



# City of Austin

## Residential New Construction and Addition

### Permit Application

Residential Review, 2<sup>nd</sup> floor, One Texas Center  
505 Barton Springs, Austin, TX 78704 (512) 978-4000

#### Property Information

Project Address: 2301 Woodlawn Blvd., Austin TX 78703	Tax Parcel ID: 112600
Legal Description: Lot 11 and S 87.5 of Lot 12 Sunset Hill Enfield	
Zoning District: SF-3	Lot Area (sq ft): 30,480.00
Neighborhood Plan Area (if applicable): Old Enfield (SFR)	Historic District (if applicable): -

#### Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, Fire review is required)	Is this property within 200 feet of a hazardous pipeline? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, EHZ review is required)	Is this property within 150 feet of the 100 year floodplain? Y <input type="checkbox"/> N <input type="checkbox"/> (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> Note: Include tree location(s) on plot plan. (If yes, application for a tree permit with the City Arborist is required)	
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/>	
Does this site currently have: water availability? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> wastewater availability? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.) (If yes, submit approved auxiliary and potable plumbing plans.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, contact the Development Assistance Center for a Site Plan Exemption)	
Is this site within the Waterfront Overlay? Y <input type="checkbox"/> N <input type="checkbox"/> (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input type="checkbox"/> N <input type="checkbox"/> (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? Y <input type="checkbox"/> N <input type="checkbox"/> (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input type="checkbox"/> N <input type="checkbox"/> Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

#### Description of Work

Existing Use:	vacant <input type="radio"/>	single-family residential <input type="radio"/>	duplex residential <input type="radio"/>	two-family residential <input type="radio"/>	other: _____
Proposed Use:	vacant <input type="radio"/>	single-family residential <input type="radio"/>	duplex residential <input type="radio"/>	two-family residential <input type="radio"/>	other: _____
Project Type:	new construction <input type="radio"/>	addition <input type="radio"/>	addition/remodel <input type="radio"/>	other: _____	
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (Note: Removal of all or part of a structure requires a demolition permit application.)					
# of existing bedrooms: 4	# of bedrooms upon completion: 5	# of baths existing: 4.0	# of baths upon completion: 5.0		
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) <u>Addition of an attached 3-car Garage, with Man Cave/Work Room and Tool Shed on First Floor, and a Guest House above new Garage, with new Foyer/Stair Well for Garage/Guest House access. Remodel of (E) Pantry and (E) Laundry</u>					
Trades Permits Required (Circle as applicable): <input type="checkbox"/> electric <input type="checkbox"/> plumbing <input type="checkbox"/> mechanical (HVAC) <input type="checkbox"/> concrete (R.O.W.)					

Job Valuation						
<b>Total Job Valuation:</b> \$ <u>334,500</u>  <small>Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.</small>	<b>Amount of Total Job Valuation dedicated to all Addition and/or New Construction:</b> \$ <u>275,000</u>  <b>Amount for Primary Structure:</b> \$ <u>275,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N  <b>Amount for Accessory Structure:</b> \$ <u>0</u> Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N			<b>Amount of Total Job Valuation dedicated to all Remodel/Repair:</b> Bldg: \$ <u>33,500</u> Elec: \$ <u>9,000</u> Plmbg: \$ <u>8,500</u> Mech: \$ <u>8,500</u> <b>TOTAL:</b> \$ <u>59,500</u>		
<b>Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.</b>						
Site Development Information						
<b>Area Description</b> <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	<b>Existing Sq Ft</b>		<b>New/Added Sq Ft</b>		<b>Total Sq Ft</b>	
	<b>Bldg 1</b>	<b>Bldg 2</b>	<b>Bldg 1</b>	<b>Bldg 2</b>	<b>Bldg 1</b>	<b>Bldg 2</b>
a) 1 <sup>st</sup> Floor conditioned area	3,246.00	0.00	1,130.00	0.00	4,376.00	0.00
b) 2 <sup>nd</sup> Floor conditioned area	2,012.00	0.00	1,092.00	0.00	3,104.00	0.00
c) 3 <sup>rd</sup> Floor conditioned area	0.00	0.00	0.00	0.00	0.00	0.00
d) Basement	0.00	0.00	0.00	0.00	0.00	0.00
e) Covered parking (garage or carport)	0.00	0.00	988.00	0.00	988.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	418.00	0.00	60.00	0.00	478.00	0.00
g) Other covered or roofed area	0.00	594.00	0.00	0.00	0.00	594.00
h) Uncovered wood decks	0.00	0.00	0.00	0.00	0.00	0.00
<b>Total Building Area</b> (total a through h)	5,676.00	594.00	3,270.00	0.00	8,946.00	594.00
i) Pool	598.00	0.00	0.00	0.00	598.00	0.00
j) Spa	0.00	0.00	0.00	0.00	0.00	0.00
<b>Building Coverage Information</b> <small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small>  Total Building Coverage (sq ft): <u>6,436.00</u> % of lot size: <u>21</u>						
<b>Impervious Cover Information</b> <small>Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small>  Total Impervious Cover (sq ft): <u>11,933.00</u> % of lot size: <u>39</u>						
<b>Setbacks</b> Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492)      Y <input checked="" type="checkbox"/> N  Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778)      Y <input checked="" type="checkbox"/> N						
<b>Height Information</b> (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Building Height: <u>20</u> ft <u>2</u> in      Number of Floors: <u>2</u>			<b>Parking</b> (LDC 25-6 Appendix A & 25-6-478) # of spaces required: <u>3</u> # of spaces provided: <u>4</u>			
<b>Right-of-Way Information</b> Is a sidewalk required for the proposed construction? (LDC 25-6-353)      Y <input checked="" type="checkbox"/> N <small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small>  Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project?      Y <input checked="" type="checkbox"/> N  Width of approach (measured at property line): <u>17.0</u> ft      Distance from intersection (for corner lots only): <u>212.0</u> ft  Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? (If yes, drainage review is required)      Y <input checked="" type="checkbox"/> N						

## Subchapter F

### Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 <sup>st</sup> Floor	3,246.00	1,130.00			4,376.00
2 <sup>nd</sup> Floor	2,012.00	1,092.00			3,104.00
3 <sup>rd</sup> Floor	0.00	0.00			0.00
Area w/ ceilings > 15'	0.00	100.00	Must follow article 3.3.5	0.00	100.00
Ground Floor Porch* (check article utilized)	418.00	60.00	<input type="checkbox"/> Full Porch sq ft (3.3.3 A) <input checked="" type="checkbox"/> 200 sq ft (3.3.3 A 2)	200.00	278.00
Basement	0.00	0.00	Must follow article 3.3.3B, see note below	0.00	0.00
Attic	0.00	0.00	Must follow article 3.3.3C, see note below	0.00	0.00
Garage**: (check article utilized)	Attached	0.00	<input type="checkbox"/> 200 sq ft (3.3.2 B 2b)	0.00	988.00
	Detached	0.00	<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a)	0.00	0.00
Carport**: (check article utilized)	Attached	0.00	<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***	0.00	0.00
	Detached	0.00	<input type="checkbox"/> 450 sq ft (3.3.2 A 1)	0.00	0.00
Accessory Building(s) (detached)	594.00	0.00			594.00
Totals	6,270.00	3,370.00			9,440.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 9,440.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 31 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y ☒ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**\*Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

