



City of Austin

Residential New Construction and Addition

Permit Application

Residential Review, 2nd floor, One Texas Center
505 Barton Springs, Austin, TX 78704 (512) 978-4000

Property Information

Project Address: 1605 Palma Plaza

Tax Parcel ID: 110193

Legal Description: Lot 8, Block C, Enfield

Zoning District: MF-3-NP

Lot Area (sq ft): 6,091.00

Neighborhood Plan Area (if applicable): Old West Austin

Historic District (if applicable):

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y ☐ N ☐
(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)

Does project have a Green Building requirement? Y ☐ N ☐
(If yes, attach signed conditional approval letter from Austin Energy Green Building)

Is this site within an Airport Overlay Zone? Y ☐ N ☐
(If yes, approval through Aviation is required)

Does this site have a septic system? Y ☐ N ☐
(If yes, submit a copy of approved septic permit)

Does the structure exceed 3,600 square feet total under roof? Y ☐ N ☐ (If yes, Fire review is required)

Is this property within 200 feet of a hazardous pipeline? Y ☐ N ☐ (If yes, Fire review is required)

Is this site located within an Erosion Hazard Zone? Y ☐ N ☐
(If yes, EHZ review is required)

Is this property within 150 feet of the 100 year floodplain?
Y ☐ N ☐ (Proximity to floodplain may require additional review time.)

Is there a protected sized tree on this lot or adjacent lot(s)? Y ☐ N ☐ (If yes, application for a tree permit with the City Arborist is required)
Note: Include tree location(s) on plot plan.

Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) ☐ Y ☐ N

Does this site currently have: water availability? ☐ Y ☐ N (If no, contact Austin Water Utility to apply for
wastewater availability? ☐ Y ☐ N water/wastewater taps and/or service extension request.)

Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y ☐ N ☐
(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)

Does this site have or will it have an auxiliary water source? Y ☐ N ☐ (If yes, submit approved auxiliary and potable plumbing plans.)
(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)

Does this site require a cut or fill in excess of four (4) feet? Y ☐ N ☐ (If yes, contact the Development Assistance Center for a Site Plan Exemption)

Is this site within the Waterfront Overlay? Y ☐ N ☐
(LDC 25-2 Subchapter C Article 3)

Is this site within the Lake Austin Overlay? Y ☐ N ☐
(LDC 25-2-180, 25-2-647)

Does this site front a paved street? ☐ Y ☐ N
(If no, contact Development Assistance Center for Site Plan requirements.)

Is this site adjacent to a paved alley? Y ☐ N ☐
(Public Works approval required to take access from a public alley.)

Does this site have a Board of Adjustment (BOA) variance? Y ☐ N ☐ Case # _____ (if applicable)

Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y ☐ N ☐
(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

Description of Work

Existing Use: vacant single-family residential duplex residential ● two-family residential other: _____

Proposed Use: vacant ● single-family residential duplex residential two-family residential other: _____

Project Type: new construction addition ● addition/remodel other: _____

Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? ☐ Y ☐ N
(Note: Removal of all or part of a structure requires a demolition permit application.)

# of existing bedrooms: 3	# of bedrooms upon completion: 4	# of baths existing: 2.0	# of baths upon completion: 3.0
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Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

Partial demolition of existing structure at rear and roof, add 1,110 sq. ft. 2nd story addition, remodel of existing remaining structure, addition of attached parking garage.

Trades Permits Required (Circle as applicable): ☐ electric ☐ plumbing ☐ mechanical (HVAC) concrete (R.O.W.)

Job Valuation						
Total Job Valuation: \$ <u>185,355</u> 0	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>101,855</u> 0			Amount of Total Job Valuation dedicated to all Remodel/Repair:		
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ _____ Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N			Bldg: \$ <u>65,000</u> Elec: \$ <u>10,500</u> Plmbg: \$ <u>5,500</u> Mech: \$ <u>2,500</u>		
	Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N			TOTAL: \$ <u>83,500</u> 0		
Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.						
Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	1,521.00		-230.00		1,291.00	0.00
b) 2 nd Floor conditioned area			1,110.00		1,110.00	0.00
c) 3 rd Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)			26.00		26.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)					0.00	0.00
g) Other covered or roofed area					0.00	0.00
h) Uncovered wood decks					0.00	0.00
Total Building Area (total a through h)	1,521.00	0.00	906.00	0.00	2,427.00	0.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00
Building Coverage Information Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)						
Total Building Coverage (sq ft): <u>2,427.00</u> % of lot size: <u>40</u>						
Impervious Cover Information Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)						
Total Impervious Cover (sq ft): <u>2,170.00</u> % of lot size: <u>36</u>						
Setbacks Are any <u>existing</u> structures on this site a non-compliant structure based on a yard setback requirement? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N (LDC 25-2-492)						
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N						
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y <input checked="" type="checkbox"/> N (Existing Non-Complying)						
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)			Parking (LDC 25-6 Appendix A & 25-6-478)			
Building Height: <u>30</u> ft <u>6</u> in Number of Floors: <u>2</u>			# of spaces required: <u>2</u> # of spaces provided: <u>2</u>			
Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y <input checked="" type="checkbox"/> N *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.						
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y <input checked="" type="checkbox"/> N						
Width of approach (measured at property line): <u>8.0</u> ft Distance from intersection (for corner lots only): _____ ft						
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y <input checked="" type="checkbox"/> N (If yes, drainage review is required)						

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

		Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor		1,521.00	-230.00			1,291.00
2 nd Floor			1,110.00			1,110.00
3 rd Floor						0.00
Area w/ ceilings > 15'				Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)			135.00	<input type="checkbox"/> Full Porch sq ft (3.3.3 A) <input checked="" type="checkbox"/> 200 sq ft (3.3.3 A 2)	135.00	0.00
Basement				Must follow article 3.3.3B, see note below		0.00
Attic				Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached		226.00	<input type="checkbox"/> 200 sq ft (3.3.2 B 2b)	200.00	26.00
	Detached			<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a)		0.00
Carport**: (check article utilized)	Attached			<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached			<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)						0.00
Totals		1,521.00	1,241.00			2,427.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,427.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 40 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y ☒ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

(All new construction is compliant.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

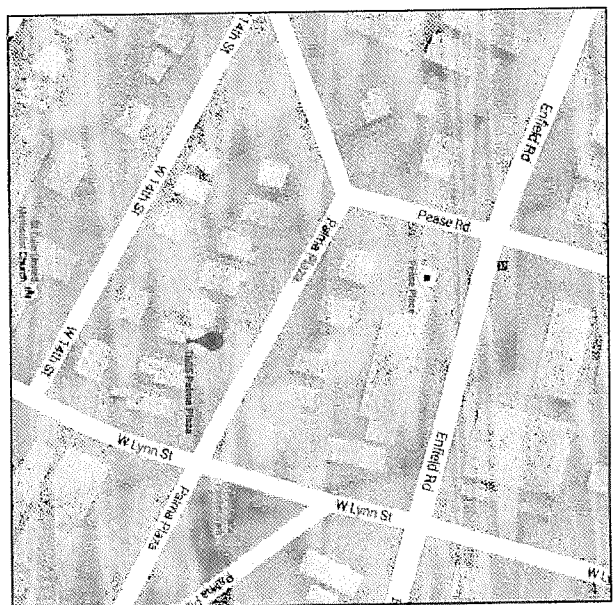
*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

