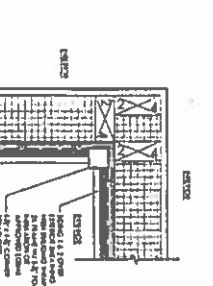
REVISIONS	DATE	DESCRIPTION

Copyright © Architecture
INTERIOR
ELEVATIONS
14-043
11/25/14
Project Number
AA.1

11 Typ. Door Head
 10 1/2" x 1 1/2" x 1 1/2"
 10 1/2" x 1 1/2" x 1 1/2"



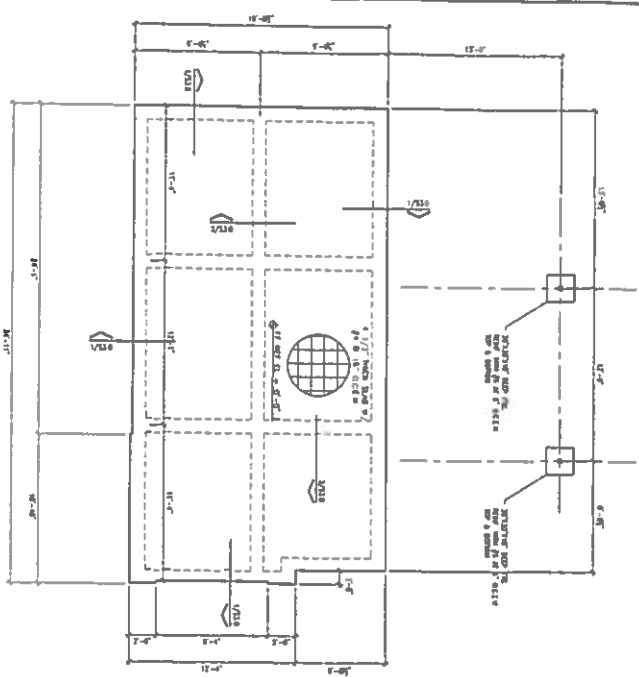
6 Typ. Door jamb
1/2" x 1/2" x 1/2"



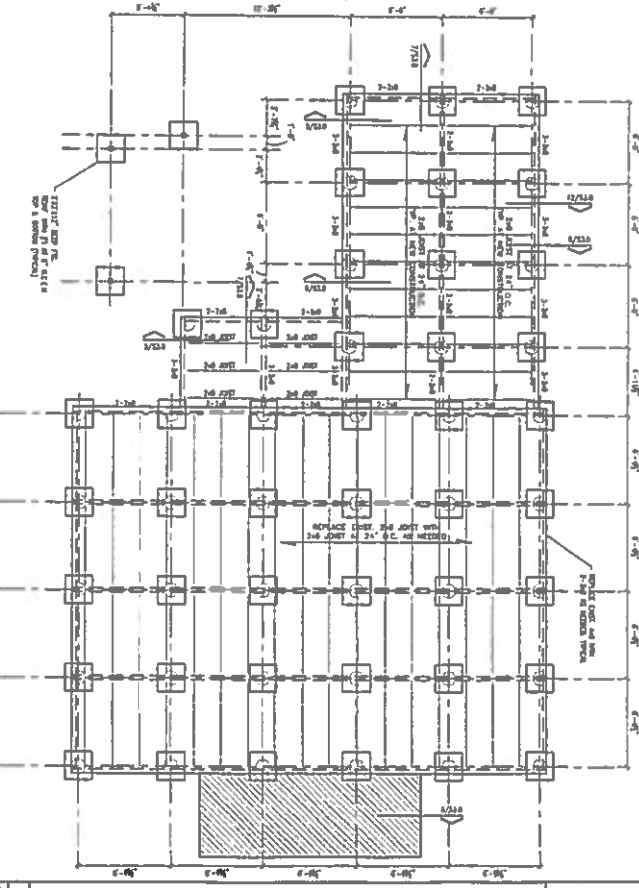
1 Inside Corner @ Siding 1 & 2
 Stud 1 1/2" x 6"
 Stud Spacing 16" o.c. @ 6"

Copyright 2014 International
Building EXIST
DETAILS
PROJECT NUMBER
14-043
DATE
11.25.14
SHEET NUMBER
A5.10

11/9/14

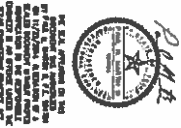


SECONDARY HOUSE FOUNDATION PLAN



PRIMARY HOUSE FOUNDATION PLAN

- Notes:
1. FOUNDATION SHALL BE 12" DEEP.
 2. ALL FOOTINGS SHALL BE 12" DEEP.
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Project Name: LILLIE / SCOTT RESIDENCE Addition & Renovation