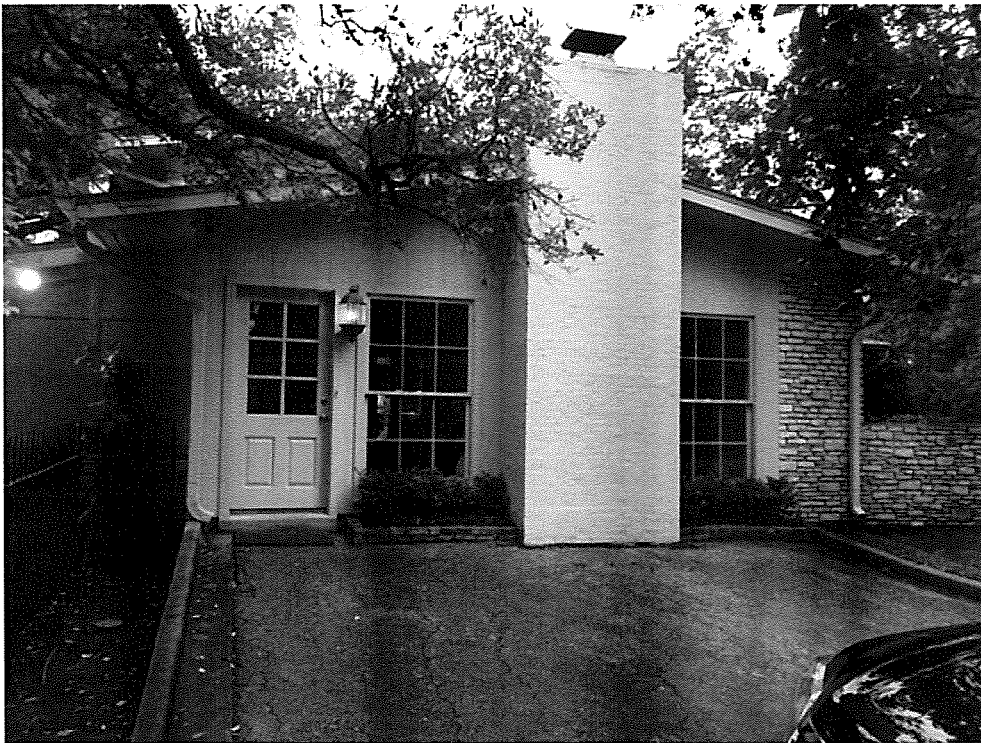
**\*\*Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

**\*\*\*Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

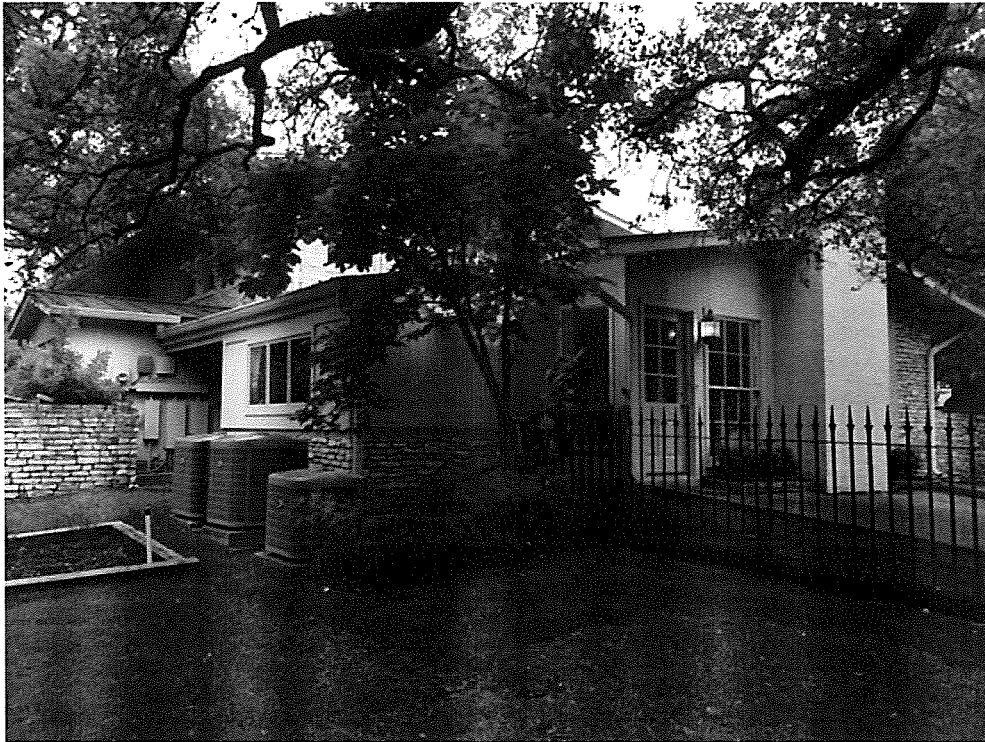
2301 Woodlawn Blvd.



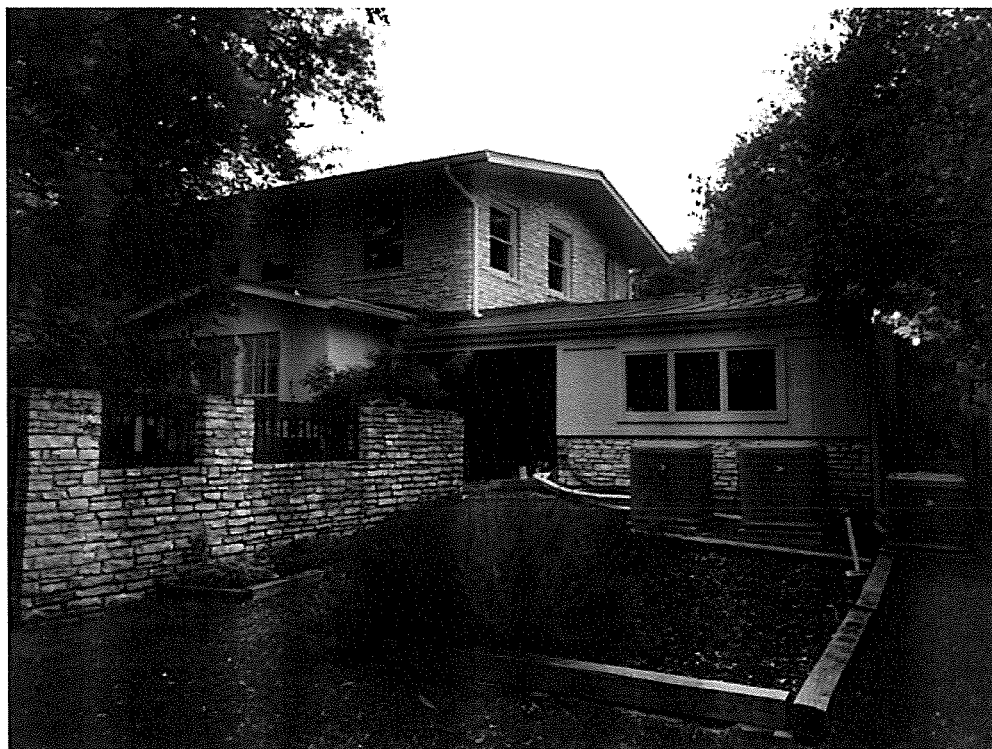
North Wall, maintain top plate, remove windows, doors & fireplace



