DESIGN COMMISSION
MONDAY, AUGUST 22, 2016 6:00 PM
AUSTIN CITY HALL, BOARDS AND COMMISSIONS ROOM 1101
301 W. SECOND STREET, AUSTIN, TEXAS 78701

Current Commission Members

_____ Evan Taniguchi – Chair

_____ Bart Whatley – Vice-Chair

_____ David Carroll

_____ Aan Coleman

_____ Samuel Franco

_____ Martha Gonzalez

_____ Conor Kenny

_____ Ben Luckens

_____ Melissa Henao-Robledo

_____ Heyden Walker

_____ Tonya Swartzendruber, (COA-PAZ)

Acting Executive Liaison

_____ Nichole Koerth (COA – PAZ)

Staff Liaison

AGENDA

Please note: Posted times are for time-keeping purposes only. The Commission may take any item(s) out of order and no express guarantee is given that any item(s) will be taken in order or at the time posted.

	Approx. time
CALL TO ORDER AND ROLL CALL	**6:00 PM**
1. CITIZEN COMMUNICATION GENERAL The first five speakers signed up prior to the meeting being called to order will each be allowed a three-minute allotment to address their concerns regarding items not posted on the agenda.	**6:00 PM**

2. MEETING MINUTES a. Discussion and possible action on the July 25, 2016 meeting minutes;	**6:15 PM**
3. NEW BUSINESS (Discussion and Possible Action): a. Discussion and possible action on the City of Austin's Zilker Metro Park Barton Creek Trailhead Restroom design development project submittal located at 2206 William Barton Drive seeking support for the project (Robert Brennes, COA Parks and Recreation Department).	**6:30 PM**
4. OLD BUSINESS (Discussion and Possible Action): a. Discussion and possible action on the Infrastructure Project Application Checklist (Chair Taniguchi);	**7:00 PM**
5. COMMITTEE AND LIAISON REPORTS (Discussion and Possible Action): a. Standing Committees Reports; b. Working Group Reports; c. Liaison Reports; and d. Appointment of Committee/Working Group members by Chair.	**7:30 PM**
6. STAFF BRIEFINGS: None	**7:30 PM**
7. FUTURE AGENDA ITEMS: None	**7:30 PM**
8. ANNOUNCEMENTS: a. Chair Announcements; b. Items from Commission Members; and **c.** Items from City Staff: None	**7:35 PM**
ADJOURNMENT	**7:50 PM**

4. COMMITTEE AND WORKING GROUP REPORTS (Discussion and Possible Action)

a. Standing Committees Reports: None.

b. Working Group Reports: None.

c. Liaison Reports: None.

d. Appointment of Committee/Working Group members by Chair: None.

6. STAFF BRIEFINGS: None.

7. **FUTURE AGENDA ITEMS: None.**

8. ANNOUNCEMENTS

a. Chair Announcements: None.

b. Items from Commission Members:

Discussion of the Airport Park and Ride project initiated by A. Coleman, who intends to formally correspond with Kit Johnson and staff, regarding policies and if the project was presented to the City of Austin before having been built.

c. Items from City Staff: None

ADJOURNMENT by consensus at: 8:10 PM

Design Commission Committees, Working Groups, and Liaisons

Committees

1. Executive Committee: E. Taniguchi, B. Whatley

Working Groups

1. Planning and Urban Design Working Group: E. Taniguchi, H. Walker, B. Whatley, A. Coleman
2. Architecture and Development Working Group: B. Whatley, M. Gonzalez, D. Carroll
3. Landscape and Infrastructure Working Group: S. Franco, M. Henao-Robledo, A. Coleman, B. Luckens
4. Public Engagement Working Group: B. Luckens, S. Franco, M. Henao-Robledo; C. Kenny

Design Commission Liaisons

1. Downtown Comm. Liaison / Downtown Austin Plan: Samuel Franco

Design Commission Executive Liaison:

Katie Mulholland, Planner
Urban Design, Planning and Zoning Department
City of Austin, One Texas Center, 505 Barton Springs Rd., Austin, TX 78704
Phone: (512) 974-3362 ■ E-mail: katie.mulholland@austintexas.gov

Design Commission Staff Liaison:

Nichole Koerth, Administrative Senior
Urban Design, Planning and Zoning Department
City of Austin, One Texas Center, 505 Barton Springs Rd., Austin, TX 78704
Phone: (512) 974-2752 ■ E-mail: nichole.koerth@austintexas.gov

Resources:

1. The Urban Design Guidelines for Austin can be accessed here: **Urban Design Guidelines for Austin.**

2. Design Commission backup may be accessed here: **Design Commission Backup.**

DESIGN COMMISSION
MONDAY, JULY 25, 2016 6:00 PM
AUSTIN CITY HALL, BOARDS AND COMMISSIONS ROOM 1101
301 W. SECOND STREET, AUSTIN, TEXAS 78701

Meeting Minutes

Call to order by: B. Whatley at 6:18 PM.

Roll Call: E. Taniguchi arrived at 6:19 PM; C. Kenny arrived at 6:26 PM

1. CITIZEN COMMUNICATION: None.

2. MEETING MINUTES:
a. Discussion and possible action on the June 27, 2016 meeting minutes;

The motion to approve the minutes as drafted made by E. Taniguchi; Second by D. Carroll; was approved on a vote of [9-0] [C. Kenny not present].

3. NEW BUSINESS (Discussion and Possible Action):

a. Discussion and possible action on the City of Austin Dove Springs Recreation Center design development project submittal located at 5801 Ainez Dr. seeking support for the project. (David Smythe-Macaulay, COA-PW).

David Smythe-Macaulay, Laurie Limbacher and Alfred Godfrey presented the project and background. Possible revisions regarding sustainability was discussed and considered by the applicants.

The motion to support the project made by E. Taniguchi; Second by C. Kenny was approved on a vote of [9-1]; A. Coleman against.

6:42pm B. Whatley turned chair over to E. Taniguchi.

3. OLD BUSINESS (Discussion and Possible Action)

a. Discussion and possible action on the Infrastructure Project Application Checklist (Chair Taniguchi)

The motion to continue work on the Infrastructure Project Application Checklist, with edits being collected, and to resume discussion in the August meeting made by H. Walker; Second by B. Luckens; was approved on a vote of [10-0].

4. COMMITTEE AND WORKING GROUP REPORTS (Discussion and Possible Action)

a. Standing Committees Reports: None.

b. Working Group Reports: None.

c. Liaison Reports:

2 presentations, on Downtown Plan and Red River Cultural District were discussed.

d. Appointment of Committee/Working Group members by Chair: None.

6. STAFF BRIEFINGS: None.

7. **FUTURE AGENDA ITEMS: None.**

8. ANNOUNCEMENTS

a. Chair Announcements: None.

b. Items from Commission Members:

Discussion of the Airport Park and Ride project was initiated by A. Coleman, who intends to formally correspond with Kit Johnson and staff, regarding policies and if the project was presented to the City of Austin before having been built.

No action taken by the Commission.

Discussion of a message board was initiated by M. Henao-Robledo and C. Kenny. C. Kenny mentioned other commissions are coordinating similar "therefore" clause of resolutions to send to Council.

No action taken by the Commission.

c. Items from City Staff: None

ADJOURNMENT by consensus at: 8:10 PM

City of Austin
Design Commission – Project Submittal Consideration Sheet

Project Name: COA - Zilker Metro Park Barton Creek Trailhead Restroom		
Project Location/Address: 2206 William Barton Drive (Zilker Park)		
Applicant: Robert Brennes (PARD)	**Property Owner:** City of Austin - Parks and Recreation	
Mailing Address: 919 West 28 1/2 Street	**Mailing Address:** P.O. Box 1088, Austin, Tx 78767-8839	
Phone Number: 512-974-9472	**Phone Number:** 512-974-6700	
Project Architect/Engineer: Austin Architecture Plus	**Project Start Date:** January 2017	**Project End Date:** June 2017
Mailing Address: 1907 N. Lamar Blvd., #260, Austin, Tx	**Phone Number:** 512-478-0970	
Is project subject to redevelopment site plan or zoning application approvals? **Yes** ☑ **No** ☐	**Anticipated Dates of Action** **Planning Commission:** **City Council:**	

Narrative Description of Proposed Project (including entitlements that you are seeking; attach or add additional page(s) as necessary) :

To install a one-story, ADA-accessible restroom in Zilker Park. The building is 9' high with an independently supported roof that is 17' at its maximum height. The building is 25'x25', while the roof is 30'x30'. The building will consist of 5" thick limestone slabs from nearby quarries, connected by slivers of blue glass representing the many springs throughout the city. Wire mesh set above the slabs will be in patterns to abstractly represent the hill country. The roof will be sloped and is a metaphor for a tree canopy, with columns branched out as limbs. This will be emphasized with leaf-shaped steel plates at attachment locations. The site must be built in the watershed to provide ADA access with minimum disturbance to the environmentally sensitive area. We are reducing pervious cover by decreasing the existing pavement area.

Is Alternative Equivalent Compliance (AEC) requested for this project?

☐ **Yes** ☑ **No** **If yes, please refer to following page**

Current Status of Submittal:

☐ **Conceptual** ☐ **Schematic** ☑ **Design Development**

Do you have a copy of the Urban Design Guidelines for Austin? ☑ **Yes** ☐ **No**
If not, please see:
http://www.ci.austin.tx.us/downtown/downloads/urban_design_guidelines_for_austin.pdf

Please fill in the subsequent information on the following pages.

Relate the project to applicable items addressed in the Urban Design Guidelines for Austin. For an explanation of each guideline, please review the document at: http://www.ci.austin.tx.us/downtown/downloads/urban_design_guidelines_for_austin.pdf

ALTERNATIVE EQUIVALENT COMPLIANCE (AEC)

Is AEC being requested for this project? ☐ **Yes** ☑ **No**

If yes, please explain nature of request including alternatives offered and entitlements sought. Attach additional page if necessary.

AREA WIDE GUIDELINES

1. Create dense development

☐ incorporated, ☐ need input, ☑ N/A

2. Create mixed-use development

☐ incorporated, ☐ need input, ☑ N/A

3. Limit development which closes downtown streets

☐ incorporated, ☐ need input, ☑ N/A

4. Buffer neighborhood edges

☐ incorporated, ☐ need input, ☑ N/A

5. Incorporate civic art in both public and private development

☐ incorporated, ☐ need input, ☑ N/A

6. Protect important public views

☐ incorporated, ☐ need input, ☑ N/A

7. Avoid historical misrepresentations

☐ incorporated, ☐ need input, ☑ N/A

8. Respect adjacent historic buildings

☑ incorporated, ☐ need input, ☐ N/A

9. Acknowledge that rooftops are seen from other buildings and the street

☐ incorporated, ☐ need input, ☑ N/A

10. Avoid the development of theme environments

☐ incorporated, ☐ need input, ☑ N/A

11. Recycle existing building stock

☐ incorporated, ☐ need input, ☑ N/A

GUIDELINES FOR THE PUBLIC STREETSCAPE

1. Protect the pedestrian where the building meets the street

☐ incorporated, ☐ need input, ☑ N/A

2. Minimize curb cuts

☐ incorporated, ☐ need input, ☑ N/A

3. Create a potential for two-way streets

☐ incorporated, ☐ need input, ☑ N/A

4. Reinforce pedestrian activity

☑ incorporated, ☐ need input, ☐ N/A

5. Enhance key transit stops

☐ incorporated, ☐ need input, ☑ N/A

6. Enhance the streetscape

☐ incorporated, ☐ need input, ☑ N/A

7. Avoid conflicts between pedestrians and utility equipment

☐ incorporated, ☐ need input, ☑ N/A

8. Install street trees

☐ incorporated, ☐ need input, ☑ N/A

9. Provide pedestrian-scaled lighting

☑ incorporated, ☐ need input, ☐ N/A

10. Provide protection from cars/promote curbside parking

☐ incorporated, ☐ need input, ☑ N/A

11. Screen mechanical and utility equipment

☐ incorporated, ☐ need input, ☑ N/A

12. Provide generous street-level windows

☐ incorporated, ☑ need input, ☐ N/A

13. Install pedestrian-friendly materials at street level

☑ incorporated, ☐ need input, ☐ N/A

GUIDELINES FOR PLAZAS AND OPEN SPACE

1. Treat the four squares with special consideration

☐ incorporated, ☐ need input, ☑ N/A

2. Contribute to an open space network

☐ incorporated, ☐ need input, ☑ N/A

3. Emphasize connections to parks and greenways

☑ incorporated, ☐ need input, ☐ N/A

4. Incorporate open space into residential development

☐ incorporated, ☐ need input, ☑ N/A

5. Develop green roofs

☐ incorporated, ☐ need input, ☑ N/A

6. Provide plazas in high use areas

☐ incorporated, ☐ need input, ☑ N/A

7. Determine plaza function, size, and activity

☐ incorporated, ☐ need input, ☑ N/A

8. Respond to microclimate in plaza design

☐ incorporated, ☐ need input, ☑ N/A

9. Consider views, circulation, boundaries, and subspaces in plaza design

☐ incorporated, ☐ need input, ☑ N/A

10. Provide an appropriate amount of plaza seating

☐ incorporated, ☐ need input, ☑ N/A

11. Provide visual and spatial complexity in public spaces

☐ incorporated, ☐ need input, ☑ N/A

12. Use plants to enliven urban spaces

☐ incorporated, ☐ need input, ☑ N/A

13. Provide interactive civic art and fountains in plazas

☐ incorporated, ☐ need input, ☑ N/A

14. Provide food service for plaza participants

☐ incorporated, ☐ need input, ☑ N/A

15. Increase safety in plazas through wayfinding, lighting, & visibility

☐ incorporated, ☐ need input, ☑ N/A

16. Consider plaza operations and maintenance

☐ incorporated, ☐ need input, ☑ N/A

GUIDELINES FOR BUILDINGS

1. Build to the street

☐ incorporated, ☐ need input, ☑ N/A

2. Provide multi-tenant, pedestrian-oriented development at the street level

☐ incorporated, ☐ need input, ☑ N/A

3. Accentuate primary entrances

☑ incorporated, ☐ need input, ☐ N/A

4. Encourage the inclusion of local character

☑ incorporated, ☐ need input, ☐ N/A

5. Control on-site parking

☑ incorporated, ☐ need input, ☐ N/A

6. Create quality construction

☑ incorporated, ☐ need input, ☐ N/A

7. Create buildings with human scale

☑ incorporated, ☐ need input, ☐ N/A

AUSTIN PARKS & RECREATION
Cultural Places, Natural Spaces

Zilker Metro Park Barton Creek Trailhead Restroom

Design Commission Item #2

August 22, 2016

City Hall, Boards and Commissions Room

The Barton Creek Trailhead, located on William Barton Drive west of the Barton Springs Pool Bathhouse, has been an extremely popular embarkation point for park users to begin hikes into the Barton Creek Greenbelt.

Trail users and other park users, such as picnickers and visitors to the Beverly Sheffield Zilker Hillside Theater, have for years dealt with a lack of convenient restrooms. At this time, the closest restroom facilities are in the Barton Springs Bathhouse and in Pecan Grove, near Barton Springs Road.

The proposed location is adjacent to the Hillside Theater and across the road from the bathhouse, but more importantly, very close to the Barton Creek Trailhead.

The Barton Creek Trailhead will be included in the proposed Walk For A Day program, with the Violet Crown Trail.

The restroom would serve trail and other park users year-round and be available for theater patrons. While the proposed restroom is not large enough to serve the entire theater attendance, its presence and operation will allow for reduction in temporary facilities.

The proposed restroom will be ADA-accessible and will include water quality enhancements.

Design Commission approval would be an important step in provided much needed restroom facilities in a convenient location – along William Barton Drive. Approval of the design and materials would demonstrate to the citizens the City's awareness and sensitivity of the unique and cherished parkland that is Zilker Park and the Barton Creek Greenbelt.

ZILKER METRO PARK BARTON CREEK TRAILHEAD RESTROOM

DESIGN COMMISSION

August 22, 2016

Item #5 Urban Design Guide

This project incorporates several criteria listed in the Urban Design Guidelines for Austin of January, 2009. These include:

Area-wide 8 **Respect Adjacent Historical Buildings**

We have presented this project to the Certificate of Appropriateness Committee and the full Historic Landmark Commission. We have chosen limestone walls for the restroom from central Texas quarries. The color of the limestone will be compatible with existing colors and shades in the Barton Springs area. No trees will be removed, so the structure will coexist with the existing trees, as the bathhouse, theater and other structures in the area do. The limestone will have a rough cut exterior, so as to appear more natural. Colors of the exteriors will blend in with the environment.

Streetscape 9 **Provide Pedestrian-scaled lighting**

While this project is adjacent to a park road and not a street, it nevertheless provides pedestrian-scaled lighting. No area lights that tower above the structure will be installed. Rather, lighting to provide easy identification to the entrances will be provided, which will allow for safe entrance into the facility, but not distracting or interfering with the drivers on William Barton Drive or visitors to the adjacent theater

Streetscape 10 **Provide Protection From Cars/Promote Curbside Parking**

Although not a project on a street, the project will reduce the parking depth, which is more than needed, by reclaiming some of the pavement for sidewalk and green space. This will actually place cars parked at the restroom farther than they would be in the current configuration

Plazas and Open Space 2 **Contribute to an Open Space Network**

The restroom is small enough to prevent significant blockage of views or access to the open spaces behind it. This will allow theater patrons to continue sitting on the hillside without constrictions imposed by the building. With sidewalks and a crosswalk to the

trailhead, a network is created in the west end of the Barton Springs Pool north side recreational area

Plazas and Open Space 3 **Emphasize Connections to Parks and Greenways**

The proposed restroom will provide easily identifiable connections to the trailhead, the bathhouse and the theater using crosswalk and sidewalks

AUSTIN PARKS & RECREATION
Cultural Places, Natural Spaces

DESIGN COMMISSION

ZILKER METRO PARK BARTON CREEK TRAILHEAD RESTROOM

ITEM #4

SUSTAINABILITY HIGHLIGHTS

- The walls of the restroom will consist of natural cut limestone from central Texas
- Rock gardens will collect water and release it into the soil
- Parking curb reconfiguration on the south side of William Barton Drive, at the trailhead, will improve growing condition for the existing tree by expanding the area of pervious cover. The curb demolition will be done with hand tools, so as to not harm the root zone
- Runoff will be treated using bioswales, north and south of the project, which will improve the water quality.

COMMUNITY BENEFITS OFFERED

- Much needed restroom facility to serve trail and park users, as well at theater patrons during summer productions
- Respectful of existing architecture and ambience
- Water line extension to the proposed restroom area will include a hydrant to add fire protection for the Barton Springs Pool area

AUSTIN PARKS & RECREATION
Cultural Places, Natural Spaces

ZILKER METRO PARK BARTON CREEK TRAILHEAD RESTROOM

DESIGN COMMISSION

August 22, 2016

Boards and Commissions attended:

Parks and Recreation Board - Land, Facilities and Programs Committee: 10/13/2015

Parks and Recreation Board (full board): 10/27/2015

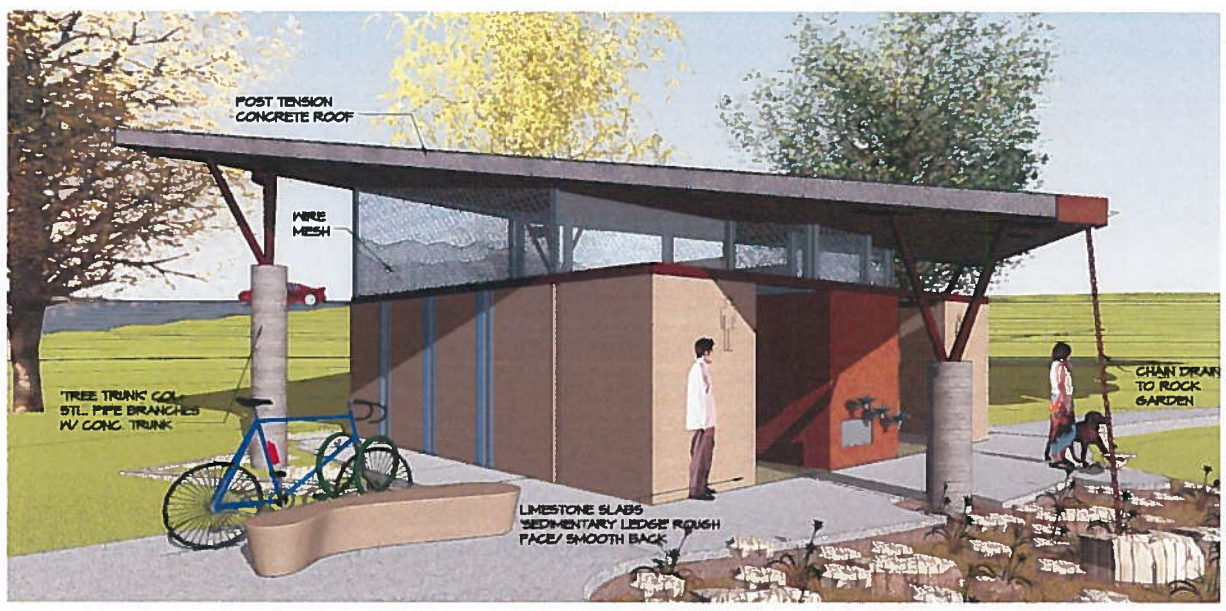
Historic Landmark Commission - Certificate of Appropriateness Committee: 11/30/2015

Historic Landmark Commission (full commission): 12/14/2015

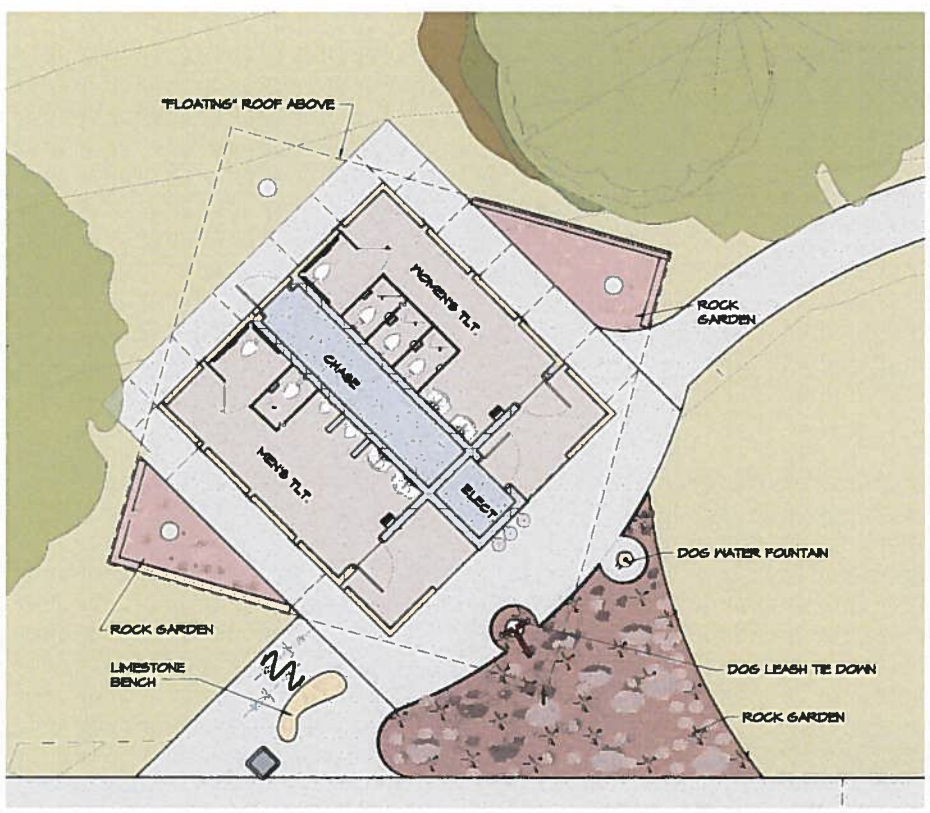
Planning Commission – Code and Ordinance subcommittee: 3/15/2016

Planning Commission (full commission): 3/22/2016

VIEW FROM HILLSIDE THEATRE



VIEW FROM TRAILHEAD

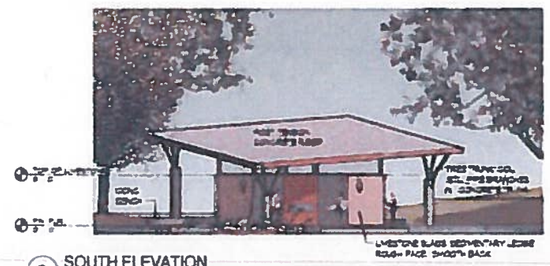


FLOOR PLAN
3/16" = 1'-0"