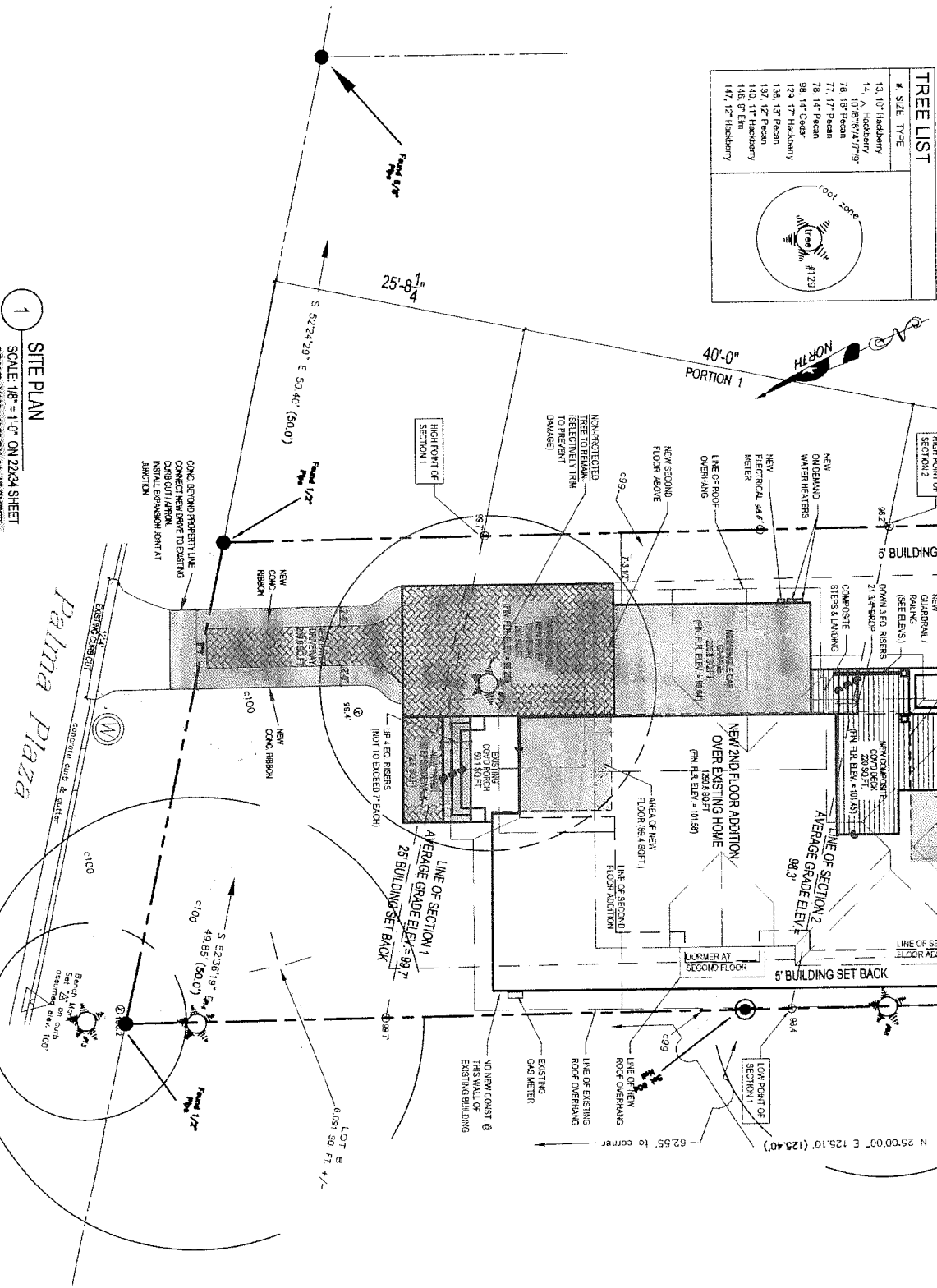
Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

ADDITION/REMODEL TO
DOGGETT-WILLIAMS RESIDENCE

LOCATOR MAP



TREE LIST	
#	SPECIES
13	10' Hackberry
14	10' Hackberry
15	10' Hackberry
16	10' Hackberry
17	10' Hackberry
18	10' Hackberry
19	10' Hackberry
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96	10' Hackberry
97	10' Hackberry
98	10' Hackberry
99	10' Hackberry
100	10' Hackberry



1 SITE PLAN
SCALE: 1/8" = 1'-0" ON 22x34 SHEET
SCALE: 1/16" = 1'-0" ON 11x17 SHEET

PROJECT INFORMATION	
OWNER	DOGGETT-WILLIAMS, LISA DOGGETT
ADDRESS	1605 PALMA PLAZA, AUSTIN, TEXAS 78703
LEGAL DESCRIPTION	LOT 8, BLOCK C, ENFIELD
ZONING CLASSIFICATION	MF-3

BUILDING AND SITE AREA	
AREA DESCRIPTION	EXISTING SQ. FT.
1. EXISTING RESIDENCE	1,250
2. NEW 2ND FLOOR ADDITION	1,250
3. TOTAL	2,500
AREA DESCRIPTION	NEW SQ. FT.
1. NEW 2ND FLOOR ADDITION	1,250
2. TOTAL	1,250
AREA DESCRIPTION	EXISTING SQ. FT.
1. EXISTING RESIDENCE	1,250
2. NEW 2ND FLOOR ADDITION	1,250
3. TOTAL	2,500

SITE DEVELOPMENT INFORMATION	
AREA DESCRIPTION	EXISTING SQ. FT.
1. EXISTING RESIDENCE	1,250
2. NEW 2ND FLOOR ADDITION	1,250
3. TOTAL	2,500
AREA DESCRIPTION	NEW SQ. FT.
1. NEW 2ND FLOOR ADDITION	1,250
2. TOTAL	1,250
AREA DESCRIPTION	EXISTING SQ. FT.
1. EXISTING RESIDENCE	1,250
2. NEW 2ND FLOOR ADDITION	1,250
3. TOTAL	2,500

GROSS FLOOR AREA	
AREA DESCRIPTION	EXISTING SQ. FT.
1. EXISTING RESIDENCE	1,250
2. NEW 2ND FLOOR ADDITION	1,250
3. TOTAL	2,500
AREA DESCRIPTION	NEW SQ. FT.
1. NEW 2ND FLOOR ADDITION	1,250
2. TOTAL	1,250
AREA DESCRIPTION	EXISTING SQ. FT.
1. EXISTING RESIDENCE	1,250
2. NEW 2ND FLOOR ADDITION	1,250
3. TOTAL	2,500

AE APPROVED
JUN 23 2016
JCM

All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines.

DRAWING INDEX	
A1.0	COVER SHEET
A1.1	WINDOW AND DOOR SCHEDULES
A1.2	FLOOR PLANS
A1.3	EXTERIOR ELEVATIONS
A1.4	INTERIOR ELEVATIONS
A1.5	SECTION ELEVATIONS
A1.6	SECTION ELEVATIONS
A1.7	SECTION ELEVATIONS
A1.8	SECTION ELEVATIONS
A1.9	SECTION ELEVATIONS
A1.10	SECTION ELEVATIONS

APPLICABLE CODES	
1. INTERNATIONAL BUILDING CODE (IBC) 2012 EDITION (WITH LOCAL AMENDMENTS)	
2. INTERNATIONAL MECHANICAL CODE (IMC) 2012 EDITION (WITH LOCAL AMENDMENTS)	
3. INTERNATIONAL ELECTRICAL CODE (IEC) 2012 EDITION (WITH LOCAL AMENDMENTS)	
4. AUSTIN WATER UTILITY CONSUMER SERVICE DIVISION - TAPS	

CONSULTANTS	
STRUCTURAL ENGINEER	JAMES BURKIN, P.E. - BURKIN ENGINEERING
MECHANICAL ENGINEER	CHRIS HIGGS - H & S CONSTRUCTION CO.
ELECTRICAL ENGINEER	KEN SANTOS - P. (512) 350-7077

SITE PLAN NOTES	
1. CONTRACTOR TO PROVIDE PROTECTION FENCING AROUND ANY TREES IN CONSTRUCTION AREA.	
2. ANY FENCING DETAILS WILL BE PROVIDED BY OWNER.	
3. COMPLETE REMOVAL OF EXISTING DRIVE AND SIDEWALK.	
4. BUILDERS TO MAINTAIN PROPER GRADING OF THE PROPERTY AND INSTALLATION OF ANY AND ALL NECESSARY CURBS, SWALES, OR FRENCH DRAINS TO DRAIN THE PROPERTY AND EXCESSIVE PRESENTATION INTO THE PROPERTY DRAINAGE CHANNELS.	
5. ALL REMAINING WALLS SHOWN ARE EXISTING.	
6. OWNER WILL PAY FEE IN LIEU OF SEWER.	
7. UPGRADE ELECTRICAL PANEL MEET CURRENT CODES AND NEW NEEDS.	
8. SITE WORK CHANGES IMPROVING GRADING CHANGES ARE PLANNED.	
9. CONTRACTOR TO INSURE THAT CONDITIONS ALLOW FOR WATER TO RUN OFF ALL AREAS.	
10. ALL WOOD AND COMPOSITE DECK STARTING TO HAVE 1" CLEARANCE FROM SOIL. ALL WOODS UNDERGRADING SET TO BE SLOPED AWAY FROM BUILDING WITH 1/2" SLOPE COVER.	

REVIEW DOCUMENTS

JUNE 16, 2016

COVER SHEET
SITE PLAN

DRAWING NO.