Foundation Plan

Scale: S2.0

Drawn By: [Signature]

Checked By: [Signature]

Approved By: [Signature]

Date: November 25, 2014

LILLIE / SCOTT RESIDENCE
Addition & Renovation
 Structural Construction Documents

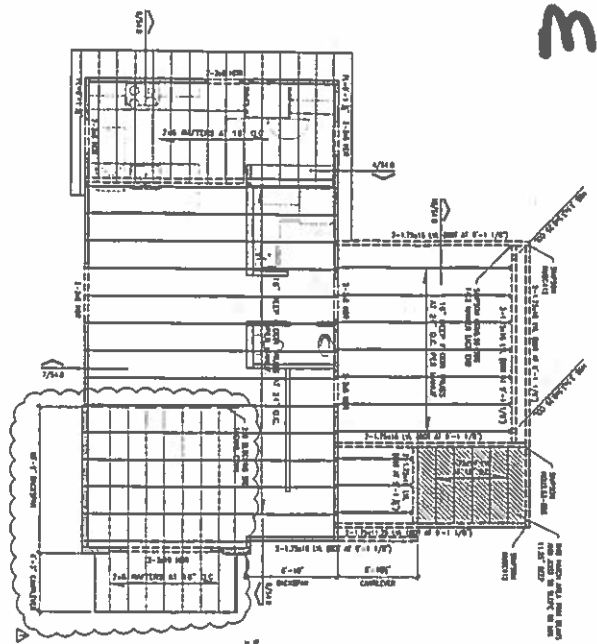
2100 East 14th Street
 Austin, Texas

Martin Walker
 Structural Engineering

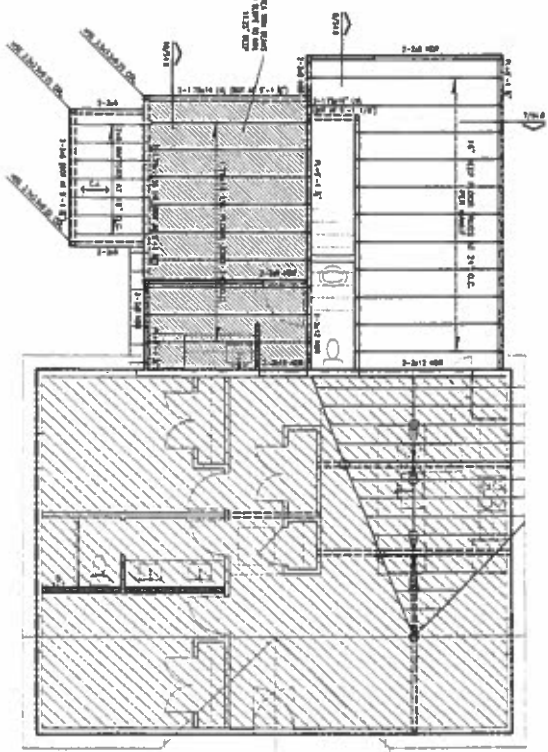
2805 Marconi Cove
 Cedar Park, TX 78613
 512.344.4088
 martinwalkerllc.com