2301 Woodlawn Blvd.



North East corner, remove & store stone for reuse, demo laundry room



East wall, remove windows, wall & roof at laundry room



CITY OF AUSTIN CODE NOTES

1. IN ACCORDANCE WITH CITY OF AUSTIN BUILDING CODE SECTION 25-11-37, CONTRACTOR MUST OBTAIN A DEMOLITION PERMIT FROM THE BUILDING DEPARTMENT BEFORE ANY DEMOLITION WORK CAN BEGIN.
2. IN ACCORDANCE WITH CITY OF AUSTIN BUILDING CODE SECTION 25-11-39, CONTRACTOR MUST COMPLY WITH CONSTRUCTION AND DEMOLITION MATERIALS DIVERSION PROGRAM, ALSO DESCRIBED IN SECTION 15-6-5.

DEMOLITION NOTES

1. SEE GENERAL NOTES ON SHEET A1 FOR DUST-CONTROL, BARRIERS AND CONTRACTOR'S RESPONSIBILITIES DURING DEMOLITION.
2. PROTECT ALL (E) DRY WALL, GYP. BD. OR PLASTER WALL FINISH ON INTERIOR WALLS DESIGNATED TO REMAIN; SEE FLOOR PLAN.
3. REMOVE ALL (E) WD. SINGNG, PLYWD, STUDS, TOP PLATE, AND WUD SILL FROM (E) EXTERIOR WALLS DESIGNATED TO BE REMOVED.
4. SALVAGE AND PROTECT AS MUCH (E) STONE MASONRY AS POSSIBLE FOR REUSE THROUGHOUT DEMOLITION PROCESS.
5. REMOVE ALL FLOOR FINISHES TO SUBFLOOR IN (E) ROOMS DESIGNATED TO BE REMOVED.
6. SALVAGE, STORE, AND PROTECT AS MUCH (E) FLOOR FINISHES AS POSSIBLE FOR REUSE.
7. REMOVE AND EXCAVATE EXISTING FLOORS AND FOUNDATION TO LEVELS APPROPRIATE FOR NEW ELEVATIONS DESIGNATED ON SITE PLAN AND FLOOR PLAN.
8. CAREFULLY PROTECT ALL (E) ELECTRICAL AND MECHANICAL EQUIPMENT AND THEIR CONDUIT FOR RELOCATION AND REUSE IN (N) CONSTRUCTION. MINIMIZE INTERRUPTION OF THEIR OPERATION NECESSARY DURING DEMOLITION.
9. REMOVE AND PROTECT AS MUCH (E) FIREPLACE AND CHIMNEY MATERIALS AND EQUIPMENT THAT CAN BE REUSED IN (N) FIREPLACE LOCATION ON FLOOR PLAN.
10. MAINTAIN (E) ROOF FRAMING AND MATERIALS BY SHORING (E) TOP PLATE AS REQUIRED.
11. CAREFULLY REMOVE AND PROTECT ALL (E) DOORS AND WINDOWS IN DEMOLITION WALLS FOR RELOCATION AND REUSE IN (N) CONSTRUCTION.
12. SEE STRUCTURAL FOUNDATION PLAN FOR ALL EXISTING SLAB DEMOLITION DIMENSIONS.

SEE SITE PLAN FOR (E) BENCHMARK DEMOLITION



EXCAVATION TO OCCUR IN THIS AREA FOR (N) ADDITION - SEE SITE PLAN AND FIRST FLOOR PLAN

REMOVE (E) FIREPLACE AND CHIMNEY; SEE NOTE #9 THIS SHEET

MAINTAIN (E) TOP PLATE AND ALL ROOF FRAMING; SEE NOTE #10 THIS SHEET

SEE STRUCTURAL DIMS. FOR DIMS.

(E) COURTYARD

(E) POOL

REMOVE (E) LOW STONE MASONRY WALL - SEE SITE PLAN AND NOTE #4 THIS SHEET

(E) HALLWAY

(E) POWDER

(E) LIBRARY

(E) UTILITY

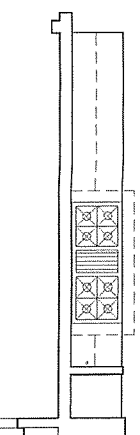
DN

(E) BAR

(E) PANTRY

(E) KITCHEN

(E) BREAKFAST NOOK



NO WORK IN THIS (E) AREA

NO WORK IN THIS (E) AREA

1

PROPOSED DEMOLITION PLAN

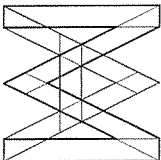
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NOTE: SEE SHT. A1.1 FOR ENTIRE (E) FIRST FLOOR PLAN

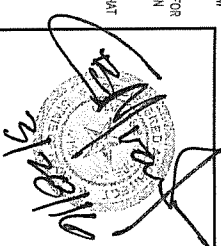
N

LEGEND

- REMOVE (E) CONC. R.R. SLAB, AND EXCAVATE TO APPROPRIATE (N) CONC. SLAB FOR (N) FLL. LEVEL FOUNDATION
- REMOVE (E) DRIVEWAY, DRIVEWAY CURB, AND LAWN GRADING AS REQ. SEE SITE PLAN
- WALL TO BE DEMOLISHED



MOORE  
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1013 WEST 8TH STREET  
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512-534-7377  
cmoore.arch@gmail.com



Consultant

Preliminary Set	
Design Review Set	
Plan Check Set	X
Permit Set	
Construction Set	

Revisions	Date

WENSKE RESIDENCE  
REMODEL AND ADDITION

2301 WOODLAWN BLVD.  
AUSTIN, TX 78703

Date: MARCH 25, 2016

Scale: AS NOTED

Drawn By: CM

Job: WENSKE

Sheet:

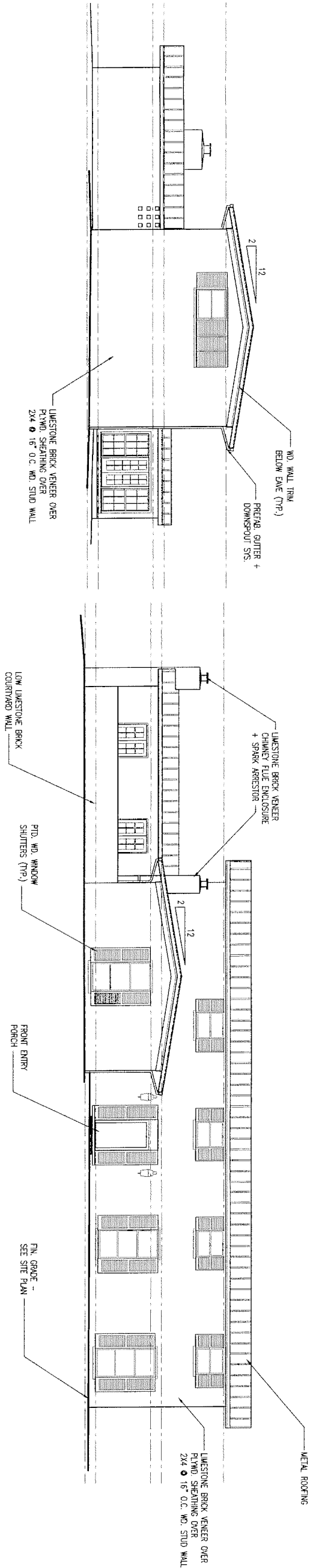
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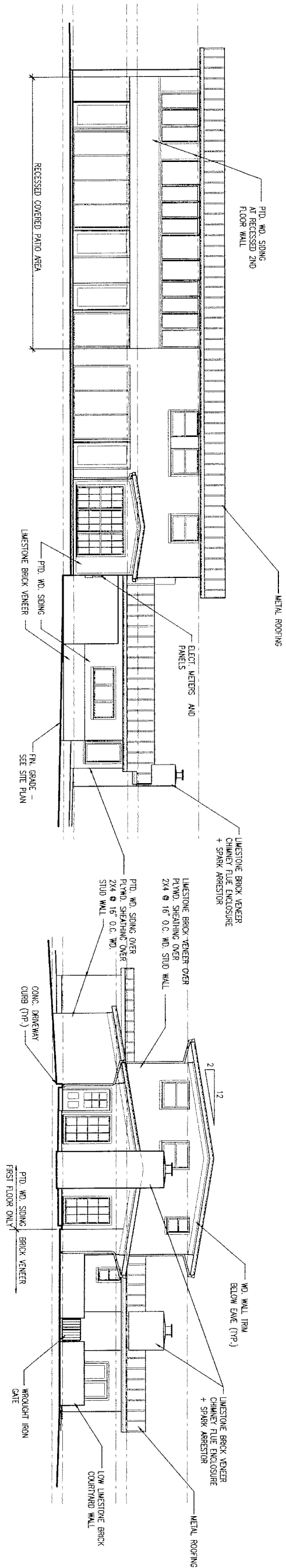






1 EXISTING SOUTH ELEVATION  
SCALE: 1/16"=1'-0"

2 EXISTING WEST ELEVATION  
SCALE: 1/16"=1'-0"



3 EXISTING EAST ELEVATION  
SCALE: 1/16"=1'-0"

4 EXISTING NORTH ELEVATION  
SCALE: 1/16"=1'-0"

**MOORE**  
ARCHITECTURE  
1013 WEST 814 STREET  
AUSTIN, TEXAS 78703  
512.534.7277  
moore.arch@gmail.com



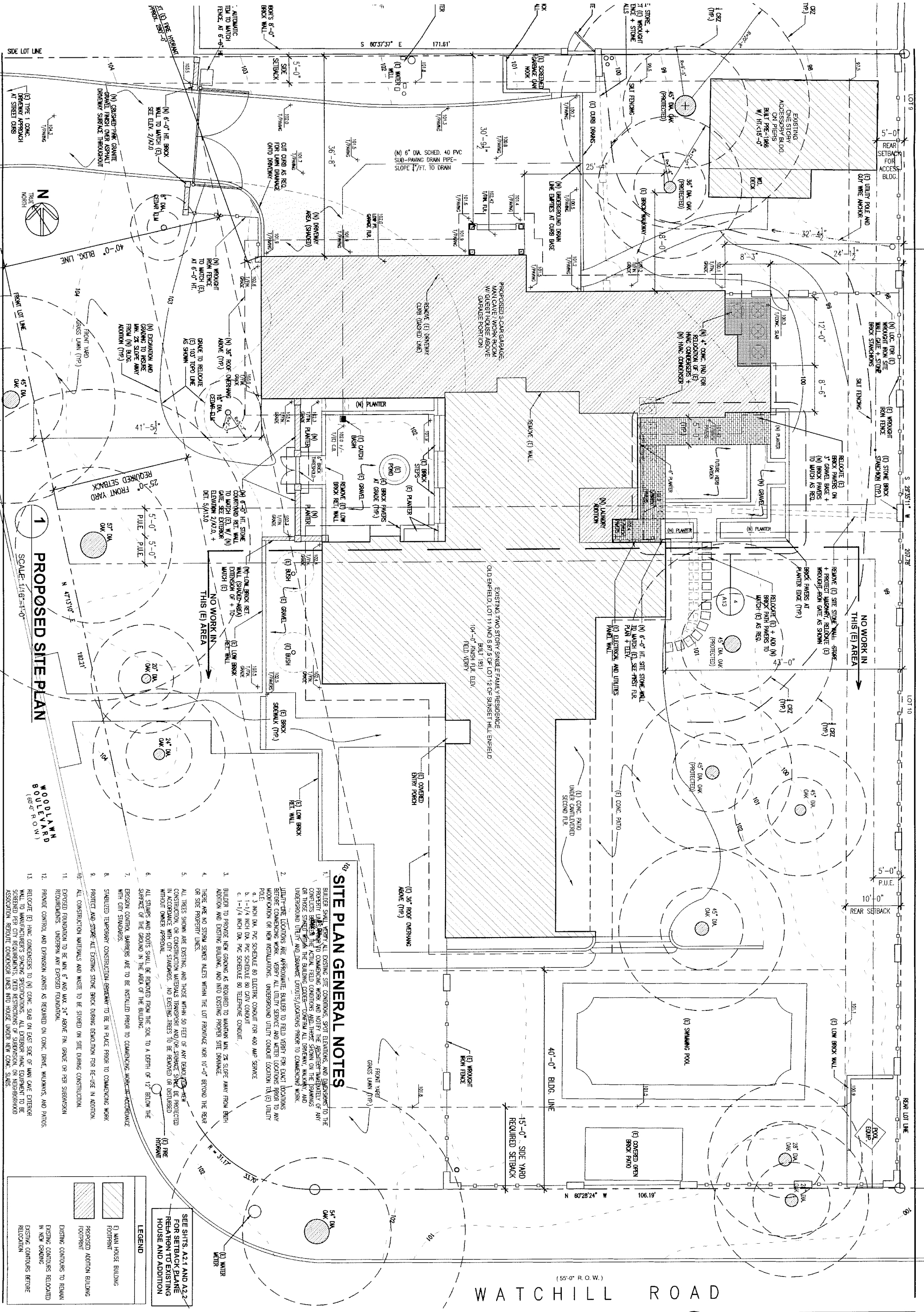
Consultant

Preliminary Set	
Design Review Set	
Plan Check Set	X
Permit Set	
Construction Set	