A0.0

ADDITION / REMODEL TO
DOGGETT-WILLIAMS RESIDENCE
1605 PALMA PLAZA AUSTIN, TEXAS 78703

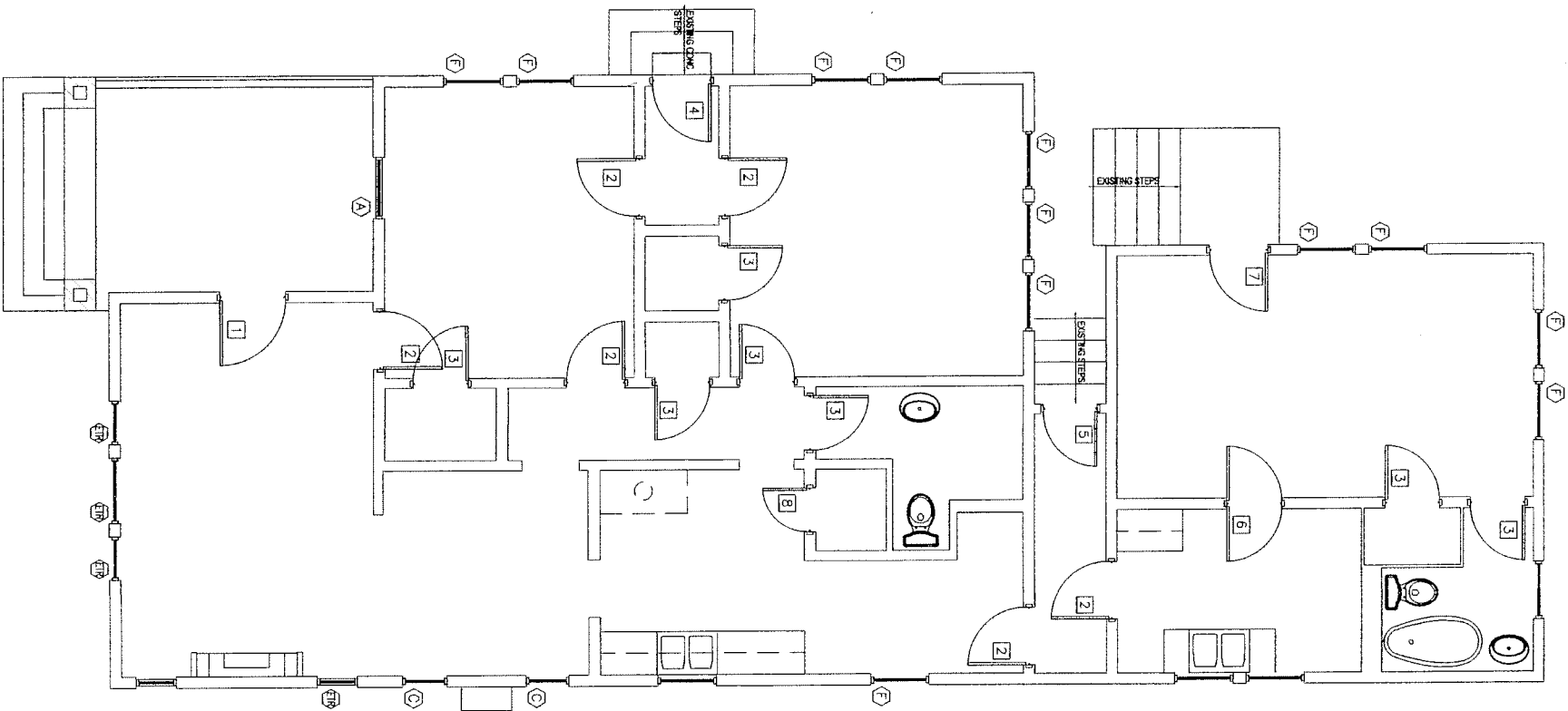
6-16-16

REGISTERED ARCHITECT
STATE OF TEXAS

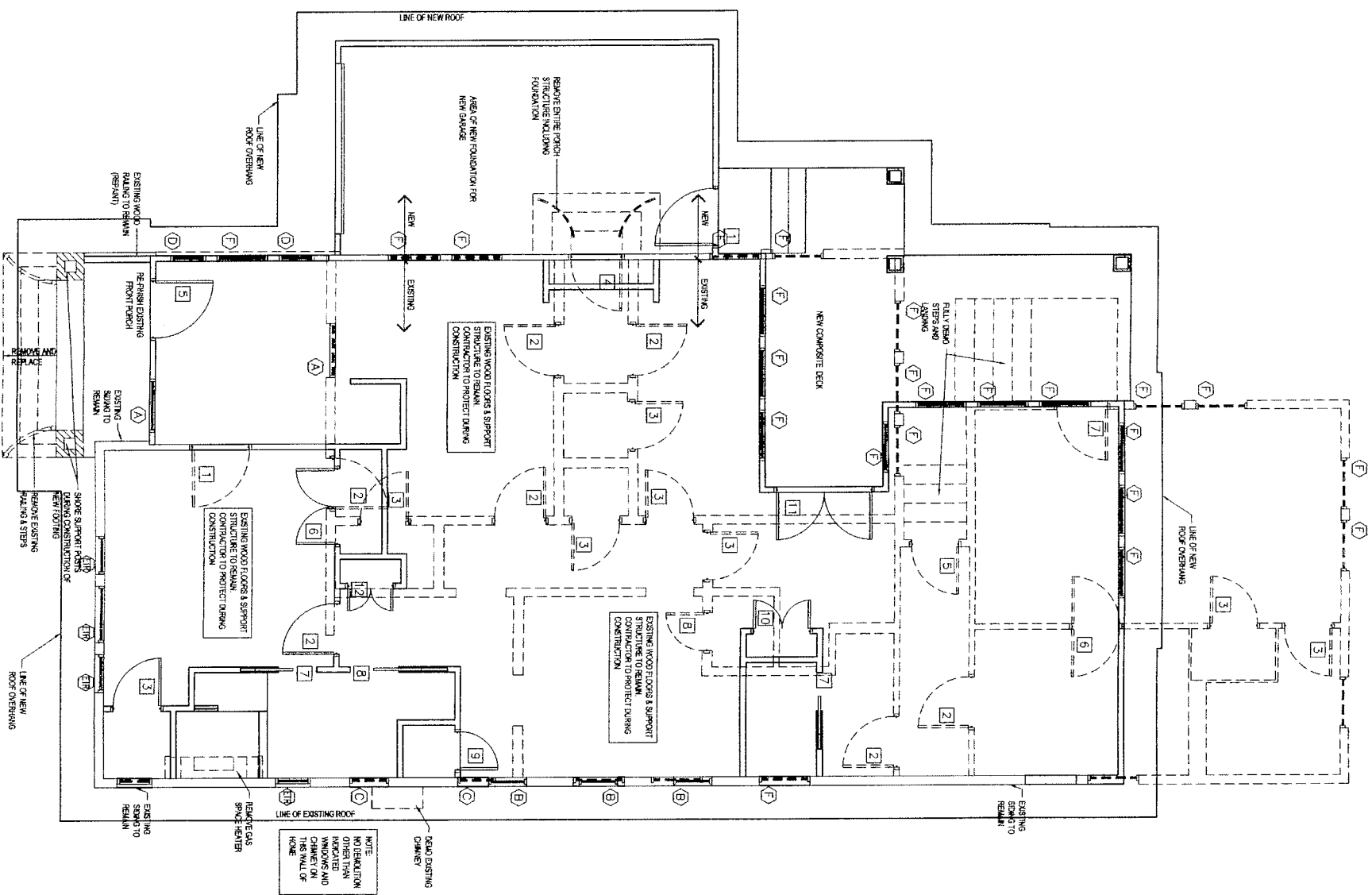
Creese DESIGN

5716 West Highway 290, Suite 211
Austin, Texas 78735

Office: 512-291-5717
Email: CELESTE@C-REESEDESIGN.COM



1 AS-BUILT PLAN
SCALE: 1/4" = 1' ON 22X34 SHEET
SCALE: 1/8" = 1' ON 11X17 SHEET



2 DEMOLITION / PROPOSED PLAN OVERLAY
SCALE: 1/4" = 1' ON 22X34 SHEET
SCALE: 1/8" = 1' ON 11X17 SHEET

FLOOR PLAN SYMBOLS

- NEW 2X4 FRAMING @ 16" O.C. (CROSS BRACE AS REQ'D)
- NEW STONE VENEER
- 2X6 OR LARGER STUD WALL
- SEE PLANS FOR DIMENSIONS
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- SEE STRUCTURAL DWGS FOR ADLT. FRAMING CRITERIA
- ROOM NAME
- CEILING HT. / FLOORING
- WINDOW KEY NOTE
- NEW DOORS
- EXISTING EQUIPMENT DESIGNATION
- SEE MANUFACTURER'S SPECIFICATIONS FOR CONSTRUCTION FOR UTILITY HOODS, SINKS, ETC.
- INTERIOR EXTERIOR ELEVATION
- REFERENCE TO DETAIL SHEET
- WATER
- GAS (PNEUMATIC OR NATURAL)
- TOILET PAPER DISPENSER
- 6X4 A.F.F. PROVIDE BLOCKING
- TOWEL RACK
- 6X4 A.F.F. PROVIDE BLOCKING
- ROCK ROCK
- AT HEIGHT INDICATED PROVIDE BLOCKING

ARCHITECTURAL KEYNOTES

- 1. SEE ENGINEERING DETAIL FOR NEW COLUMN FOOTING DETAIL
- 2. SAND, SEAL, & REPAIR ALL EXISTING SINKING TO REMAIN
- 3. SEE ENGINEERING DETAIL FOR NEW COLUMN FOOTING DETAIL
- 4. SAND, SEAL, & REPAIR ALL EXISTING SINKING TO REMAIN