AUSTIN • DENVER

m6/62



SECONDARY HOUSE ROOF AND FLOOR FRAMING PLAN



MAIN HOUSE PARTIAL ROOF AND FLOOR FRAMING PLAN



1. SECTION 1-1: 1/2" = 1'-0" (SEE DETAIL 1-1 FOR FLOOR JOIST CONNECTIONS)
2. SECTION 2-2: 1/2" = 1'-0" (SEE DETAIL 2-2 FOR ROOF JOIST CONNECTIONS)
3. SECTION 3-3: 1/2" = 1'-0" (SEE DETAIL 3-3 FOR ROOF JOIST CONNECTIONS)
4. SECTION 4-4: 1/2" = 1'-0" (SEE DETAIL 4-4 FOR ROOF JOIST CONNECTIONS)
5. SECTION 5-5: 1/2" = 1'-0" (SEE DETAIL 5-5 FOR ROOF JOIST CONNECTIONS)
6. SECTION 6-6: 1/2" = 1'-0" (SEE DETAIL 6-6 FOR ROOF JOIST CONNECTIONS)
7. SECTION 7-7: 1/2" = 1'-0" (SEE DETAIL 7-7 FOR ROOF JOIST CONNECTIONS)
8. SECTION 8-8: 1/2" = 1'-0" (SEE DETAIL 8-8 FOR ROOF JOIST CONNECTIONS)
9. SECTION 9-9: 1/2" = 1'-0" (SEE DETAIL 9-9 FOR ROOF JOIST CONNECTIONS)
10. SECTION 10-10: 1/2" = 1'-0" (SEE DETAIL 10-10 FOR ROOF JOIST CONNECTIONS)
11. SECTION 11-11: 1/2" = 1'-0" (SEE DETAIL 11-11 FOR ROOF JOIST CONNECTIONS)
12. SECTION 12-12: 1/2" = 1'-0" (SEE DETAIL 12-12 FOR ROOF JOIST CONNECTIONS)
13. SECTION 13-13: 1/2" = 1'-0" (SEE DETAIL 13-13 FOR ROOF JOIST CONNECTIONS)
14. SECTION 14-14: 1/2" = 1'-0" (SEE DETAIL 14-14 FOR ROOF JOIST CONNECTIONS)
15. SECTION 15-15: 1/2" = 1'-0" (SEE DETAIL 15-15 FOR ROOF JOIST CONNECTIONS)
16. SECTION 16-16: 1/2" = 1'-0" (SEE DETAIL 16-16 FOR ROOF JOIST CONNECTIONS)
17. SECTION 17-17: 1/2" = 1'-0" (SEE DETAIL 17-17 FOR ROOF JOIST CONNECTIONS)
18. SECTION 18-18: 1/2" = 1'-0" (SEE DETAIL 18-18 FOR ROOF JOIST CONNECTIONS)
19. SECTION 19-19: 1/2" = 1'-0" (SEE DETAIL 19-19 FOR ROOF JOIST CONNECTIONS)
20. SECTION 20-20: 1/2" = 1'-0" (SEE DETAIL 20-20 FOR ROOF JOIST CONNECTIONS)

Notes	Section	Notes
1. 1/2" = 1'-0"	1. 1/2" = 1'-0"	1. 1/2" = 1'-0"
2. 1/2" = 1'-0"	2. 1/2" = 1'-0"	2. 1/2" = 1'-0"
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14. 1/2" = 1'-0"	14. 1/2" = 1'-0"	14. 1/2" = 1'-0"
15. 1/2" = 1'-0"	15. 1/2" = 1'-0"	15. 1/2" = 1'-0"
16. 1/2" = 1'-0"	16. 1/2" = 1'-0"	16. 1/2" = 1'-0"
17. 1/2" = 1'-0"	17. 1/2" = 1'-0"	17. 1/2" = 1'-0"
18. 1/2" = 1'-0"	18. 1/2" = 1'-0"	18. 1/2" = 1'-0"
19. 1/2" = 1'-0"	19. 1/2" = 1'-0"	19. 1/2" = 1'-0"
20. 1/2" = 1'-0"	20. 1/2" = 1'-0"	20. 1/2" = 1'-0"



THE SEAL, AFFIXED TO THE
DRAWING, IS THE PROPERTY OF
THE ENGINEER AND SHALL NOT
BE REPRODUCED OR COPIED
WITHOUT HIS WRITTEN CONSENT.
EXACT REPRODUCTION PROHIBITED.

LILLIE / SCOTT RESIDENCE
Addition & Renovation
Structural Construction Documents

2100 East 14th Street
Austin, Texas

Martin Walkin
Structural Engineering

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Cedar Park, TX 78613
312.348.4080
martinwalkin.com
AUSTIN • DENVER

Project Name: LILLIE / SCOTT RESIDENCE

Project No.: 14073

Project Date: April 1, 2015

Project Location: 2100 East 14th Street, Austin, Texas

Project Description: Addition & Renovation

Project Status: In Progress

Project Manager: [Name]

Project Engineer: [Name]

Project Designer: [Name]

Project Checker: [Name]

Project Approver: [Name]

Project Date: April 1, 2015

Project Location: 2100 East 14th Street, Austin, Texas

Project Description: Addition & Renovation

Project Status: In Progress

Project Manager: [Name]

Project Engineer: [Name]

Project Designer: [Name]

Project Checker: [Name]

Project Approver: [Name]

Project Name: LILLIE / SCOTT RESIDENCE

Project No.: 14073

Project Date: April 1, 2015

Project Location: 2100 East 14th Street, Austin, Texas

Project Description: Addition & Renovation

Project Status: In Progress

Project Manager: [Name]