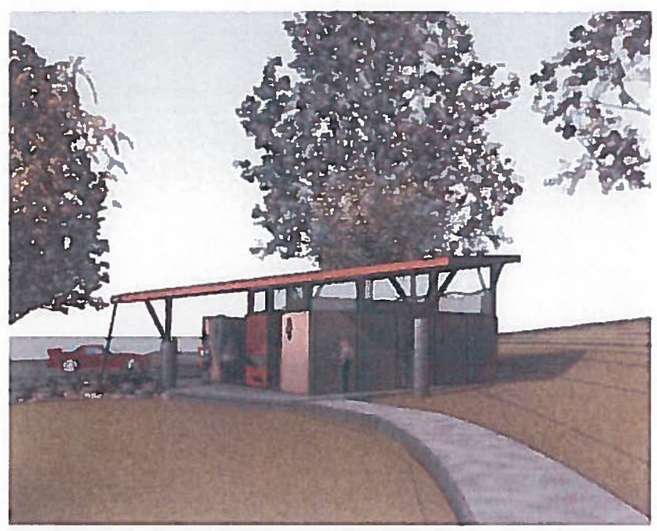
ZILKER METRO PARK
TRAILHEAD RESTROOM

Schematic Design

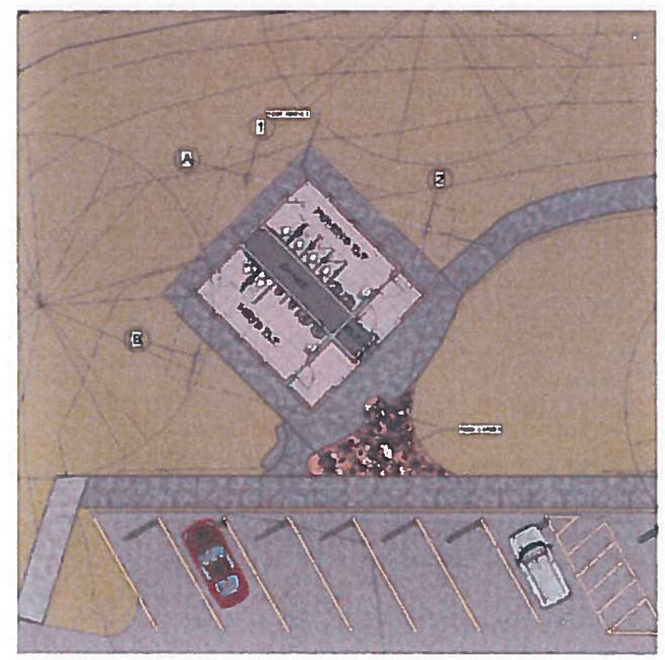
4 EAST ELEVATION



3 SOUTH ELEVATION



2 PERSPECTIVE



1 SITE PLAN/ FLOOR PLAN

Architecture Plus

PRELIMINARY

NOT FOR REGULATORY APPROVAL PERMITTING OR CONSTRUCTION

AUSTIN PARKS & RECREATION

ZILKER METRO PARK TRAILHEAD RESTROOM
for the CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

SCHEMATIC DESIGN

1-30-2015

RT

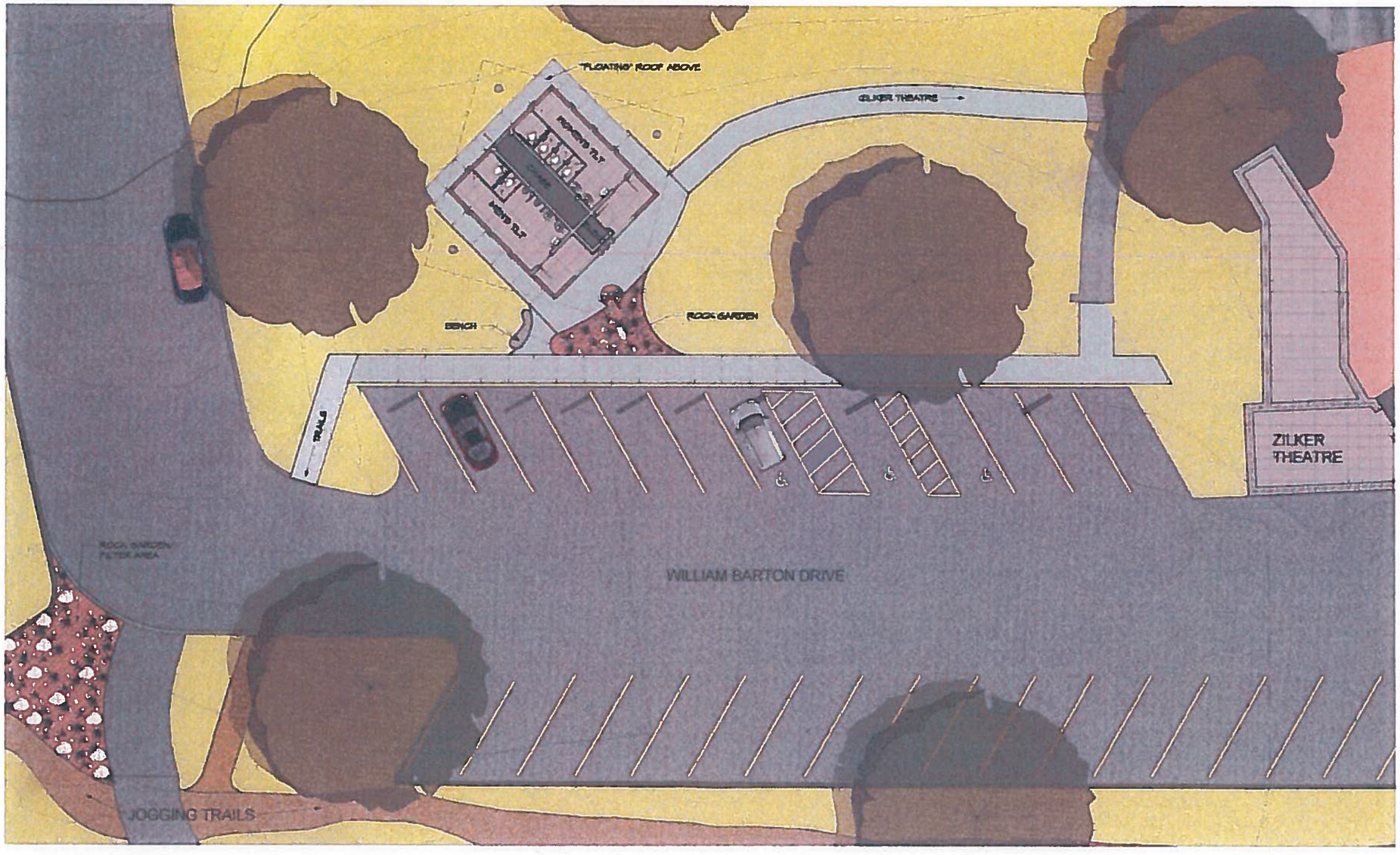
MR

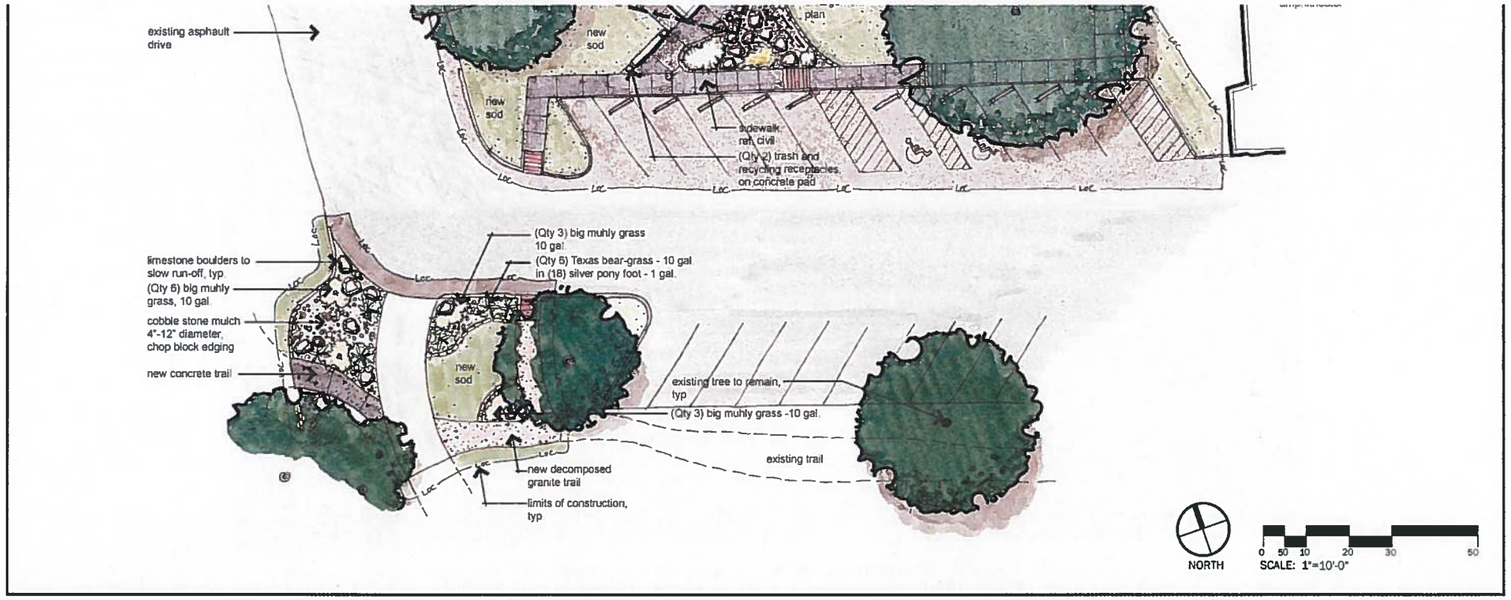
NO.	DATE	REMARKS

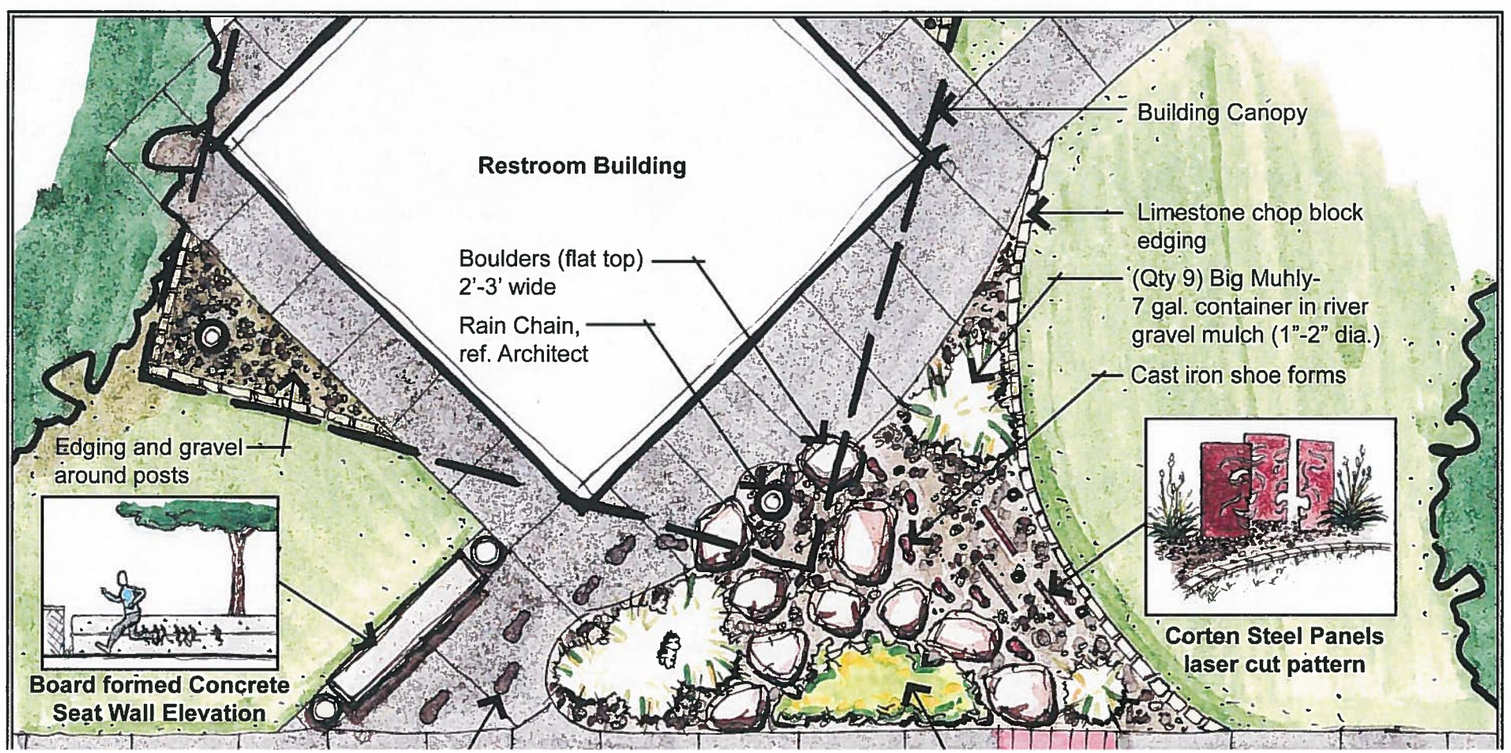
SD 1

SCHEMATIC DESIGN

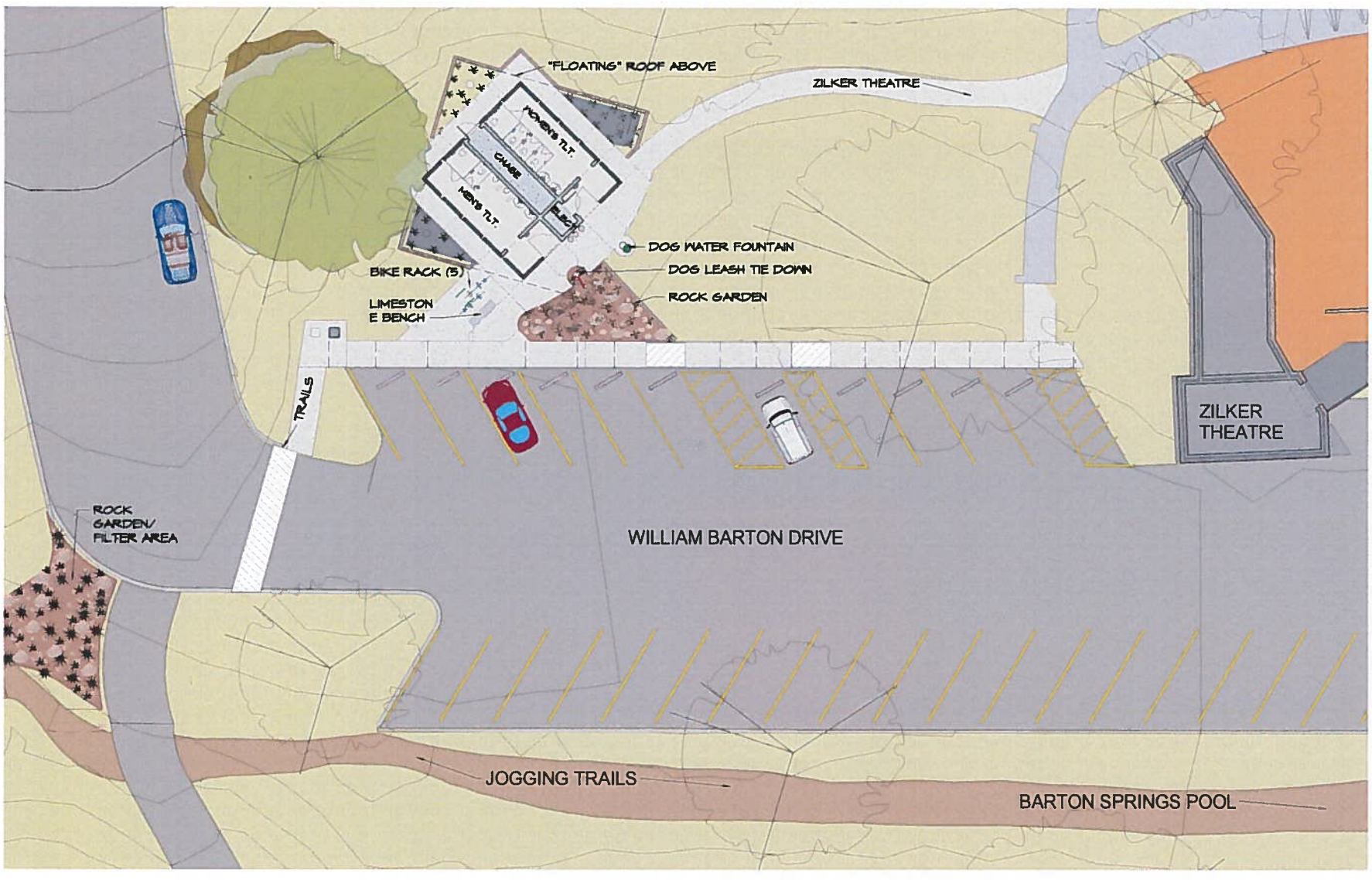
PROJECT #132402


"FLOATING" ROOF ABOVE
ZILKER THEATRE
BENCH
ROCK GARDEN
TRAILS
ZILKER THEATRE
WILLIAM BARTON DRIVE
JOGGING TRAILS


existing asphault drive
new sod
new sod
sidewalk, ref. civil
(Qty 2) trash and recycling receptacles, on concrete pad
limestone boulders to slow run-off, typ.
(Qty 5) big muhly grass, 10 gal.
cobble stone mulch 4"-12" diameter, chop block edging
new concrete trail
(Qty 3) big muhly grass 10 gal.
(Qty 5) Texas bear-grass - 10 gal. in (18) silver pony foot - 1 gal.
new sod
existing tree to remain, typ
(Qty 3) big muhly grass -10 gal.
existing trail
new decomposed granite trail
limits of construction, typ
NORTH
0 5 10 20 30 50
SCALE: 1"=10'-0"


Restroom Building
Building Canopy
Limestone chop block edging
(Qty 9) Big Muhly- 7 gal. container in river gravel mulch (1"-2" dia.)
Cast iron shoe forms
Boulders (flat top) 2'-3' wide
Rain Chain, ref. Architect
Edging and gravel around posts
Board formed Concrete Seat Wall Elevation
Corten Steel Panels laser cut pattern

2 SITE PLAN
1" = 100'-0"



1 SITE PLAN
1" = 10'-0"

AUSTIN PARKS & RECREATION
Cultural Places, Natural Spaces

ZILKER METRO PARK
TRAILHEAD RESTROOM

Architecture Plus
© ARCHITECTURE PLUS 2015

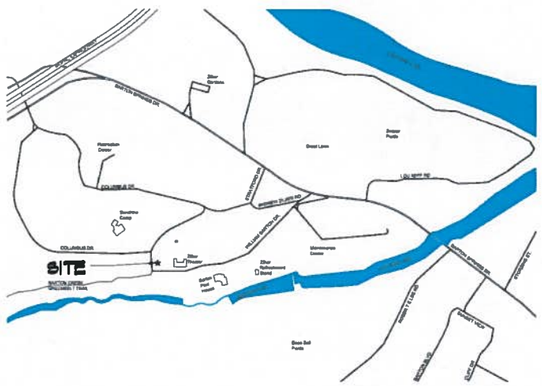
ZILKER METRO PARK TRAILHEAD RESTROOM

CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

2206 William Barton Dr, Austin, Texas

CIP NUMBER: 6006.032

LOCATION MAP



INDEX OF DRAWINGS

GENERAL INFO

G-0	COVER
G1.0	GENERAL INFORMATION

CIVIL — P.E. SITE PERMIT PACKAGE ISSUED UNDER SEPERATE COVER

C-1.0	CIVIL COVER SHEET
C-1.1	GENERAL NOTES
C-1.2	DEMOLITION PLAN
C-1.3	SLOPE MAP
C-2.0	OVERALL SITE
C-2.1	SITE PLAN
C-2.2	EROSION SEDIMENTATION AND TREE PROTECTION PLAN
C-2.3	EROSION SEDIMENTATION DETAILS
C-3.0	EXISTING DRAINAGE MAP
C-4.0	GRADING PLAN
C-5.0	BIO-FILTRATION - INFILTRATION WATER QUALITY AREA
C-6.0	WATER AND WASTEWATER PLAN
C-6.1	WATER AND WASTEWATER DETAILS - SHEET 1
C-6.2	WATER AND WASTEWATER DETAILS - SHEET 2
C-7.0	STANDARD DETAILS SHEET 1

LANDSCAPE — P.E. SITE PERMIT PACKAGE ISSUED UNDER SEPERATE COVER

L1.00	COA COMPLETENESS CHECK OVERALL LANDSCAPE PLAN
L1.01	COA COMPLETENESS CHECK OVERALL LANDSCAPE PLAN

ARCHITECTURAL

AS 1.0	SITE PLAN
A1.0	FLOOR PLANS
A2.0	EXTERIOR AND INTERIOR ELEVATIONS
A4.0	FINISH SCHEDULE, DOOR SCHEDULE, MISC. DETAILS
A5.0	WALL SECTIONS AND MISC. DETAILS

STRUCTURAL

S1.0	FOUNDATION & ROOF PLAN

PLUMBING

P0.00	PLUMBING GENERAL NOTES
P1.0	SANITARY AND DOMESTIC PLUMBING PLANS
P2.0	PLUMBING DETAILS
P3.0	PLUMBING SCHEDULE

ELECTRICAL

E0.00	ELECTRICAL GENERAL NOTES
E1.0	ELECTRICAL AND LIGHTING PLANS

CITY OF AUSTIN

MAYOR
STEVE ADLER

CITY COUNCIL

PLACE 1	ORA HOUSTON
PLACE 2	DELIA GARZA
PLACE 3	SABINO RENTERIA
PLACE 4	GREGIO CASAR
PLACE 5	ANN KITCHEN
PLACE 6	DON ZIMMERMAN
PLACE 7	LESLIE POOL
PLACE 8	ELLEN TROXCLAIR
PLACE 9	KATHIE TOVO
PLACE 10	SHERI GALLO

CITY MANAGER
MARC OTT

MANAGING DEPARTMENT
PARKS & RECREATION DEPARTMENT

NOT FOR CONSTRUCTION
Design Developement Interim Review Set

ZILKER METRO PARK TRAILHEAD PARK RESTROOM

ISSUE DATE
10-9-2015

SET NUMBER

ROOF CONSULTANTS
HOLLON-CANNON GROUP LLC
12885 RESEARCH BLVD. #210B
AUSTIN, TX 78750
512-300-0452

MECH., ELECT., PLBG. ENGINEER
ENCOTECH ENGINEERING CONSULTANTS INC.
8500 BLUFFSTONE COVE, SUITE B-103
AUSTIN, TX 78759
512-338-1101

STRUCTURAL ENGINEER
STEINMAN LUEVANO STRUCTURES LLP
5901 OLD FREDRICKSBURG RD., SUITE #B101
AUSTIN, TX 78749
512-891-6766

LANDSCAPE ARCHITECTS
COLEMAN & ASSOCIATES
9890 SILVER MOUNTAIN DR.
AUSTIN, TX 78737
512-476-2090

CIVIL ENGINEER
CHAN & PARTNERS ENGINEERING LLC
4319 JAMES CASEY ST.
AUSTIN, TX 78745
512-480-8155

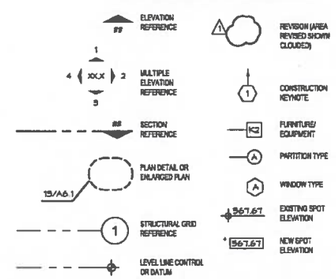
PRIME CONSULTANT/ ARCHITECT
ARCHITECTURE + PLUS
1907 NORTH LAMAR BOULEVARD, SUITE 260
AUSTIN, TEXAS 78705
512-478-0970

