



City of Austin

Residential New Construction and Addition

Permit Application

Residential Review, 2nd floor, One Texas Center
505 Barton Springs, Austin, TX 78704 (512) 978-4000

Property Information

Project Address: 3204 Glenview Avenue, Austin, TX 78703	Tax Parcel ID: 119360
Legal Description: Lot 3, Block 2, of Bryker Woods "D" Book 4, Page 48, Travis County Plat Records 85-312	
Zoning District: SF-3-NP	Lot Area (sq ft): 6,290.00
Neighborhood Plan Area (if applicable): Bryker Woods	Historic District (if applicable): National Register of Historic Districts

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, Fire review is required)	Is this property within 200 feet of a hazardous pipeline? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, EHZ review is required)	Is this property within 150 feet of the 100 year floodplain? Y <input type="checkbox"/> N <input type="checkbox"/> (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? Y <input type="checkbox"/> N <input type="checkbox"/> Note: Include tree location(s) on plot plan.	(If yes, application for a tree permit with the City Arborist is required)
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input type="checkbox"/> Y <input type="checkbox"/> N	
Does this site currently have: water availability? <input type="checkbox"/> Y <input type="checkbox"/> N wastewater availability? <input type="checkbox"/> Y <input type="checkbox"/> N	(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input type="checkbox"/> N <input type="checkbox"/> (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, contact the Development Assistance Center for a Site Plan Exemption)	
Is this site within the Waterfront Overlay? Y <input type="checkbox"/> N <input type="checkbox"/> (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input type="checkbox"/> N <input type="checkbox"/> (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <input type="checkbox"/> Y <input type="checkbox"/> N (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? Y <input type="checkbox"/> N <input type="checkbox"/> (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input type="checkbox"/> N <input type="checkbox"/> Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

Description of Work

Existing Use:	vacant	<input type="radio"/> single-family residential	<input type="radio"/> duplex residential	<input type="radio"/> two-family residential	other: _____
Proposed Use:	vacant	<input type="radio"/> single-family residential	<input type="radio"/> duplex residential	<input type="radio"/> two-family residential	other: _____
Project Type:	<input type="radio"/> new construction	<input type="radio"/> addition	<input type="radio"/> addition/remodel	other: _____	
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input type="checkbox"/> Y <input type="checkbox"/> N (Note: Removal of all or part of a structure requires a demolition permit application.)					
# of existing bedrooms: 2	# of bedrooms upon completion: 3	# of baths existing: 1.0	# of baths upon completion: 2.0		
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) Remodel of existing kitchen and addition of living room at first floor rear of the residence. Addition of master bedroom, master bathroom and office at second floor. Removal of garage and addition of a carport.					
Trades Permits Required (Circle as applicable): <input type="checkbox"/> electric <input type="checkbox"/> plumbing <input type="checkbox"/> mechanical (HVAC) <input type="checkbox"/> concrete (R.O.W.)					

Job Valuation						
Total Job Valuation: \$ <u>180,000</u> <small>Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.</small>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>60,000</u> Amount for Primary Structure: \$ <u>60,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Amount for Accessory Structure: \$ <u>0</u> Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N			Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ <u>80,000</u> Elec: \$ <u>15,000</u> Plmbg: \$ <u>20,000</u> Mech: \$ <u>5,000</u> TOTAL: \$ <u>120,000</u>		
Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.						
Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	1,314.00		232.00		1,546.00	0.00
b) 2 nd Floor conditioned area	0.00		730.00		730.00	0.00
c) 3 rd Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)	0.00		370.00		370.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	0.00		137.00		137.00	0.00
g) Other covered or roofed area					0.00	0.00
h) Uncovered wood decks			105.00		105.00	0.00
Total Building Area (total a through h)	1,314.00	0.00	1,574.00	0.00	2,888.00	0.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00
Building Coverage Information <small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small> Total Building Coverage (sq ft): <u>2,053.00</u> % of lot size: <u>33</u>						
Impervious Cover Information <small>Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small> Total Impervious Cover (sq ft): <u>2,357.00</u> % of lot size: <u>38</u>						
Setbacks Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N						
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Building Height: <u>18</u> ft <u>3</u> in Number of Floors: <u>2</u>			Parking (LDC 25-6 Appendix A & 25-6-478) # of spaces required: <u>2</u> # of spaces provided: <u>2</u>			
Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N <small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small> Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Width of approach (measured at property line): <u>25.0</u> ft Distance from intersection (for corner lots only): _____ ft Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N <small>(If yes, drainage review is required)</small>						

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1,314.00	232.00			1,546.00
2 nd Floor		730.00			730.00
3 rd Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)		137.00	<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	137.00	0.00
Basement			Must follow article 3.3.3B, see note below		0.00
Attic			Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 2b)		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a)		0.00
Carport**: (check article utilized)	Attached		<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached	370.00	<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 1)	370.00	0.00
Accessory Building(s) (detached)					0.00
Totals	1,314.00	1,469.00			2,276.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,276.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 36 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y ☒ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

*Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**Garage and carport exemptions (in relation to primary structure): Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

***Ordinance article 3.3.2 B 1 is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

Contact Information

Owner	Mr. Patrick Rosenthal or Mrs. Jamie Rosenthal	Applicant/Agent	Doug Keating
Mailing Address	3204 Glenview Ave., Austin, TX 78703	Mailing Address	3530 Bee Caves Rd., Ste. 218, 78746
Phone	(512) 415-1753	Phone	(512) 698-6948
Email	PatrickR717@gmail.com	Email	DougKeating@me.com
General Contractor	Doug Keating for Structural Environments, L.L.C.	Design Professional	Roy Canino
Mailing Address	3530 Bee Caves Rd., Ste. 218, 78746	Mailing Address	2325 Stutz Dr., #37, Dallas, TX 75235
Phone	(512) 809-9007	Phone	(469) 693-9900
Email	Jon.Lee@structenv.com	Email	RoyCanino@gmail.com

Authorization

✓ I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.

✓ I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.

✓ I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction. Water services, meters, and wastewater cleanouts are not permitted within or beneath driveways or sidewalks. Private plumbing appurtenances will not be located in public right-of-way or public easements. Private plumbing lines will not cross lot lines.

✓ I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required and compliance with current code may be required.

✓ I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.

✓ I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.

✓ I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or cityarborist@austintexas.gov. This initiates the tree permitting requirement needed to proceed with the development review process.


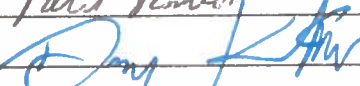

✓ I also understand that if there is a septic system located on the property, I am required to complete an On-site Sewage Facility (a.k.a. an OSSF or septic system) application by contacting Austin Water at (512) 972-0050 or ossf@austintexas.gov. This initiates the septic system permitting requirement needed to proceed with the development review process.