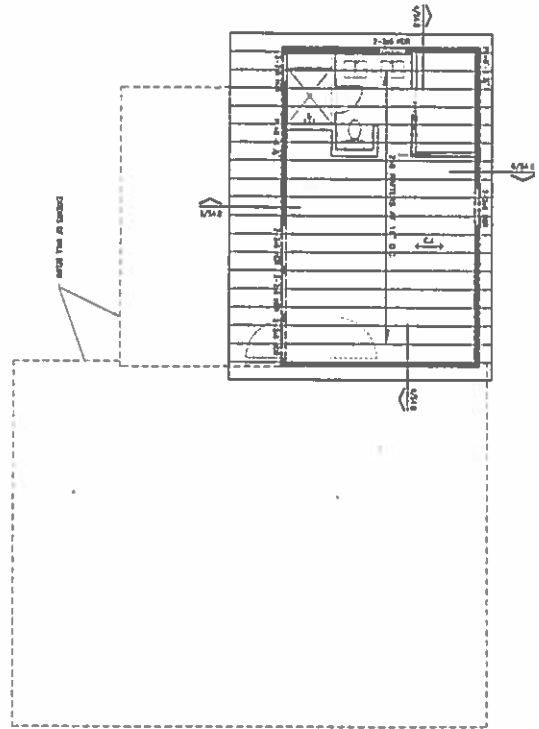
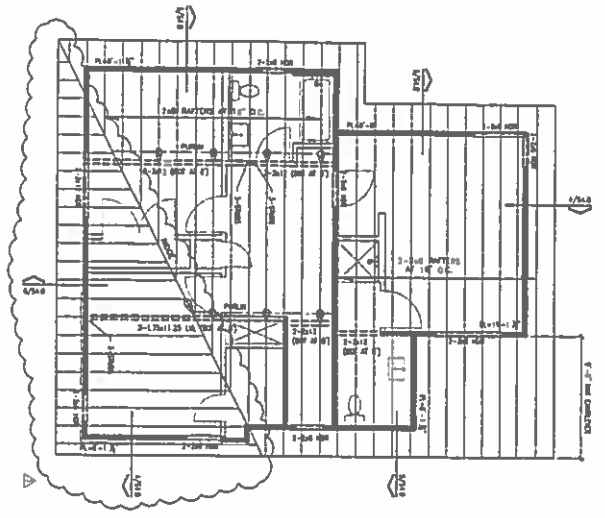
Project Engineer: [Name]

Project Designer: [Name]

Project Checker: [Name]

Project Approver: [Name]

m4/63



SECONDARY HOUSE HIGH
ROOF FRAMING PLAN

PRIMARY HOUSE HIGH
ROOF FRAMING PLAN

- Notes:
1. RAFTERS: 2x12 @ 16" O.C.
 2. TRUSSES: 2x12 @ 16" O.C.
 3. ROOFING: 1/2" CDX OSB
 4. CHIMNEY: 12" DIA. @ 12' HIGH
 5. GUTTERS: 6" DIA. @ 12' SPACING
 6. FLASHING: 1/2" CDX OSB @ 12" SPACING
 7. DRAINAGE: 1/2" CDX OSB @ 12" SPACING
 8. VENTING: 1/2" CDX OSB @ 12" SPACING
 9. INSULATION: 1/2" CDX OSB @ 12" SPACING
 10. FINISH: 1/2" CDX OSB @ 12" SPACING
 11. ROOF PITCH: 12/12
 12. ROOF PITCH: 12/12
 13. ROOF PITCH: 12/12
 14. ROOF PITCH: 12/12
 15. ROOF PITCH: 12/12
 16. ROOF PITCH: 12/12
 17. ROOF PITCH: 12/12
 18. ROOF PITCH: 12/12
 19. ROOF PITCH: 12/12
 20. ROOF PITCH: 12/12

Notes:	Notes:	Notes:	Notes:	Notes:	Notes:
1. RAFTERS: 2x12 @ 16" O.C.	2. TRUSSES: 2x12 @ 16" O.C.	3. ROOFING: 1/2" CDX OSB	4. CHIMNEY: 12" DIA. @ 12' HIGH	5. GUTTERS: 6" DIA. @ 12' SPACING	6. FLASHING: 1/2" CDX OSB @ 12" SPACING
7. DRAINAGE: 1/2" CDX OSB @ 12" SPACING	8. VENTING: 1/2" CDX OSB @ 12" SPACING	9. INSULATION: 1/2" CDX OSB @ 12" SPACING	10. FINISH: 1/2" CDX OSB @ 12" SPACING	11. ROOF PITCH: 12/12	12. ROOF PITCH: 12/12
13. ROOF PITCH: 12/12	14. ROOF PITCH: 12/12	15. ROOF PITCH: 12/12	16. ROOF PITCH: 12/12	17. ROOF PITCH: 12/12	18. ROOF PITCH: 12/12
19. ROOF PITCH: 12/12	20. ROOF PITCH: 12/12	21. ROOF PITCH: 12/12	22. ROOF PITCH: 12/12	23. ROOF PITCH: 12/12	24. ROOF PITCH: 12/12