Revisions	Date

**WENSKE RESIDENCE**  
REMODEL AND ADDITION  
  
2301 WOODLAWN BLVD.  
AUSTIN, TX 78703

Date	MARCH 25, 2016
Scale	AS NOTED
Drawn By	CM
Job	WENSKE



- ### SITE PLAN GENERAL NOTES
- BUILDER SHALL VERIFY ALL EXISTING SITE CONDITIONS, SPOT ELEVATIONS, AND DIMENSIONS TO THE PROPERTY LINES. ANY DISCREPANCIES TO COMMENCING WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. THE ACTUAL FIELD CONDITIONS AND THOSE SHOWN ON THE DRAWINGS OR THOSE STATED WITHIN THE BUILDING CODES—CONTROL ALL DIMENSIONS, MATERIALS, AND UNDERGROUND UTILITIES AND DISCREPANCIES PRIOR TO COMMENCING WORK.
  - UTILITY LOCATIONS ARE APPROXIMATE. BUILDER TO FIELD VERIFY FOR EXACT LOCATIONS. STORM SEWERS WORK SHALL BE ALL DRAIN SERVICE AND WATER LOCATIONS PRIOR TO ANY MODIFICATION OR NEW INSTALLATIONS. UNDERGROUND UTILITY LOCATIONS TO (E) UTILITY a. 3 INCH DIA. PVC SCHEDULE 80 ELECTRIC CONDUIT FOR 400 AMP SERVICE b. 1-1/4 INCH DIA. PVC SCHEDULE 80 CABLE CONDUIT c. 1-1/4 INCH DIA. PVC SCHEDULE 80 TELEPHONE CONDUIT
  - BUILDER TO PROVIDE NEW GRADING AS REQUIRED TO MAINTAIN MIN. 2% SLOPE AWAY FROM BOTH ADDITION AND EXISTING BUILDING, AND INTO EXISTING PROPER SITE DRAINAGE.
  - THERE ARE NO STORM SEWER ALLEYS WITHIN THE LOT PERMITS NOR 10'-0" BEYOND THE REAR OR SIDE PROPERTY LINES.
  - ALL TREES SHOWN ARE EXISTING, AND THOSE WITHIN 50 FEET OF ANY REMOVED TREE OR CONSTRUCTION, OR CONSTRUCTION MATERIALS TRANSPORT AND/OR STORAGE SHALL BE PROTECTED WITHOUT OWNER APPROVAL. NO EXISTING TREES TO BE REMOVED OR DISTURBED.
  - ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
  - EROSION CONTROL BARRIERS ARE TO BE INSTALLED PRIOR TO COMMENCING WORK IN ACCORDANCE WITH CITY STANDARDS.
  - STABILIZED TEMPORARY CONSTRUCTION BARRIERS TO BE IN PLACE PRIOR TO COMMENCING WORK.
  - PROTECT AND STAKE ALL EXISTING STONE BRICK DURING DEMOLITION FOR RE-USE IN ADDITION. ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
  - EXPOSED FOUNDATION TO BE MIN. 6" AND MAX. 24" ABOVE FIN. GRADE OR PER SUBDIVISION REQUIREMENTS. UNDERPIN ANY EXPOSED FOUNDATION.
  - PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONC. DRIVE, WALKWAYS, AND PATIOS.
  - RELOCATE (E) HVAC CONDENSERS TO (N) CONC. SLAB ON EAST SIDE OF MAIN CAVE EXTERIOR WALL TO MANUFACTURER'S SPACING SPECIFICATIONS. ALL EXTERIOR HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS, KED RESTRICTIONS OF SHADING, OR NEIGHBORHOOD ASSOCIATION REBATE CONDENSER UNITS INTO HOUSE UNDER NEW CONC. SLABS.

SEE SHTS. A2.1 AND A2.2 FOR SETBACK PLANE REVISION TO EXISTING HOUSE AND ADDITION

LEGEND

	EXISTING BUILDING FOOTPRINT
	PROPOSED ADDITION BUILDING FOOTPRINT
	EXISTING CONDITIONS TO REMAIN IN NEW GRADING
	EXISTING CONDITIONS BEFORE RELOCATION

WENSKE RESIDENCE

REMODEL AND ADDITION

2301 WOODLAWN BLVD.

AUSTIN, TX 78703

Date: 14MARCH 25, 20

Scale: AS NOTED

Drawn By: CH

Job: WENSKE

Sheet: A2.0

MOORE ARCHITECTURE

1013 WEST 5TH STREET

AUSTIN, TEXAS 78703

512-324-7277

office@moorearch.com

Consultant

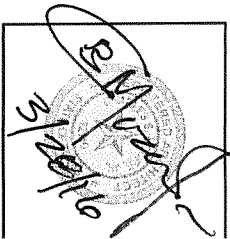
Preliminary Set	
Design Review Set	
Plan Check Set	X
Permit Set	
Construction Set	

Revisions

No.	Description	Date

Stamp: 3/20/2020





Consultant	
Preliminary Set	
Design Review Set	
Plan Check Set	X
Permit Set	
Construction Set	