✓ Erosion and Sedimentation Controls are required per Section 25-8-181 of the LDC. **Failure to comply with this requirement may result in a Stop Work Order and/or legal action by the City of Austin including criminal charges and fines of up to \$2,000.00 per day.**

✓ I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

✓ I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.

✓ I am the record owner of this property and authorize the agent/applicant listed above to apply for and acquire a permit on my behalf.

Owner's signature: 	Date: 9.27.16
Applicant's signature: 	Date: 9/28/2016
Design Professional's signature: _____	Date: _____
General Contractor's signature: 	Date: 9/28/2016

OWNER'S AUTHORIZATION LETTER

Property Address: 3204 Glenview Avenue
Austin, Texas 78703

Legal Description: Lot 3, Block 2, of Bryker Woods "D" Book 4, Page 48, Travis
County Plat Records 85-312

I/we hereby certify that I/we am/are the Owner(s) of the above-described property.
I/we am/are respectfully requesting processing and approval of the attached City of
Austin Residential Permit Application. I/we hereby authorize the applicant listed on this
application to act on my/our behalf during the processing of this application throughout
the City of Austin Residential Review.



Owner Signature

9.27.16

Date

Patrick Rosenthal

Printed Name



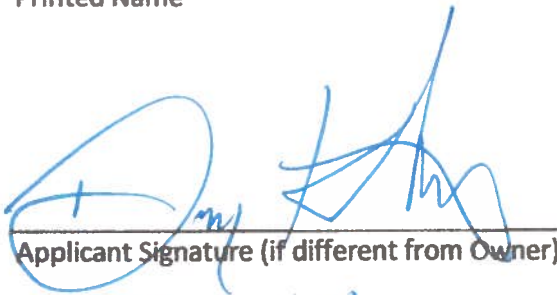
Owner Signature

9/27/16

Date

Jamie Rosenthal

Printed Name



Applicant Signature (if different from Owner)

9/28/2016

Date

Doug KEATING

Printed Name

Structural Environments, L.L.C.

Entity Represented



AUSTIN ENERGY

One Texas Center | 505 Barton Springs Road

Phone: (512) 974-2632, (512) 974-9112

Email: aebspa@austinenergy.com

Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only

For use in DAC only

Responsible Person for Service Request: Doug Keating

Email: dougkeating@me.com

Fax: _____

Phone: (512) 698-6948

☒ Residential ☐ Commercial ☐ New Construction ☐ Remodeling

Project Address: 3204 Glenview Avenue, Austin, Texas 78703

-OR-

Legal Description: Bryker Woods "D" Book 4, Page 48, Travis County Plat Records 85-312 Lot: 3 Block: 2

Who is your electrical provider? ☒ AE ☐ Other: _____

☒ Overhead Service ☐ Underground Service ☐ Single-Phase (1Ø) ☐ Three-Phase (3Ø)

Location of meter: Southwest most corner (rear corner) of primery dwelling

Number of existing meters on gutter: 1 (show all existing meters on riser diagram)

Expired permit #: _____

Comments: Keep updated overhead service lines, meter, and main panel to remain in place. No upgrade removal or moving of service requested.

2nd Story Addition

Doug Keating

BSPA Completed by (print name)

AE APPROVED

MAY 11 2016

132-204

JGM

(512) 698-6948

Phone

BSPA Completed by (signature)

Date

Application expires 180 days after the date of approval
(Any change to the above information requires a new BSPA)

SAVE Form

Office Use Only

Approved ☐ Yes ☐ No

AE Representative

Date

Phone

All structures must maintain

7'6" clearance from AE energized
distribution power lines. Enforced
by AE and NESC codes this review
DOES NOT include transmission
power lines.



Water & Wastewater Service Plan Verification (WWWSPV)

Service Address: 3204 GLENVIEW AVE.
Lot: 4 Block: 2 Subdivision: BRYKER WOODS
Existing Use: S.F.R.
Proposed Use: Single-Family Res. Two-Family Res. Duplex Mobile Home Secondary Apt. Cottage Urban Home
Guest House Accessory Dwelling Accessory Apt. Other _____
Existing # Baths 1 Additional # Baths 1 Total number of bathrooms the meter will serve 2

Applicant's Name & Title: DOUG KEATING / BUILDER Date: 5/11/2016 Phone: 512.698.6948

City of Austin Office Use

Water main size 8" Service stub size 3/4" Service stub upgrade required: Y ☒ N ☐
Shared Dual Service? Y ☐ N ☒ If yes, state meter size(s) on shared service 0
Existing meter # 113908 Existing meter size 5/8"
Existing water service line/meter location 18' R/LW
Upgrade required: Y ☐ N ☒ New meter(s) size 0
WW main size 6" WW Service line/clean-out location in front
Secondary address needed at property: Y ☐ N ☒
AWU Pipeline Engineering approval required: Y ☐ N ☒
Utility Tap Plan required: Y ☐ N ☒
Comments: _____

REVIEWED

MAY 11 2016

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

AWU Engineer Representative

Wang [Signature]