Design Development Interim Review Set

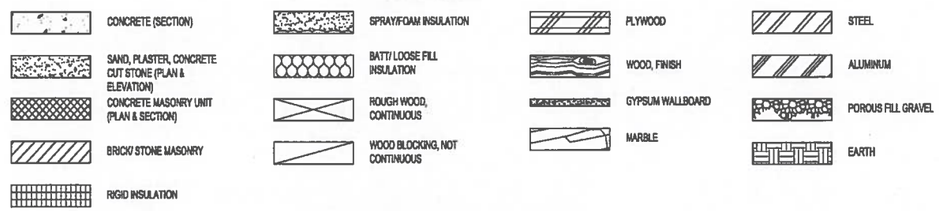
STANDARD ABBREVIATIONS

A	
ACOUST	ACOUSTICAL
ACT	ACOUSTICAL CLG TILE
A.F.F.	ABOVE FINISHED FLR
ADJ.	ADJACENT
ALT.	ALTERNATE
ALUM.	ALUMINUM
ANOD.	ANODIZED
ARCH.	ARCHITECTURAL
B	
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
B.O.	BY OWNER / OTHERS
C	
CAB.	CABINET
C.I.P.	CAST IN PLACE
C.J.	CONTROL JOINT
℄	CENTERLINE
CLR.	CLEAR
CLG	CEILING
CLO	CLOSET
C.M.U.	CONCRETE MASONRY UNIT
CO	CLEAN-OUT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
D	
DTL	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DN	DOWN
DS	DOWN SPOUT
DWG	DRAWING
E	
EA.	EACH
EF	EXHAUST FAN
E.I.S.	EXTERIOR INSULATED FINISH SYSTEM
E.J.	EXPANSION JOINT
ELEV	ELEVATION
ELEC.	ELECTRICAL
EMERG.	EMERGENCY
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST.	EXISTING
EX	EXISTING
EXT	EXTERIOR
EWC	ELECTRIC WATER COOLER
F	
FD	FLOOR DRAIN
FES	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FIN.	FINISH
FIXT	FIXTURE
FLR.	FLOOR
FLUOR.	FLUORESCENT
FT	FOOT / FEET
FTG	FOOTING
F.V.	FIELD VERIFY
G	
GA.	GAUGE
GAL. / GAL.	GALVANIZED
GL	GLASS
GYP	GYPSUM
H	
HC	HANDICAPPED
HDW	HOLLOW CORE WOOD
HDW	HARDWARE
HM	HOLLOW METAL
HOR.Z.	HORIZONTAL
HR	HOUR
HRAL	HARDWAL
HT	HEIGHT
HVAC	HEATING, VENTILATION AIR CONDITIONING
I	
IN	INCH
INSUL	INSULATION / INSULATED
INT.	INTERIOR
J	
JT	JOINT
JST	JOIST
L	
LAV	LAVATORY
L.F.	LINEAR FOOT / FEET
LT	LIGHT
M	
MAT	MATERIAL
MAX.	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MEP	MECH / ELEC / PLUMBING
H	
M.O.	MASONRY OPENING
MTL	METAL
MFR.	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MULL.	MULLION
N	
NIC	NOT IN CONTRACT
NO	NUMBER
NOM.	NOMINAL
NTS	NOT TO SCALE
O	
O.C.	ON CENTER
O.D.	OVERFLOW ROOF DRAIN
OF / OI	OWNER FURNISHED OWNER INSTALLED
OF / OI	OWNER FURNISHED CONTRACTOR INSTALLED
OH	OVERHEAD
OPG	OPENING
OPP	OPPOSITE
P	
PART.	PARTITION
PB	PIPE BOLLARD
PLAM	PLASTIC LAMINATE
PT	PRESSURE TREATED
PT	PAINT
PTD	PAINTED
PTD	PAPER TOWEL DISPENSER
PVC	POLYVINYL CHLORIDE
R	
R	RADIUS
RB	RUBBER BASE
RBR	RUBBER
RD	ROOF DRAIN
REFL.	REFLECTED
REINF.	REINFORCED
REQD.	REQUIRED
RESIST.	RESISTANT
REV.	REVISED / REVISION
RM	ROOM
R.O.	ROUGH OPENING
RT	RUBBER TILE
S	
SCHED	SCHEDULED
SOLID	SOLID CORE WOOD
SECT	SECTION
S.F.	SQUARE FOOT / FEET
SIM	SIMILAR
S	STRUCTURAL LINE
SPEC.	SPECIFICATION(S)
SQ	SQUARE
SQ. FT.	SQUARE FOOT / FEET
STD	STANDARD
STL	STEEL
STNDG.	STANDING
S.STL	STAINLESS STEEL
STOR	STORAGE
STRUCT.	STRUCTURAL
SUSP	SUSPENDED
T	
TEL.	TELEPHONE
TEMP	TEMPERED
TLT	TOILET
T.O.S	TOP OF STEEL
T.O.W.	TOP OF WALL
T.P.D.	TOILET PAPER DISPENSER
TYP	TYPICAL
T.V	TELEVISION
U	
U.F.	UNFINISHED
U.N.O.	UNLESS NOTED OTHERWISE
V	
VAR.	VARIES
V.B.	VINYL BASE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VTR.	VENT THRU ROOF
W	
W/	WITH
W/C	WALL COVERING
W/D	WOOD
W/DW	WINDOW
W/O	WITH OUT
Y	
YD	YARD
SYMBOLS	
@	AT
&	AND
%	PERCENT
+/-	APPROXIMATE
Ø	DIAMETER
∠	ANGLE

GENERAL CONSTRUCTION NOTES

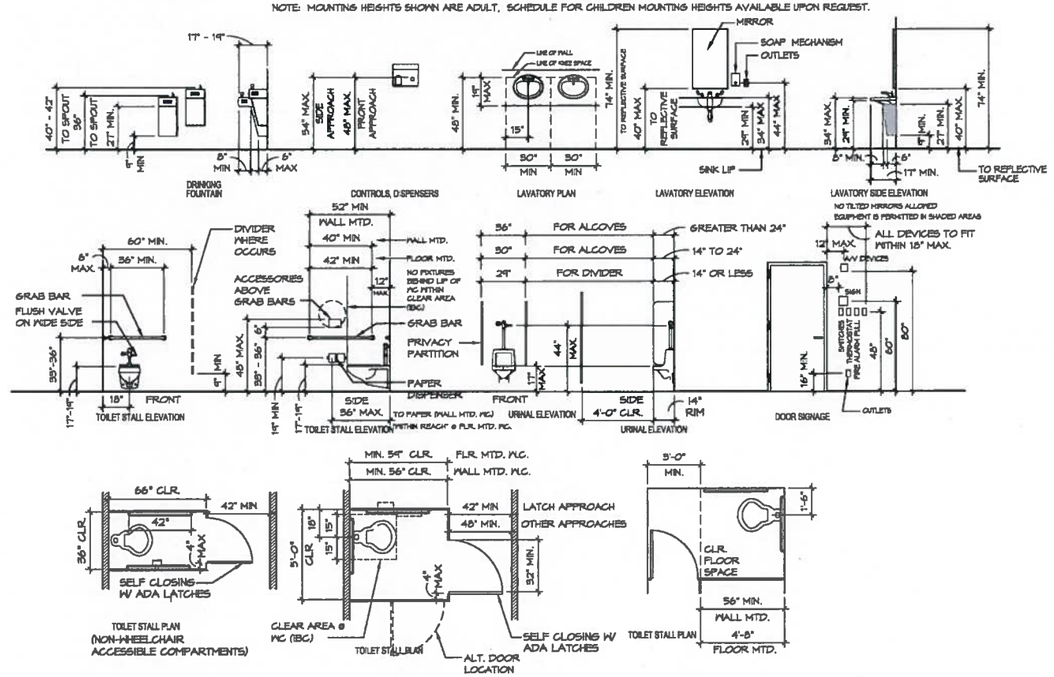


MATERIALS LEGEND



STANDARD ACCESSIBLE MOUNTING HEIGHTS

NOTE: MOUNTING HEIGHTS SHOWN ARE ADULT. SCHEDULE FOR CHILDREN MOUNTING HEIGHTS AVAILABLE UPON REQUEST.



DESIGN DATA

BUILDING CODE:

2012 INTERNATIONAL ENERGY CODE
2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL PLUMBING CODE
2014 NATIONAL ELECTRICAL CODE
2012 AMERICANS WITH DISABILITIES ACT

OCCUPANCY CLASSIFICATION:	B (BUSINESS)
CONSTRUCTION TYPE:	V-N (NON-RATED)
NUMBER OF FLOORS:	ONE
BASIC ALLOWABLE AREA:	8,600 S.F.
BASIC ALLOWABLE AREA W/ INCREASES:	17,000 S.F.
PROPOSED AREA:	900 S.F.
MAX. ALLOWABLE HEIGHT:	24'
PROPOSED BUILDING HEIGHT:	20'

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND STANDARDS HAVING JURISDICTION. IF THERE ARE ANY DISCREPANCIES, QUESTIONS OR CONFLICTS CONCERNING COMPLIANCE THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK IN QUESTION.
2. ALL NECESSARY PERMITS, LICENSES, CERTIFICATES AND TESTING, ETC. SHALL BE PROVIDED AND PAID FOR BY THE CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.
3. CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY REVIEWING THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO: DIMENSIONAL ACCURACY AND COMPLETENESS. CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN AND MEETS ALL APPLICABLE CODES BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR SHALL REQUEST AND OBTAIN, IN WRITING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION AND ANY RELATED ELEMENTS OF THE WORK.
4. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZES AND LOCATIONS OF ALL OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, EQUIPMENT AND OTHER COMPONENTS OF ALL TRADES.
5. THIS SHALL INCLUDE EQUIPMENT AND FURNISHING TO BE PROVIDED BY OWNER OR OTHERS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND VERIFYING EXISTING SITE CONDITIONS AND ITS IMPACT ON EXECUTING THE WORK. THIS SHALL EXTEND TO CHANGES IN THE WORK. IN SUCH AN EVENT THE CONTRACTOR'S PROPOSAL FOR ANY CHANGE IN THE WORK SHALL BE DEEMED TO INCLUDE ALL WORK NECESSARY TO FULLY COMPLETE THE CHANGE AND NO FURTHER COMPENSATION SHALL BE DUE NOR CLAIMS SUBMITTED FOR SAME.
6. ALL MATERIALS FURNISHED UNDER THIS CONTRACT SHALL BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.
7. ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. IN THE EVENT THAT INTERPRETATIONS OF SAME ARE REQUIRED TO SATISFY UNIQUE SITE CONDITIONS, SUCH INTERPRETATIONS SHALL BE MADE BY THE ARCHITECT OR ARCHITECT'S CONSULTANTS. IN NO EVENT SHALL THE CONTRACTOR PERFORM ANY WORK IN A MANNER THAT WILL VOID ANY MANUFACTURER'S WARRANTIES OR GUARANTEES.
8. UNLESS SPECIFICALLY NOTED OTHERWISE, THE CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED TESTING AND INSPECTIONS BY A QUALIFIED INDEPENDENT TESTING AGENCY LICENSED TO PERFORM SUCH WORK AND ACCEPTABLE TO THE ARCHITECT. THESE TESTING AND INSPECTION REQUIREMENTS INCLUDE THOSE IDENTIFIED IN THE CONTRACT DOCUMENTS AS WELL AS THOSE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
9. CONTRACTOR SHALL PROTECT EXISTING WORK TO REMAIN AS WELL AS ADJACENT PROPERTY AND REPAIR ANY ITEMS DAMAGED DURING EXECUTION OF THE WORK AT THE CONTRACTOR'S SOLE EXPENSE.
10. CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND SAFE CONDITION AND REMOVE ANY DEBRIS FROM THE SITE. THIS INCLUDES PROVIDING ANY TEMPORARY BARRICADES, BRACING AND SUPPORTS TO PREVENT FALLS, BREAKAGE AND COLLAPSE. THE CONTRACTOR SHALL PERFORM SUCH WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATION APPLICABLE TO THE WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR LIABLE FOR SITE CONDITIONS NOR CONSEQUENCES OF SAME.
11. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR REVIEW AND APPROVAL, A PROJECT SCHEDULE THAT IS TO INCLUDE ORDERING AND DELIVERY DATES OF THE CRITICAL MATERIALS AND EQUIPMENT. THE CONTRACTOR SHALL ALSO SUBMIT A SHOP DRAWING / SUBMITTAL SCHEDULE BASED ON THE PROJECT SCHEDULE WHICH ALLOWS 10 BUSINESS DAYS FOR THE ARCHITECT'S REVIEW OF SUCH SHOP DRAWINGS / SUBMITTALS WITHOUT ANY ADVERSE AFFECT ON THE APPROVED CONSTRUCTION SCHEDULE. THE SCHEDULE SHOULD ANTICIPATE AND ALLOW TIME FOR RESUBMITTALS AND REJECTIONS.
12. THE ORDERING, FABRICATION AND INSTALLATION OF ANY COMPONENT OF THE WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR HAS RECEIVED APPROVED SHOP DRAWINGS / SUBMITTALS AS THEY MAY APPLY TO THE WORK. THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS / SUBMITTALS SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF COORDINATION, ACCURACY, QUANTITIES OF THE WORK AND ITS INDIVIDUAL ELEMENTS AS WELL AS COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
13. THE LOCATION OF CEILING MOUNTED ITEMS ON THE ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER M.E.P. DRAWINGS. IN THE EVENT OF CONFLICTS AND DISCREPANCIES BETWEEN THE DRAWINGS OF DIFFERENT DISCIPLINES, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND REQUEST A CLARIFICATION.
14. THE INTENT OF THE CONTRACT DOCUMENTS IS FOR THE CONTRACTOR TO INCLUDE ALL WORK NECESSARY TO PROVIDE A COMPLETE, FUNCTIONAL AND OPERATIONAL FACILITY WHETHER EXPLICITLY SHOWN IN THE CONTRACT DOCUMENTS OR NOT.
15. ALL WORK NOTED 'N.I.C.', 'NOT IN CONTRACT' OR 'BY OTHERS' INDICATES ITEMS NOT INCLUDED IN THE WORK OF THIS CONTRACT BUT TO BE PROVIDED BY OTHERS UNDER SEPARATE CONTRACT OR BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY FOR SUCH ITEMS SHALL BE LIMITED TO COORDINATING THEIR WORK AS NECESSARY TO PROPERLY INCORPORATE THESE ITEMS INTO THE WORK AND TO PROVIDE REASONABLE ACCESS AND FACILITIES FOR THE EXECUTION OF SUCH WORK BY OTHERS.
16. 'ALIGN' WHEN USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
17. 'TYPICAL' OR 'TYP.' AS USED IN THE CONTRACT DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS SPECIFIC EXCEPTIONS OR CONDITIONS ARE NOTED.
18. 'SIMILAR' OR 'SIM' AS USED IN THE CONTRACT DOCUMENTS SHALL MEAN THAT THE CONDITION IS SIMILAR TO A CONDITION DETAILED FOR ANOTHER LOCATION.

Architecture Plus
AUSTIN ARCHITECTURE PLUS, INC.
1807 N. LAMAR BLVD #200
AUSTIN, TX. 78705
T (512) 478-8878 F (512) 478-9928
info@austinarchitecturplus.com

PRELIMINARY
NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION
MACK ROBINSON AIA TBAE 04919
6/4/2015

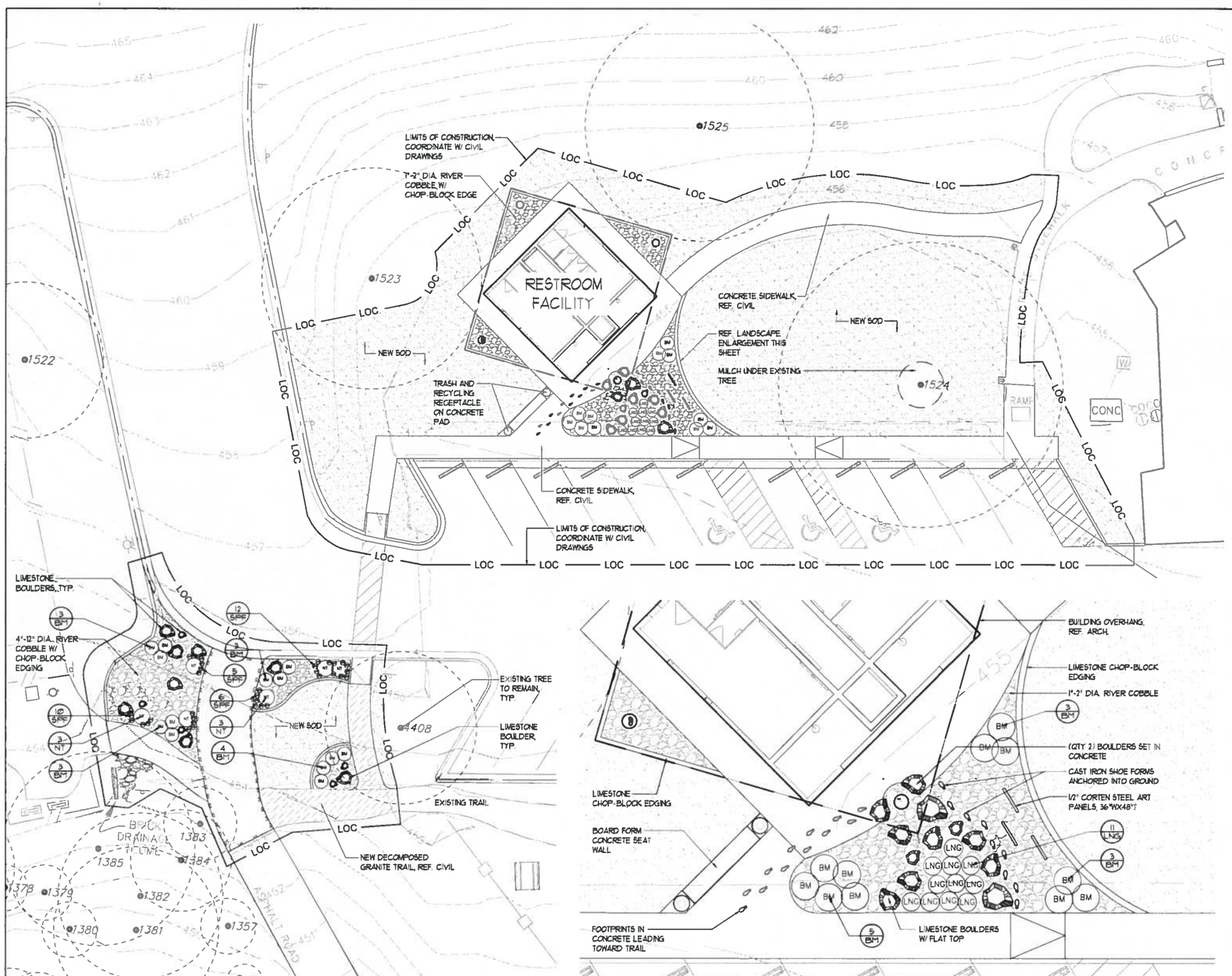
AUSTIN PARKS & RECREATION

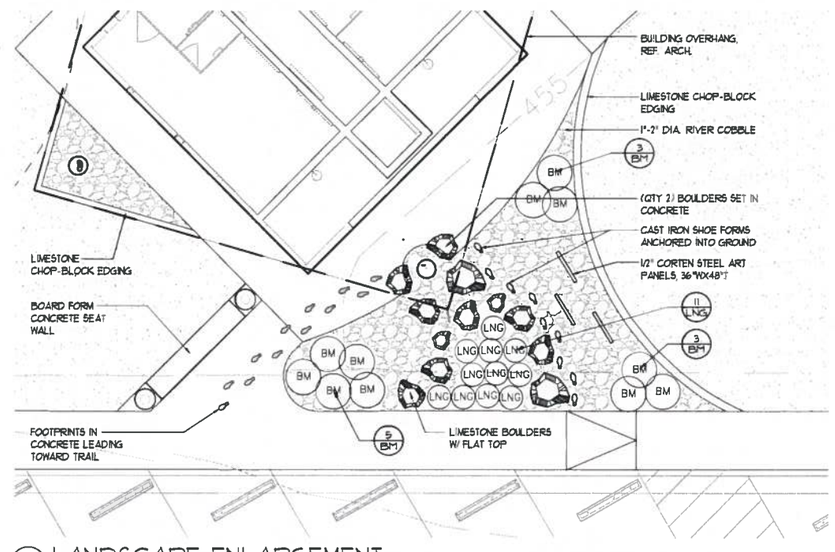
ZILKER METRO PARK TRAILHEAD RESTROOM
CITY OF AUSTIN PARKS & RECREATION DEPARTMENT
GENERAL INFORMATION

ISSUE DATE: 10-9-2015
DRAWN BY: RT
CHECKED BY: MR

No.	DATE	REMARKS

G1.0
GENERAL INFORMATION
PROJECT #132402





LANDSCAPE ENLARGEMENT

SCALE: 1"=5'-0"

SITE DEVELOPMENT PERMIT LANDSCAPE NOTES:

1. ALL LANDSCAPED AREAS TO BE PROTECTED BY 6 INCH CURBS, WHEEL-STOPS OR OTHER APPROVED BARRIERS PER ECM 2.4.7.
2. THE OWNER WILL CONTINUOUSLY MAINTAIN THE REQUIRED LANDSCAPING IN ACCORDANCE WITH LDC 25-2-984.
3. EXISTING TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIALS SHALL BE STORED OR OPERATED WITHIN THE FENCED-IN AREAS. FENCES SHALL BE AT THE DRIP LINE AND COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES. NO BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS, ETC. WILL BE ALLOWED WITHIN THESE AREAS.
4. BUFFERING OF THE STREET YARD WILL BE ACCOMPLISHED THROUGH THE COMBINATION OF TREES, SHRUBS, GRADE CHANGES, AND FENCES.
5. GRADE CHANGES THAT DO NOT APPEAR ON THE SITE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
6. TRENCHING SHALL NOT OCCUR WITHIN THE FENCED DRIP LINE AREAS OF EXISTING TREES.
7. SHRUB MATERIAL NOT TO EXCEED 36" O.C. UNLESS OTHERWISE SPECIFIED. GROUNDCOVERS NOT TO EXCEED 18" O.C. DURING THE TIME OF MARCH 15-OCTOBER 15 INSTALLATION OF HYDROMULCH SHALL BE COMMON BERMUDA OR SAHARA BERMUDA FOR OCTOBER 16 - MARCH 14 INSTALLATION OF HYDROMULCH SHALL BE ANNUAL OR PERENNIAL RYE WITH A SPRING APPLICATION OF COMMON BERMUDA OR SAHARA BERMUDA.
8. EDGING SHALL BE PLACED AT ALL GROUNDCOVER BEDS THAT ARE ADJACENT TO LAWNS.
9. ALL LAWN AREAS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE RE-VEGETATED WITH BERMUDA SOD OR RYE UNLESS NATIVE RESTORATION MIX IS SPECIFIED.
10. NOT MORE THAN 50% OF THE TREES AND 50% OF SHRUBS PROPOSED WILL BE OF THE SAME SPECIES.
11. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED. SEE IRRIGATION NOTES IN THESE DRAWINGS FOR REQUIREMENT.
12. IF ESTABLISHING VEGETATION DURING ANY STAGE OF DROUGHT, SECTION 6-4-30 MAY REQUIRE A VARIANCE. CONTACT AUSTIN WATER CONSERVATION STAFF AT (512-974-2199 OR AT WATERWISECOMPVAR@AUSTINTEXAS.GOV.

BOULDER SCHEDULE

LIMESTONE BOULDERS
SIZES VARY FROM 24"LX24WX12"H TO 42"LX24"WX18"H

LANDSCAPE

I, MICHAEL R. FISHBAUGH, DO HEREBY CERTIFY THAT THE PLANS FOR THE DEVELOPMENT PROJECT LOCATED AT THE ZILKER PARK TRAIL HEAD WEST OF THE ZILKER THEATER, SATISFY THE REQUIREMENTS OF LDC 25-2 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE (LANDSCAPE ORDINANCE) AND ALL AMENDMENTS.

1/30/2015

MICHAEL R. FISHBAUGH, ASLA — DATE
COLEMAN & ASSOCIATES

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE LANDSCAPE ARCHITECT WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE LANDSCAPE ARCHITECT.