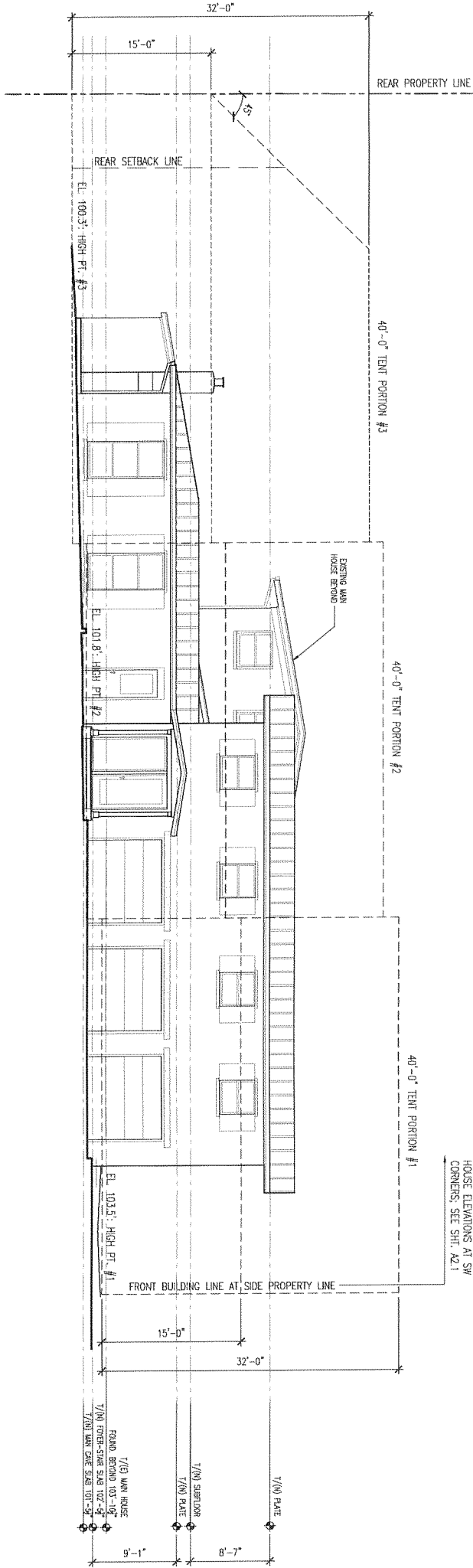
Revisions	Date

**WENSKE RESIDENCE**  
REMODEL AND ADDITION

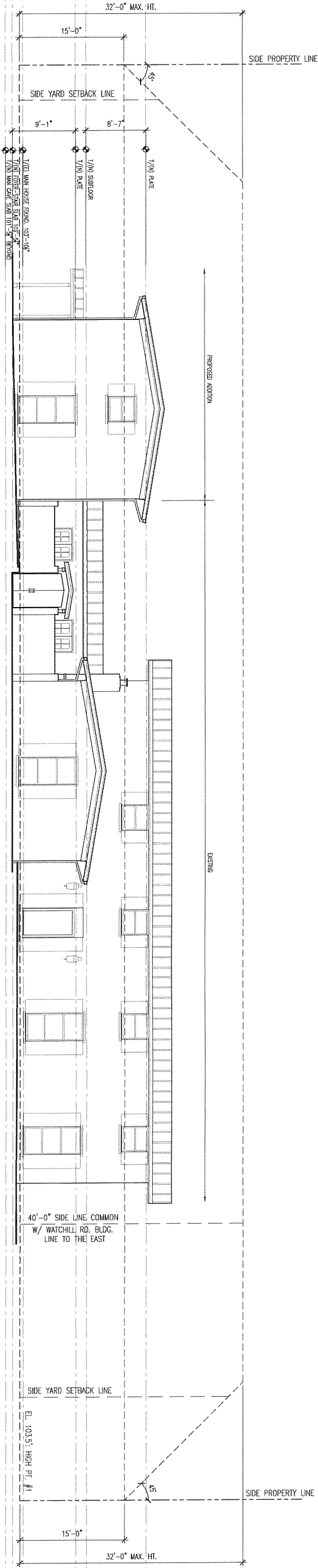
2301 WOODLAWN BLVD.  
AUSTIN, TX 78703

Date	MARCH 25, 201
Scale	AS NOTED
Drawn By	CM
Job	WENSKE
Sheet	

A2.2

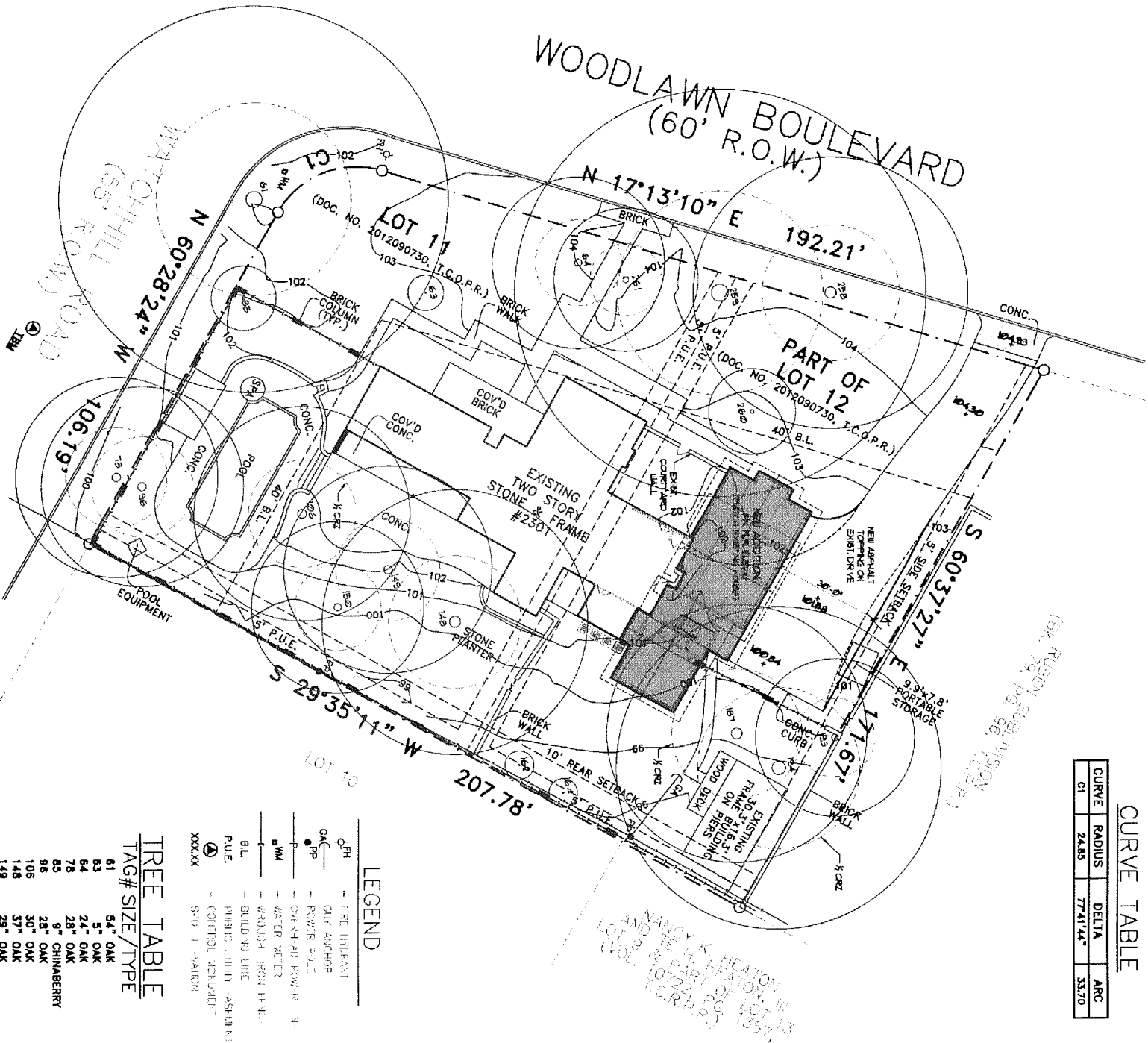


- 1  
SCALE: 1/16"=1'-0"
- OPPOSITE HAND SOUTH ELEVATION VIEW SHOWS SIMILAR SETBACK PLANES RELATIONS TO HOUSE.
  - SEE SHEET A2.1 FOR SETBACK PLANE BASE LINES IN PLAN.



- 2  
SCALE: 1/16"=1'-0"
- OPPOSITE HAND EAST ELEVATION VIEW SHOWS SIMILAR SETBACK PLANES RELATIONS TO HOUSE.
  - SEE SHEET A2.1 FOR SETBACK PLANE BASE LINES IN PLAN.