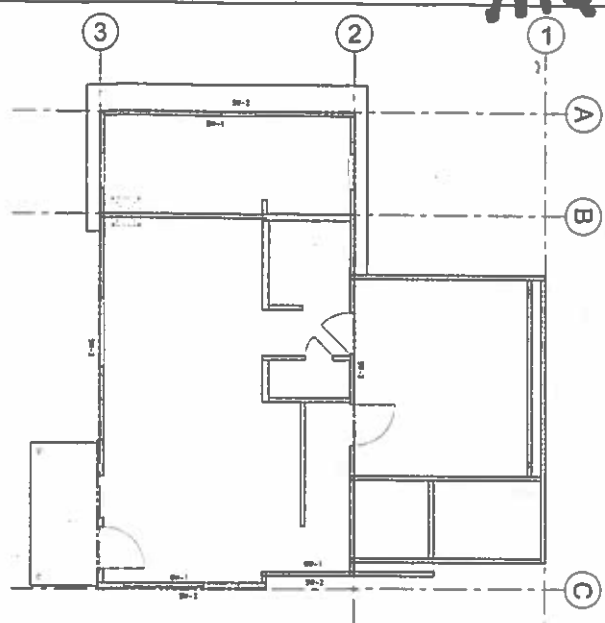
Notes:	Notes:	Notes:	Notes:	Notes:	Notes:
1. RAFTERS: 2x12 @ 16" O.C.	2. TRUSSES: 2x12 @ 16" O.C.	3. ROOFING: 1/2" CDX OSB	4. CHIMNEY: 12" DIA. @ 12' HIGH	5. GUTTERS: 6" DIA. @ 12' SPACING	6. FLASHING: 1/2" CDX OSB @ 12" SPACING
7. DRAINAGE: 1/2" CDX OSB @ 12" SPACING	8. VENTING: 1/2" CDX OSB @ 12" SPACING	9. INSULATION: 1/2" CDX OSB @ 12" SPACING	10. FINISH: 1/2" CDX OSB @ 12" SPACING	11. ROOF PITCH: 12/12	12. ROOF PITCH: 12/12
13. ROOF PITCH: 12/12	14. ROOF PITCH: 12/12	15. ROOF PITCH: 12/12	16. ROOF PITCH: 12/12	17. ROOF PITCH: 12/12	18. ROOF PITCH: 12/12
19. ROOF PITCH: 12/12	20. ROOF PITCH: 12/12	21. ROOF PITCH: 12/12	22. ROOF PITCH: 12/12	23. ROOF PITCH: 12/12	24. ROOF PITCH: 12/12

LILLIE / SCOTT RESIDENCE
Addition & Renovation
Structural Construction Documents

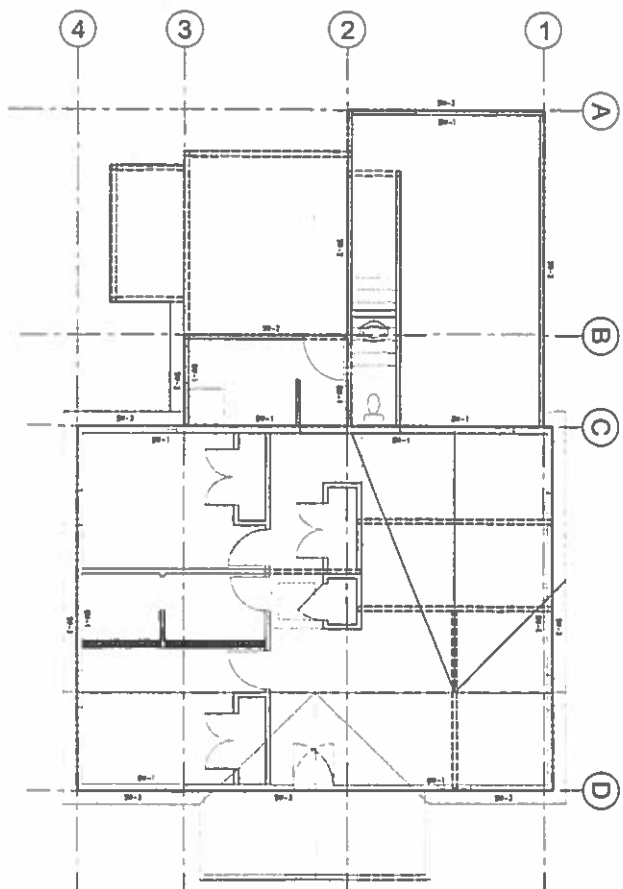
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mk/ky