DEMO PLAN NOTES

- REMOVE EXISTING STONE VENEER AND SALVAGE FOR REUSE. DEMOLITION SHALL BE DONE IN A MANNER THAT PRESERVES THE STRUCTURE OF THE BUILDING. CONTRACTOR TO PROTECT REMAINING STRUCTURE FROM DAMAGE FROM ELEMENTS.
- REMOVE INTERIOR WALLS INDICATED (DASHED). CONTRACTOR TO REPAIR STRUCTURAL DRAWINGS PRIOR TO DEMOLITION AND INSTALL TEMPORARY SUPPORT / SHORING AS NEEDED.
- EXISTING HANGING CEILING OVER FRONT PORCH ARE TO BE REMOVED. CONTRACTOR TO NOTIFY OWNER / DESIGNER OF ANY CONDITIONS PREVENTING THIS.
- CONTRACTOR TO REMOVE ALL ELECTRICAL AND PLUMBING IN EXISTING WALLS TO BE DEMOLISHED. CAP PLUMBING FOR RE-ROUTING SEE NEW ELECTRICAL PLAN FOR RE-INSTALLATION OF SWITCHES AND OUTLETS.
- CONTRACTOR TO REVIEW ENGINEERING AND ARCHITECTURAL DRAWINGS PRIOR TO REMOVING ELECTRICAL. COORDINATE WITH EXISTING TO REMAIN.
- CONTRACTOR TO INSURE THE SECURITY OF THE PREMISES THROUGHOUT CONSTRUCTION INSURING THAT THE PROPERTY IS PROTECTED FROM VANDALISM AND ENTRY BY UNAUTHORIZED INDIVIDUALS AT ALL TIMES.
- CONTRACTOR TO INSURE WATERPROOFING AND PROTECT PROPERTY AND MATERIALS FROM DAMAGE BY THE ELEMENTS AT ALL TIMES.
- SALVAGE ALL DOORS, INTERIOR SINKING, EXTERIOR SINKING, & WOOD FLOORING FOR REUSE.
- REMOVE AND SALVAGE ALL WOOD FLOORING TO MEET REQUIREMENTS OF HISTORIC REVIEW BOARD.
- SALVAGE INDICATED WINDOWS FOR RE-GLAZING & RE-INSTALLATION.
- REMOVE ALL WINDOW A/C UNITS.

ADDITION / REMODEL TO

DOGGETT-WILLIAMS RESIDENCE

REVIEW
DOCUMENTS

JUNE 16, 2016

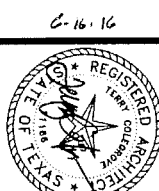
DEMOLITION
OVERLAY
FLOOR PLAN

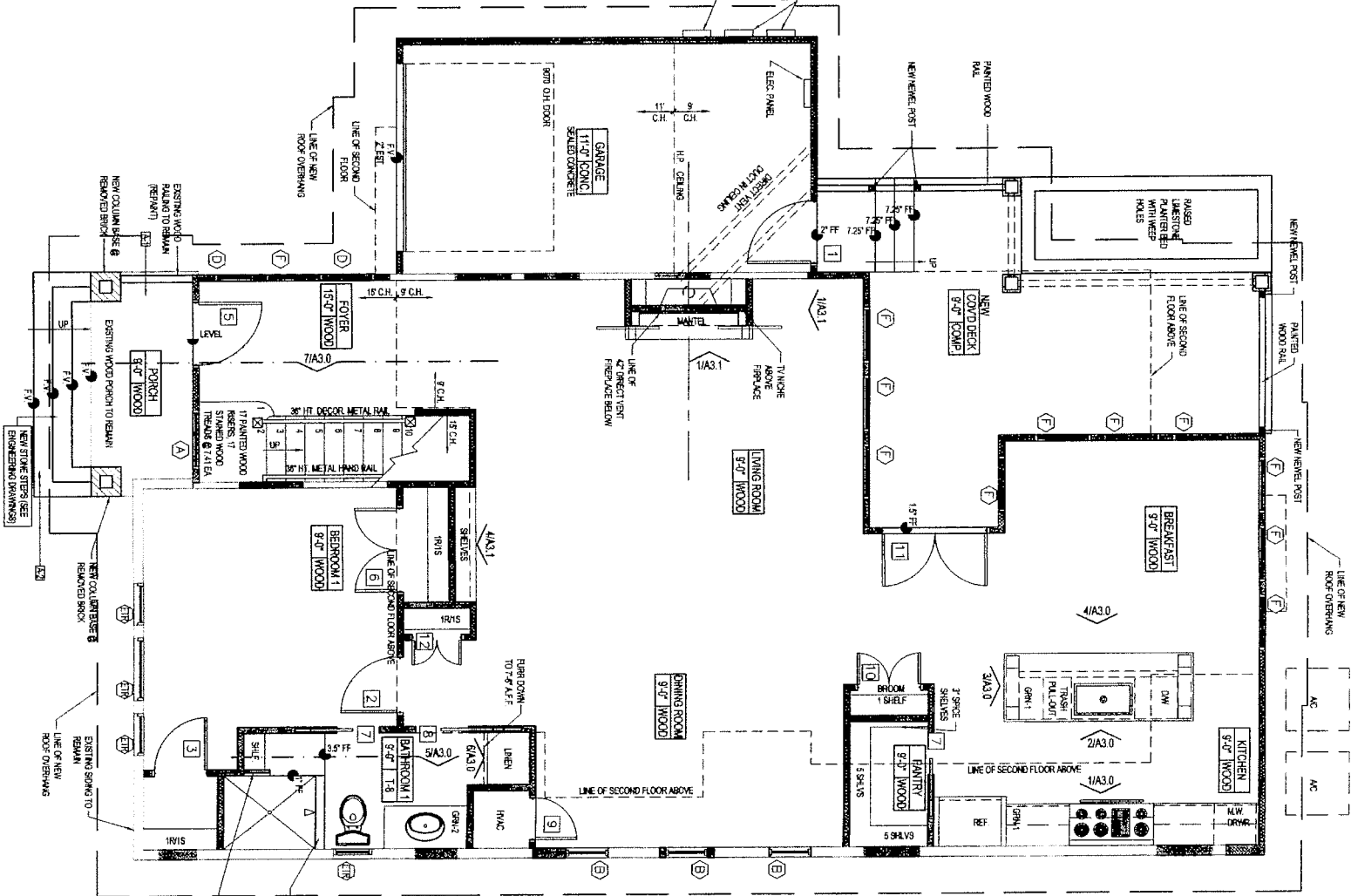
DRAWING NO.