NORTH — SCALE IN FEET (1"=10')
0 5 10 20 30

SITE PLAN RELEASE — Sheet ___ of ___
FILE NUMBER: ___ EXPIRATION DATE: ___
CASE MANAGER: ___ APPLICATION DATE: ___
APPROVED ADMINISTRATIVELY ON: ___
APPROVED BY PLANNING COMMISSION ON: ___
APPROVED BY CITY COUNCIL ON: ___
Under Section ___ of Chapter ___ of the Austin City Code.
Signing For Director, Planning and Development Review Department
DATE OF RELEASE: ___ INITIALS: ___
Rev. 1 ___ Correction 1 ___
Rev. 2 ___ Correction 2 ___
Rev. 3 ___ Correction 3 ___

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

COLEMAN & ASSOCIATES
Landscape Architecture
Environmental Design

9900 Silver Mountain Drive
Austin, Texas 78737
Ph: 512-476-2000
F: 512-476-2009

1602 Baccarat
San Antonio, Texas 78258
Ph: 210-402-4560
F: 210-402-8930

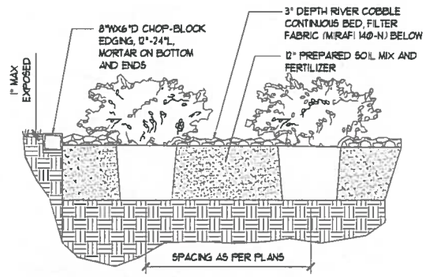
DESIGN DOCUMENTS
LANDSCAPE PLAN

ZILKER PARK TRAIL HEAD TOILETS
CITY OF AUSTIN PARD
AUSTIN, TX

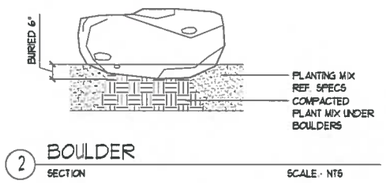
REVISIONS

SCALE:	1"=10'-0"
DRAWN BY:	JET
CHECKED BY:	MRF
APP. BY:	MRF
PROJECT NO.	102-14-02A
DATE:	01-30-2015

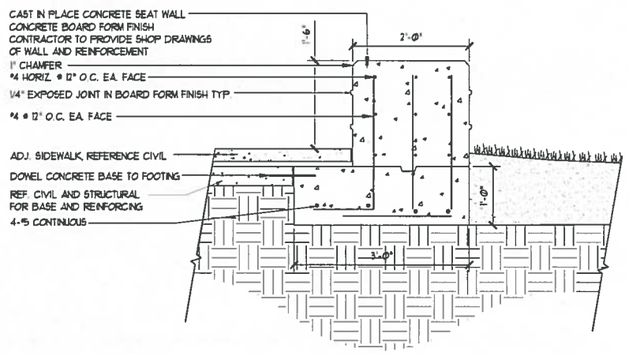
SHEET:
L100
OF



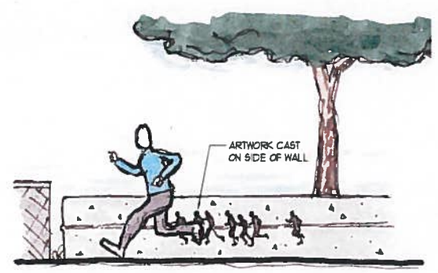
1 SHRUB PLANTING
SECTION SCALE: NTS



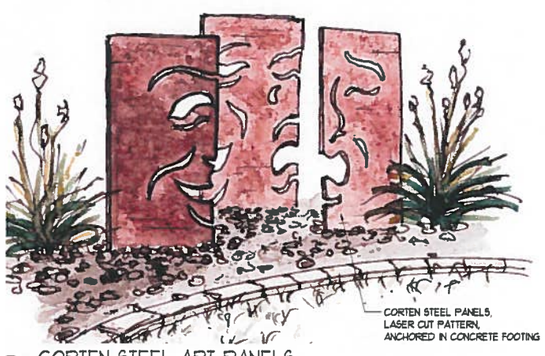
2 BOULDER
SECTION SCALE: NTS



3 BOARD FORMED CONCRETE SEAT WALL
SECTION SCALE: 1"=1'-0"



4 BOARD FORMED CONCRETE SEAT WALL
ELEVATION SCALE: NTS



5 CORTEN STEEL ART PANELS
ELEVATION SCALE: NTS

SITE DEVELOPMENT PERMIT IRRIGATION NOTES:

1. AUTOMATIC IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS. THESE REQUIREMENTS SHALL BE NOTED ON THE SITE DEVELOPMENT PERMIT AND SHALL BE IMPLEMENTED AS PART OF THE LANDSCAPE INSPECTION:

2. A NEW COMMERCIAL AND MULTI-FAMILY IRRIGATION SYSTEM MUST BE DESIGNED AND INSTALLED SO THAT:
   - (A) THERE IS NOT DIRECT OVER-SPRAY ONTO NON-IRRIGATED AREAS.
   - (B) THE SYSTEM DOES NOT INCLUDE SPRAY IRRIGATION ON AREAS LESS THAN SIX (6) FEET WIDE (SUCH AS MEDIANS, BUFFER STRIPS, AND PARKING LOT ISLANDS).
   - (C) ABOVE-GROUND IRRIGATION EMISSION DEVICES ARE SET BACK AT LEAST SIX (6) INCHES FROM IMPERVIOUS SURFACES.
   - (D) THE IRRIGATION SYSTEM HAS A MASTER VALVE.
   - (E) CIRCUIT REMOTE CONTROL VALVES HAVE ADJUSTABLE FLOW CONTROLS.
   - (F) SERVICEABLE IN-HEAD CHECK VALVES ARE ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE.
   - (G) THE IRRIGATION SYSTEM HAS A CITY- APPROVED WEATHER BASED CONTROLLER.
   - (H) AN AUTOMATIC RAIN SHUT-OFF DEVICE SHUTS OFF THE IRRIGATION SYSTEM AUTOMATICALLY AFTER NOT MORE THAN A ONE-HALF INCH (1/2") RAINFALL.
   - (I) ZONE VALVES AND CIRCUITS ARE SEPARATED BASED ON PLANT WATER REQUIREMENTS.
   - (J) AN IRRIGATION EMISSION DEVICE (SUCH AS SPRAY, ROTOR, OR DRIP EMITTER) DOES NOT EXCEED THE MANUFACTURER'S RECOMMENDED OPERATING PRESSURE.
   - (K) NO COMPONENT OF THE IRRIGATION SYSTEM DEVIATES FROM THE MANUFACTURER'S RECOMMENDED USE OF THE PRODUCT.

3. THE MAXIMUM SPACING BETWEEN SPRAY OR ROTARY SPRINKLER HEADS MUST NOT EXCEED THE RADIUS OF THROW OF THE HEAD UNLESS MANUFACTURER OF THE SPRINKLER HEAD SPECIFICALLY RECOMMENDS A GREATER SPACING. THE RADIUS OF THROW IS DETERMINED BY REFERENCE TO THE MANUFACTURER'S SPECIFICATIONS FOR A SPECIFIC NOZZLE AT A SPECIFIC OPERATING PRESSURE.

4. THE IRRIGATION INSTALLER SHALL DEVELOP AND PROVIDE AN AS-BUILT DESIGN PLAN AND WATER BUDGET TO THE CITY AT THE TIME THE FINAL PLUMBING INSPECTION IS PERFORMED. THE WATER BUDGET SHALL INCLUDE:
   - (A) A CHART CONTAINING ZONE NUMBERS, PRECIPITATION RATE, AND GALLONS PER MINUTE; AND
   - (B) THE LOCATION OF THE EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR.

5. THE IRRIGATION INSTALLER SHALL PROVIDE A REPORT TO THE CITY ON A FORM PROVIDED BY THE AUSTIN WATER UTILITY DEPARTMENT CERTIFYING COMPLIANCE WITH SUBSECTION 1 WHEN THE FINAL PLUMBING INSPECTION IS PERFORMED BY THE CITY.

PLANTING SCHEDULE

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT	SPACING
LNG	11	NEW GOLD LANTANA / LANTANA X 'NEW GOLD'	3 GAL	24" o.c.
SFF	33	SILVER DICHONDRA / DICHONDRA ARGENTEA	1 GAL	12" o.c.
NT	6	TEXAS SACAHUISTA / NOLINA TEXANA	10 GAL	42" o.c.
BM	24	BIG MUHLY / MUHLENBERGIA LINDHEIMERI	10 GAL	36" o.c.

TURF	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT
	SOD	6,376 SF	BERMUDA GRASS / CYNODON DACTYLON 'TIF 419'	SOD

LANDSCAPE NOTES:

1. ALL WEEDS WITHIN THE PROJECT AREA ARE TO BE REMOVED AND TAKEN OFF SITE BY THE CONTRACTOR. ROOT SYSTEMS SHOULD BE ERADICATED.

2. FINISH GRADES OF PLANT BED AREAS (TOP OF MULCH), SOD (TOP OF SOD), HYDROMULCH (TOP OF TOPSOIL), SHALL BE FLUSH WITH ADJACENT PAVING.

3. TRENCHING AND SITE WORK PERFORMED WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE DONE BY HAND OR AIR SPADE UNLESS OTHERWISE SPECIFIED BY THE LANDSCAPE ARCHITECT. NO ROOTS OVER 1" DIA. SHALL BE CUT.

4. VERIFY PLANT COUNTS AND SQUARE FOOTAGES. QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL.

5. LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPHS PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.

6. PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.

7. PLANTS. PLANT NAMES USED ON THE PLANS COMPLY WITH STANDARD HORTICULTURAL NOMENCLATURE, AND NAMES GENERALLY ACCEPTED IN THE NURSERY TRADE. THE LANDSCAPE ARCHITECT, OR OWNERS REPRESENTATIVE SHALL REVIEW ALL PLANTS AT THE TIME OF DELIVERY TO THE SITE. IF THE CONTRACTOR FAILS TO NOTIFY THE LANDSCAPE ARCHITECT, OR OWNERS REPRESENTATIVE FORTY-EIGHT (48) HOURS IN ADVANCE OF THE DELIVERY TIME, AND/OR DOES NOT CALL FOR OBSERVATION OF THE MATERIAL, THE CONTRACTOR SHALL BE LIABLE FOR ALL REMOVAL AND REPLACEMENT COSTS OF THE PLANT MATERIAL. THE PLANT MATERIAL WILL BE JUDGED AND ACCEPTED OR REJECTED ON BASIS OF THE FOLLOWING CRITERIA:
   - a. PROVIDE PLANTS OF QUALITY, SIZE, GENUS, SPECIES, AND VARIETY AS INDICATED ON THE PLANS AND AS COORDINATED WITH THE LANDSCAPE ARCHITECT.
   - b. PLANTS SHALL BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS, CONFORMING TO ANSI Z60.1
   - c. TREE CANOPIES SHALL HAVE AN INTACT AND UNDAMAGED CENTRAL LEADER.
   - d. TREES ARE REQUIRED TO STAND UPRIGHT WITH NO SUPPORT AND HAVE PROPER TRUNK CALIPER AND TAPER. TREES HAVING "BROOM STICK" TRUNKS WITH "POODLE" TOPS WILL NOT BE ACCEPTED.
   - e. BARK SHALL BE DAMAGE FREE WITH ALL MINOR CUTS AND ABRASIONS SHOWING HEALING TISSUE. FOLIAGE, ROOTS AND STEMS OF ALL PLANTS SHALL BE OF VIGOROUS HEALTH AND NORMAL HABIT OF GROWTH FOR ITS SPECIES. ALL PLANTS SHALL BE FREE OF INSECT INFESTATIONS AND DISEASES.
   - f. SHRUBS TRANSPLANTED IN AN UP-SIZED CONTAINER LARGER THAN SPECIFIED SIZE, SHALL HAVE BEEN GROWN IN THAT CONTAINER FOR A SUFFICIENT LENGTH OF TIME TO DEVELOP NEW FIBROUS ROOTS, SO THAT ROOT MASS WILL FILL THE CONTAINER.
   - g. AREAS DISTURBED BY CONSTRUCTION AND ARE NOT SCHEDULED TO BE IMPROVED SHALL BE REPAIRED TO THE STATE THAT IT WAS PRIOR TO THE START OF CONSTRUCTION.

8. CONTAINER GROWN STOCK WILL HAVE THE OUTSIDE EDGE OF THE ROOTBALL LOOSENED BY HAND AFTER REMOVING FROM THE CONTAINER.

9. PRUNE NEWLY PLANTED TREES ONLY AS DIRECTED BY LANDSCAPE ARCHITECT.

10. PROVIDE SPECIFIED EDGING AS DIVIDER BETWEEN PLANTING BEDS AND LAWN AREAS.

11. PLANT SPACING LISTED IN PLANT SCHEDULE IS A MAXIMUM TYPICAL SPACING. IF PLANTS ARE SHOWN CLOSER ON THE PLAN THEY SHOULD BE INSTALLED PER THE PLAN.

SITE PLAN RELEASE Sheet ____ of ____
FILE NUMBER: _____ EXPIRATION DATE: _____
CASE MANAGER: _____ APPLICATION DATE: _____
APPROVED ADMINISTRATIVELY ON: _____
APPROVED BY PLANNING COMMISSION ON: _____
APPROVED BY CITY COUNCIL ON: _____
Under Section _____ of Chapter _____ of the Austin City Code.

Signing For Director, Planning and Development Review Department

DATE OF RELEASE: _____ ZONING: _____
Rev 1 _____ Correction 1: _____
Rev 2 _____ Correction 2: _____
Rev 3 _____ Correction 3: _____

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

COLEMAN & ASSOCIATES
Landscape Architecture
Environmental Design

9600 Silver Mountain Drive
Austin, Texas 78737
Ph: 512-476-2999
F: 512-476-2999

1602 Beacorat
San Antonio, Texas 78258
Ph: 210-402-4690
F: 210-402-4690

DESIGN DEVELOPMENT
LANDSCAPE DETAILS

ZILKER PARK TRAIL HEAD TOILETS
CITY OF AUSTIN PARD
AUSTIN, TX

REVISIONS

SCALE:	VARIES
DRAWN BY:	JET
CHECKED BY:	MFP
APP BY:	MFP
PROJECT NO.	103-14-02A
DATE:	01-20-2015

SHEET:
L101
OF

GENERAL NOTES

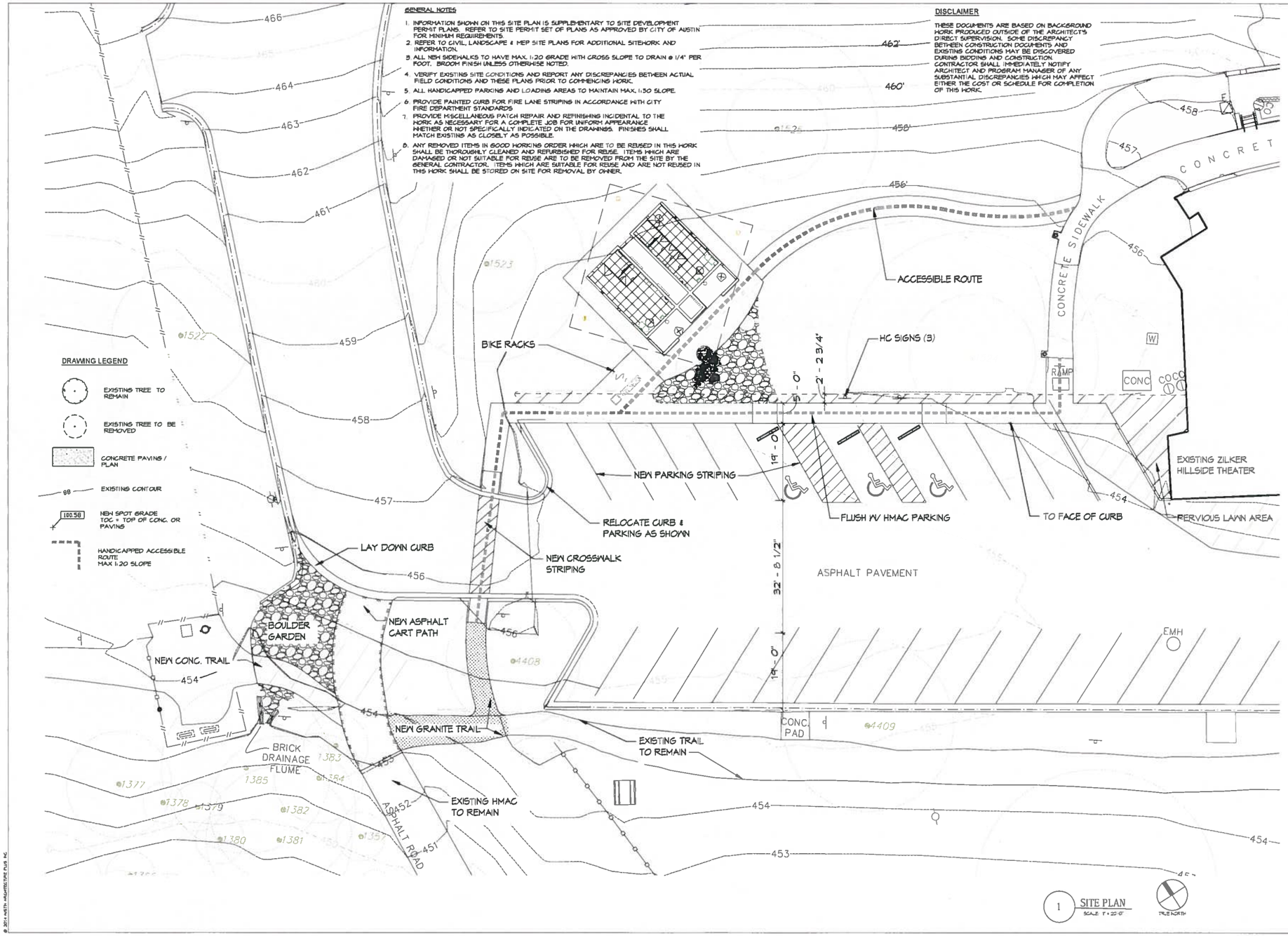
1. INFORMATION SHOWN ON THIS SITE PLAN IS SUPPLEMENTARY TO SITE DEVELOPMENT PERMIT PLANS. REFER TO SITE PERMIT SET OF PLANS AS APPROVED BY CITY OF AUSTIN FOR MINIMUM REQUIREMENTS.
2. REFER TO CIVIL, LANDSCAPE & MEP SITE PLANS FOR ADDITIONAL SITEWORK AND INFORMATION.
3. ALL NEW SIDEWALKS TO HAVE MAX. 1:20 GRADE WITH CROSS SLOPE TO DRAIN @ 1/4" PER FOOT. BROOM FINISH UNLESS OTHERWISE NOTED.
4. VERIFY EXISTING SITE CONDITIONS AND REPORT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THESE PLANS PRIOR TO COMMENCING WORK.
5. ALL HANDICAPPED PARKING AND LOADING AREAS TO MAINTAIN MAX. 1:50 SLOPE.
6. PROVIDE PAINTED CURB FOR FIRE LANE STRIPING IN ACCORDANCE WITH CITY FIRE DEPARTMENT STANDARDS
7. PROVIDE MISCELLANEOUS PATCH REPAIR AND REFINISHING INCIDENTAL TO THE WORK AS NECESSARY FOR A COMPLETE JOB FOR UNIFORM APPEARANCE WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS. FINISHES SHALL MATCH EXISTING AS CLOSELY AS POSSIBLE.
8. ANY REMOVED ITEMS IN GOOD WORKING ORDER WHICH ARE TO BE REUSED IN THIS WORK SHALL BE THOROUGHLY CLEANED AND REFURBISHED FOR REUSE. ITEMS WHICH ARE DAMAGED OR NOT SUITABLE FOR REUSE ARE TO BE REMOVED FROM THE SITE BY THE GENERAL CONTRACTOR. ITEMS WHICH ARE SUITABLE FOR REUSE AND ARE NOT REUSED IN THIS WORK SHALL BE STORED ON SITE FOR REMOVAL BY OWNER.

DISCLAIMER

THESE DOCUMENTS ARE BASED ON BACKGROUND WORK PRODUCED OUTSIDE OF THE ARCHITECT'S DIRECT SUPERVISION. SOME DISCREPANCY BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS MAY BE DISCOVERED DURING BIDDING AND CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT AND PROGRAM MANAGER OF ANY SUBSTANTIAL DISCREPANCIES WHICH MAY AFFECT EITHER THE COST OR SCHEDULE FOR COMPLETION OF THIS WORK.

DRAWING LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- CONCRETE PAVING / PLAN
- 98 EXISTING CONTOUR
- 100.58 NEW SPOT GRADE TOC = TOP OF CONC. OR PAVING
- HANDICAPPED ACCESSIBLE ROUTE MAX 1:20 SLOPE



Architecture Plus
AUSTIN ARCHITECTURE PLUS INC
1807 N. LAMAR BLVD #200
AUSTIN, TX 78705
VOICE (512) 478-4908 FAX (512) 478-4929
info@austinarchplus.com

PRLIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION
MAC RAGSDALE, AIA
TBAE #8610

AUSTIN PARKS & RECREATION

ZILKER METRO PARK TRAILHEAD RESTROOM
for the CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

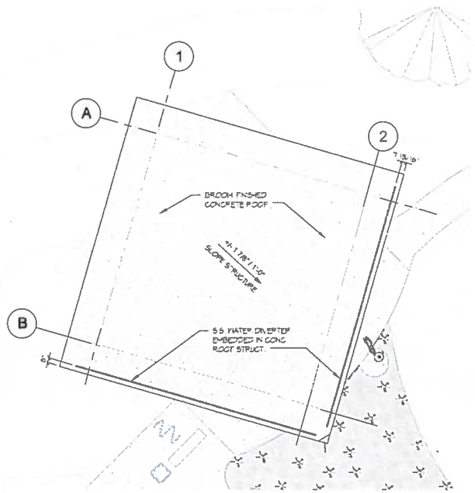
SITE PLAN

ISSUE DATE: 10/9/2015
DRAWN BY:
CHECKED BY:
REVISIONS

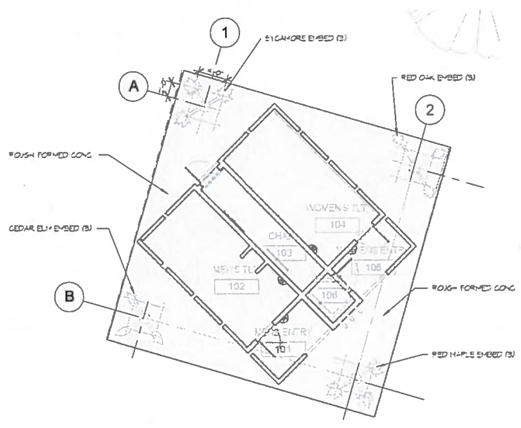
NO.	DATE	REMARKS

SHEET
AS-1.0
OF
FILE NAME: SITE PLAN
PROJECT NUMBER: PROJECT #132402

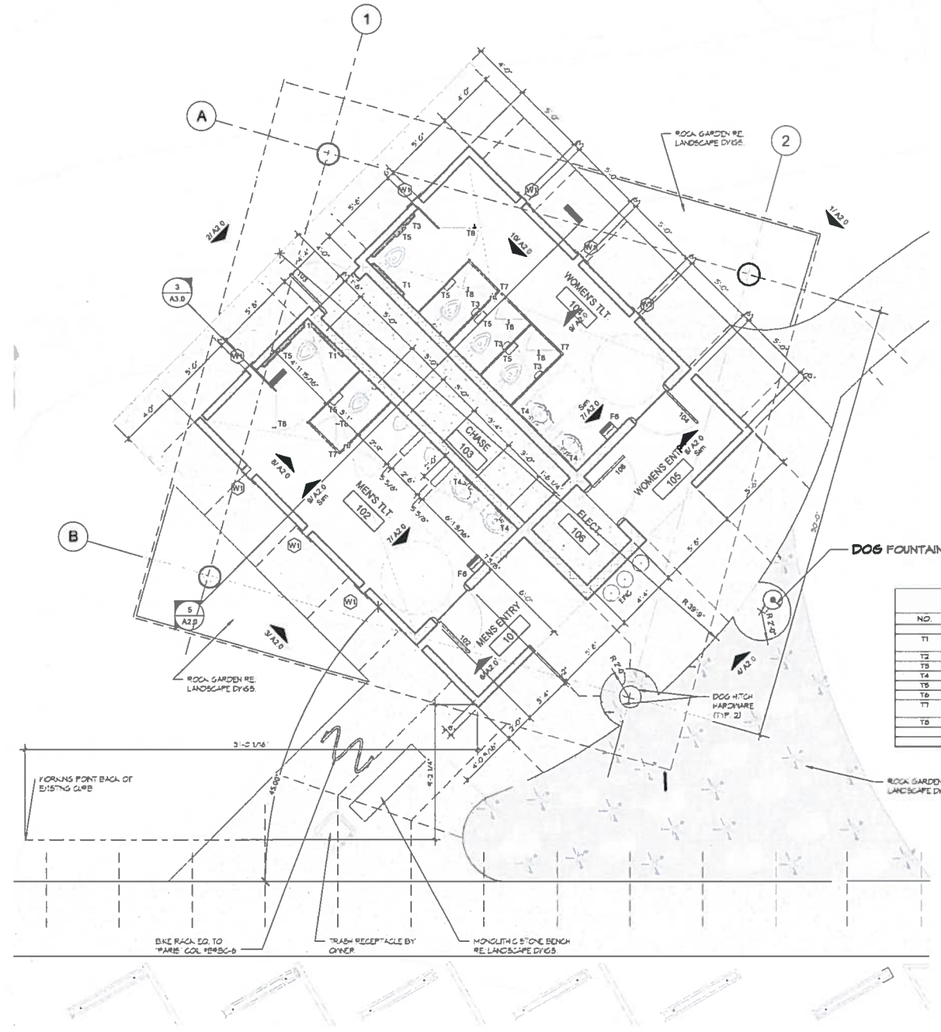
Design Developement Interim Review Set



3 ROOF PLAN
1/8" = 1'-0"



2 REFLECTED CEILING PLAN
1/8" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"

PLAN NORTH

PLAN GENERAL NOTES

1. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS BEFORE AND DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS BEFORE COMMENCING WORK. DO NOT SCALE DRAWINGS.
2. ALL DIMENSIONS SHOWN ON PLANS ARE TO FACE OF STUD, FACE OF FOUNDATION, FACE OF MASONRY OR CENTERLINE OF COLUMN UNLESS INDICATED OTHERWISE.
3. UNLESS NOTED AS "CLEAR" OR "CLR" INDICATE REQUIRED CLEAR DIMENSIONS TO FINISHED FACE OF MATERIAL.
4. EQUIPMENT INDICATED TO BE OWNER FURNISHED TO BE PROVIDED BY OWNER EITHER THROUGH ALLOWANCE OR UNDER SEPARATE CONTRACT. COORDINATE INSTALLATION WITH EQUIPMENT CONTRACTOR.
5. SEE SHEET G-1.0 FOR TYPICAL FOUNTAIN HEIGHT FOR HANDICAPPED ACCESSIBILITY.
6. CONTRACTOR SHALL NOT USE ANY ASBESTOS CONTAINING MATERIALS (ACM) IN ANY OF THE WORK.
7. CLEAN ALL SURFACES PRIOR TO OCCUPANCY.
8. MASONRY DIMENSIONS INDICATED ARE NOMINAL. ADD 3/8" TYP FOR MASONRY OPENINGS.
9. FINISHED FLOOR REFERENCE ELEVATION 0'-0". SEE CIVIL DWGS FOR ACTUAL ELEVATION RELATIVE TO SITE.
10. ALL SHELVES, THERMOSTATS AND ANY DEVICES ETC ARE TO BE LOCATED 60" (+/-) WITHIN 12" OF ALL DOORS AT STRIKE OF FRAME.