SECONDARY HOUSE ROOF AND FLOOR LATERAL BRACING PLAN



MAIN HOUSE PARTIAL FLOOR LATERAL BRACING PLAN



BRACE WALL SCHEDULE				
TYPE	BRACE WALL	DESCRIPTION OF BRACING	BRACE WALL	BRACE WALL
BR-1	1/2" x 10" x 10" x 10"	BR-1: 1/2" x 10" x 10" x 10"	BR-1: 1/2" x 10" x 10" x 10"	BR-1: 1/2" x 10" x 10" x 10"
BR-2	1/2" x 10" x 10" x 10"	BR-2: 1/2" x 10" x 10" x 10"	BR-2: 1/2" x 10" x 10" x 10"	BR-2: 1/2" x 10" x 10" x 10"
BR-3	1/2" x 10" x 10" x 10"	BR-3: 1/2" x 10" x 10" x 10"	BR-3: 1/2" x 10" x 10" x 10"	BR-3: 1/2" x 10" x 10" x 10"
BR-4	1/2" x 10" x 10" x 10"	BR-4: 1/2" x 10" x 10" x 10"	BR-4: 1/2" x 10" x 10" x 10"	BR-4: 1/2" x 10" x 10" x 10"
BR-5	1/2" x 10" x 10" x 10"	BR-5: 1/2" x 10" x 10" x 10"	BR-5: 1/2" x 10" x 10" x 10"	BR-5: 1/2" x 10" x 10" x 10"



SEAL NO. 12345
STATE OF TEXAS
MARTIN WALLIN
STRUCTURAL ENGINEER

DATE: 4/8/15
PROJECT: LILLIE / SCOTT RESIDENCE
SHEET: S2.3

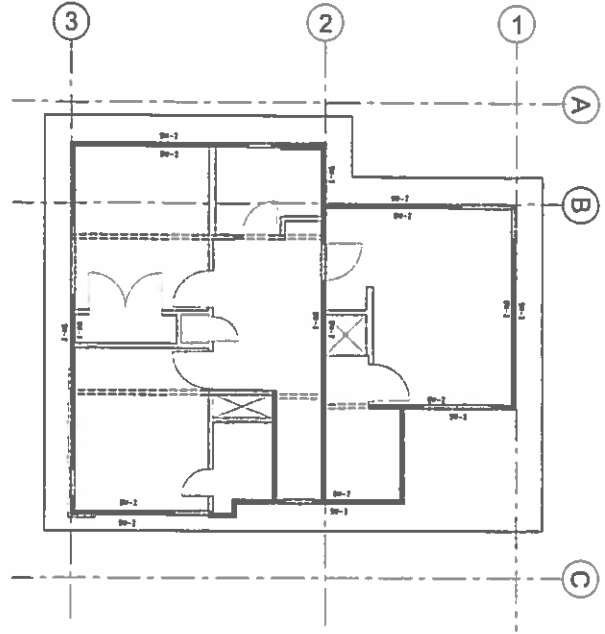
NO.	DATE	DESCRIPTION
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2	4/8/15	ISSUED FOR PERMIT
3	4/8/15	ISSUED FOR PERMIT
4	4/8/15	ISSUED FOR PERMIT
5	4/8/15	ISSUED FOR PERMIT
6	4/8/15	ISSUED FOR PERMIT
7	4/8/15	ISSUED FOR PERMIT
8	4/8/15	ISSUED FOR PERMIT
9	4/8/15	ISSUED FOR PERMIT
10	4/8/15	ISSUED FOR PERMIT