A1.1

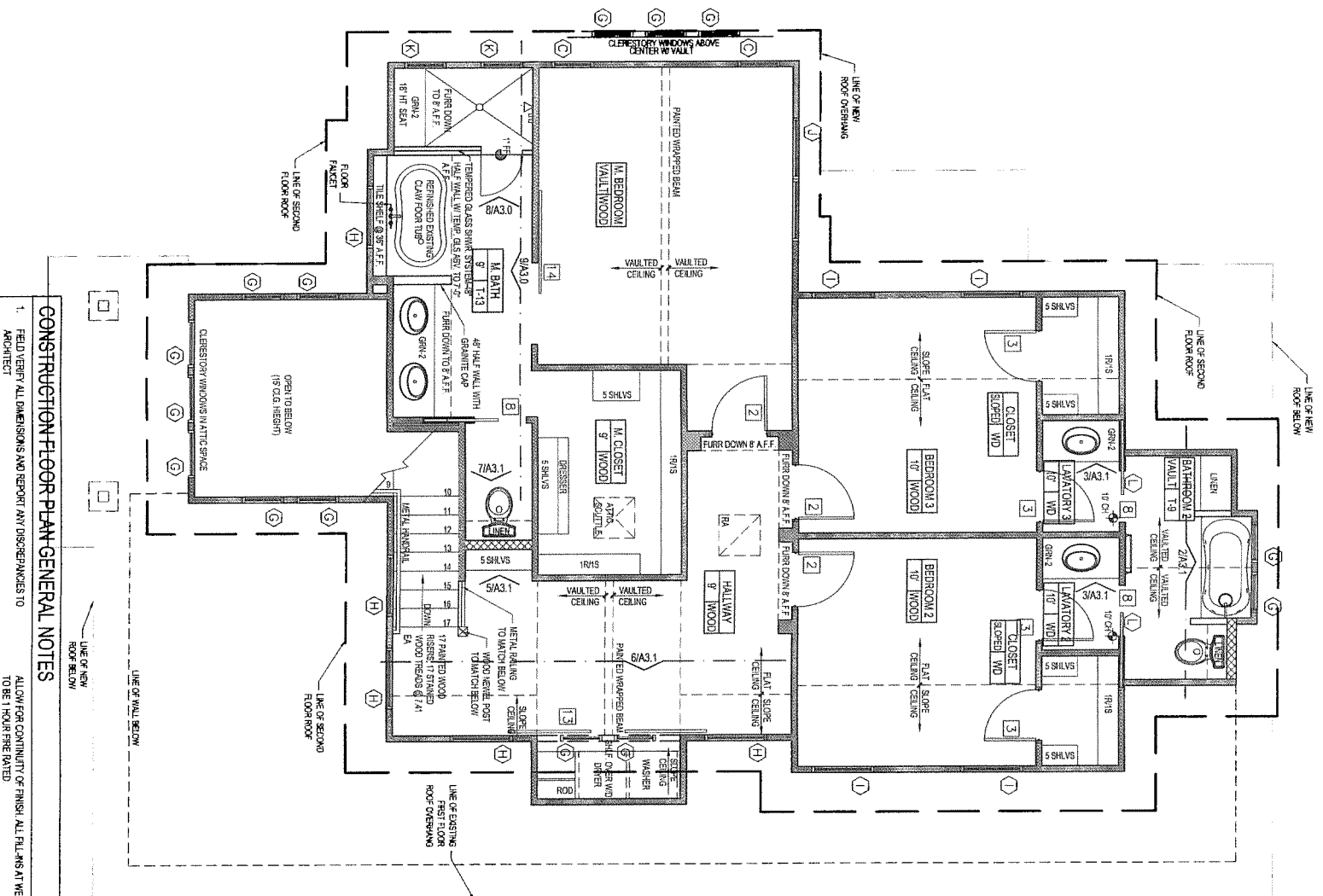
Creese
DESIGN

5716 West Highway 290, Suite 211
Austin, Texas 78735





1
PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" ON 22X34 SHEET
SCALE: 1/8" = 1'-0" ON 11X17 SHEET



2
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" ON 22X34 SHEET
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- CONSTRUCTION FLOOR PLAN GENERAL NOTES**
- FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT.
 - DRAWINGS ARE TO SCALE INDICATED. SCALING OF DRAWINGS FOR GENERAL INFORMATION IS ACCEPTABLE, BUT DO NOT SCALE DRAWINGS FOR EXACT SIZES, LAYOUT, ETC. REFER ALL DIMENSIONAL QUESTIONS TO ARCHITECTURAL DESIGNER.
 - REFER TO PROJECT MANUAL FOR PRODUCT DATA & SPECIFICATIONS.
 - UNLESS NOTED OTHERWISE, ALL EXISTING DIMENSIONS ARE GIVEN TO FACE OF WALL OR ALL NEW DIMENSIONS ARE GIVEN TO FACE OF STRUCTURE/CONCRETE CENTER LINE OF OPENING.
 - ELEVATION BENCHMARK IS 101.26 AT THE 1ST FLOOR FINISHED FLOOR.
 - PROVIDE 2X BLOCKING IN WALLS FOR ALL WALL/ROCK CASWORK, WALL LIGHTS, HOOKS, DISPENSERS, AND HANGING TROPHIES, VERIFY WITH OWNER ALL LOCATIONS PRIOR TO SHEETING WALLS.
 - PRE WIRE FOR SECURITY ALARM SYSTEM COORDINATE WITH OWNER AND SECURITY CONSULTANT.
 - PRE WIRE FOR AUDIOVISUAL SYSTEM, IF APPLICABLE, COORDINATE WITH OWNER AND AUDIOVISUAL CONSULTANT.
 - INSULATE ALL NEW EXTERIOR WALLS AND ROOF AREAS. NEW ENCLOSED ROOF AREAS TO BE INSULATED WITH 2" POLYSTYRENE INSULATION. NEW WALLS TO HAVE INSULATION @ R-13 & CEILING @ R-38 OR GREATER.
 - APPLY 1/2" GYP BOARD TO KITCHEN, PANTRY, DOWNSTAIRS CLOSETS, AND ALL INTERIOR WALLS. TAPE, FLAT, AND FINISH ALL NEW GYP WALLS EXCEPT ABOVE MENTIONED AREAS. ALL EXISTING INTERIOR GYP BOARD TO REMAIN, FILL IN AT REMOVED WINDOWS SEAMLESSLY TO MATCH EXISTING.
 - CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN AND MEETS ALL APPLICABLE CODES BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
 - THE CONTRACTOR SHALL CERTIFY SIZE AND LOCATION OF ALL REQUIRED OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING WORK AND EQUIPMENT WITH TRACES INVOLVED REFER TO PROJECT MANUAL FOR PRODUCT DATA & SPECIFICATIONS.
 - CONTRACTOR TO CHECK ALL CRAN, SPACE SCREENS & REBAR AS NEEDED CONTRACTOR TO INSTALL NEW CRAN SPACE SCREENS AS NEEDED ESPECIALLY ON SOUTH (DOWN) SIDE OF HOME.
 - CONTRACTOR TO INSULATE UNDERSIDE OF HOME IN ALL AREAS OF CRAN SPACE & PER A BEAM FOUNDATION. CONTRACTOR TO SEAL UNDERSIDE OF FLOOR BEARING TO INSURE AGAINST BUGS & PEST INFILTRATION FROM CRAN SPACE.
 - CONTRACTOR TO CREATE 1/2" FIRE RATING WALL & SCOTCH IN ALL AREAS OF NEW CONSTRUCTION OVER 3 BUILDING SETBACK, WITH 1/2" RATED PLANT TESTED IN ACCORDANCE WITH ASSE 119 OR UL 263.

FLOOR PLAN SYMBOLS

- NEW 2X4 FRAMING @ 16" O.C. (CROSS-SPACE AS REQ'D)
- NEW STONE VENEER
- 2X6 OR LARGER STUD WALL
- SEE PLANS FOR DIMENSIONS
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- SEE STRUCTURAL DWGS. FOR ADIT. FRAMING CRITERIA
- ROOM NAME
- CEILING H.T. / FLOORING
- BATH
- 10' WID
- WINDOW KEYNOTE
- NEW DOORS
- EXTERIOR EQUIPMENT DETAIL: SEE UNITS SPECIFICATIONS PRIOR TO CONSTRUCTION FOR UTILITY HOOKUPS
- INTERIOR ELEVATION REFERENCE TO DETAIL SHEET
- WATER
- GAS (PROPANE OR NATURAL)
- TOILET PAPER DISPENSER
- 6" X 6" F.T. PROVIDE BLOCKING
- 1" BACK
- 6" X 6" F.T. PROVIDE BLOCKING
- ROSE HOOK
- AT HEIGHT INDICATED PROVIDE BLOCKING

ARCHITECTURAL KEYNOTES

- ALL CEMENTITIOUS TO BE PAINT GRADE. CEMENTITIOUS INTERIORS TO BE PAINTED WHITE. EXTERIOR PAINTED GRAY THROUGHOUT. EXTERIOR PAINT TO MATCH EXISTING. RE-USE EXISTING WHERE POSSIBLE.
- 3/4" TOE MOULD UNLESS OTHERWISE NOTED (SEE ELEVATIONS).
- ALL DRAWINGS TO HAVE FULL EXTENSION CLIPPER TOP DRAWERS IN KITCHEN TO HAVE 50" FT. CLOS. GLASS. PAINTED CABINET DOORS TO HAVE NO MOULD. ALL DOOR AND DRAWER SPACING TO BE 1/8" UNLESS OTHERWISE NOTED.
- OWNER/DESIGNER TO SELECT CABINET/DRAWER HARDWARE CONTRACTOR TO INSTALL.
- ALL CLOSETS TO HAVE COATED WIRE AND LINERS W/ COATED WIRE SHELVES OR PAINTED WIRE SHELVES. ALL CLOSET DRESSERS OR PAINTED WIRE SHELVES. (PAINTED WHITE INTERIOR AND EXTERIOR).
- ALL CEMENTITIOUS TO BE PAINT GRADE. CEMENTITIOUS INTERIORS TO BE PAINTED WHITE. EXTERIOR PAINTED GRAY THROUGHOUT. EXTERIOR PAINT TO MATCH EXISTING. RE-USE EXISTING WHERE POSSIBLE.
- 3/4" TOE MOULD UNLESS OTHERWISE NOTED (SEE ELEVATIONS).
- ALL DRAWINGS TO HAVE FULL EXTENSION CLIPPER TOP DRAWERS IN KITCHEN TO HAVE 50" FT. CLOS. GLASS. PAINTED CABINET DOORS TO HAVE NO MOULD. ALL DOOR AND DRAWER SPACING TO BE 1/8" UNLESS OTHERWISE NOTED.
- OWNER/DESIGNER TO SELECT CABINET/DRAWER HARDWARE CONTRACTOR TO INSTALL.
- ALL CLOSETS TO HAVE COATED WIRE AND LINERS W/ COATED WIRE SHELVES OR PAINTED WIRE SHELVES. ALL CLOSET DRESSERS OR PAINTED WIRE SHELVES. (PAINTED WHITE INTERIOR AND EXTERIOR).

TRIM AND CABINETRY NOTES

- A SEPARATE CONSTRUCTION MANUAL WILL BE PROVIDED CONTAINING ALL PRODUCT AND EQUIPMENT SELECTIONS. ANY ITEMS NOT INCLUDED CONTRACTOR IS TO PROVIDE. ANY ALLOWANCE FOR BUDGETING/REPLACING PURPOSES.
- SCHEDULES INCLUDED ARE: APPLIANCE, PLUMBING, LIGHTING, FLOORING, COATERS, TILE, AND HARDWARE.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS, INSTALLATION, SPECIFICATIONS AND INSTALL ALL EXISTING BELONGING AND NEW APPLIANCES IN ACCORDANCE WITH SUCH SPECIFICATIONS.