RCP GENERAL NOTES

1. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS BEFORE AND DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS BEFORE COMMENCING WORK. DO NOT SCALE DRAWINGS.
2. ALL SHELVES, THERMOSTATS AND ANY DEVICES ETC ARE TO BE LOCATED 60" (+/-) WITHIN 12" OF ALL DOORS AT STRIKE OF FRAME.

ROOF GENERAL NOTES

KEYED NOTES

TOILET ACCESSORY SCHEDULE

NO.	DESCRIPTION
T1	#3101-40 - 40" GRAB BARS MOUNT AT 33"-36" AFF #3101-36 - 36" GRAB BARS MOUNT AT 34" AFF.
T2	NOT USED
T3	#2052 FEMININE NAPKIN DISPOSAL
T4	#0600-2436 24"X36" SS FRAME PLATE GLASS MIRROR ABOVE LAVS
T5	#0042 JUMBO ROLL TOILET PAPER TISSUE DISPENSER
T6	# ELECT. HAND DRYER, SUPER QUIET, SURFACE MOUNT
T7	SOLID PLASTIC TOILET PARTITION PANELS DOORS AND STILES TYPE DOOR WIDTH 24"-36" @ ACCESSIBLE STALLS
T8	#0714 DOOR STOP/COAT HOOK @ 40" AFF ON INTERIOR STALL DOORS.

Architecture Plus
AUSTIN ARCHITECTURE PLUS, INC.
1707 N. LAMAR BLVD #100
AUSTIN, TX 78702
V (512) 476-8778 F (512) 476-7020
info@austinarchplus.com

PRELIMINARY

NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION

MAC RADDEDALE, AIA TSBE #8818
04-2015

AUSTIN PARKS & RECREATION
Austin Parks, Austin Rec

ZILKER METRO PARK TRAILHEAD RESTROOM
CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

FLOOR PLANS

ISSUE DATE: 10-9-2015

DRAWN BY: RT

CHECKED BY: MR

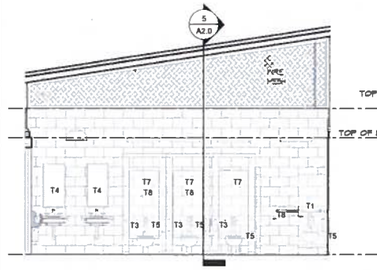
No.	DATE	REMARKS

A1.0

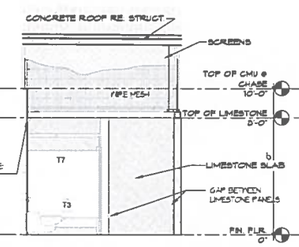
FLOOR PLANS

PROJECT NUMBER: PROJECT #132402

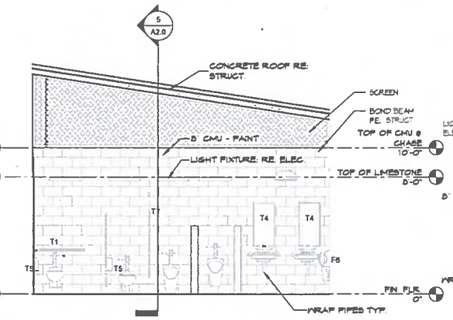
Design Development Interim Review Set



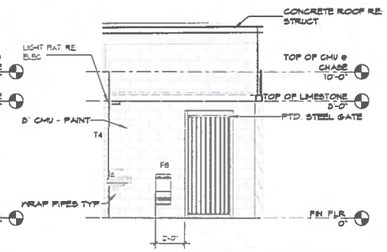
10 WOMENS TLTS
1/4" = 1'-0"



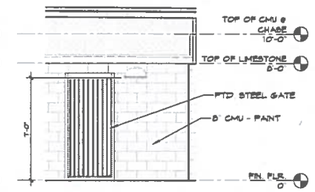
9 TYP. END WALL
1/4" = 1'-0"



8 MENS TLT
1/4" = 1'-0"



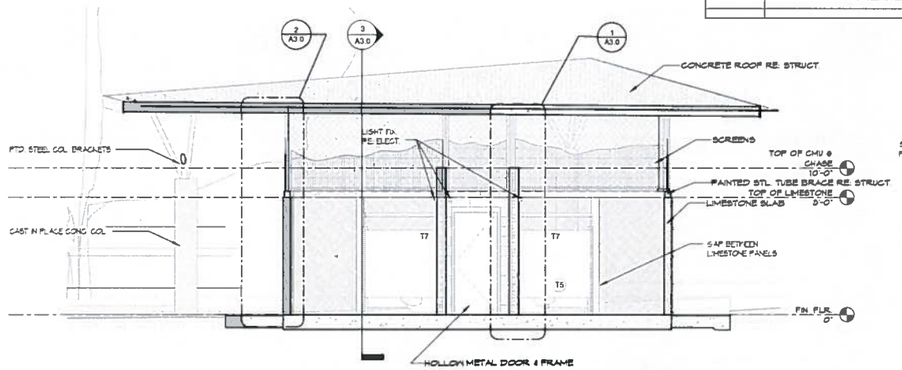
7 HAND DRYER ELEV.
1/4" = 1'-0"



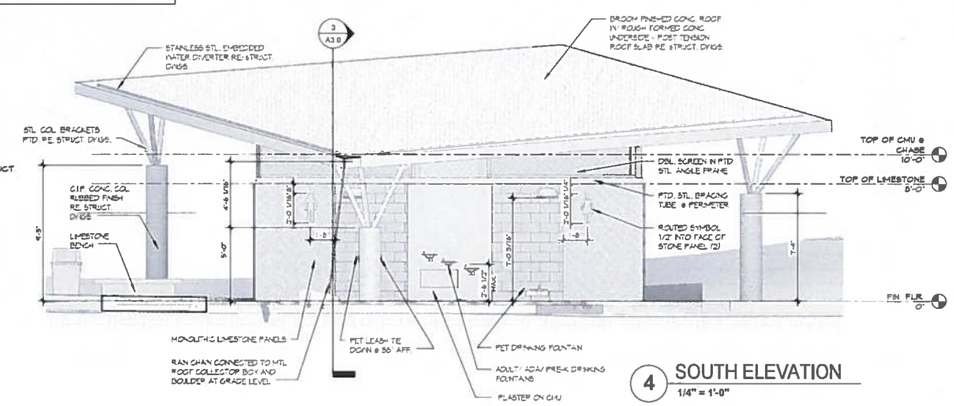
6 TYP ENTRY
1/4" = 1'-0"

TOILET ACCESSORY SCHEDULE

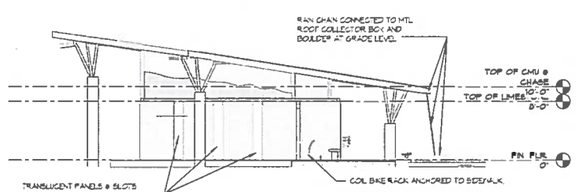
NO.	DESCRIPTION
T1	#5701-48 - 48" GRAB BARS MOUNT AT 33"-36" AFF #5701-36 - 36" GRAB BARS MOUNT AT 34" AFF
T2	NOT USED
T3	#0852 FEMININE NAPKIN DISPOSAL
T4	#0600-2436 24"X36" SS FRAME PLATE GLASS MIRROR ABOVE LAVS
T5	#0042 JUMBO ROLL TOILET PAPER TISSUE DISPENSER
T6	* ELEC1 HAND DRYER, SUPER QUIET SURFACE MOUNT
T7	SOLID PLASTIC TOILET PARTITION PANELS DOORS AND STILES TYPE DOOR WIDTH 24"-36" @ ACCESSIBLE STALLS
T8	*0714 DOOR STOP/COAT HOOK @ 48" AFF ON INTERIOR STALL DOORS



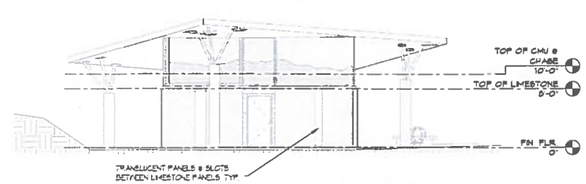
5 E-W BUILDING SECTION
1/4" = 1'-0"



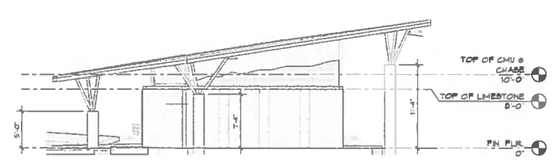
4 SOUTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

Architecture Plus
AUSTIN ARCHITECTURE PLUS, INC
1901 N. LAMAR BLVD #260
AUSTIN, TX. 78705
V (512) 473-1878 F (512) 473-1928
info@austinarchplus.com

PRELIMINARY
NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION
MAC RASSEDALE, AIA TSBE #8911
10-9-2015

AUSTIN PARKS & RECREATION
Austin Parks, Youth and Recreation

ZILKER METRO PARK TRAILHEAD RESTROOM
CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

EXTERIOR AND INTERIOR ELEVATIONS

ISSUE DATE: 10-9-2015
DRAWN BY: RT
CHECKED BY: MR

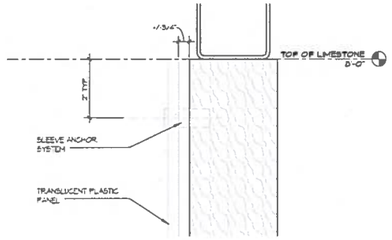
No.	DATE	REMARKS

A2.0

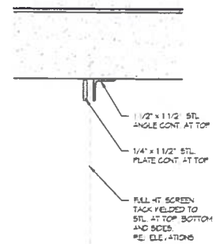
EXTERIOR AND INTERIOR ELEVATIONS

PROJECT NUMBER: PROJECT #132402

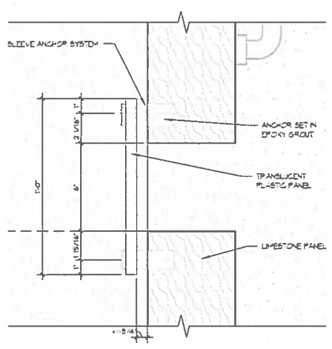
Design Development Interim Review Set



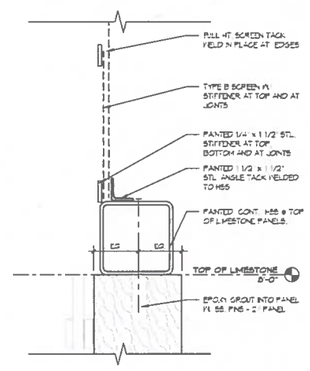
9 WINDOW SLOT HEAD DETAIL
3" = 1'-0"



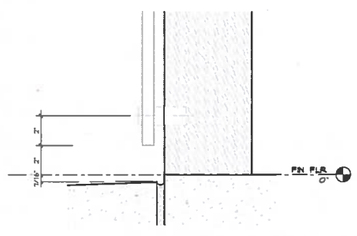
8 SCREEN HEAD DETAIL
3" = 1'-0"



7 WINDOW SLOT JAMB
3" = 1'-0"

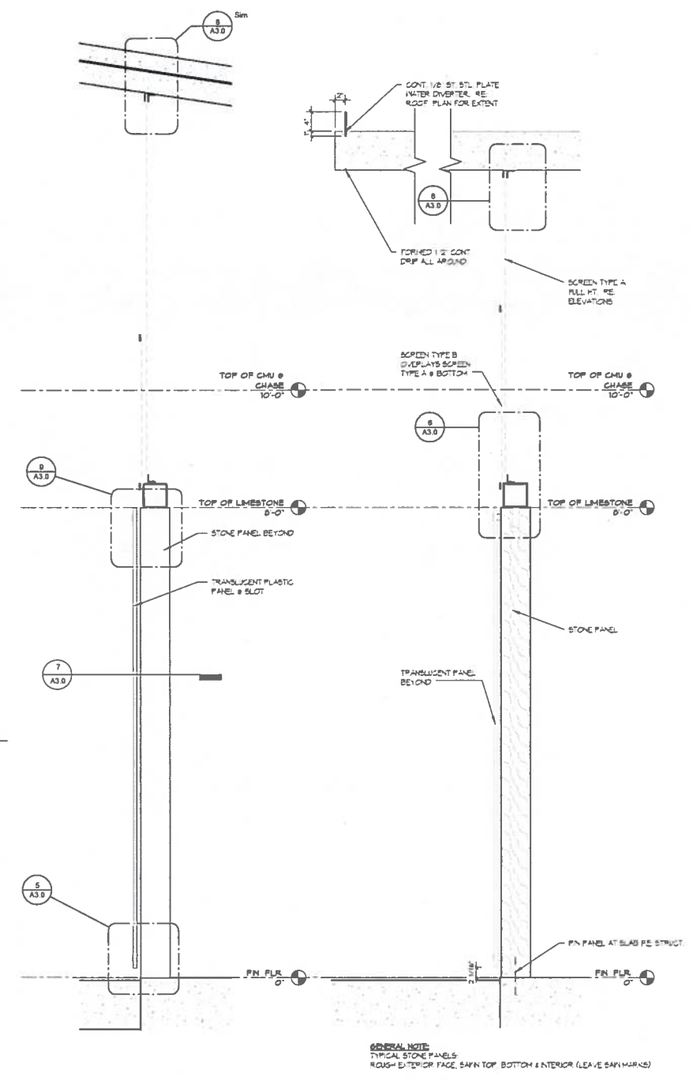


6 HSS CAPRAIL DETAIL
3" = 1'-0"



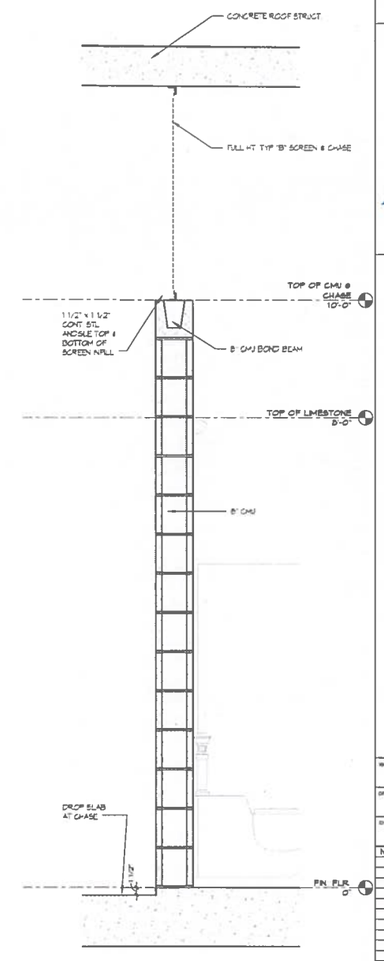
5 WINDOW SLOT SILL DETAIL
3" = 1'-0"

3 WDW. SLOT SECTION
1" = 1'-0"



GENERAL NOTE:
TYPICAL STONE PANELS:
ROUGH EXTERIOR FACE, SAWN TOP, BOTTOM & INTERIOR (LEAVE SAW MARKS)

2 WALL SECTION AT STONE
1" = 1'-0"



1 WALL SECTION @ CHASE WALL
1" = 1'-0"

Architecture Plus
AUSTIN ARCHITECTURE PLUS, INC
1907 N. LAMAR BLVD. #260
AUSTIN, TX. 78705
V (512) 473-1978 F (512) 473-1920
info@austinarchplus.com

PRELIMINARY
NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION
MAC RADENDALE, AIA TBAE # 18510
4/4/2012

AUSTIN PARKS & RECREATION

ZILKER METRO PARK TRAILHEAD RESTROOM
CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

WALL SECTIONS AND MISC. DETAILS

ISSUE DATE
10-9-2015
DRAWN BY
RT
DESIGNED BY
MR

No.	DATE	REMARKS

A3.0

WALL SECTIONS AND MISC DETAILS

PROJECT NUMBER
PROJECT #132402

Design Development Interim Review Set

DOOR SCHEDULE

DR #	TO RM: NAME	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	HEAD DTL.	JAMB DTL.	SILL DTL.	FRAME TYPE	FIRE RATING	HDW	REMARKS
102	MENS TLT	3'-0"	7'-0"	1 3/4"	GATE	6/A8.2	4/A8.2	-	HM	0	?	?
103	CHASE	3'-0"	7'-0"	1 3/4"	HM	6/A8.2	4/A8.2	5/A8.2	HM	0	?	?
104	WOMENS ENTRY	3'-0"	7'-0"	1 3/4"	GATE	6/A8.2	4/A8.2	-	HM	0	?	?
106	ELECT.	3'-0"	7'-0"	1 3/4"	HM	6/A8.2	4/A8.2	5/A8.2	HM	0	?	?

ROOM FINISH SCHEDULE

NO.	ROOM	BASE	FLOOR	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING	CEILING HEIGHT	REMARKS
102	MENS TLT	CT	S1	STONE	P	P	STONE	XN	VARIES	
103	CHASE	R	S1	P	P	P	P	XN	VARIES	
104	WOMENS TLT	CT	S1	STONE	STONE	P	P	XN	VARIES	
105	WOMENS ENTRY	NONE	S1	P	STONE	P	P	XN	VARIES	
106	ELECT	R	S1	P	P	P	P	XN	VARIES	

ROOM FINISH SCHEDULE MATERIAL KEY:

BASE
- E1 EXISTING TO REMAIN. PROTECT FROM DAMAGE
- CT CERAMIC TILE - 4" THIN SET
- R RESILIENT COVE BASE - 4"
- N NONE

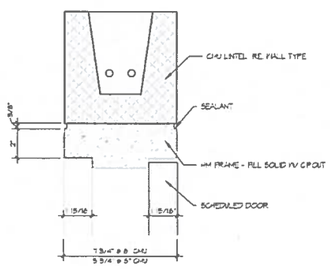
FLOOR
- E1 EXISTING TO REMAIN. PROTECT FROM DAMAGE
- S1 SEALED CONCRETE - SYSTEM 1
- S2 SEALED CONCRETE - SYSTEM 2
- BC LIGHTLY BROOMED FINISHED CONCRETE
- SC SCORED CONCRETE AT 24" OC
- CT CERAMIC TILE, THIN SET
- RT RUBBER TILE
- N NONE

WALLS
- E1 EXISTING TO REMAIN. PROTECT FROM DAMAGE
- P PAINT NEAR OR EXISTING SURFACE
- P1 LATEX PAINT - SYSTEM 1
- P2 LATEX ENAMEL PAINT - SYSTEM 2
- P3 EPOXY PAINT - SYSTEM 3
- C1 CERAMIC TILE - THIN SET
- N NONE

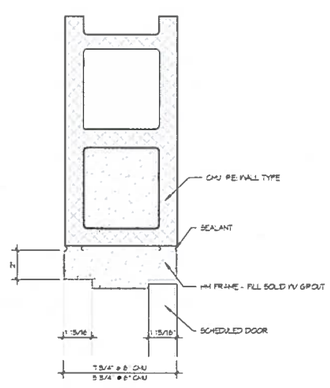
CEILING
- E1 EXISTING TO REMAIN. PROTECT FROM DAMAGE
- P1 LATEX PAINT - SYSTEM 1
- P2 LATEX PAINT - SYSTEM 2
- XN EXPOSED STRUCTURE - NO FINISH
- XP EXPOSED STRUCTURE - PAINT
- N NONE

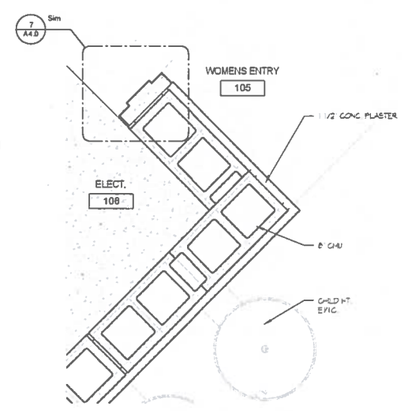
GENERAL NOTES
1. DO NOT PAINT EXISTING GLAZED TILE, BRICK, OR OTHER PREFINISHED SURFACES WHICH ARE NOT ALREADY PAINTED.
2. REMOVE EXISTING FLOOR, BASE OR CEILING FINISHES AS NECESSARY FOR APPLICATION OF NEW FINISHES WHERE SCHEDULED. PREPARE SURFACES.
3. SEE PLANS FOR EXTENT OF MISC. FINISHING AND CEILING WORK NOT INDICATED ON SCHEDULE.
4. PROVIDE EXTRA STOCK OF ALL FINISH MATERIALS EQUAL TO 1% OF THE VOLUME OR QUANTITY USED UNLESS SPECIFIED OTHERWISE.
5. ALL MATERIALS TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE UNLESS OTHERWISE NOTED. ASSUME FOR BIDDING PURPOSES THAT PREMIUM OR ADDS OTHER THAN STANDARD WOULD BE NO MORE THAN 25% TO TOTAL.