AWU Taps Representative

Date

5/11/16

Date

Phone

974-8734

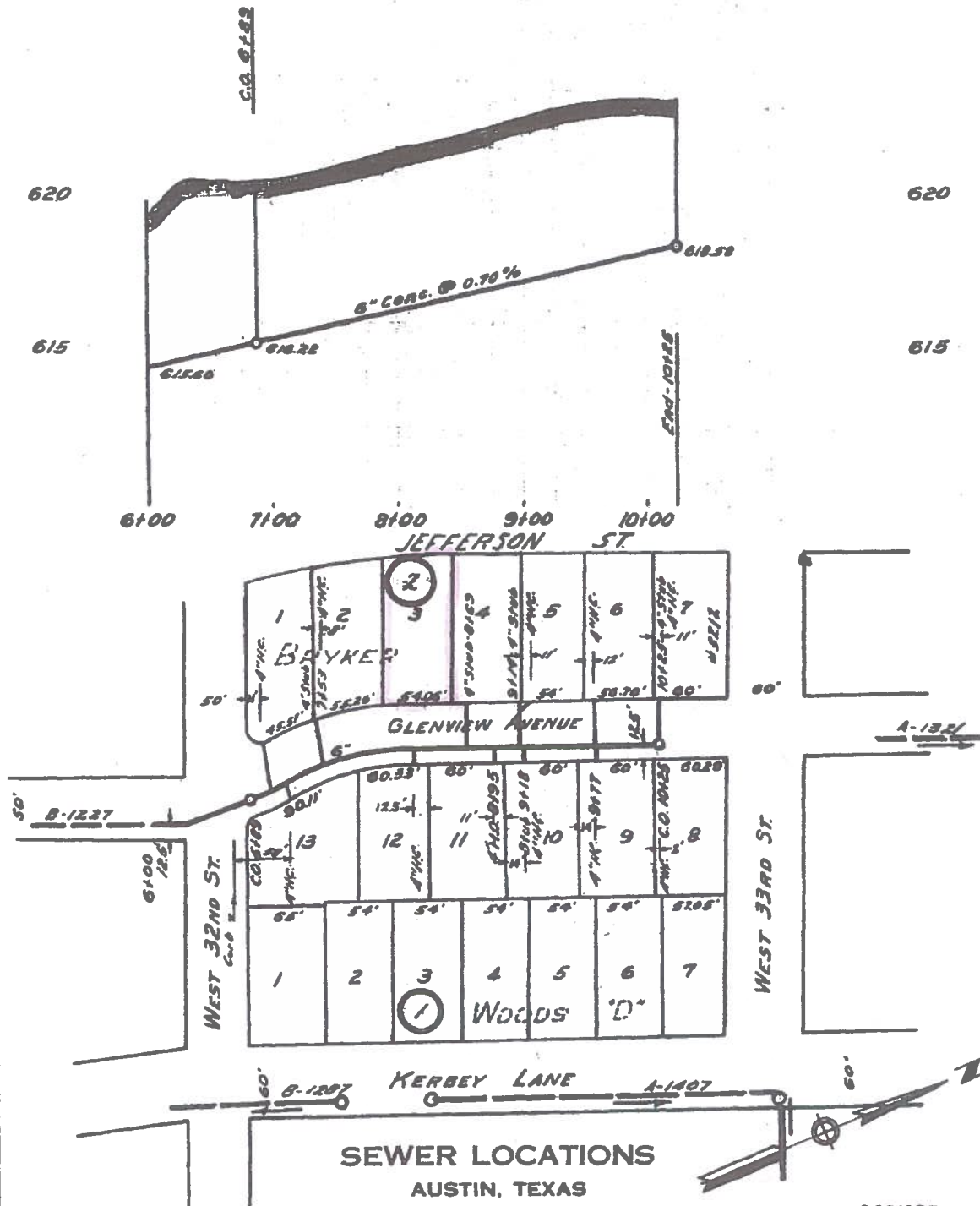
Phone

Water meters & wastewater clean-outs are not permitted in sidewalks or driveways.

Relocation of services to remove them from proposed sidewalks or driveways shall be performed at the applicant's expense.

If the existing water meter was pulled for non-billing account during demolition contact Customer Care at 512-494-9400 to have account set up and the same size meter reinstalled within 120 days of meter removal (with active building permit) to avoid city re-connect charges being applied.

B.M. Note: B.M. J-255.



SEWER LOCATIONS

AUSTIN, TEXAS

BUILT BY <u>CITY FORGES</u>	DATE <u>11-5-39</u>	SAN SEWER: <u>D39178E</u>
FIELD BOOK <u>1179 P60</u>	DATE <u>8-1-39</u>	JOB NO. <u>D3987E</u>
DRAWN BY <u>R.F. PRIEST</u>	DATE <u>5-18-39</u>	LOCATION <u>GLENVIEW AVENUE</u>
REVISD BY <u></u>	DATE <u>12-30-39</u>	FROM <u>WEST 32ND ST.</u>
CHECKED BY <u>J.T. KELLY</u>	DATE <u>7-21-39</u>	TO <u>WEST 33RD ST.</u>
	BOOK NO. <u>B</u>	SHEET NO. <u>1311</u>

WATER SERVICE PERMIT
Austin, Texas

No 13559

INDEXED

J C Smothers

Date June 19th, 1939

Received of 3204 Glenview Ave.

Address

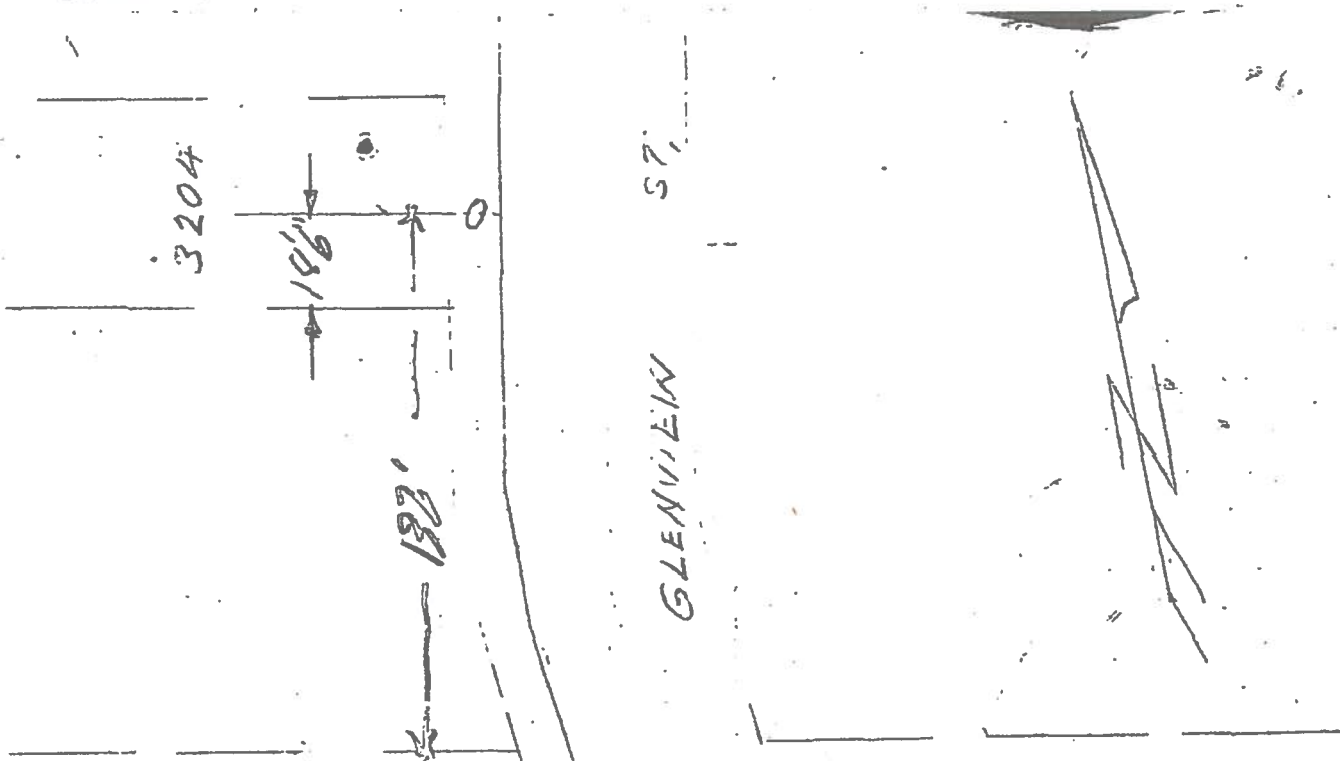
Amount Two and 50/100-- \$ 2.50

Plumber Horton Size of Tap 1/2"

Date of Connection 6/19/39
Size of Tap Made 3/4"
Size Service Made 2 1/2"
Size Main Tapped 2"
From Front Prop. Line to Curb Cock 7'
From S. Prop. Line to Curb Cock 18 1/2"
Location of Meter CURB
Type of Box 60x44
Depth of Main in St. CURB 9'
Depth of Service Line 12'
From Curb Cock to Tap on Main OVER-ALL
Checked by Engr. Dept. 7-6-39 LE

No. Fittings	Size
1 Curb Cock	5/8"
Elbow	
St. Elbow	3/4" X 1/2"
Bushing	3/4" X 1/2"
1 Reducer	2" X 1 1/2"
2 Pipe	3/4" COPPER
1 Lead Comp.	3/4" CONNECTION
Nipples	
1 Union	3/4" C-70-1/2"
Plug	
1 Tap	7/16"
1 Stop	1/2"
1 Box	60x44
1 Lid	"
Valves	
Job No.	639-1016
Req. No.	36997

INDEXED



W. 3240

ST.