EQUIPMENT/FIXTURES/SELECTIONS

- A SEPARATE CONSTRUCTION MANUAL WILL BE PROVIDED CONTAINING ALL PRODUCT AND EQUIPMENT SELECTIONS. ANY ITEMS NOT INCLUDED CONTRACTOR IS TO PROVIDE. ANY ALLOWANCE FOR BUDGETING/REPLACING PURPOSES.
- SCHEDULES INCLUDED ARE: APPLIANCE, PLUMBING, LIGHTING, FLOORING, COATERS, TILE, AND HARDWARE.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS, INSTALLATION, SPECIFICATIONS AND INSTALL ALL EXISTING BELONGING AND NEW APPLIANCES IN ACCORDANCE WITH SUCH SPECIFICATIONS.

HARDWARE NOTES

- ALL DOOR AND WINDOW HARDWARE/KNOBLES TO BE SATIN NICKEL FINISH UNLESS OTHERWISE NOTED. ALL DOOR KNOBS TO BE ROUND SATIN NICKEL FINISH.
- ALL CLOSET HARDWARE TO BE SATIN NICKEL. OWNER SELECTED CONTRACTOR TO PURCHASE AND INSTALL.

PAINTING NOTE

- CONTRACTOR TO SELECT WALL AND CEILING PAINT COLORS. CONTRACTOR TO PROVIDE TEST SWATCH AREA PRIOR TO FINAL PAINT SELECTION AND FINISH. (SEE PAINT SCHEDULE).

FLOORING NOTE

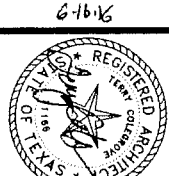
- STAIN AND SEAL ALL NEW AREAS OF WOOD FLOORING TO MATCH EXISTING.

GENERAL CONSTRUCTION NOTES

- SEE SHEET A-1 FOR GENERAL CONSTRUCTION NOTES.



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ADDITION / REMODEL TO
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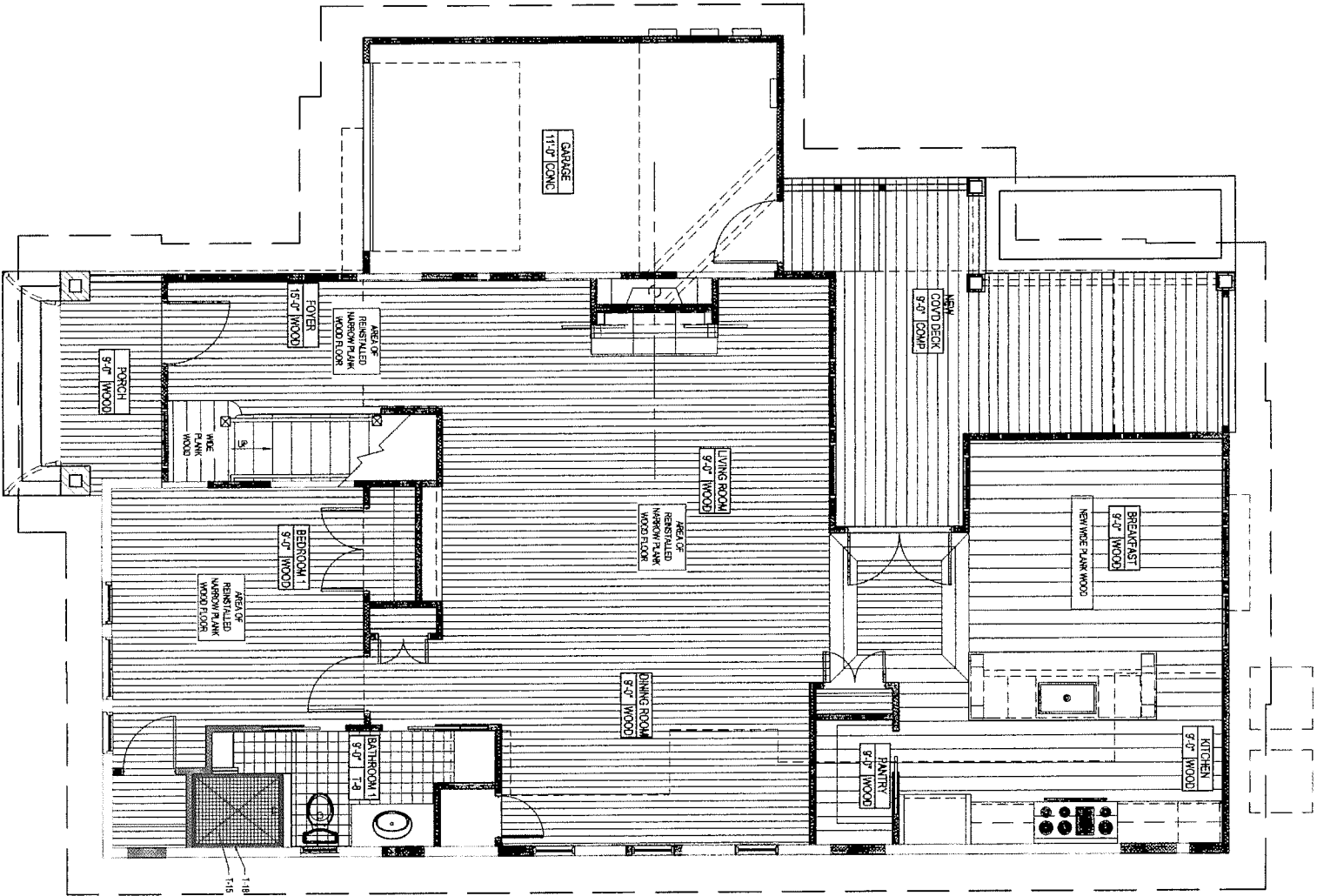
REVIEW
DOCUMENTS

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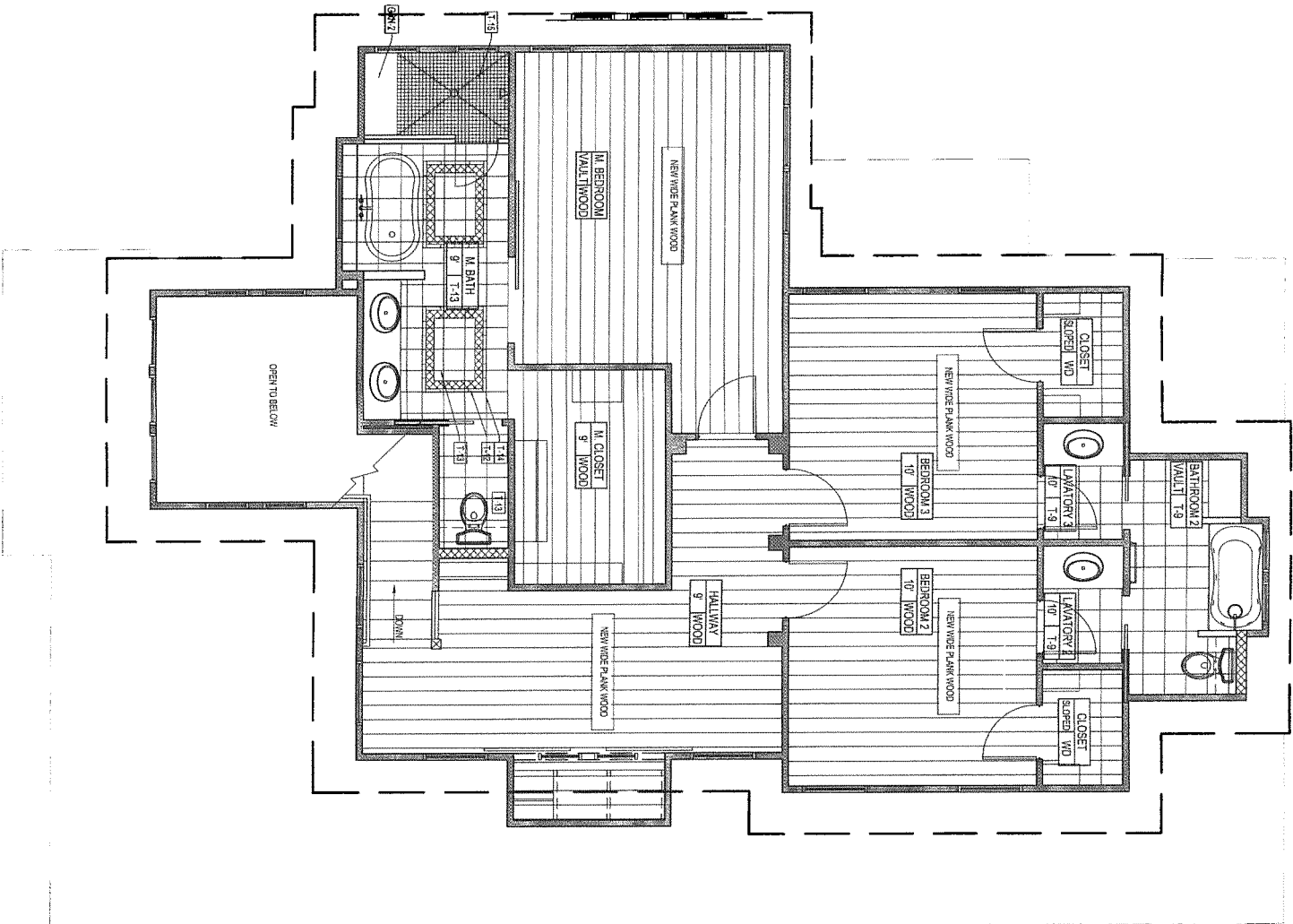
FLOOR PLA

DRAWING NO.