LILLIE / SCOTT RESIDENCE
Addition & Renovation
Structural Construction Documents

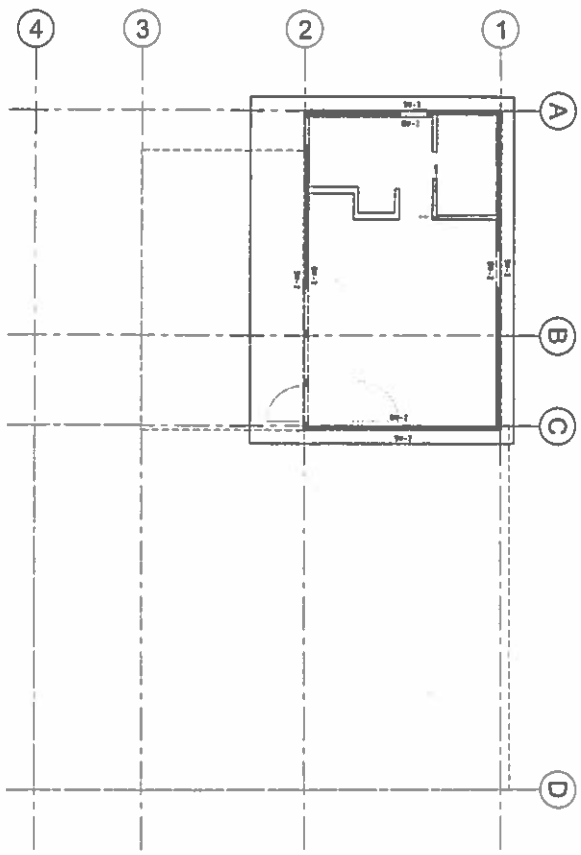
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mkh 5



SECONDARY HOUSE
LATERAL BRACING PLAN



PRIMARY HOUSE LATERAL
BRACING PLAN



BRACE WALL SCHEDULE					
TYPE	BRACE	BRACE	BRACE	BRACE	BRACE
BR-1	2x4	2x4	2x4	2x4	2x4
BR-2	2x6	2x6	2x6	2x6	2x6
BR-3	2x8	2x8	2x8	2x8	2x8
BR-4	2x10	2x10	2x10	2x10	2x10
BR-5	2x12	2x12	2x12	2x12	2x12
BR-6	2x4	2x4	2x4	2x4	2x4
BR-7	2x6	2x6	2x6	2x6	2x6
BR-8	2x8	2x8	2x8	2x8	2x8
BR-9	2x10	2x10	2x10	2x10	2x10
BR-10	2x12	2x12	2x12	2x12	2x12



1/2" SCALE, PERMANENT OR PERMANENTLY MARKED
ON PLASTIC, ALUMINUM, OR A
DURABLE MATERIAL. THE SEAL
SHALL BE IN THE RIGHT HAND
CORNER OF THE DRAWING.

LILLIE / SCOTT RESIDENCE
Addition & Renovation
Structural Construction Documents

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Project Name:	LILLIE / SCOTT RESIDENCE
Project Number:	14-0112
Designed By:	
Checked By:	
Drawn By:	
Scale:	
Sheet:	S2.4

FLANGE OF THE PILE
PILE HEAD
STRUCTURAL BEAM
PILE BOLT
DIRECT OR INDIRECT LOAD
FOUNDATION
PILE HEAD
PILE BODY
PILE BOLT

[illegible]

Diagram illustrating a typical porch footing. The footing is shown in cross-section, with dimensions and construction details labeled:

- Overall Width:** 2'-0" MIN.
- Top Width:** 1'-0" MIN.
- Height:** 1'-0" MIN.
- Top Surface:** CONCRETE FLOOR REF. FLOOR
- Left Side:** MIN. 2" MIN. CHIST SIDE
- Right Side:** 1'-0" MIN. FLOOR SIDE
- Internal Structure:** A dashed line indicates the internal structure, showing a 1'-0" MIN. section and a 1'-0" MIN. section.
- Foundation:** The footing is shown resting on a foundation, with a note indicating "1'-0" MIN. FLOOR SIDE" and "1'-0" MIN. FLOOR SIDE".

NOTES TO ARCHITECT:

1. SEE DRAWING FOR DETAILS.
2. SEE DRAWING FOR DETAILS.

[illegible][illegible][illegible]

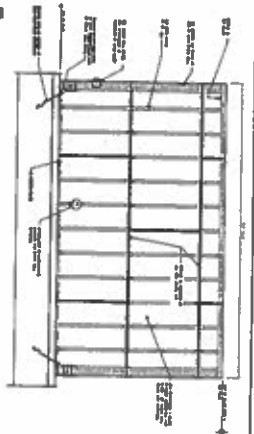
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[illegible]