Demolition Application

Adopted December 2015

 Application type: Commercial ☐ Residential ☐ Fee paid: \$

Permit Information			
FOR OFFICE USE ONLY	BP- _____	PR- _____	LHD_NRD_HDP - _____ Ca. _____
	REFERRED BY: _____		NRHD/LHD: _____
	<input type="checkbox"/> RELEASE PERMIT <input type="checkbox"/> DO NOT RELEASE PERMIT <input type="checkbox"/> HLC REVIEW— _____		
	HISTORIC PRESERVATION OFFICE		DATE
Property Information		Demolition Type	
Address: <u>3204 Glenview Avenue</u> City/Zip: <u>Austin / 7803</u> Current use: <u>Single Family Residence</u>		<input type="checkbox"/> Total <input type="checkbox"/> Partial—identify the exterior wall(s), roof or portion of wall(s) and roof to be demolished. <u>Rear wall and roof above rear porch, kitchen and dining room to be removed. Demolish detached rear carport.</u>	
Applicant		Owner	
Name: <u>Doug Keating</u> Address: <u>3530 Bee Caves Road, Suite 218</u> City/Zip: <u>Austin / 78746</u> Phone: <u>512-698-6948</u> Email: <u>dougkeating@me.com</u>		Name: <u>Mr. Patrick and Mrs. Jamie Rosenthal</u> Address: <u>3204 Glenview Avenue</u> City/Zip: <u>Austin / 78703</u> Phone: <u>512-415-1753 / 512-964-2856</u> Email: <u>patrick717@gmail.com / Jamie.Novak@gmail.com</u>	
Demolition Contractor Information		Structural Information	
Company: <u>Structural Environments, L.L.C.</u> Address: <u>3530 Bee Caves Road, Suite 218</u> City/Zip: <u>Austin, 78746</u> Phone: <u>512-809-9007</u>		Square Feet: <u>1,315 s.f.</u> Building Materials: <u>4-side stone sheathed stick frame</u> Foundation Type: <u>pier & beam</u> Estimated cost of demolition: <u>\$5000</u>	

IMPORTANT:

Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after 180 days from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.

DO NOT LET YOUR PERMIT EXPIRE!!!!

HISTORIC LANDMARKS AND DISTRICTS: If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office.



Demolition Application

Page 2 of PR- _____

Submittal Requirements

- ☐ 1. Owner authorization/signature, **NOTARIZED** at the bottom of this page
OR a NOTARIZED letter of authorization from the owner giving the applicant permission to apply.
- ☐ 2. Dimensioned Site Plan or Survey that shows all existing structures and what is being demolished
- ☐ 3. Certified tax certificate(s) from the Travis County Tax Assessor's Office (5501 Airport Boulevard, 854-9473).
- ☐ 4. Photos of each side of structure; the front photo needs to show the entire front of the structure that is visible from the street.
- ☐ 5. Review Fee (see [fee schedule](#) for applicable fees)

Additional requirements for Commercial Demolitions:

- ☐ 6. Approved/Red-stamped site plan OR an approved Site Development Exemption Form
- ☐ 7. Completed Texas Department of Health Asbestos Notification Form; must be filled out by a licensed inspector or contractor

Consent, Authorizations and Signatures

I understand and will adhere to the following rules or regulations:

1. **No work may begin prior to issuance of this permit**
2. It is important to verify with the Development Assistance Center (DAC) that new construction will be permitted on the property at this location PRIOR to filing this application.
3. If the structure to be demolished is currently tied into water and/or sewer services provided by the City of Austin, you must contact Austin Water Utility at 512-494-9400 to obtain specific water and sewer service information.
4. **Erosion and Sedimentation Controls are required per §25-8-181 of the City of Austin Land Development Code.** Failure to comply with this requirement may result in a Stop Work Order and/or legal action by the City of Austin including criminal charges and fines of up to \$2,000.00 per day.
5. **If the proposed work will require the removal of any tree protected by ordinance, impact the critical root zone, or prune more than 25% of tree canopy as defined by the Environmental Criteria Manual (3.5.2.A), a Tree Ordinance Review Application is required prior to any such activity.** Note: root zone protection measures (e.g. fencing, boards attached to the trunk, mulch) are required prior to work commencing. For information please email the City Arborist Program at cityarborist@austintexas.gov or visit the website at <http://www.austintexas.gov/departments/city-arborist>.
6. If the proposed work will require use of City right-of-way, a Right of Way Application must be approved prior to any such activity. Applications may be obtained from the City of Austin Transportation Department (512-974-7180) or on the website at <https://austintexas.gov/rowman>.
7. **The Historic Preservation Office will review this application to determine if the structure that is subject of this application is potentially historic as defined by §25-11-214 of the City of Austin Land Development Code.** **Additional review by the Historic Landmark Commission may be required and additional fees may be assessed.**
8. Once this review is complete and approved, the permit may be obtained from the Permit Center and additional fees will be assessed at that time.

I, the undersigned, hereby swear or affirm that the information provided in this application is true and correct to the best of my knowledge and is an accurate reflection of my intentions for the above structure and/or property. I understand that any omission or incorrect information herein will render this application and any permit obtained invalid.