A1



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1' ON 22X34 SHEET
SCALE: 1/8" = 1' ON 11X17 SHEET



2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1' ON 22X34 SHEET
SCALE: 1/8" = 1' ON 11X17 SHEET

FLOOR PLAN SYMBOLS

- NEW 2X4 FRAMING @ 16" O.C. (CROSS BRACE AS REQ'D)
- NEW STONE VENEER
- 2X6 OR LARGER STUD WALL
- SEE PLANS FOR DIMENSIONS
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- SEE STRUCTURAL DWGS. FOR ADD'L. FRAMING CRITERIA

ROOM NAME	CEILING HT. / FLOORING	WINDOW KEYNOTE	NEW DOORS	FEATURE / EQUIPMENT DESIGNATION
BATH	10' WD			SEE MANUFACTURER'S SPECIFICATIONS FOR UTILITY HOOD-UPS, INTEROPERATION ELEVATION, REFERENCE TO DETAIL SHEET
TOILET				TOILET PAPER DISPENSER @ 2" A.F.F. PROVIDE BLOCKING
TOWEL RACK				@ 2" A.F.F. PROVIDE BLOCKING
ROPE HOOK				ATTACHED INDICATED PROVIDE BLOCKING

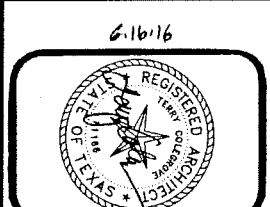
ARCHITECTURAL KEYNOTES

- 1. SEE ENGINEERING DETAIL FOR NEW COLUMN FOOTING DETAIL
- 2. SAND, SEAL, & REPAINT ALL EXISTING SPRINGS TO REMAIN

NOTE: NOT ALL SYMBOLS APPLICABLE FOR THIS PROJECT.

Creese DESIGN

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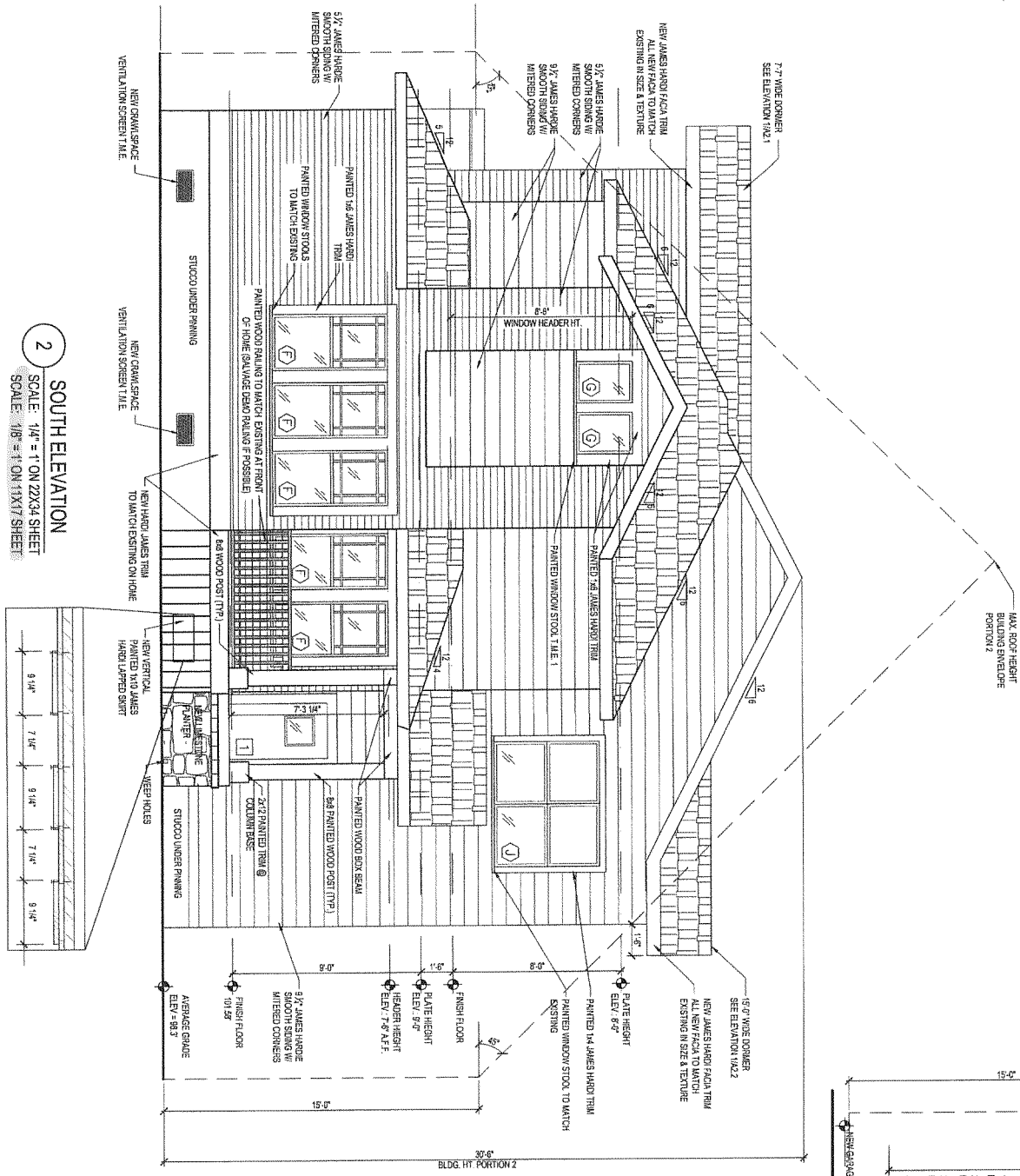


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FLOOR FINISH PLAN
DRAWING NO.