FINISH SCHEDULE NOTES
1. DO

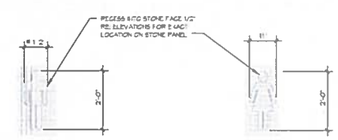


7 DOOR DETAILS
3" = 1'-0"



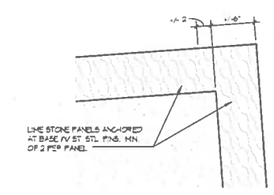


4 CORNER AT EWC WALL
1 1/2" = 1'-0"



3 MENS SIGN DTL
1/2" = 1'-0"

2 WOMEN'S SIGN DTL
1/2" = 1'-0"



1 CORNER AT STONE DETAIL
1 1/2" = 1'-0"

Architecture Plus
AUSTIN ARCHITECTURE PLUS, INC.
1907 N. LAMAR BLVD #260
AUSTIN, TX. 78705
V (512) 473 - 8778 F (512) 473 - 8779
info@austinarchplus.com

PRELIMINARY
NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION
MAC RAMSDALE AIA TSBE #8819
10-9-2015

AUSTIN PARKS & RECREATION
Sustained Excellence, Value and Stewardship

ZILKER METRO PARK TRAILHEAD RESTROOM
CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

FINISH SCHEDULE, DOOR SCHEDULE, MISC. DETAILS

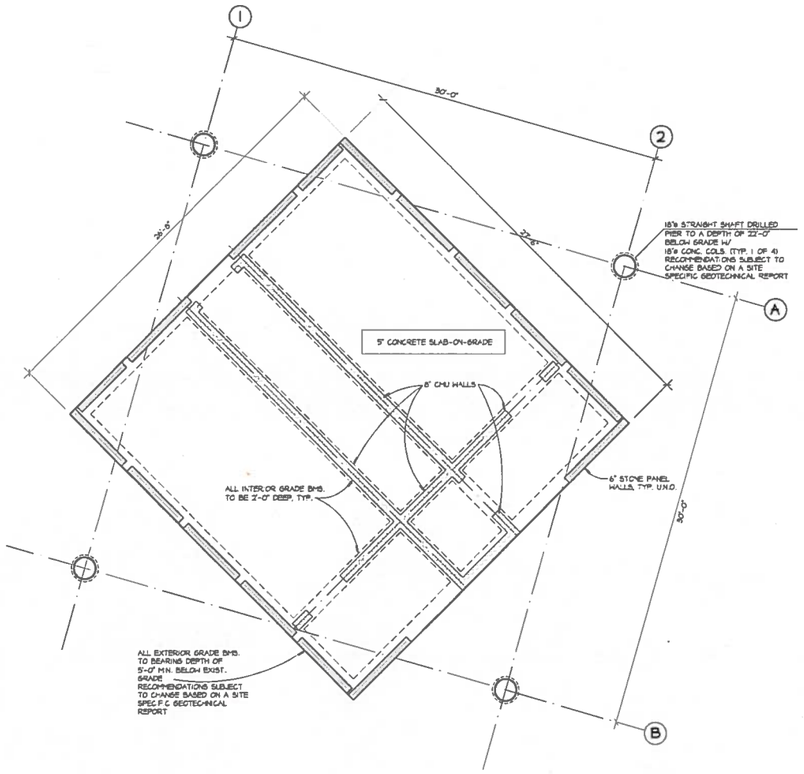
ISSUE DATE: 10-9-2015
DRAWN BY: RT
CHECKED BY: MR

No.	DATE	REMARKS

A4.0

FINISH SCHEDULE, DOOR SCHEDULE, MISC. DETAILS

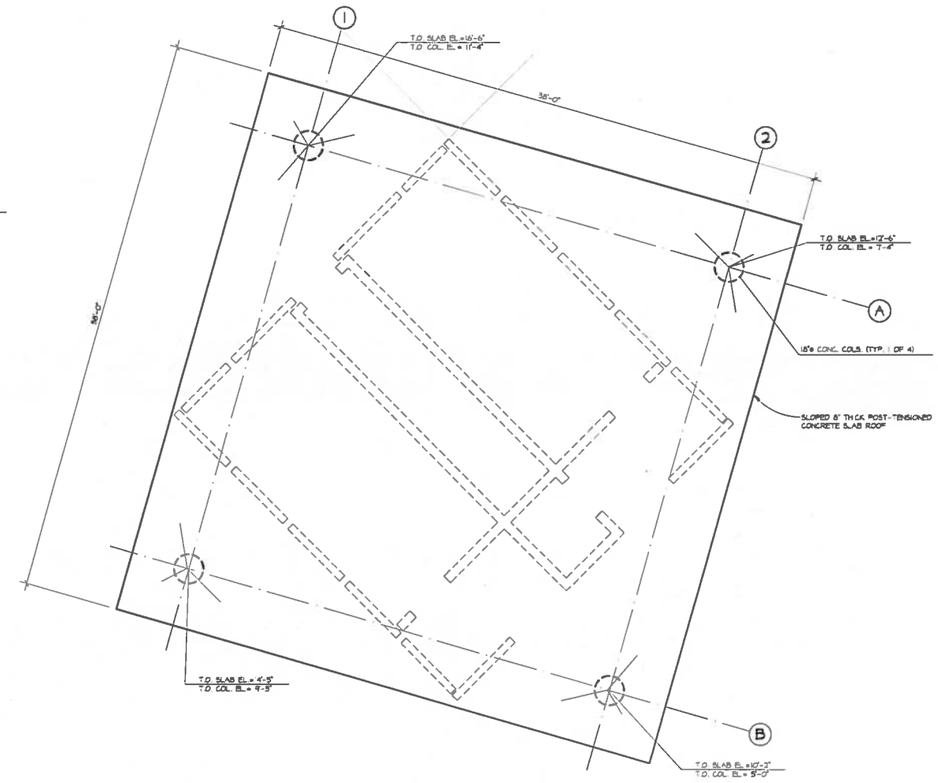
PROJECT NUMBER: PROJECT #132402



1 FOUNDATION PLAN

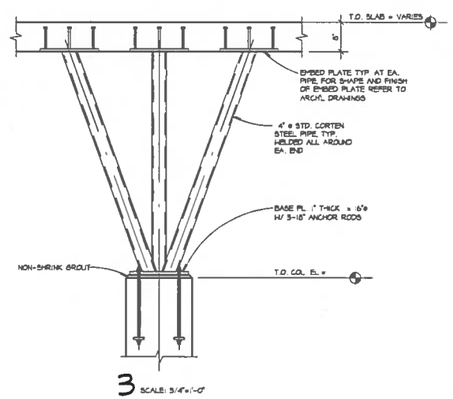
SCALE: 1/4"=1'-0"

NOTES:



2 ROOF PLAN

SCALE: 1/4"=1'-0"



3

SCALE: 3/4"=1'-0"

TRUE NORTH PLAN NORTH

Architecture Plus

AUSTIN ARCHITECTURE PLUS, INC.
1907 W. LAMAR BLVD #240
AUSTIN, TX 78703
V(512) 473 8973 F(512) 473 8973
info@austinarchiplus.com

INTERIM REVIEW DOCUMENTS

THESE DRAWINGS ARE FOR **INTERIM REVIEW** ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION, PERMITTING, OR BIDDING PURPOSES

JOHN E. STEINMAN, P.E.
TEXAS REGISTRATION NO. 67453
STEINMAN LUEVANO STRUCTURES, LLP
TDAR REGISTERED ENGINEERING FIRM F-1024

DATE:

Steinman Luevano Structures
519 INMAN LUEVANO STRUCTURES LLP
5201 G BEE RIVER HOUSEWIND NO. 15 (G) BLD 15 AUSTIN, TEXAS 78749
TDAR REGISTERED ENGINEERING FIRM F-1024
PHONE 512.851.6755
E-MAIL INFO@SLSTRUCTURES.COM
PROJECT TYPE: SHADE

ZILKER METRO PARK TRAILHEAD RESTROOM

for the CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

FOUNDATION & ROOF PLAN

ISSUE DATE: 10-09-2015

DRAWN BY: JM

CHECKED BY: HA

No.	DATE	REMARKS

S1.0

FOUNDATION & ROOF PLAN

PROJECT NUMBER: PROJECT #132402

ABBREVIATIONS

A, AMP	AMPERE
AFF	ABOVE FINISHED FLOOR
ADD	ADDENDUM
ADJ	ADJUSTABLE
A/C	AIR CONDITIONING
AH	AIR HANDLER UNIT
APPROX	APPROXIMATE
ARCH	ARCHITECT, ARCHITECTURAL
BLDG	BUILDING
BTU	BRITISH THERMAL UNIT
BS	BAR SINK
C	CONDUIT
CFH	CUBIC FOOT PER HOUR
CI	CAST IRON
CIR	CIRCLE
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
CO2	CARBON DIOXIDE
CONC	CONCRETE
COND	CONDENSATE DRAIN
CONST	CONSTRUCTION
CORR	CORRIDOR
CTR	CENTER
CU	CONDENSING UNIT
CW	COLD WATER
DB	DRY BULB
DEMO	DEMOLISH, DEMOLITION
DEPT	DEPARTMENT
DEL, DTL	DETAIL
DegF	DEGREE FAHRENHEIT
DIA	DIAMETER
DIM	DIMENSION
DISC	DISCONNECT
DIV	DIVISION
DR	DOOR
DBL	DOUBLE
DWG	DRAWING
EA	EACH
EF	EXHAUST FAN
EFF	EFFICIENCY
EER	ENERGY EFFICIENCY RATIO
ELEC	ELECTRIC, ELECTRICAL
EW	ELEVATOR SUMP PUMP WASTE
EWC	ELECTRIC WATER COOLER
EL	ELEVATION
ELEV	ELEVATOR
ENGR	ENGINEER
EQ	EQUAL
EQPT	EQUIPMENT
ETC	ETCETERA
ESP	EXTERNAL STATIC PRESSURE
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
EIFS	EXTERIOR INSULATION FINISH SYSTEM
FA	FIRE ALARM
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FE	FIRE EXTINGUISHER
FFL	FINISH FLOOR
FIN	FINISH(ED)
FIXT	FIXTURE
FLEX	FLEXIBLE
FL	FLOOR
FP	FIRE PROOF(ING)
FR	FIRE RATED
FT	FOOT, FEET
FU	FIXTURE UNIT
FV	FLUSH VALVE
G	GROUND
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GCO	GROUND CLEAN OUT
GH	GAS HEATER
GND	GROUND
GPM	GALLONS PER MINUTE
GPF	GALLONS PER FLUSH
GW	GREASE WASTE
GYP BD	GYPSUM BOARD
HD	HUB DRAIN
HTR	HEATER
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HB	HOSE BIB
HP	HEAT PUMP UNIT, HORSEPOWER
HSPF	HEAT SEASONAL PERFORMANCE FACTOR
HW	HOT WATER
HWR	HOT WATER RETURN
IN	INLET
INFO	INFORMATION
INT	INTERIOR
INSUL	INSULATION
IP	INSPECTION PORTAL
JAN	JANITOR
JB, J-BOX	JUNCTION BOX
K/O	KNOCK OUT
LAV	LAVATORY
L	LOUVER
LBS	POUND
LRE	LONG RADIUS ELBOW
MAX	MAXIMUM
MBH	THOUSAND BTU'S PER HOUR
MCA	MINIMUM CURRENT AMPACITY
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MH	MAN HOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MOCP	MAXIMUM OVERCURRENT PROTECTION
MS	MOP SINK
MTL	METAL
MULT	MULTIPLE
N/A, NA	NOT APPLICABLE
NAT	NATURAL
NOM	NOMINAL
N	NORTH
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO, #	NUMBER
OA, O/A	OUTSIDE AIR
OUT	OUTLET
PH, Ø	PHASE
PNL	PANEL
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
QTY	QUANTITY
R, RAD	RADIUS
RA	RETURN AIR
RD	ROOF DRAIN
REBAR	REINFORCING BAR
REINF	REINFORCE, REINFORCING
REC	RECESSED
RECEP	RECEPTACLE
REQ(D)	REQUIRE(D)
RGS	RIGID GALVANIZED STEEL
RTU	ROOF TOP UNIT
RM	ROOM
S	SOUTH
SCH	SCHEDULE
SD	SMOKE DETECTOR
SEER	SEASONAL ENERGY EFFICIENCY RATIO
SECT	SECTION
SF	SQUARE FEET
SPRINK	SPRINKLER
SHWR	SHOWER
SPEC	SPECIFICATION(S)
SQ	SQUARE
SS	SANITARY SEWER
SST	STAINLESS STEEL
STL	STEEL
SW	SWITCH
TD	TROUGH DRAIN
TEL	TELEPHONE
TEMP	TEMPORARY
THRU	THROUGH
TOS	TOP OF STEEL
TX	TEXAS
TV	TELEVISION
TYP	TYPICAL
UG	UNDERGROUND
UL	UNDERWRITER LABORATORIES INC.
UH	UNIT HEATER
UR	URINAL
UTIL	UTILITY
V	VOLTAGE
VT	VENT
VOL	VOLUME
VTR	VENT THROUGH ROOF
WC	WATER CLOSET
WCH	HANDICAP WATER CLOSET
WCO	WALL CLEAN OUT
W/	WITH
WB	WET BULB
WH	WATER HEATER
WO, W/O	WITHOUT
WT	WEIGHT
WW	WASTE WATER

NOTE: NOT ALL ABBREVIATIONS ON THIS LIST ARE APPLICABLE TO THIS PROJECT.

PLUMBING SYMBOLS LIST

- COLD WATER PIPING
- EXISTING COLD WATER PIPING
- DEMOLITION COLD WATER PIPING
- HOT WATER PIPING
- EXISTING HOT WATER PIPING
- DEMOLITION HOT WATER PIPING
- HOT WATER RETURN PIPING
- WASTE WATER PIPING
- EXISTING WASTE WATER PIPING
- DEMOLITION WASTE WATER PIPING
- VENT PIPING
- EXISTING VENT PIPING
- GAS PIPING
- EXISTING GAS PIPING
- DEMOLITION GAS PIPING
- POINT OF CONNECTION
- FCO EXT — FLOOR CLEAN OUT - SEE SCHEDULE
- DBL CO — DOUBLE EXTERIOR CLEAN OUT
- CO — CLEAN OUT
- WCO — WALL CLEAN OUT
- FD — FLOOR DRAIN
- AIR LOCK
- HB — HOSE BIBB
- FS — FLOOR SINK
- SHUT OFF VALVE
- VENT DRAIN TURN UP \ DOWN
- THROUGH
- SOLID
- SHUT OFF VALVE
- ONE WAY VALVE
- INSPECTION PORTAL
- FLOOR SINK
- RISER COLD WATER GENERAL
- RISER COLD/HOT WATER LAVATORY
- RISER COLD WATER HOSE BIB
- RISER WASTE WATER GENERAL
- RISER WASTE WATER LAVATORY
- RISER WASTE WATER FLOOR DRAIN
- RISER WASTE WATER FLOOR SINK
- RISER WASTE WATER HIGH DENSITY
- RISER WASTE WATER CLEAN OUT
- RISER WASTE WATER DBL CLEAN OUT
- RISER WASTE WATER VENT THROUGH ROOF
- RISER WASTE WATER INSPECTION POINT

NOTE: NOT ALL SYMBOLS ON THIS LIST ARE APPLICABLE TO THIS PROJECT.

PLUMBING GENERAL NOTES

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DOCUMENTS FOR EXACT LOCATION OF FIXTURES & EQUIPMENT.
2. THE PLUMBING CONTRACTOR SHALL COORDINATE ALL PIPING AND EQUIPMENT WITH OTHER TRADES PRIOR TO INSTALLATION.
3. VENT PIPING SHALL BE 2" MINIMUM UNLESS OTHERWISE NOTED.
4. PROVIDE BACKFLOW PREVENTERS AT ALL LOCATIONS REQUIRED BY THE LATEST ADOPTED CODES AND ORDINANCES.

SHEET INDEX

P0.00 PLUMBING GENERAL NOTES
P1.0 SANITARY AND DOMESTIC WATER PLAN
P2.0 PLUMBING DETAILS
P3.0 PLUMBING SCHEDULES

AUSTIN ARCHITECTS & PLANNERS INC
1507 W. 5 STREET, SUITE 100
AUSTIN, TX 78703 512.479.4189
info@austinarchplus.com

PROGRESS PRINT

ENGOTECH
ENGINEERING CONSULTANTS
TBPE Firm 3141
8300 N. Mopac Expy, Suite B-103
Austin, Texas 78759 | 512.338.1101
Registered Texas Firm F-3141

ZILKER METRO PARK TRAILHEAD RESTROOM
for the CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

PLUMBING GENERAL NOTES

ISSUE DATE: 10/09/2015
DRAWN BY: LCS
CHECKED BY: LCB
REVISIONS
NO. DATE REMARKS

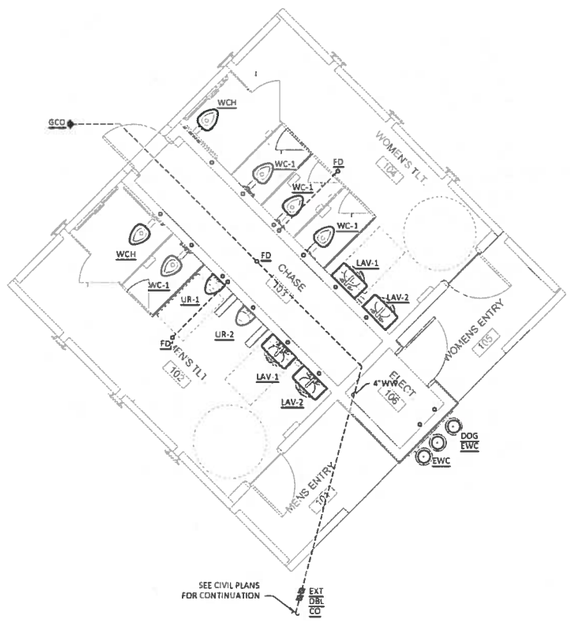
SHEET P0.0
OF
FILE NAME:
PROJECT NUMBER: 13037.M AUS

GENERAL SHEET NOTES

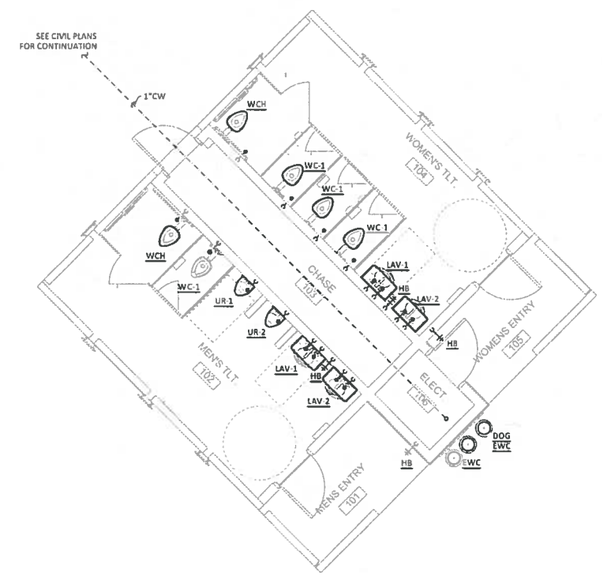
A. REFER TO GENERAL NOTES ON SHEET P0.0 FOR ADDITIONAL INFORMATION.
B. PROVIDE TRAP PRIMER AT EVERY FLOOR DRAIN. INSTALL PER DETAIL ON P2.0

KEYED NOTES

1. PROVIDE HEAT TRACE ON DOMESTIC WATER PIPING. REFERENCE ELECTRICAL DRAWING #/E# #



1 SANITARY WATER PLAN
SCALE: 1/4" = 1'-0"



2 DOMESTIC WATER PLAN
SCALE: 1/4" = 1'-0"

AUSTIN ARCHITECTURE PLUS INC
1901 S. I-35 SUITE 101 - CM
AUSTIN TX
TEL: 512 - 370-0500
info@austinarchplus.com

PROGRESS PRINT
PLANNING / PERMIT REVIEW
CONSTRUCTION
DATE: 10/09/2015

ENCOTECH
ENGINEERING CONSULTANTS
TBPE Firm 1141
10000 Bluffstone Cove, Suite B 103
Austin, Texas 78759 | 512.338.1701
Project No.: 13037.M.AUS

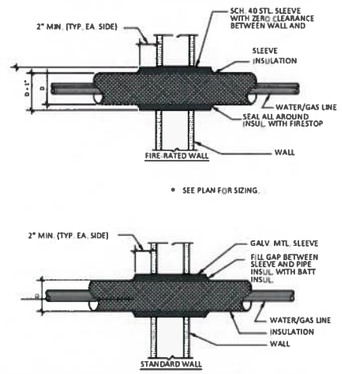
ZILKER METRO PARK TRAILHEAD RESTROOM
for the CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

SANITARY AND DOMESTIC PLUMBING PLANS

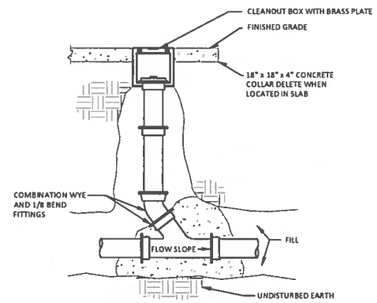
ISSUE DATE: 10/09/2015
DRAWN BY: LCS
CHECKED BY: LCB
REVISIONS

NO.	DATE	REMARKS

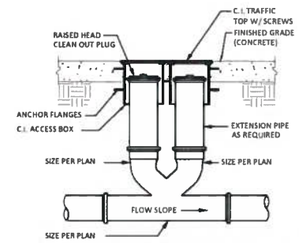
SHEET
P1.0
OF
FILE NAME:
PROJECT NUMBER: 13037.M.AUS



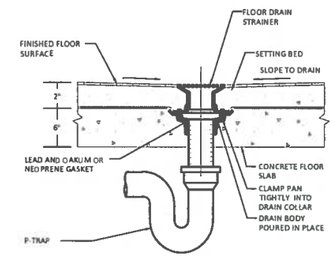
1 TYPICAL PIPE PENETRATION
NOT TO SCALE



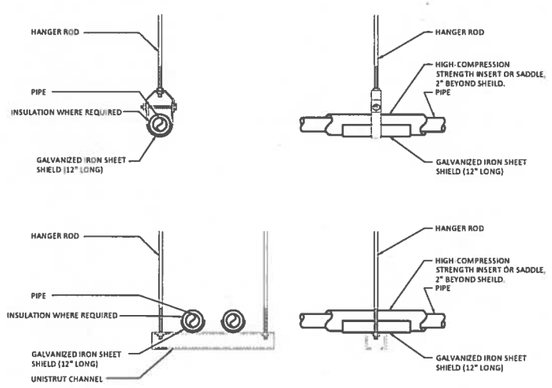
2 GROUND CLEANOUT DETAIL
NOT TO SCALE



3 DOUBLE CLEANOUT DETAIL
NOT TO SCALE

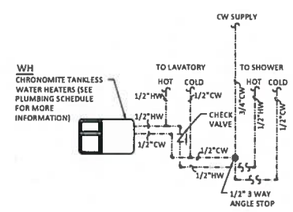


4 FLOOR DRAIN DETAIL
NOT TO SCALE

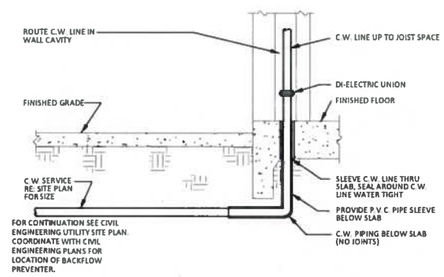


NOTE:
1.
ATTACH SUPPORTS FOR ALL PIPING SUSPENDED FROM THE STEEL STRUCTURE TO THE TOP CORD OF JOISTS OR BEAM.
2.
PROVIDE COPPER OR PLASTIC COATED HANGERS FOR NON-INSULATED COPPER PIPE

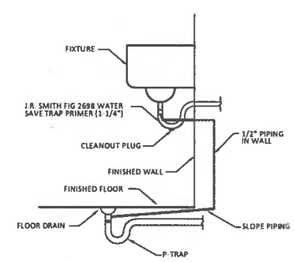
5 PIPE HANGERS
NOT TO SCALE



6 INSTANT WATER HEATER DETAIL
NOT TO SCALE



7 C.W. BUILDING ENTRY DETAIL
NOT TO SCALE



8 TRAP PRIMER DETAIL
NOT TO SCALE

AUSTIN ARCHITECTURE PLAN, INC.
ATTN: LEO SHEARER
7115 SLAUGHTER LANE, SUITE B
AUSTIN, TEXAS 78748
TEL: 512.282.9000 FAX: 512.282.9001
info@austinarchplan.com

PROGRESS PRINT
RELEASED UNDER THE AUTHORITY OF J. MARK E. BROWN, P.E.
TX. REG. NUMBER 92251 Date: 10/09/2015
NOT INTENDED FOR BIDDING PURPOSES OR CONSTRUCTION PURPOSES

ENCOTECH
ENGINEERING CONSULTANTS
TBPE Firm 1141
8500 N Mopac Expy, Suite B 100
Austin, Texas 78759 | 512.338.1101
Houston, Texas 77027 | 713.621.7944

ZILKER METRO PARK TRAILHEAD RESTROOM
for the CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

PLUMBING DETAILS

ISSUE DATE: 10/09/2015
DRAWN BY: LCS
CHECKED BY: LCB
REVISIONS

NO.	DATE	REMARKS

SHEET
P2.0
OF
FILE NAME:
PROJECT NUMBER: 13037.M AUS

PLUMBING FIXTURE SCHEDULE

MARK	CW	HW	VENT	S&W	MODEL NUMBER	DESCRIPTION
WC-1	1"	-	2"	3"	WATER CLOSET MODEL: MERIDIAN 2141 FLUSH VALVE: MODEL: SLOAN 9603-1.28 SEAT:	FLUSH VALVE WATER CLOSET, WALL MOUNTED, ELONGATED BOWL, 1-1/2" TOP SPUD, REAR OUTLET, MOUNT RIM AT 15" ABOVE FINISHED FLOOR IN WALL, TAMPER PROOF FLUSH VALVE. 1.28 GPF. WATER CLOSET MANUFACTURER TO PROVIDE PIPE EXTENSION FOR INSTALLATION OR CONTRACTOR SHALL PROVIDE STAINLESS STEEL NIPPLE FOR CONNECTION OPEN FRONT, ELONGATED SEAT WITH STAINLESS STEEL LOCKING HINGE
WC-W H	1"	-	2"	3"	WATER CLOSET ACORN MODEL: MERIDIAN 2141 FLUSH VALVE: MODEL: SLOAN 9603-1.28 SEAT:	FLUSH VALVE WATER CLOSET, WALL MOUNTED, ELONGATED BOWL, 1 1/2" TOP SPUD, REAR OUTLET, MOUNT RIM AT 17" ABOVE FINISHED FLOOR FOR ADA COMPLIANCE IN WALL, TAMPER PROOF FLUSH VALVE. 1.28 GPF. WATER CLOSET MANUFACTURER TO PROVIDE PIPE EXTENSION FOR INSTALLATION OR CONTRACTOR SHALL PROVIDE STAINLESS STEEL NIPPLE OPEN FRONT, ELONGATED SEAT WITH STAINLESS STEEL LOCKING HINGE
UR-1	3/4"	-	1-1/2"	2"	URINAL ACORN MODEL: L7009EU FLUSH VALVE: SLOAN 9613-0.5 MODEL:	FLUSH VALVE URINAL, WALL MOUNTED, 1-1/4" TOP SPUD, REAR OUTLET, MOUNT RIM AT 24" ABOVE FINISHED FLOOR IN WALL, TAMPER PROOF FLUSH VALVE. 0.5 GPF. URINAL MANUFACTURER TO PROVIDE PIPE EXTENSION FOR INSTALLATION OR CONTRACTOR SHALL PROVIDE STAINLESS STEEL NIPPLE FOR CONNECTION.
LAV-1	1/2"	1/2"	1-1/2	2"	LAVATORY: ACORN MODEL: 1953LC FAUCET: MODEL:	WALL MOUNTED LAVATORY, 4" CENTER SET, ADA COMPLIANT, INSULATE ALL EXPOSED DRAIN AND WATER PIPING UNDER PER ADA REQUIREMENTS WITH TRUEBRO MODEL #102 WHITE HARD SHELL INSULATION OR EQUIVALENT.
LAV-2	1/2"	1/2"	1-1/2"	2"	LAVATORY: ACORN MODEL: 1953LC FAUCET: MODEL:	UNDERCOUNTER LAVATORY, ADA COMPLIANT, INSULATE ALL EXPOSED DRAIN AND WATER PIPING UNDER PER ADA REQUIREMENTS WITH TRUEBRO MODEL #102 WHITE HARD SHELL INSULATION OR EQUIVALENT
EWC	1/2"	-	1-1/2"	2"	DRINKING FOUNTAIN ACORN MODEL: A1C2400B-BF6	ELECTRIC DRINKING FOUNTAIN, WALL MOUNTED, VANDAL RESISTANT, 18 GAGE 304 STAINLESS STEEL, WALL MOUNT, ADA COMPLIANT
DOG EWC	1/2"	-	1-1/2	2"	DRINKING FOUNTAIN ACORN MODEL: ABC14008 PF	ELECTRIC PET DRINKING FOUNTAIN, WALL MOUNTED, VANDAL RESISTANT, 18 GAGE 304 STAINLESS STEEL, LOW WALL MOUNT.
HB	3/4"	-		-	HOSE BIBB WOODFORD B67	HOSE BIBB, FREEZE PROOF, ANTI-SIPHON VACUUM BREAKER
FD	-	-	2"	*	SMITH 2005	FLOOR DRAIN CAST IRON ADJUSTABLE STRAINER HEAD
FS	-	-	2"	*	SMITH 2140	FLOOR SINK CAST IRON RECEPTOR WITH ALUMINUM DOME STRAINER 12-1/2" SQUARE NICKEL BRONZE TOP
FCO	-	-	-	*	SMITH 4006	FLOOR CLEANOUT CAST IRON WITH NICKEL BRONZE ADJUSTABLE TOP.
GCO	-	-	-	*	SMITH 4237	GROUND CLEANOUT CAST IRON WITH CAST IRON NON-TILT ADJUSTABLE TOP.