CURVE TABLE			
CURVE	RADIUS	DELTA	ARC
C1	24.85	77°41'45"	33.70



# LEGEND

CH	- FIRE HYDRANT
GA	- GUY ANCHOR
PP	- POWER POLE
P	- ON ROAD POWER
WM	- WATER METER
BL	- WALLS FROM HERE
BL	- BUILDING LINE
PUE	- PUBLIC UTILITY - ASPHALT
XXXXX	- 5'0" E - VARIOUS

# TREE TABLE TAG# SIZE/TYPE

81	54" OAK
83	5" OAK
84	24" OAK
78	28" OAK
85	8" CHINA BERRY
96	28" OAK
106	30" OAK
146	37" OAK
149	29" OAK
150	24" CEDAR ELM
162	4" MAGNOLIA
164	4" CHINA BERRY
187	16" OAK
183	22" OAK
184	45" OAK
258	38" OAK
259	57" OAK
260	12" CEDAR ELM
261	20" OAK

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LOT 11 AND THE SOUTHERLY PART OF LOT 12, SUNSET HILL ENFIELD, A SUBDIVISION RECORDED IN VOLUME 3, PAGE 164, OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, SAID LOT 11 AND SOUTHERLY PART OF LOT 12 CONVEYED TO DENNETT R. WENSKE AND CATHERINE M. WENSKE BY DOCUMENT NO. 2012090730, OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

# 1 TOPOGRAPHIC SURVEY

SCALE: 1" = 40'-0"

NOTE: THIS SURVEY INCLUDES PREVIOUS DISCARDED SCHEME OVERLAY THAT HAS SINCE CHANGED SLIGHTLY IN ATTACHED PROPOSAL. THIS SURVEY WAS SOURCE OF ALL TOPOGRAPHIC INFORMATION FOR ATTACHED PROPOSAL ON SITE PLAN, SHI, A2.0, AND SETBACK PLANE CALCULATIONS, SHIS, A2.1 AND A2.2.

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David K. Heaton  
 No. 1337  
 State of Texas

Consultant	
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Preliminary Set	
Design Review Set	
Plan Check Set	X
Permit Set	
Construction Set	

Revisions	Date

**WENSKE RESIDENCE**  
 REMODEL AND ADDITION  
  
 2301 WOODLAWN BLVD.  
 AUSTIN, TX 78703

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Sheet: **A2.3**  
 of



## DEMOLITION NOTES

1. SEE GENERAL NOTES ON SHEET A1 FOR DUST-CONTROL, BARRIERS AND CONTRACTOR'S RESPONSIBILITIES DURING DEMOLITION.
2. PROTECT ALL (E) DRY WALL/GYP. BD. OR PLASTER WALL FINISH ON INTERIOR WALLS DESIGNATED TO REMAIN: SEE FLOOR PLAN.
3. REMOVE ALL (E) WD. SIDING, PLYWD. STUDS, TOP PLATE, AND WUD SILL FROM (E) EXTERIOR WALLS DESIGNATED TO BE REMOVED.
4. SALVAGE AND PROTECT AS MUCH (E) STONE MASONRY AS POSSIBLE FOR REUSE THROUGHOUT DEMOLITION PROCESS.
5. REMOVE ALL FLOOR FINISHES TO SLAB/FLOOR IN (E) ROOMS DESIGNATED TO BE REMOVED.
6. SALVAGE, STORE, AND PROTECT AS MUCH (E) FLOOR FINISHES AS POSSIBLE FOR REUSE.
7. REMOVE AND EXCAVATE EXISTING FLOORS AND FOUNDATION TO LEVELS APPROPRIATE FOR NEW ELEVATIONS DESIGNATED ON SITE PLAN AND FLOOR PLAN.
8. CAREFULLY PROTECT ALL (E) ELECTRICAL AND MECHANICAL EQUIPMENT AND THEIR CONDUIT FOR RELOCATION AND REUSE IN (N) CONSTRUCTION. MINIMIZE INTERFERENCE OF THEIR OPERATION NECESSARY DURING DEMOLITION.
9. REMOVE AND PROTECT AS MUCH (E) PREPARE AND CHIMNEY MATERIALS AND EQUIPMENT THAT CAN BE REUSED IN (N) FIREPLACE LOCATION ON FLOOR PLAN.
10. MAINTAIN (E) ROOF FRAMING AND MATERIALS BY SHORING (E) TOP PLATE AS REQUIRED.
11. CAREFULLY REMOVE AND PROTECT ALL (E) DOORS AND WINDOWS IN DEMOLITION WALLS FOR RELOCATION AND REUSE IN (N) CONSTRUCTION.
12. SEE STRUCTURAL FOUNDATION PLAN FOR ALL EXISTING SLAB DEMOLITION DIMENSIONS.

EXCAVATION TO OCCUR IN THIS AREA FOR (N) ADDITION - SEE SITE PLAN AND FIRST FLR. PLAN -

~~REMOVE (E) FIREPLACE  
AND CHIMNEY, SEE NOTE  
#9 THIS SHIT.~~

MAINTAIN (E) TOP PLATE  
AND ALL ROOF FRAMING;  
SEE NOTE #10 THIS SHIT.

ALL ANATOMICAL  
DWGS. FOR DIMS

(E) COURTYARD

(E) FAMILY ROOM

Exhibit

(E) POND

REMOVE (E) LOW STONE  
MASONRY WALL - SEE  
SITE PLAN AND NOTE #4  
THIS SHEET

(E) HALLWAY

**(E) BAR**

## THE PANTRY

REMOVE (E) LOW STONE  
MASONRY WALL - SEE

THIS SHIT.

(B) POWDER

(E) KITCHEN

(E) BREAKFAST

2

(E) LIBRARY

### E) UTILITY

NO WORK IN  
THIS (E) AREA

NO WORK IN  
THIS (E) AREA

NOTE: SEE SHT. A.1.1 FOR ENTIRE (E) FIRST FLOOR PLAN



# PROPOSED DEMOLITION PLAN

Z

### LEGEND

REMOVE (E) CONC. FLR. SLAB, AND  
EXCAVATE TO ACCOMMODATE (N) CONC.  
SLAB FOR (N) FLR. LEVEL FOUNDATION

REMOVE (E) DRIVEWAY, DRIVEWAY CURB, AND LAWN GRADING AS REQUIRED FOR (N) FLR. ELEV. FOUNDATION; SEE SITE PLAN


0230

### A3.0

SCALE: 1/8"=1'-0"

50

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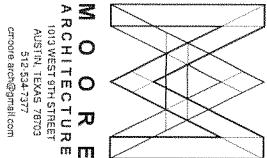
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Scale:	AS NOTED
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Job:	WENSKIT
Sheet:	