☒ **As owner(s) of the property described in this application, I/we hereby authorize the Applicant listed on this application to act on my/our behalf during the processing and presentation of this request. They shall be the principal contact with the City in processing this application.**

Signature of Applicant: _____

Date: _____

(if different from owner)

Signature of Owner: _____

Date: _____

Sworn and subscribed before me this 27 day of April, 2016

Signature of Public Notary: _____

My commission expires: _____

Notary Public in and for the State of Texas



TAX CERTIFICATE
Bruce Elfant
Travis County Tax Assessor-Collector
P.O. Box 1748
Austin, Texas 78767
(512) 854-9473

NO 2253418

ACCOUNT NUMBER: 01-1900-0103-0000

PROPERTY OWNER:

ROSENTHAL PATRICK CHARLES &
JAMIE LYNN NOVAK
3204 GLENVIEW AVE
AUSTIN, TX 78703-1445

PROPERTY DESCRIPTION:

LOT 3 BLK 2 BRYKERWOODS D

ACRES

.1439 MIN%

.000000000000 TYPE

SITUS INFORMATION: 3204 GLENVIEW AVE

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR	ENTITY	TOTAL
2015	AUSTIN ISD	*ALL PAID*
	CITY OF AUSTIN (TRAV)	*ALL PAID*
	TRAVIS COUNTY	*ALL PAID*
	TRAVIS CENTRAL HEALTH	*ALL PAID*
	ACC (TRAVIS)	*ALL PAID*
TOTAL SEQUENCE 0		*ALL PAID*
TOTAL TAX:		*ALL PAID*
UNPAID FEES:		* NONE *
INTEREST ON FEES:		* NONE *
COMMISSION:		* NONE *
TOTAL DUE ==>		*ALL PAID*

TAXES PAID FOR YEAR 2015 \$10,120.27

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2015 EXCEPT FOR UNPAID YEARS LISTED ABOVE.

The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code).

Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 04/01/2016

Fee Paid: \$10.00

Bruce Elfant
Tax Assessor-Collector

By: *Kathy Head*

Patrick Rosenthal
Patrick Rosenthal

4.27.16

Jamie Rosenthal
Jamie Rosenthal

4/27/16



Application for Certificate of Appropriateness for a City Landmark or Local Historic District

Adopted December 2012

The Historic Landmark Commission (HLC) reviews proposed exterior and site changes to City Historic Landmarks and properties in Local Historic Districts to assist owners in retaining the character-defining architectural features of important historic sites and districts. An approved Certificate of Appropriateness from the HLC is required in advance of performing all non-routine exterior and site work, including installation of signage. Your building permit will not be released without an approved Certificate of Appropriateness review by the City HPO or the HLC.

A Certificate of Appropriateness is required for all non-routine exterior work, including alterations to historic materials or the visual appearance of a site or building façade. These include additions to existing buildings, construction of new buildings, re-painting of Landmarks with new colors, changes in roof color or materials, major landscape work including pools, and changes in sidewalks and driveways. HLC review is usually not required for ordinary maintenance work such as re-painting with existing colors and performing routine repairs using like materials. Please check with the City HPO if you are uncertain whether a historic review is required.

Submit your building permit application for zoning review first, and provide a copy of the reviewed and stamped application and site plan to the City HPO prior to review by the HLC to ensure that your plans conform to all applicable zoning regulations. **If a modification is required from the Residential Design and Compatibility Commission or Board of Adjustments, that approval must be obtained prior to review by the HLC.** This form does not substitute for other required permit review applications.

The City HPO may approve certain minor projects without a review by the HLC. Minor projects include the construction of one-story rear additions of less than 600 square feet, two-story additions not visible from the street, and pools, decks, fences, back porch enclosures or other minor features

Submittal Requirements:

- ☒ 1. One set of dimensioned building plans, with the scale indicated on each sheet, including elevations, floor plan, site plan or layout, and a roof plan. Plans must indicate all proposed exterior and site changes (additions, alterations, new construction, or demolition). For changes and additions, the plan set must show existing and proposed conditions. Mechanical and electrical plans are not necessary.
 - a. Elevation sheets must specify all exterior building materials and finishes to be used, i.e., siding, roofing, windows, doors, fences, etc.
 - b. For review purposes electronic submittal of plans in PDF format is preferred. If hard copies are submitted original plans should be no larger than 11" x 17" and be of a good, reproducible quality. If you require a full-size set, these will be stamped for approval after review by the City HPO or HLC.
 - c. Material samples, specifications or manufacturer information may be requested by staff.
- ☒ 2. Color photographs of the structure and site. Include overall elevation views and close-ups of all affected areas being modified. Digital images submitted electronically are preferred

Submittal Process:

1. Apply for a city building, demolition, and/or relocation permit and obtain zoning compliance approval from City Zoning Review staff.
2. Complete the application for a Certificate of Appropriateness for a City Landmark or Local Historic District with all required information, plans, and photographs, and review fee, payable by check to the City of Austin.
3. Submit all application materials to the City HPO per the submittal deadline schedule available on the HPO web site or at the HPO office.

Preliminary Review by Certificate of Appropriateness Committee: The Certificate of Appropriateness Committee is made up of three members of the HLC. Applicants may have their projects reviewed by this Committee prior to submitting for final review by the HLC. The Committee provides informal review of projects, may suggest revisions to plans and specifications to meet standards, and makes recommendations to the full HLC regarding applications.

Historic Landmark Commission Meetings: The HLC generally meets on the fourth Monday of every month at 7:00 p.m., unless otherwise announced. Applicants or their agent are advised to attend the meeting to present information to the Commission and to answer any questions the Commission may have regarding the project. Failure to attend a Commission meeting may result in a postponement or denial of your application.

Reviewed plans: Once reviewed by the HLC, the HPO staff will provide stamped copies of the reviewed plans to the applicant within 10 days after the meeting, unless further information is required by the Commission for release of the permit. No permit will be released until the required review by the City HPO or the HLC is complete, and no work may commence until the applicant obtains necessary permit(s).

Fees: All applications for review must be accompanied with the appropriate review fee per the City's permit fee schedule. If the application requires review by the Historic Landmark Commission an additional notification fee must be paid as well.



Application for Certificate of Appropriateness for a City Landmark or Local Historic District

Adopted December 2012

GENERAL DESIGN GUIDELINES USED FOR REVIEW OF CERTIFICATES OF APPROPRIATENESS FOR CITY LANDMARKS

The following guidelines, based upon the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties, are used to review projects in the National Register Historic Districts:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.
- Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
- Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.

DESIGN STANDARDS USED FOR REVIEW OF CERTIFICATES OF APPROPRIATENESS FOR PROPERTIES IN LOCAL HISTORIC DISTRICTS

Applications for Certificates of Appropriateness for properties in Local Historic Districts are reviewed based on the Preservation Plan and Design Standards adopted for each Local Historic District.



Application for Certificate of Appropriateness for a City Landmark or Local Historic District

Adopted December 2012

Permit Information

For Office Use Only

BP- _____ PR- _____ C14H/LHD - _____

Property Name or LHD: _____ Contributing/Non-contributing

☐ RELEASE PERMIT ☐ DO NOT RELEASE PERMIT ☐ HLC REVIEW _____ FEE PAID: \$ _____

HISTORIC PRESERVATION OFFICE

DATE: _____

Property Information

Address: 3204 Glenview Avenue, Austin, Texas 78703

Scope of Work

Remove roof, ceiling and rear walls of rear porch, dining room and kitchen. Build kitchen, living and master suite at rear.