NOTES:
* SEE PLAN FOR SIZING.
** PLUMBING FIXTURES, ACCESSORIES AND INSTALLATION SHALL MEET ALL FEDERAL, STATE, ADA AND LOCAL REQUIREMENTS.

AUSTIN ARCHITECTURE PLUS, INC.
info@austinarchplus.com

PROGRESS PRINT
RELEASED UNDER THE AUTHORITY OF
STEVEN L. BARNES, P.E.
TX REG REGISTRATION No. 112140
DATE 10/9/2015
NOT APPROVED FOR BIDDING, PERMIT OR CONSTRUCTION PURPOSES

ENCOTECH
ENGINEERING CONSULTANTS
TBPE Firm # 1141
8500 Shoal Creek Blvd., Suite B-103
Austin, Texas 78757 | 512 - 338 - 1101
Project No. 13037.M.AUS

ZILKER METRO PARK TRAILHEAD RESTROOM
for the CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

PLUMBING SCHEDULE

ISSUE DATE: 10/09/2015
DRAWN BY: LCS
CHECKED BY: LCB
REVISIONS

NO.	DATE	REMARKS

SHEET
P3.0
OF
FILE NAME:
PROJECT NUMBER: 13037.M.AUS

ABBREVIATIONS

A, AMP	AMPERE
AFF	ABOVE FINISHED FLOOR
ADD	ADDENDUM
ADJ	ADJUSTABLE
A/C	AIR CONDITIONING
AH	AIR HANDLER UNIT
APPROX	APPROXIMATE
ARCH	ARCHITECT, ARCHITECTURAL
BLDG	BUILDING
BTU	BRITISH THERMAL UNIT
BS	BAR SINK
C	CONDUIT
CFH	CUBIC FOOT PER HOUR
CI	CAST IRON
CIR	CIRCLE
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
CO2	CARBON DIOXIDE
CONC	CONCRETE
COND	CONDENSATE DRAIN
CONST	CONSTRUCTION
CORR	CORRIDOR
CTR	CENTER
CU	CONDENSING UNIT
CW	COLD WATER
DB	DRY BULB
DEMO	DEMOLISH, DEMOLITION
DEPT	DEPARTMENT
DET, DTL	DETAIL
DegF	DEGREE FAHRENHEIT
DIA	DIAMETER
DIM	DIMENSION
DISC	DISCONNECT
DIV	DIVISION
DR	DOOR
DBL	DOUBLE
DWG	DRAWING
EA	EACH
EF	EXHAUST FAN
EFF	EFFICIENCY
EER	ENERGY EFFICIENCY RATIO
ELEC	ELECTRIC, ELECTRICAL
EW	ELEVATOR SUMP PUMP WASTE
EWC	ELECTRIC WATER COOLER
EL	ELEVATION
ELEV	ELEVATOR
ENGR	ENGINEER
EQ	EQUAL
EQPT	EQUIPMENT
ETC	ETCETERA
ESP	EXTERNAL STATIC PRESSURE
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
EIFS	EXTERIOR INSULATION FINISH SYSTEM
FA	FIRE ALARM
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FE	FIRE EXTINGUISHER
FFL	FINISH FLOOR
FIN	FINISH(ED)
FIXT	FIXTURE
FLEX	FLEXIBLE
FL	FLOOR
FP	FIRE PROOF(ING)
FR	FIRE RATED
FT	FOOT, FEET
FU	FIXTURE UNIT
FV	FLUSH VALVE
G	GROUND
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GH	GAS HEATER
GND	GROUND
GPM	GALLONS PER MINUTE
GPF	GALLONS PER FLUSH
GYP BD	GYPSUM BOARD
HTR	HEATER
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HB	HOSE BIB
HP	HEAT PUMP UNIT, HORSEPOWER
HSPF	HEAT SEASONAL PERFORMANCE FACTOR
HW	HOT WATER
HWR	HOT WATER RETURN
IN	INLET
INFO	INFORMATION
INT	INTERIOR
INSUL	INSULATION
JAN	JANITOR
JB, J-BOX	JUNCTION BOX
K/O	KNOCK OUT
LAV	LAVATORY
L	LOUVER
LBS	POUND
LRE	LONG RADIUS ELBOW
MAX	MAXIMUM
MBH	THOUSAND BTU'S PER HOUR
MCA	MINIMUM CURRENT AMPACITY
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MH	MAN HOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MOCP	MAXIMUM OVERCURRENT PROTECTION
MS	MOP SINK
MTL	METAL
MULT	MULTIPLE
N/A, NA	NOT APPLICABLE
NAT	NATURAL
NOM	NOMINAL
N	NORTH
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO, #	NUMBER
OA, O/A	OUTSIDE AIR
OUT	OUTLET
PH, Ø	PHASE
PNL	PANEL
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
QTY	QUANTITY
R, RAD	RADIUS
RA	RETURN AIR
RD	ROOF DRAIN
REBAR	REINFORCING BAR
REINF	REINFORCE, REINFORCING
REC	RECESSED
RECEP	RECEPTACLE
REQ(D)	REQUIRE(D)
RGS	RIGID GALVANIZED STEEL
RTU	ROOF TOP UNIT
RM	ROOM
S	SOUTH
SCH	SCHEDULE
SD	SMOKE DETECTOR
SEER	SEASONAL ENERGY EFFICIENCY RATIO
SECT	SECTION
SF	SQUARE FEET
SPRINK	SPRINKLER
SHWR	SHOWER
SPEC	SPECIFICATION(S)
SQ	SQUARE
SS	SANITARY SEWER
SST	STAINLESS STEEL
STL	STEEL
SW	SWITCH
TD	TROUGH DRAIN
TEL	TELEPHONE
TEMP	TEMPORARY
THRU	THROUGH
TOS	TOP OF STEEL
TX	TEXAS
TV	TELEVISION
TYP	TYPICAL
UG	UNDERGROUND
UL	UNDERWRITER LABORATORIES INC.
UH	UNIT HEATER
UR	URINAL
UTIL	UTILITY
V	VOLTAGE
VOL	VOLUME
VTR	VENT THROUGH ROOF
WC	WATER CLOSET
W/	WITH
WB	WET BULB
WH	WATER HEATER
WO, WO	WITHOUT
WT	WEIGHT
WW	WASTE WATER

ELECTRICAL SYMBOL LIST

- SIMPLEX CONVENIENCE OUTLET TO BE MOUNTED AT 15" A.F.F. TO CENTER OR AS NOTED
- DUPLEX RECEPTACLE TO BE MOUNTED AT 15" A.F.F. TO CENTER OR AS NOTED
- 208V RECEPTACLE TO BE MOUNTED AT 15" A.F.F. TO CENTER OR AS NOTED
- QUADPLEX RECEPTACLE TO BE MOUNTED AT 15" A.F.F. TO CENTER OR AS NOTED
- DUPLEX RECEPTACLE IN RECESSED FLOOR BOX MOUNTED FLUSH WITH FLOOR
- QUADPLEX RECEPTACLE IN RECESSED FLOOR BOX MOUNTED FLUSH WITH FLOOR
- TELEPHONE OUTLET AT 15" A.F.F. TO CENTER OR AS NOTED FURNISH 3/4" CONDUIT WITH 2 PULLSTRINGS TO ABOVE CEILING OR AS NOTED
- DATA OUTLET AT 15" A.F.F. TO CENTER OR AS NOTED FURNISH 3/4" CONDUIT WITH 2 PULLSTRINGS TO ABOVE CEILING OR AS NOTED
- COMBINATION TELEPHONE AND DATA OUTLET AT 15" A.F.F. TO CENTER OR AS NOTED FURNISH 3/4" CONDUIT WITH 2 PULLSTRINGS TO ABOVE CEILING OR AS NOTED
- COMBINATION TELEPHONE AND DATA OUTLET AT IN RECESSED FLOOR BOX MOUNTED FLUSH WITH FLOOR FURNISH 3/4" CONDUIT WITH 2 PULLSTRINGS TO ABOVE CEILING OR AS NOTED
- $ SINGLE POLE LIGHT SWITCH TO BE MOUNTED AT 44" A.F.F. TO CENTER OR AS NOTED
- $3 THREE WAY LIGHT SWITCH TO BE MOUNTED AT 44" A.F.F. TO CENTER OR AS NOTED
- $D SINGLE POLE DIMMER SWITCH TO BE MOUNTED AT 44" A.F.F. TO CENTER OR AS NOTED COORDINATE SWITCH RATING WITH CONNECTED LIGHTING WATTAGE
- $M MOTION DETECTOR SWITCH TO BE MOUNTED AT 44" A.F.F. TO CENTER OR AS NOTED
- $3M THREE WAY MOTION DETECTOR SWITCH TO BE MOUNTED AT 44" A.F.F. TO CENTER OR AS NOTED
- $MR MOTOR-RATED SWITCH TO BE MOUNTED AT 44" A.F.F. TO CENTER OR AS NOTED
- POWER POLE, HUBBELL MODEL PPOA WITH DIVIDER, OR APPROVED EQUIVALENT
- GFCI GROUND FAULT CIRCUIT INTERRUPTER
- WP WEATHERPROOF ENCLOSURE WEATHER-RESISTANT TYPE RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER
- TMB NEW 3/4"x4'x8' PLYWOOD TELEPHONE MOUNTING BOARD WITH #6 (Cu) GROUND AND DEDICATED DUPLEX CONVINIENCE OUTLETS AS SHOWN ON PLANS. FURNISH IN ACCORDANCE WITH TELEPHONE COMPANY REQUIREMENTS
- ELECTRICAL PANELBOARD
- INDICATED CIRCUIT IN CONDUIT RUN IN FLOOR OR UNDERGROUND
- INDICATED CIRCUIT IN CONDUIT CONCEALED IN WALLS OR ABOVE CEILING
- ROUND J-BOX
- SQUARE J-BOX
- MOTOR
- DISCONNECT
- FUSED DISCONNECT
- MOLDED CASE SWITCH

VOLTAGE DROP TABLE

	208V, 1Ø	120V, 1Ø
#12 AWG	0 - 90 FT	0 - 50 FT
#10 AWG	91 - 150 FT	51 - 90 FT
#8 AWG	151 - 250 FT	91 - 140 FT
#6 AWG	251 - 390 FT	141 - 225 FT
#4 AWG	391 - 630 FT	226 - 300 FT

(VERIFY MINIMUM VOLTAGE DROP AND CONDUIT SIZE, PER N.E.C.)

ELECTRICAL GENERAL NOTES

1. ELECTRICAL CONTRACTOR SHALL VISIT THE PREMISES AND BECOME THOROUGHLY FAMILIAR WITH ALL DETAILS OF THE WORK AND WORKING CONDITIONS, TO VERIFY ALL DIMENSIONS IN THE FIELD
2. LOCATION OF DEVICES ON ELECTRICAL DRAWINGS IS DIAGRAMMATIC. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND LOCATIONS OF DEVICES EXPOSED TO VIEW.
3. ELECTRICAL CONTRACTOR SHALL VISIT SITE AND SHALL BECOME FAMILIAR WITH SITE CONDITIONS AND VERIFY WORK TO BE INSTALLED PRIOR TO SUBMITTING A BID. BY SUBMITTING A BID, CONTRACTOR CERTIFIES FAMILIARITY WITH EXISTING JOBSITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK; FAILURE TO DO SO WILL NOT BE CAUSE FOR EXTRA WORK COMPENSATION.
4. ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, INTERNATIONAL BUILDING CODE, LOCAL CODE AND ORDINANCES AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION.
5. ALL MATERIAL SHALL BE NEW AND BEAR A U.L. LABEL.
6. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND WITH UTILITY COMPANY FOR TIMELY INSTALLATION OF WORK WHILE SPACE IS ACCESSIBLE. CUTTING AND PATCHING CAUSED BY FAILURE TO COORDINATE WITH OTHER TRADES WILL BE PERFORMED AT NO EXTRA COST TO THE OWNER AND COORDINATED WITH THE OWNER.
7. FURNISH ALL MATERIAL, LABOR, EQUIPMENT AND PERMITS TO PROVIDE A COMPLETE ELECTRICAL SYSTEM CONSISTENT WITH THE INTENT OF THE DRAWINGS.
8. SUBMIT COMPLETE DESCRIPTIVE DATA OF EQUIPMENT AND DEVICES TO ARCHITECT & ENGINEER FOR APPROVAL PRIOR TO ORDERING EQUIPMENT. OBTAIN OWNERS' APPROVAL ON ALL EQUIPMENT, DEVICE, ETC. INDICATED OR NOT ON DRAWINGS. COORDINATE LOCATION AND INSTALLATION OF OWNER-FURNISHED ITEMS AFFECTING THIS TRADE.
9. NOTIFY ENGINEER OF ANY DISCOVERED OR DISCLOSED CONDITIONS THAT DIFFER FROM THE CONTRACT DOCUMENTS.
10. INSTALLATIONS FOUND NOT COMPLYING WITH SPECIFIED WORKMANSHIP PRACTICES SHALL BE REVISED TO COMPLY AT NO ADDITIONAL COST TO THE OWNER.
11. ELECTRICAL CONTRACTOR SHALL PERFORM WORK IN A SAFE MANNER AND MAINTAIN ADEQUATE PROTECTION OF WORK, THE OWNER'S PROPERTY AND ALL PERSONS ON SITE FROM INJURY, DAMAGE OR LOSS.
12. FIELD LOCATE STRUCTURAL MEMBERS TO COORDINATE LOCATION OF PANELS, CONDUITS AND DEVICES. CAREFULLY COORDINATE INSTALLATION SCHEDULES WITH OTHER TRADES AND GENERAL CONTRACTOR.
13. ENTIRE ELECTRICAL SYSTEM SHALL BE GROUNDED ACCORDING TO NATIONAL ELECTRICAL CODE REQUIREMENTS.
14. MINIMUM WIRE SIZE FOR LIGHTING AND BRANCH CIRCUITS SHALL BE #12 THHN/THWN COPPER.
15. FEEDER CONDUCTORS, BRANCH WIRING AND PANEL BUSS AND GROUND BUSS SHALL BE COPPER.
16. WIRING DEVICES THAT OCCUR TOGETHER SHALL BE GANGED UNDER A COMMON WALL PLATE, UNLESS NOTED OTHERWISE.
17. PROVIDE COMPLETE AND TYPE-WRITTEN PANEL DIRECTORIES FOR ALL ELECTRICAL PANELS. MOUNT DIRECTORIES ON INSIDE FACE OF PANEL DOOR.
18. PANELBOARDS SHALL BE GENERAL ELECTRIC, SQUARE D OR SIEMENS
19. LAMP MANUFACTURERS SHALL BE G.E., PHILLIPS, OR OSRAM-SYLVANIA, UNLESS NOTED OTHERWISE.
20. INCLUDE LABOR AND MATERIAL FOR COORDINATION AND ENERGIZING MECHANICAL AND PLUMBING EQUIPMENT.
21. ELECTRICAL CONTRACTOR SHALL ASSEMBLE AND PROVIDE TO THE OWNER AS PART OF CLOSE-OUT SUBMISSION REQUIREMENTS, ORGANIZED BINDER WITH TECHNICAL DATA, CUT SHEETS, MAINTENANCE REQUIREMENTS, ADJUSTMENT PROCEDURES, TEST REPORTS, APPROVALS, WARRANTIES, PHONE NUMBERS OF SERVICE PERSONNEL, SOURCES OF REPLACEMENT PARTS AND OTHER PERTINENT INFORMATION.

SHEET INDEX

E0.00 ELECTRICAL GENERAL NOTES

E1.0 ELECTRICAL AND LIGHTING PLANS

AUSTIN ARCHITECTURE PLUS INC
1400 S. LAMAR BLVD. #204
AUSTIN TX 78704
(512) 912-1515 (512) 912-1511
info@austinarchplus.com

PROGRESS PRINT

FILE AND WHERE THE AUTHORITY OF DRAWING BEGINS P.E. TO BE REGISTERED IN TEXAS. DATE: 10/09/2015

UNIT INTENDED FOR WORK IN, ON, ALONG, OR CONSTRUCTION PURPOSES

ENCOTECH
ENGINEERING CONSULTANTS
TBPE Firm 5141
8000 Bluffstone Cove, Suite B 103
Austin, Texas 78759 512 338 1101
Project No: 13037.M.AUS

ZILKER METRO PARK TRAILHEAD RESTROOM
for the CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

ELECTRICAL GENERAL NOTES

ISSUE DATE: 10/09/2015

DRAWN BY:

CHECKED BY:

REVISIONS

NO.	DATE	REMARKS

SHEET

E0.00

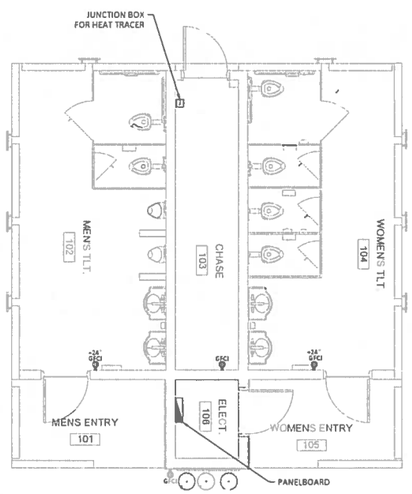
OF

FILE NAME:

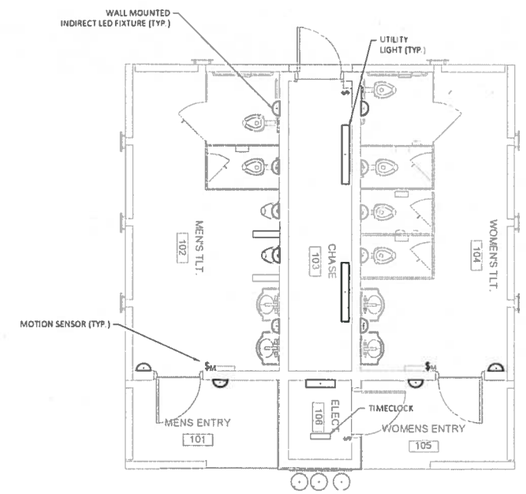
PROJECT NUMBER: 13037.M.AUS

NOTES

1. SIDEWALK LIGHTING TO BE DETERMINED
2. CONNECTION TO ELECTRICAL SERVICE TO BE DETERMINED
3. EXTERIOR LIGHTING TO BE DETERMINED



1 ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



2 LIGHTING PLAN
SCALE: 1/4" = 1'-0"

AUSTIN ARCHITECTURE PLUS, INC.
1607 N. LAMAR BLVD. #200
AUSTIN, TX. 78705
(512) 323-5125
info@austinarchplus.com

PROGRESS PRINT

ENCOTECH
ENGINEERING CONSULTANTS
TBPE Firm 1141
8500 Bluffstone Cove, Suite B 103
Austin, Texas 78759 512.338.1101
Project No. 13037.M.AUS

ZILKER METRO PARK TRAILHEAD RESTROOM
for the CITY OF AUSTIN PARKS & RECREATION DEPARTMENT

ELECTRICAL AND LIGHTING PLANS

ISSUE DATE: 10/09/2015
DRAWN BY:
CHECKED BY:

REVISIONS

NO.	DATE	REMARKS

SHEET
E1.0
OF
FILE NAME:
PROJECT NUMBER 13037.M.AUS

City of Austin- Design Commission Project Review Application

The Design Commission provides advisory recommendations to the City Council to assist in developing public policy and to promote excellence in the design and development of the urban environment. This Project Review Application must be submitted before your project can be presented to the Design Commission for their review. This application primarily addresses inhabited buildings and structures and their effect on the public realm; please refer to Appendix A for infrastructure type projects.

PROJECT INFORMATION

Project Name

Project Location/Address

Applicant	Property Owner
Mailing Address	Mailing Address
Telephone Number	Telephone Number

Project Start-Completion Dates

Applicant's Architect/Engineer

Current Design Phase of Project (Design Commission prefers to see projects right after approved schematic design).

Is this Project subject to Site Plan and/or Zoning application approvals? Will it be presented to Planning Commission and/or City Council? If so, when?

The Design Commission expects the applicant's design team to present their project with those most knowledgeable and encourages the inclusion of subconsultants at the presentation, when deemed necessary.

Does this Project comply with Land Development Code Subchapter E? If not, please refer to website for Alternate Equivalent Compliance (AEC) requirements.
https://www.municode.com/library/tx/austin/codes/code_of_ordinances?nodeId=TIT25LADE_CH25-2ZO_SUBCHAPTER_EDESTMIUS

The Design Commission review of projects is based on the planning/design principals the Urban Design Guidelines for Austin. Ensure that all applicable principals are addressed in the application questions and in your presentation. https://www.austintexas.gov/sites/default/files/files/Boards_and_Commissions/Design_Commission_urban_design_guidelines_for_austin.pdf

The Design Commission supports the vision and principals of Imagine Austin Comprehensive Plan, especially those that affect the urban environment and fabric. All projects should consider this vision and principals, many of which are similar to the Urban Design Guidelines. Refer to Appendix B for the most pertinent sections of Imagine Austin.

PROJECT BACKGROUND

1] Provide project background including goals, scope, building/planning type, budget and schedule. Broadly address each of the "Shared Values for Urban Areas" that are listed on Page 6 of the Urban Design Guidelines. Attach additional pages as needed.