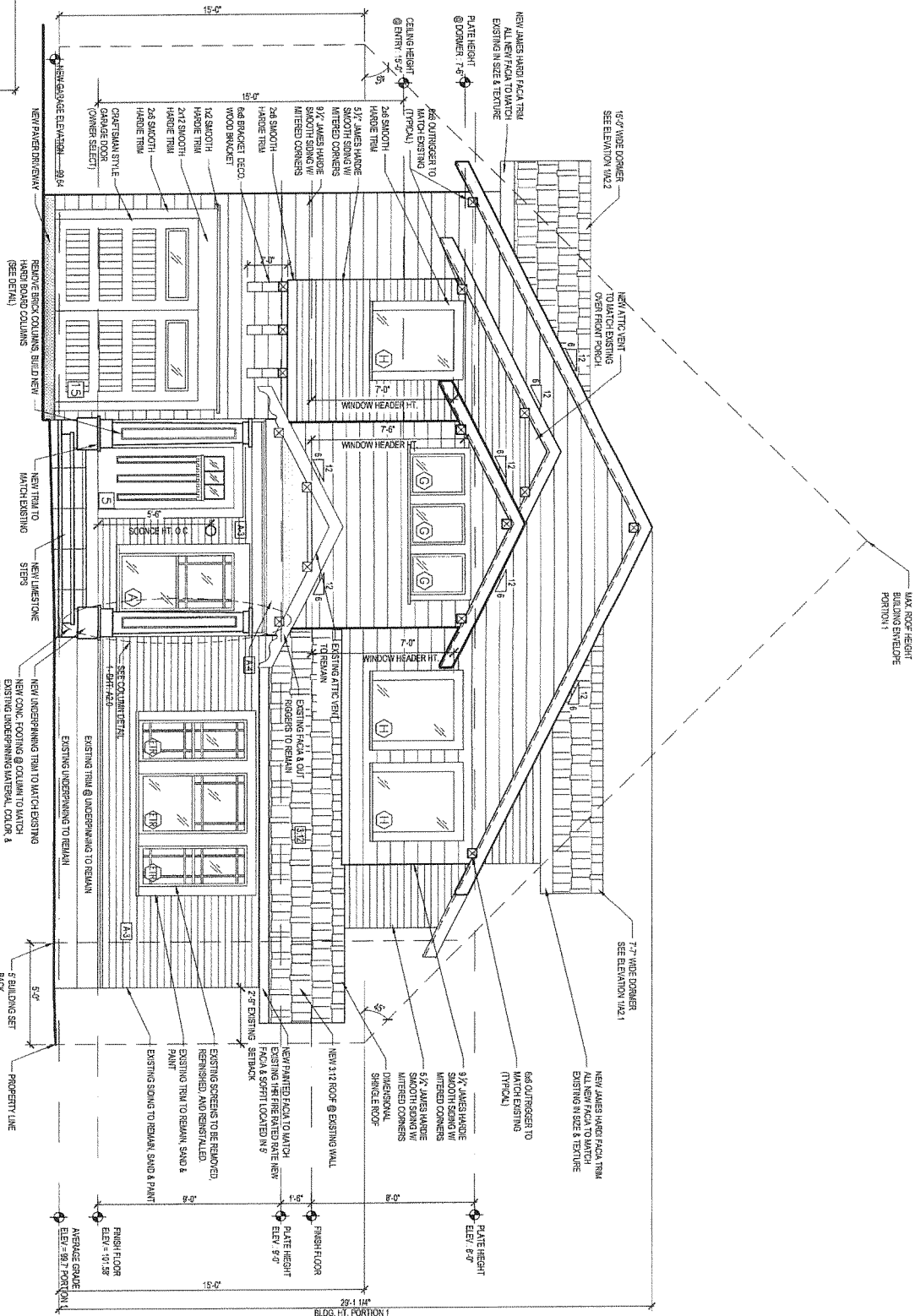
A1.1



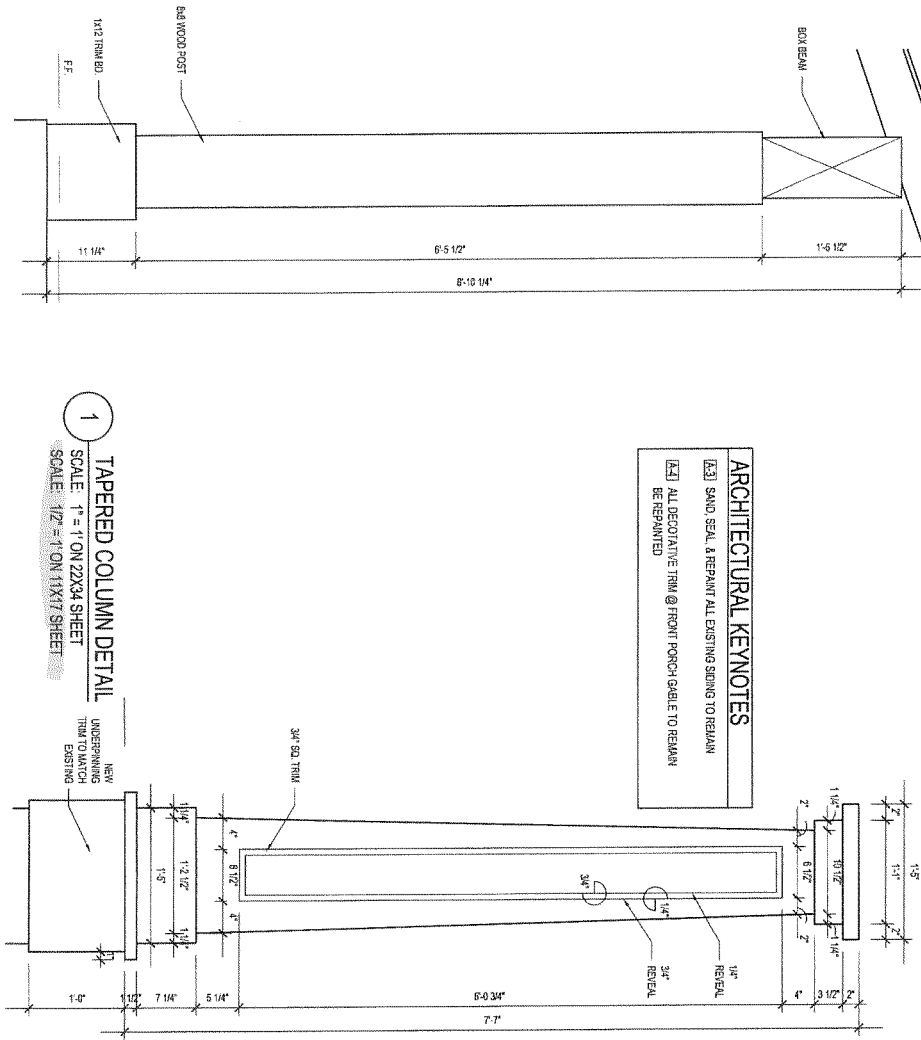
2 SOUTH ELEVATION
SCALE: 1/4" = 1' ON 22X34 SHEET
SCALE: 1/8" = 1' ON 11X17 SHEET

2 BOX BEAM COLUMN DETAIL
SCALE: 1" = 1' ON 22X34 SHEET
SCALE: 1/2" = 1' ON 11X17 SHEET

1 NORTH ELEVATION
SCALE: 1/4" = 1' ON 22X34 SHEET
SCALE: 1/8" = 1' ON 11X17 SHEET



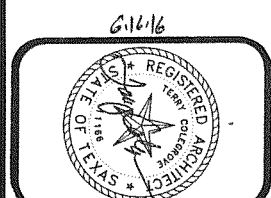
- ARCHITECTURAL KEYNOTES**
- [A3] SAND, SEAL, & REPAINT ALL EXISTING SIDING TO REBAYN
 - [A5] ALL DECORATIVE TRIM @ FRONT PORCH (ABLE TO REBAYN) BE REPAINTED



1 TAPERED COLUMN DETAIL
SCALE: 1" = 1' ON 22X34 SHEET
SCALE: 1/2" = 1' ON 11X17 SHEET

ADDITION / REMODEL TO

DOGGETT-WILLIAMS RESIDENCE



Reese
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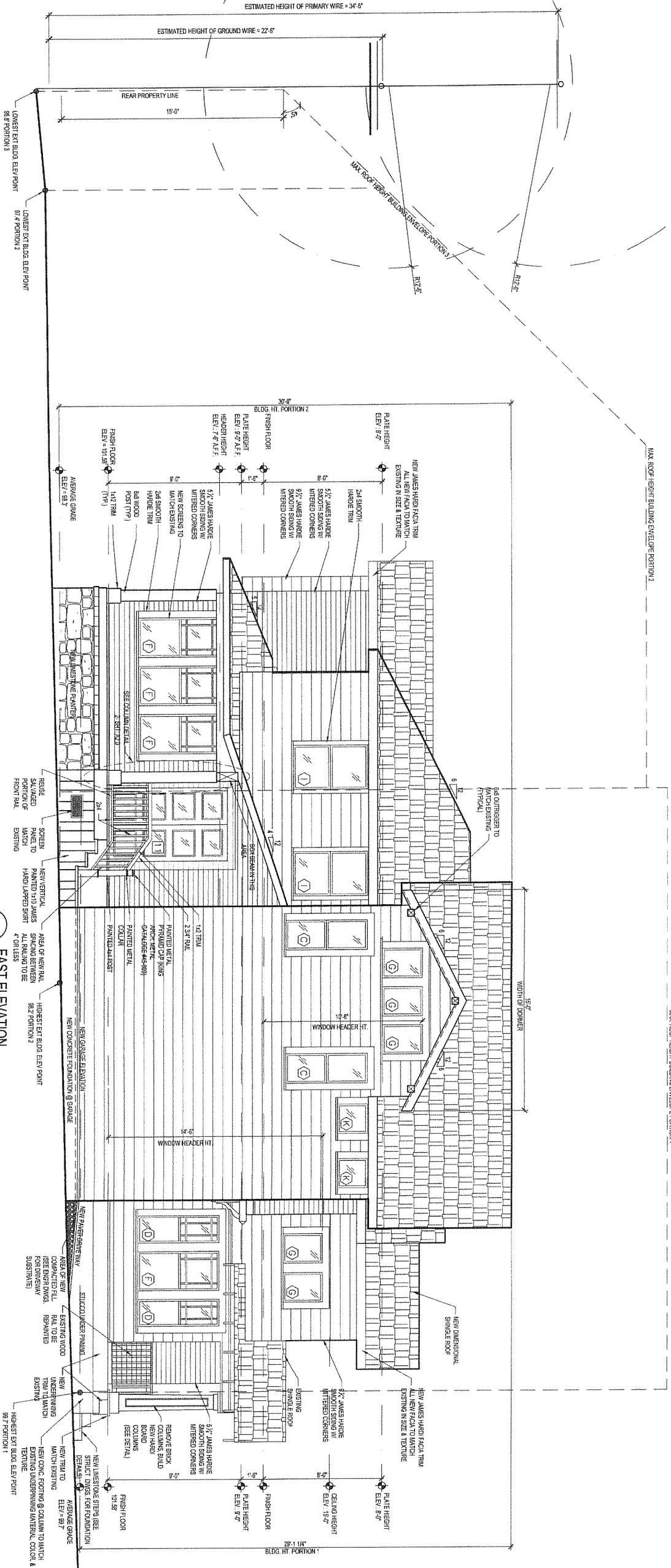
REVIEW
DOCUMENTS

JUNE 16, 2016

EXTERIOR
ELEVATION:

DRAWING NO.

A2.1



1 EAST ELEVATION
SCALE: 1/4" = 1' ON 22X34 SHEET
SCALE: 1/8" = 1' ON 11X17 SHEET