Applicant

Name: Doug Keating

Address: 3530 Bee Caves Road, Suite 218

City/Zip: Austin / 78746

Phone: 512-698-6948

Email: DougKeating@me.com

Owner

Name: Mr. Patrick Rosenthal and Mrs. Jamie Rosenthal

Address: 3204 Glenview Avenue

City/Zip: Austin / 78703

Phone: 512-415-1753, 512-964-2856

Email: PatrickR787@gmail.com, Jamie.Novak@gmail.com

Architect or Contractor Information

Company: Structural Environments, L.L.C.

Address: 3530 Bee Caves Road, Suite 218

City/Zip: Austin / 78746

Phone: 512-809-9007

A handwritten signature of Patrick Rosenthal.

4.27.16

Owner's Signature

Date

Applicant's Signature

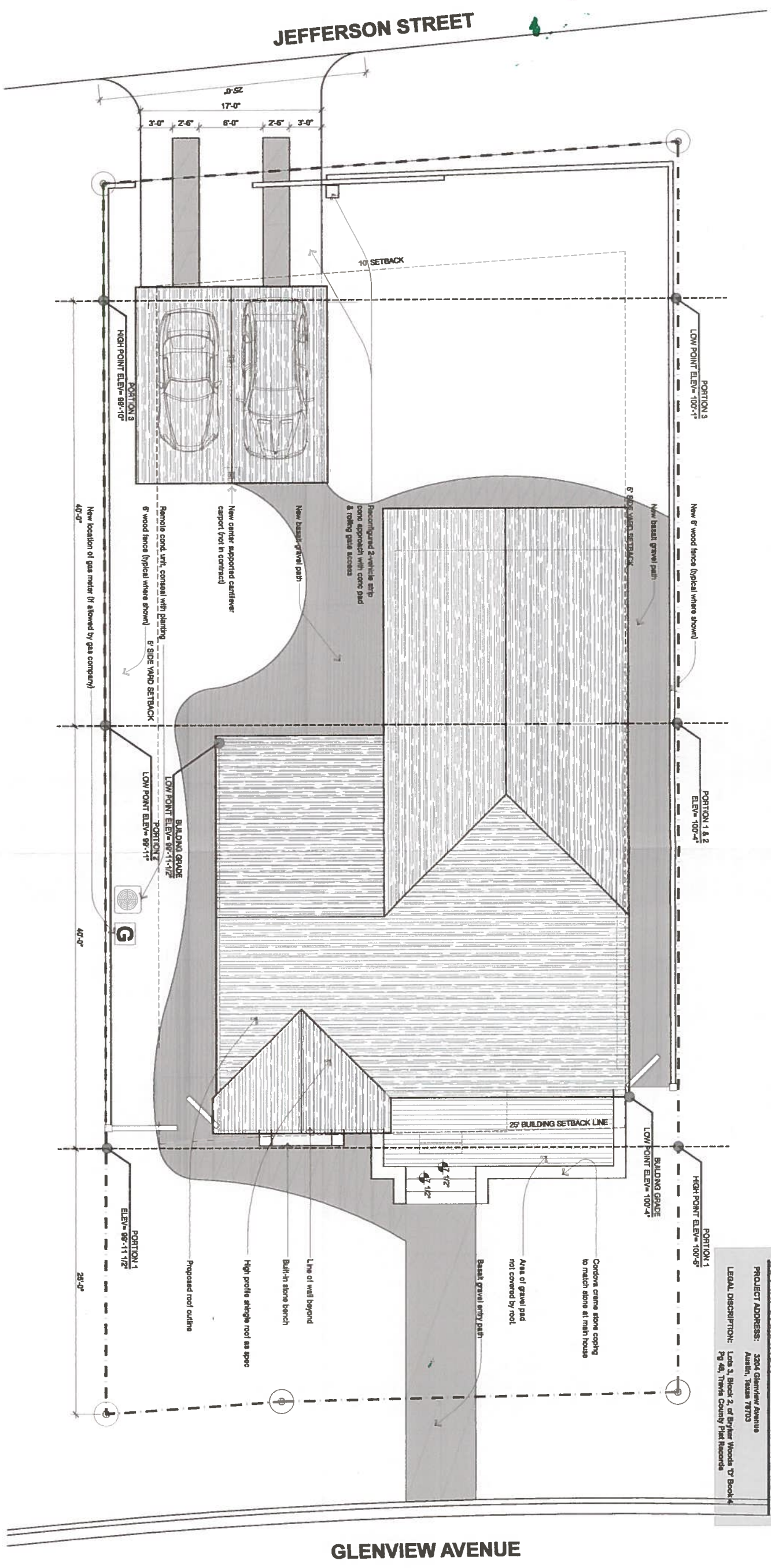
Date

A handwritten signature of Jamie Novak.

4/27/16
Date

Architect's Signature

LOT INFORMATION
PROJECT ADDRESS: 3204 Glenview Avenue
Austin, Texas 78703
LEGAL DESCRIPTION: Lot 3, Block 2, of Bayview Woods 'D' Block 4,
Pg 48, Travis County Plat Records



1 SITE & HARDSCAPE LAYOUT | 3/16" = 1'-0" @ 22x34 PAGE SIZE
3/32" = 1'-0" @ 11x17 PAGE SIZE

REVIEWED

MAY 11 2016

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines.

AE APPROVED
MAY 11 2016
132-204
JGM

2 GATE DTL. | 1/8" = 1'-0" @ 34x48 PAGE SIZE
1/4" = 1'-0" @ 12x18 PAGE SIZE

3 FENCE DTL. | 1/8" = 1'-0" @ 34x48 PAGE SIZE
1/4" = 1'-0" @ 12x18 PAGE SIZE

ROSENTHAL RESIDENCE

3204 Glenview Avenue
Austin, TX 78703



POLAR NORTH

REVISIONS	
REV: 03 / 17 / 2014	
REV: 03 / 26 / 2014	
REV: 11 / 21 / 2014	
REV: 07 / 20 / 2016	
REV: 08 / 26 / 2016	
REV: 04 / 26 / 2016	

SITE PLAN

L1.2



ROSENTHAL RESIDENCE

3204 GLENVIEW, AUSTIN, TEXAS 78703

ARCHITECTURAL AND CONSULTANT DOCUMENT INDEX

GENERAL	AA.1 BUILDING SECTION
G1.1 PROJECT INFORMATION	STRUCTURAL
R1.1 REFERENCE IMAGES	S-1 FOUNDATION PLAN
SITE & LANDSCAPE	S-2 SECOND LEVEL FRAMING
L1.1 EXISTING SITE CONDITIONS	S-3 UPPER ROOF FRAMING
L2.1 SITE LAYOUT & LANDSCAPE	S-4 BRACING PLANS
ARCHITECTURAL	S-5 FOUNDATION DETAILS AT MAIN HOUSE
A0.1 SCHEDULES	S-6 FRAMING DETAILS AT MAIN HOUSE
A1.1 AS-BUILT & DEMO PLANS	S-7 STRUCTURAL NOTES
A1.2 DIMENSION FLOOR PLANS	S-8 GARAGE FOUNDATION PLAN
A1.3 ROOF PLANS	S-9 GARAGE ROOF FRAMING
ALT2 GARAGE PLANS	S-10 GARAGE WALL BRACING
A2.1 AS-BUILT & DEMO ELEVATIONS	
A2.2 EXTERIOR ELEVATIONS	
A2.3 EXTERIOR ELEVATIONS	

09.17.2016



STRUCTURAL ENVIRONMENTS, LLC

3530 Bee Cave Road, Suite 218
Austin, Texas 78746
Ph: 512.809.1609
www.StructEnv.com



ELEVATION NOTES:

Exclude east elevation to receive new front door to replace aforementioned front door. Replace windows to be removed to replace original stone front door. Original windows to remain. Reconfigure at the rear north side will be extended up & but retain the same slope as a hipped gable end to minimize impact (Per A2.1). Raised gravel bed at ground level to extend the slope and front sitting area will be made of stone masonry from the north elevation. Cables above front bedroom to become above. Vent below front bedroom to be contained in wall.