2] Has this project included community outreach/involvement efforts? If so, please provide adequate documentation to confirm community acceptance of this project.

EXISTING CONDITIONS AND CONTEXT

1] What is the character (context) of the area surrounding the project? Check all that apply.

Urban Rural	Mixed Use Downtown (CBD)	Suburban Within ETJ	Other (please describe)

2] Does the project site/location offer opportunities for "connectivity", either to public transportation, or bicycle and pedestrian routes, or multi-modal transportation. Please elaborate. Attach additional pages as needed.

3] Does the project site/location include any existing features that should be preserved, protected or celebrated, such as heritage trees, creeks or streams, endangered species (flora and/or fauna)? Attach additional pages as needed.

4] Is this project within any City of Austin planning districts, master plans, neighborhood plans, regulatory districts, overlays, etc. If so, please elaborate as to how this project will be a "good fit". Attach additional pages as needed.

INTEGRATION OF URBAN DESIGN GUIDELINES

1] Address in detail how this project specifically responds to the Urban Design Guidelines and the adjacent public realm. Public realm is defined as any publicly owned streets, pathways, right of ways, parks, publicly accessible open spaces and any public and civic building and facilities. The quality of our public realm is vital if we are to be successful in creating environments that people want to live and work in. Attach additional pages as needed.

2] Will this project be a "good neighbor" to adjacent private properties, especially in more suburban areas? Describe the treatment of the transition area between properties, ie, fence, landscaping, etc.

ENVIRONMENTAL/SUSTAINABLE ISSUES

1] Does this project have any adverse effects on the environment, ie, air quality, noise, watershed protection, dark sky, heat islands, etc?

2] Does this project incorporate any "green-building" methods and/or techniques, ie, solar/wind power, rainwater harvesting, green roofs, recycled materials, high-efficiency equipment, etc.?

APPENDIX C
IMAGINE AUSTIN RELATED POLICIES

Land Use and Transportation Building Block

LUT P30: Protect and enhance the unique qualities of Austin's treasured public spaces and places such as parks, plazas, and streetscapes; and, where needed, enrich those areas lacking distinctive visual character or where the character has faded.

LUT 31: Define the community's goals for new public and private development using principles and design guidelines that capture the distinctive local character of Austin.

LUT P35: Infuse public art into Austin's urban fabric in streetscapes along roadways and in such places as parks, plazas, and other public gathering places.

LUT P41: Protect historic buildings, structures, sites, places, and districts in neighborhoods throughout the City.

LUT P43: Continue to protect and enhance important view corridors such as those of the Texas State Capitol District, Lady Bird Lake, and other public waterways

LUT P44: Preserve and protect historic parks and recreation areas.

Economy Building Block

E P6: Support up-to-date infrastructure, flexible policies, and programs, and adaptive reuse of buildings, so that local, small, and creative businesses thrive and innovate.

Conservation and Environment Policies Building Block

CE P3: Expand the City's green infrastructure network to include such elements as preserves and parks, trails, stream corridors, green streets, greenways, and agricultural lands.

CE P11: Integrate development with the natural environment through green building and site planning practices such as tree preservation and reduced impervious cover and regulations. Ensure new development provides necessary and adequate infrastructure improvements.

City Facilities and Services Building Block

CFS P14: Integrate erosion, flood, and water quality control measures into all City of Austin capital improvement projects.

CFS P24: Increase the share of renewable energy sources, such as wind, solar, and biomass, used by Austin Energy to generate electricity, including infrastructure for on-site sources through out the City.

CFS P29: Increase the use of joint or shared facilities between public safety and other service providers, when possible, to provide residents with efficient services, reduce costs, and maintain public safety infrastructure.

CFS P35: Distribute public buildings where neighborhood services are located and other accessible locations throughout the City.

CFS P36: Improve multimodal public transportation access to the City's public buildings and facilities, including the Austin-Bergstrom International Airport.

CFS P37: Integrate public buildings and facilities into active, walkable, mixed use neighborhoods and complete, healthy communities.

CFS P38: Reduce energy consumption and waste generation in all public buildings to meet the City's greenhouse gas reduction and zero waste goals.

CFS P39: Develop public buildings and facilities that create healthy work environments and educate the public about energy-efficient, sustainable building, and greening best practices.

CFS P44: Feature superior design in parks and recreational facilities and include opportunities for public art and sustainable design solutions.

Society Building Block

S P14: Locate emergency services within close proximity to all neighborhoods and continue to improve community outreach and relationships between police and neighbors

S P25: Increase sidewalks and bicycle lanes in neighborhoods to create safer routes to schools, parks, and transit stops.

Creativity Building Block

C P16: Increase the availability of significant public art to designate districts and/or their entrances and to assist visitors in navigating the area.

C P17: Define Austin's sense of place through high standards for architecture and urban design, public art, public spaces and parks, and arts education.

Bart Comments

City of Austin- Design Commission Project Review Application

The Design Commission provides advisory recommendations to the City Council to assist in developing public policy and to promote excellence in the design and development of the urban environment. This Project Review Application must be submitted before your project can be presented to the Design Commission for their review. This application primarily addresses inhabited buildings and structures and their effect on the public realm; please refer to Appendix A for infrastructure type projects.

PROJECT INFORMATION

Project Name

PROJECT TYPE: ☐ General U.D. ☐ Infrs ☐ Density Bnus

Project Location/Address

Applicant

Property Owner

Mailing Address

Mailing Address

Telephone Number

Telephone Number

Project Start-Completion Dates

Applicant's Architect/Engineer

Current Design Phase of Project (Design Commission prefers to see projects right after approved schematic design).

Is this Project subject to Site Plan and/or Zoning application approvals? Will it be presented to Planning Commission and/or City Council? If so, when?

The Design Commission expects the applicant's design team to present their project with those most knowledgeable on design and encourages the inclusion of subconsultants at the presentation, when deemed necessary.

Is this project seeking AEC?

~~Does this Project comply with Land Development Code Subchapter E?~~ If not, please refer to website for Alternate Equivalent Compliance (AEC) requirements.
https://www.municode.com/library/tx/austin/codes/code_of_ordinances?nodeId=TIT25LADE_CH25-2ZO_SUBCHAPTER_EDESTMIUS

List specifically any AEC request

What do you need from the Design Commission

- answers

The Design Commission review of projects is based on the planning/design principals the Urban Design Guidelines for Austin. Ensure that all applicable principals are addressed in the application questions and in your presentation https://www.austintexas.gov/sites/default/files/files/Boards_and_Commissions/Design_Commission_urban_design_guidelines_for_austin.pdf

The Design Commission supports the vision and principals of Imagine Austin Comprehensive Plan, especially those that affect the urban environment and fabric. All projects should consider this vision and principals, many of which are [illegible] to the Urban Design Guidelines. Refer to Appendix B for the most pertinent sections of Imagine Austin.

4] Priority programs which are addressed & how

PROJECT BACKGROUND

1] Provide project background including goals, scope, building/planning type, budget and schedule. Broadly address each of the "Shared Values for Urban Areas" that are listed on Page 6 of the Urban Design Guidelines. Attach additional pages as needed.

2] Has this project included community outreach/involvement efforts? If so, please provide adequate documentation to confirm community acceptance of this project.

EXISTING CONDITIONS AND CONTEXT

1] What is the character (context) of the area surrounding the project? Check all that apply.

Urban Rural	Mixed Use Downtown (CBD)	Suburban Within ETJ	Other (please describe)

Identify & describe project

~~2] Does the project site/location offer opportunities for~~ "connectivity", either to public transportation, or bicycle and pedestrian routes, or multi-modal transportation. Please elaborate. Attach additional pages as needed.

Identify & describe ~~Describe & demonstrate compliance~~ of protection of existing environmental features such as

3] ~~Does the project site/location include any existing features that should be preserved, protected or celebrated, such as~~ heritage trees, creeks or streams, endangered species (flora and/or fauna)? Attach additional pages as needed.

beyond code requirements.

4] Is this project within any City of Austin planning districts, master plans, neighborhood plans, regulatory districts, overlays, etc. If so, please elaborate as to how this project will be a "good fit". Attach additional pages as needed.

5] Any project constraints that should be considered?

- Look for opportunities for public art & making [illegible] spaces
- ~~Support~~ Foster active open space
- Create safe & navigable places

10 principles – items of primary interest

- Connected projects & relationship to multimodal transit
- Pedestrian scaled projects that activate the street scape
- Support a sustainable city

RELATIONSHIP TO ~~Project~~ PUBLIC REALM

INTEGRATION OF URBAN DESIGN GUIDELINES

1] Address in detail how this project specifically responds to the Urban ~~Design Guidelines~~ and the adjacent public realm. Public realm is defined as any publicly owned streets, pathways, right of ways, parks, publicly accessible open spaces and any public and civic building and facilities. The quality of our public realm is vital if we are to be successful in creating environments that people want to live and work in. Attach additional pages as needed.

Describe how...

2] ~~Will~~ this project be a "good neighbor" to adjacent ~~private~~ properties, ~~especially in more suburban areas~~? Describe the treatment of the transition area between properties, ie, fence, landscaping, etc.

ENVIRONMENTAL/SUSTAINABLE ISSUES

~~Describe project impacts~~ How will the project mitigate adverse effects

1] ~~Does this project have any adverse effects~~ on the environment, ie, air quality, noise, watershed protection, dark sky, heat islands, etc?

Describe

2] ~~Does this project incorporate~~ any "green-building" methods and/or techniques, ie, solar/wind power, rainwater harvesting, green roofs, recycled materials, high-efficiency equipment, etc.?

Beyond LEED.... how addressing "climate crisis".

EXHIBITS TO PRESENT

- Existing zoning classification, adjacent zoning & uses, Future land use classification, topography
- Vicinity plan (500' radius minimum)
- Site plan
- Ground level & basement floor plan
- Elevations 2nd/or 3d views
- Any letters of support or findings by other commissions

App A
Infras Specific

Append B
Density Bonus

Appendix C

ATTACHMENT B

Imagine Austin Related Policies (Ben Luckens 7/22/16)

Land Use and Transportation Building Block

LUT P30: Protect and enhance the unique qualities of Austin's treasured public spaces and places such as parks, plazas, and streetscapes; and, where needed, enrich those areas lacking distinctive visual character or where the character has faded.

LUT 31: Define the community's goals for new public and private development using principles and design guidelines that capture the distinctive local character of Austin.

LUT P35: Infuse public art into Austin's urban fabric in streetscapes along roadways and in such places as parks, plazas, and other public gathering places.

LUT P41: Protect historic buildings, structures, sites, places, and districts in neighborhoods throughout the City.

LUT P43: Continue to protect and enhance important view corridors such as those of the Texas State Capitol District, Lady Bird Lake, and other public waterways

LUT P44: Preserve and protect historic parks and recreation areas.

Economy Building Block

E P6: Support up-to-date infrastructure, flexible policies, and programs, and adaptive reuse of buildings, so that local, small, and creative businesses thrive and innovate.

Conservation and Environment Policies Building Block

CE P3: Expand the City's green infrastructure network to include such elements as preserves and parks, trails, stream corridors, green streets, greenways, and agricultural lands.

CE P11: Integrate development with the natural environment through green building and site planning practices such as tree preservation and reduced impervious cover and regulations. Ensure new development provides necessary and adequate infrastructure improvements.

City Facilities and Services Building Block

CFS P14: Integrate erosion, flood, and water quality control measures into all City of Austin capital improvement projects.

City of Austin- Design Commission Project Review Application

The Design Commission provides advisory recommendations to the City Council to assist in developing public policy and to promote excellence in the design and development of the urban environment. This Project Review Application must be submitted before your project can be presented to the Design Commission for their review. This application primarily addresses inhabited buildings and structures and their effect on the public realm; please refer to Appendix A for infrastructure type projects.

PROJECT INFORMATION

Project Name

Project Location/Address

Applicant	Property Owner
Mailing Address	Mailing Address
Telephone Number	Telephone Number

Project Start-Completion Dates

Applicant's Architect/Engineer

Application Objective (check a box) Urban Design Guidelines review; Density Bonus ; Infrastructure Guidelines; Entitlement; AEC

Current Design Phase of Project (Design Commission prefers to see projects right after approved schematic design).

Is this Project subject to Site Plan and/or Zoning application approvals? Will it be presented to Planning Commission and/or City Council? If so, when?

The Design Commission requestsexpects the applicant's design team to present their project with with those most knowledgeable and encourages the inclusion of subconsultants whose scope is being reviewed at the presentation, when deemed necessary.

Does the pis Project comply with Land Development Code Subchapter E? (I'm proposing this as one question and AEC as the next question.

Formatted: Font: Bold, Font color: Red

Formatted: Font: Bold, Font color: Red

Formatted: Font: Bold, Font color: Red

Formatted: Font: Bold, Font color: Red

Formatted: Font color: Auto

If the applicant is ~~not~~seeking AEC please explain how the project is not in compliance with Subchapter E and the proposed solution that is being requested. (this needs some work)

~~, please~~ R~~r~~efer to website for Alternate Equivalent Compliance (AEC) requirements.
https://www.municode.com/library/tx/austin/codes/code_of_ordinances?nodeId=TIT25LADE_CH25-2ZO_SUBCHAPTER_EDESTMIUS

The Design Commission review of projects is based on the planning/design principals the Urban Design Guidelines for Austin. Ensure that all applicable principals are addressed in the application questions and in your presentation.
https://www.austintexas.gov/sites/default/files/files/Boards_and_Commissions/Design_Commission_urban_design_guidelines_for_austin.pdf

The Design Commission supports the vision and principals of Imagine Austin Comprehensive Plan, especially those that affect the urban environment and fabric. All projects should consider this vision and principals, many of which are similar to the Urban Design Guidelines. Refer to Appendix B for the most pertinent sections of Imagine Austin? Not sure if this is too broad?~~.~~

Formatted: Font color: Red

Formatted: Font color: Red

PROJECT BACKGROUND

1] Provide project background including goals, scope, building/planning type, budget and schedule. Broadly address each of the "Shared Values for Urban Areas" that are listed on Page 6 of the Urban Design Guidelines. Attach additional pages as needed.

2] Has this project included community outreach/involvement efforts? If so, please provide adequate documentation to confirm community acceptance of this project.

EXISTING CONDITIONS AND CONTEXT

1] What is the character (context) of the area surrounding the project? Check all that apply.

Urban Rural	Mixed Use Downtown (CBD)	Suburban Within ETJ	Other (please describe)

2] Describe how~~oes~~ the project site~~/location~~ offers opportunities for "connectivity", either to public transportation, or bicycle and pedestrian routes, or multi-modal transportation. Provide a site and context map. ~~Please elaborate.~~ Attach additional pages as needed.

3] Identify and describeDoes the project site/location include any existing features that are required and/or should be preserved, protected or celebrated, such as heritage trees, creeks or streams, endangered species (flora and/or fauna)? Attach additional pages as needed.

4] Is this project within any City of Austin planning districts, master plans, neighborhood plans, regulatory districts, overlays, etc. If so, please elaborate as to how this project will be a "good fit". Attach additional pages as needed.

INTEGRATION OF URBAN DESIGN GUIDELINESPUBLIC REALM

Formatted: Font color: Red

1] List and aAddress in detail how this project specifically respondsthe to the Urban Design pillars the project is incorporating outlined in the Urban Design Guidelines (page 6)Guidelines. If the project does not incorporate one of the pillars explain why it does not apply. The Urban Design Guideline pillars include Human Character, Density, Sustainability, Diversity, Economic Vitality, Civic Art, A Sense of Time, Unique Character, Authenticity, Safety and a Connection to the Outdoors. and the adjacent public realm.

Public realm is defined as any publicly owned streets, pathways, right of ways, parks, publicly accessible open spaces and any public and civic building and facilities. The quality of our public realm is vital if we are to be successful in creating environments that people want to live and work in. Attach additional pages as needed.

Formatted Table

2] How willWill theis project be a "good neighbor" to adjacent private properties to improve and/or contribute to the public realm? , especially in more suburban areas? For example dDescribe the treatment of the transition area between properties, ie, fence, landscaping, etc.

* Public realm is defined as any publicly owned streets, pathways, right of ways, parks, publicly accessible open spaces and any public and civic building and facilities. The quality of our public realm is vital if we are to be successful in creating environments that people want to live and work in. Attach additional pages as needed.

ENVIRONMENTAL/SUSTAINABLE ISSUES

1] How will the project mitigate potential adverse effects on the environmentDoes this project have any adverse effects on the environment, ie, air quality, noise, watershed protection, dark sky, heat islands, etc? Demonstrate how the proposed solutions will mitigate adverse environmental/sustainable issues.

2] Does the~~is~~ project incorporate any “green-building” methods and/or techniques, ie, solar/wind power, rainwater harvesting, green roofs, recycled materials, high-efficiency equipment, etc.? Demonstrate how the proposed solutions will incorporate green-building.

APPENDIX A
INFRASTRUCTURE PROJECTS

APPENDIX B
DENSITY-BONUS PROJECTS

APPENDIX C
IMAGINE AUSTIN RELATED POLICIES

Land Use and Transportation Building Block

LUT P30: Protect and enhance the unique qualities of Austin's treasured public spaces and places such as parks, plazas, and streetscapes; and, where needed, enrich those areas lacking distinctive visual character or where the character has faded.

LUT 31: Define the community's goals for new public and private development using principles and design guidelines that capture the distinctive local character of Austin.

LUT P35: Infuse public art into Austin's urban fabric in streetscapes along roadways and in such places as parks, plazas, and other public gathering places.

LUT P41: Protect historic buildings, structures, sites, places, and districts in neighborhoods throughout the City.

LUT P43: Continue to protect and enhance important view corridors such as those of the Texas State Capitol District, Lady Bird Lake, and other public waterways

LUT P44: Preserve and protect historic parks and recreation areas.

Economy Building Block

E P6: Support up-to-date infrastructure, flexible policies, and programs, and adaptive reuse of buildings, so that local, small, and creative businesses thrive and innovate.

Conservation and Environment Policies Building Block

CE P3: Expand the City's green infrastructure network to include such elements as preserves and parks, trails, stream corridors, green streets, greenways, and agricultural lands.

CE P11: Integrate development with the natural environment through green building and site planning practices such as tree preservation and reduced impervious cover and regulations. Ensure new development provides necessary and adequate infrastructure improvements.

City Facilities and Services Building Block

CFS P14: Integrate erosion, flood, and water quality control measures into all City of Austin capital improvement projects.

CFS P24: Increase the share of renewable energy sources, such as wind, solar, and biomass, used by Austin Energy to generate electricity, including infrastructure for on-site sources through out the City.

CFS P29: Increase the use of joint or shared facilities between public safety and other service providers, when possible, to provide residents with efficient services, reduce costs, and maintain public safety infrastructure.

CFS P35: Distribute public buildings where neighborhood services are located and other accessible locations throughout the City.

CFS P36: Improve multimodal public transportation access to the City's public buildings and facilities, including the Austin-Bergstrom International Airport.

CFS P37: Integrate public buildings and facilities into active, walkable, mixed use neighborhoods and complete, healthy communities.

CFS P38: Reduce energy consumption and waste generation in all public buildings to meet the City's greenhouse gas reduction and zero waste goals.

CFS P39: Develop public buildings and facilities that create healthy work environments and educate the public about energy-efficient, sustainable building, and greening best practices.

CFS P44: Feature superior design in parks and recreational facilities and include opportunities for public art and sustainable design solutions.

Society Building Block

S P14: Locate emergency services within close proximity to all neighborhoods and continue to improve community outreach and relationships between police and neighbors

S P25: Increase sidewalks and bicycle lanes in neighborhoods to create safer routes to schools, parks, and transit stops.

Creativity Building Block

C P16: Increase the availability of significant public art to designate districts and/or their entrances and to assist visitors in navigating the area.

C P17: Define Austin's sense of place through high standards for architecture and urban design, public art, public spaces and parks, and arts education.

Re: Response to Design Commission Project Review Application

Project Information

- Add a line item for applicant to state if the project is required to come before the Commission
- Add a line item for applicant to explain what they are seeking from the Commission.

Existing Conditions and Context

- #2 - Consider rewording to read "Demonstrate how the project site offers opportunities for connectivity, either to public transportation, bicycle or pedestrian routes, or multi-modal transportation."
- #3 - Consider rewording to read "Demonstrate how existing natural features such as heritage trees, creeks or streams, and endangered species will be preserved."
- #4 - Delete language to elaborate on a "good fit". This will be up to the Commission to decide.

Integration of Urban Design Guidelines

- #1 – Delete "Urban Design Guidelines and the"
- #2 – Consider rewording to read "Demonstrate how this project will be a "good neighbor" to adjacent properties.

Environmental/Sustainable Issues

- #1 – Consider rewording to read "Demonstrate how this project will mitigate adverse effects on the environment, i.e. air quality, noise, watershed protection, dark sky, heat islands, etc."
- #2 – Consider rewording to read "Demonstrate how this project will incorporate any green building materials or methods, i.e. solar/wind power, rainwater harvesting, green roofs, recycled materials, high-efficiency equipment, etc."

From:	Koerth, Nichole
To:	Mulholland, Katie
Subject:	FW: Project Review Application
Date:	Friday, August 12, 2016 12:43:22 PM
Attachments:	image001.png

Didn't see you included

From: Luckens, Ben - BC
Sent: Friday, August 12, 2016 12:29 PM
To: Taniguchi, Evan - BC <bc-Evan.Taniguchi@austintexas.gov>; Koerth, Nichole <Nichole.Koerth@austintexas.gov>; Swartzendruber, Tonya <Tonya.Swartzendruber@austintexas.gov>
Subject: Re: Project Review Application

4] Is this project within any City of Austin planning districts, master plans, neighborhood plans, regulatory districts, overlays, etc. If so, please elaborate as to how this project will be a "good fit". Attach additional pages as needed.

I'd change the 3rd line to "elaborate as to how this project supports planning districts, master plans, neighborhood plans, regulatory districts, overlays, etc."

From: Mulholland, Katie
Sent: Thursday, August 4, 2016 2:59:37 PM
To: Taniguchi, Evan - BC
Cc: Koerth, Nichole; Swartzendruber, Tonya
Subject: Project Review Application

Dear Design Commissioners,

Attached for your information and convenience is the **Project Review Application** (as a Word doc and PDF). Please make comments using Track Changes and send to Nickie, Tonya, and me no later than Fri. 8/12, so that we can assemble them into a PDF for backup. So far, we've received comments from Commissioners Bart Whatley and David Carroll.

Also, I will be out of town for your next meeting; Tonya Swartzendruber (cc'd) will be acting executive liaison, but I will see you in Sept.!

Thanks and have a good (and safe) day!

Katie Mulholland, Senior Planner
City of Austin | Planning and Zoning Department
Katie.Mulholland@AustinTexas.gov
(512) 974-3362

VISION ZERO
any traffic death is too many

Learn more about Vision Zero at http://austintexas.gov/visionzero

Ben Luckens
Boards and Commissions

COLEMAN &
ASSOCIATES

July 27, 2016

At the June meeting of the Design Commisson, I inquired about the park-n-ride project presently under construction at the NW corner of the ABIA main entry. The purpose of my inquiry was to discover how it was possible that a project devoted to automobile parking on City of Austin property could have been built on what is arguably one of the most prominent front doors to our city, was reveiwed and approved by the Design Commission.

Kit Johnson, COA Architect agreed to do some preliminary research. As a result of this research Kit informed me that this project indeed did **not** come before the Commission. This project was **not** managed by Public Works. He indicated that it may have been managed by the Airport itself.

In light of our fundamental role as a Commisson to review, respond and recommend projects for compliance to the goals of the *Imagine Austin* plan for a connected, compact city it is extrememly concerning that this project fell through the cracks of the process. And, given that we are presently refreshing the mechanics of the submittal criteria it seems imperative that the Commission fully understand why this project and potentailly others would be unaware of, or exempt from the Design Commission submission.

As a citizen of Austin, it is fundamentally alarming to me that a project that celebrates the automobile is gigantically and prominently displayed to every visitor or resident who utilizes our airport. It truly engulfs our airport entry which was so vehemently celebrated as a significant design element in the Airport Master plan adopted over twenty years ago.

As a Commission I recommend that we ask our staff liaison to work with the City of Austin Architect to pull the plans for this project for review by the Commission and to investigate the process in depth so we can fully understand the reason this occurred and establish procedures to prevent it from ever happening again.

Aan Garrett-Coleman
Coleman & Associates

9890 SILVER MOUNTAIN DR • AUSTIN, TX 78737 • 512.476.2090 • FAX 512.476.2099
1926 CAMBRIA • SAN ANTONIO, TX 78258 • 210.492.4550
9511 MODESTO AVE. NE • ALBUQUERQUE, NM 87122 • 505.433.3426