FLOOR PLAN NOTES

- FIELD VERIFY ALL DIMENSIONS OF EXISTING CONSTRUCTION ADJACENT AND ALIGNED WITH NEW CONSTRUCTION. NOTIFY ARCHITECT OF ANY ADJUSTMENTS NECESSARY BEFORE CONSTRUCTION.
- SEE DEMOLITION PLAN FOR ALL EXISTING WALLS AND FLOOR SLABS TO BE REMOVED.
- ONLY NEW DOORS ARE SHOWN. ALL EXISTING DOORS EXCEPT EXTERIOR DOORS ARE NOT SHOWN AND ARE TO REMAIN. NEW DOORS TO MATCH EXISTING.
- ALL EXTERIOR WALLS SHALL BE 24" STUDS @ 16" O.C., UNLESS OTHERWISE NOTED ON PLANS.
- ALL INTERIOR WALLS SHALL BE 24" STUDS @ 16" O.C., UNLESS OTHERWISE NOTED ON PLANS.
- INSULATE ALL EXTERIOR WALLS WHICH EXPOSED, AND ALL ATTIC WALLS WITH R-13 INSUL.
- REUSE, REPLACE, AND ADD TO TILE FLOORING IN LAUNDRY PER OWNER'S SECTION.
- REFINISH AND REPAIR AS NECESSARY ALL EXISTING HARDWOOD FLOORS. REFINISH ALL LAUNDRY CABINETRY, COUNTERTOPS, AND BACKSPLASH PER OWNER'S SELECTION.



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Plan Check Set	X
Permit Set	
Construction Set	

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A4.0

FLOOR PLAN NOTES

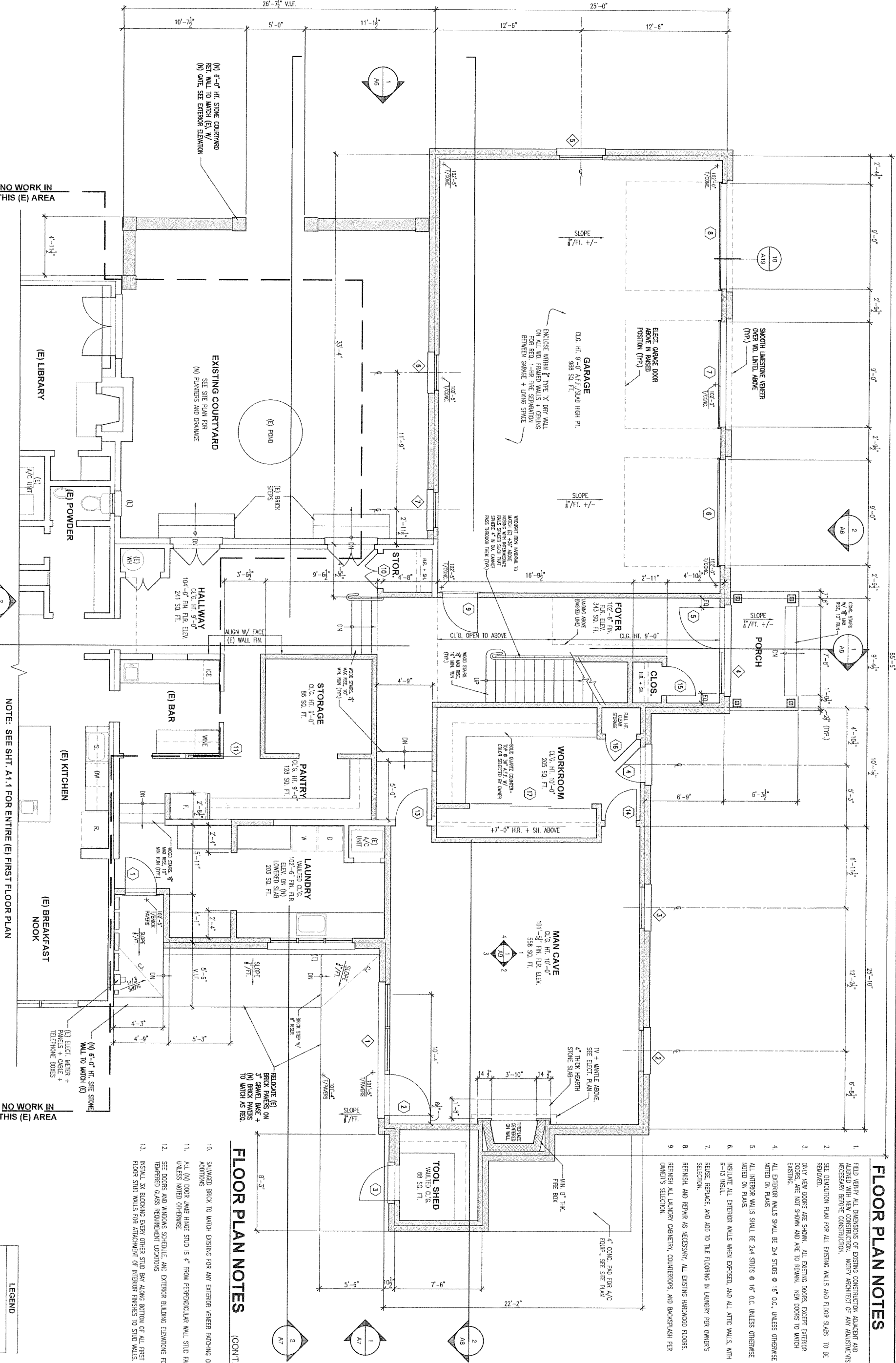
(CONT.)

- SAWAGED BRICK TO MATCH EXISTING FOR ANY EXTERIOR VENEER PATCHING OR ADDITIONS.
- ALL (N) DOOR LAMB HINGE STUD IS 4" TROW PERPENDICULAR WALL STUD FACE, UNLESS NOTED OTHERWISE.
- SEE DOORS AND WINDOWS SCHEDULE, AND EXTERIOR BUILDING ELEVATIONS FOR TEMPERED GLASS REQUIREMENT LOCATIONS.
- INSTALL 3X BLOCKING EVERY OTHER STUD BAY ALONG BOTTOM OF ALL FIRST FLOOR STUD WALLS FOR ATTACHMENT OF INTERIOR FINISHES TO STUD WALLS.

FLOOR PLAN NOTES

(CONT.)

- SAWAGED BRICK TO MATCH EXISTING FOR ANY EXTERIOR VENEER PATCHING OR ADDITIONS.
- ALL (N) DOOR LAMB HINGE STUD IS 4" TROW PERPENDICULAR WALL STUD FACE, UNLESS NOTED OTHERWISE.
- SEE DOORS AND WINDOWS SCHEDULE, AND EXTERIOR BUILDING ELEVATIONS FOR TEMPERED GLASS REQUIREMENT LOCATIONS.
- INSTALL 3X BLOCKING EVERY OTHER STUD BAY ALONG BOTTOM OF ALL FIRST FLOOR STUD WALLS FOR ATTACHMENT OF INTERIOR FINISHES TO STUD WALLS.



1 PROPOSED PARTIAL FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



LEGEND
EXISTING STUD WALLS
NEW STUD WALLS
EXISTING STUD WALLS TO BE REMOVED