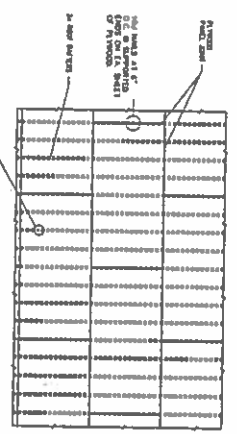
12/19/14



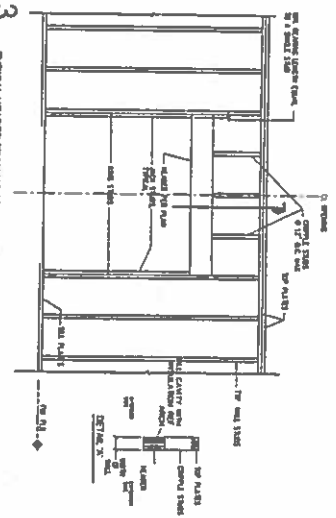
SHEAR WALL SCHEDULE

TYPE	SECTION	REINFORCEMENT	NOTES
SW-1	1-1/2	4#	1#
SW-2	1-1/2	4#	1#

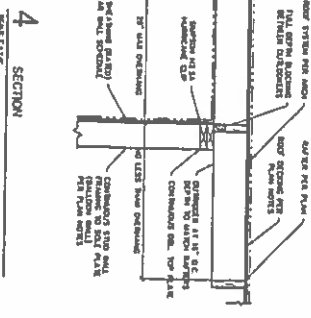
1 TYPICAL SHEAR WALL FRAMING ELEVATION



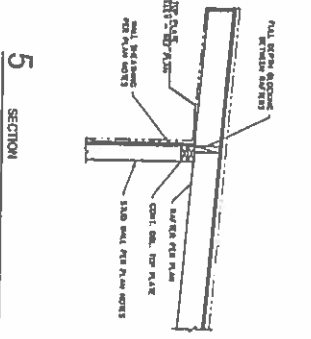
2 ROOF DIAPHRAGM PLAN



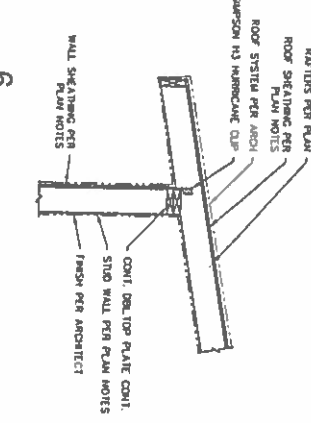
3 TYPICAL HEADER FRAMING AT OPENINGS



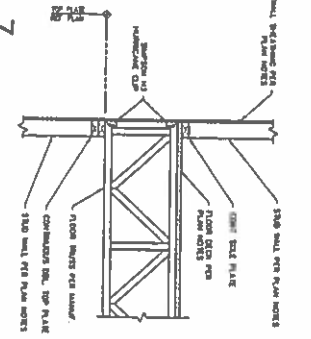
4 SECTION



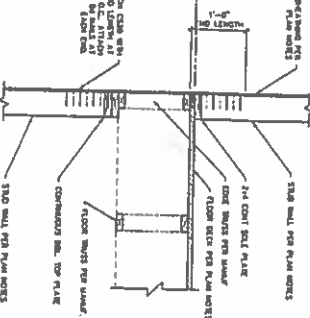
5 SECTION



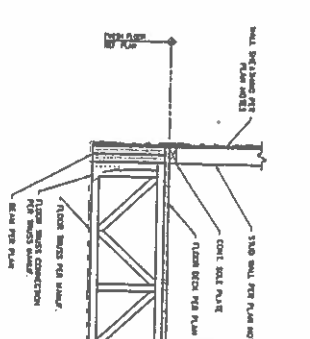
6 SECTION AT HIGH ROOF



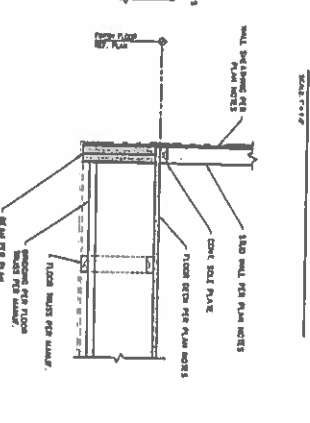
7 EXTERIOR BEARING WALL



8 EXTERIOR WALL PARALLEL TO TRUSS



9 TRUSS TO BEAM CONNECTION



10 TRUSS PARALLEL TO BEAM



FRAMING DETAILS

Sheet No.: S4.0

Project: Lillie / Scott Residence Addition & Renovation

Drawn By: [Name]

Checked By: [Name]

Approved By: [Name]

Scale: As Shown

Notes: See S4.0 for details.

LILLIE / SCOTT RESIDENCE
Addition & Renovation
 Structural Construction Documents

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