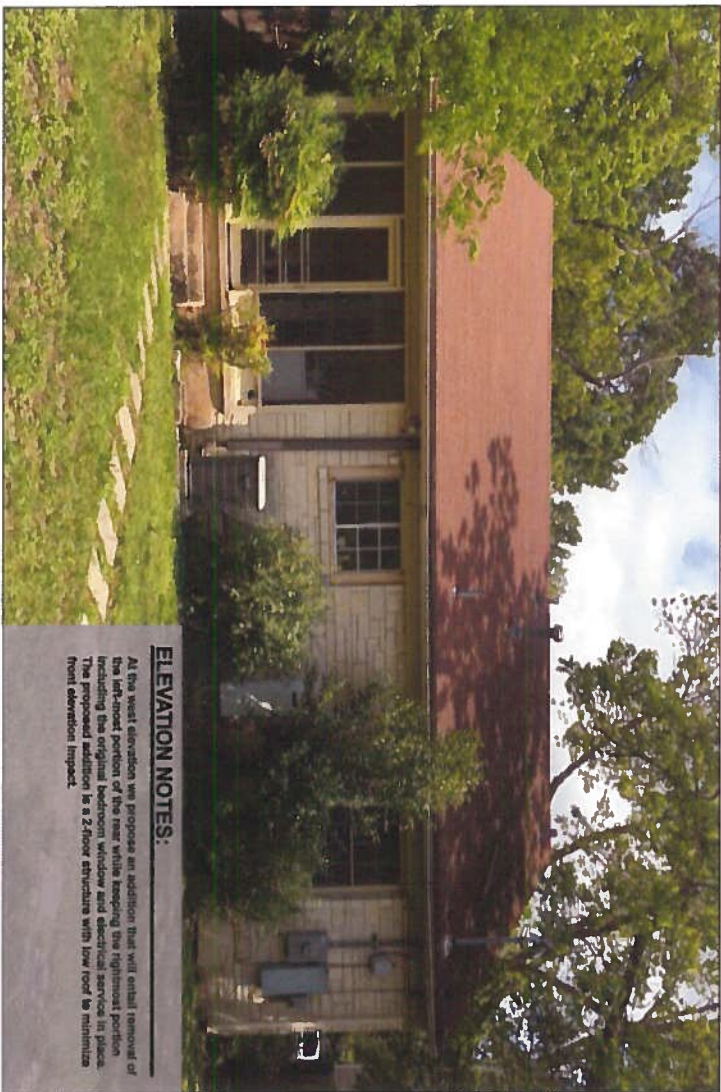
3 EAST REFERENCE IMAGE NOT TO SCALE



ELEVATION NOTES:

The north elevation will have stone removed to comply with the setback and to act as a dormer to the other portions of the structure. Frontmost 2 windows to remain. Wood siding to be replaced at this elevation (in the siding only in composite concrete plank material).

1 NORTH REFERENCE IMAGE NOT TO SCALE



ELEVATION NOTES:

At the west elevation we propose an addition that will entail removal of the leftmost portion of the rear while keeping the rightmost portion including the original bedroom window and electrical service in place. The proposed addition is a 2-floor structure with low roof to minimize front elevation impact.

4 WEST REFERENCE IMAGE NOT TO SCALE



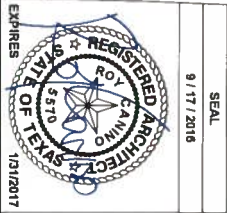
ELEVATION NOTES:

The south elevation will remain virtually unchanged with only the stone fireplace bay window. Original windows to remain with the exception of the bathroom window in the center, which will be upgraded.

2 SOUTH REFERENCE IMAGE NOT TO SCALE

ROSENTHAL RESIDENCE

3204 Glenview Avenue
Austin, TX 78703



REVISIONS
REV: 09 / 23 / 2014
REV: 11 / 21 / 2014
REV: 08 / 26 / 2015
REV: 09 / 17 / 2016

HISTORIC REFERENCE

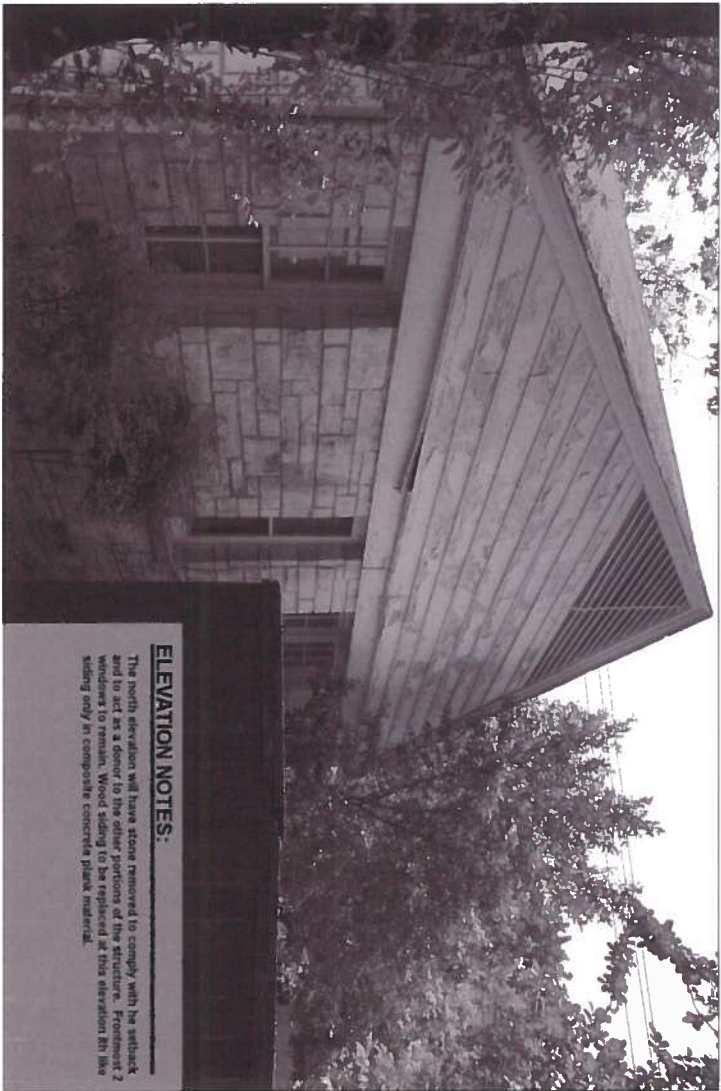
R1.1



ELEVATION NOTES:

Existing east elevation to receive new front door to replace aforementioned metal door. Plastic shutters will be removed to expose original stone beyond. Additional front porch light will be added to opposite side of front door. Original windows to remain. Roofline at the rear north side will be extended up 6' but retain the same slope as a hipped gable end to minimize impact (to A2.1). Raised gravel bed at ground level to extend the steep and front sitting area will be made of stone reclaimed from the north elevation. Gravel above front bedroom to become stone. Vert below front bedroom to be centered in wall.

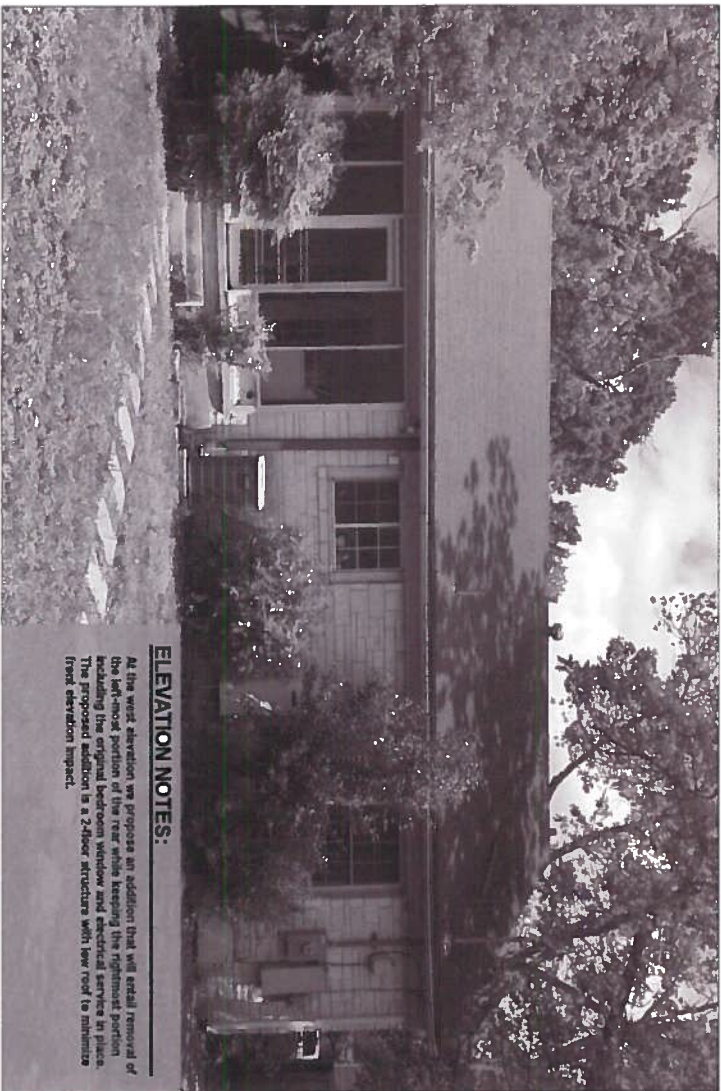
3 EAST REFERENCE IMAGE NOT TO SCALE



ELEVATION NOTES:

The north elevation will have stone removed to comply with historic setback and to act as a donor to the other portions of the structure. Frontmost 2 windows to remain. Wood siding to be replaced at this elevation by like siding only in composite concrete plank material.

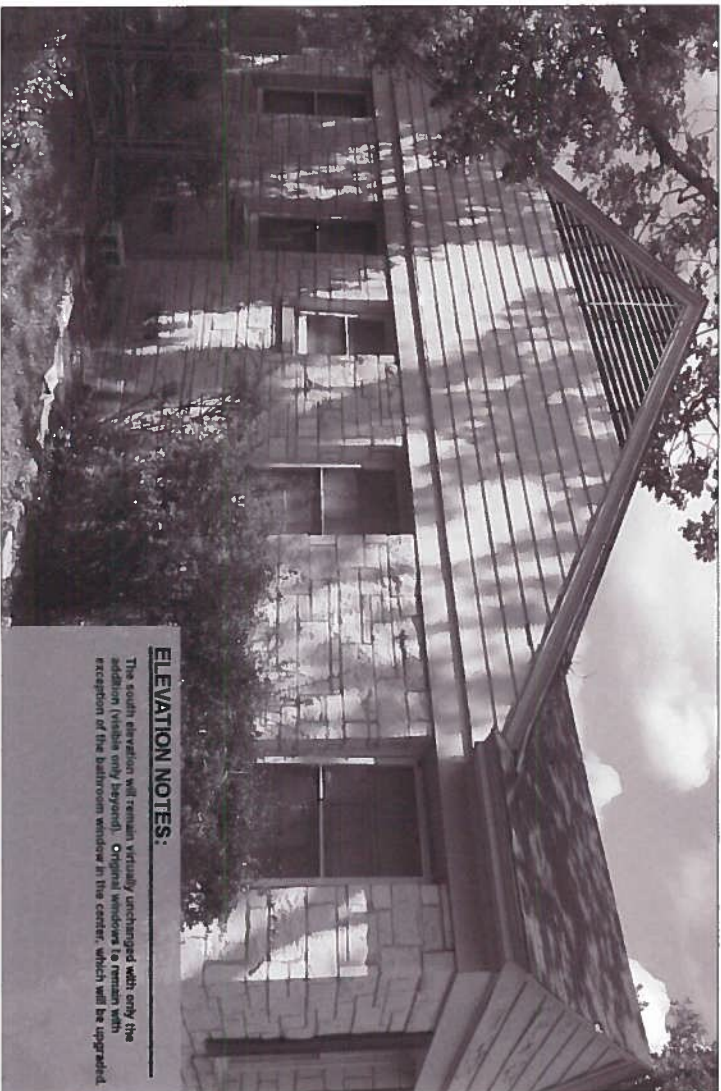
1 NORTH REFERENCE IMAGE NOT TO SCALE



ELEVATION NOTES:

At the west elevation we propose an addition that will entail removal of the left-most portion of the rear while keeping the rightmost portion including the original bedroom window and electrical service in place. The proposed addition is a 24'0" structure with low roof to minimize front elevation impact.

4 WEST REFERENCE IMAGE NOT TO SCALE



ELEVATION NOTES:

The south elevation will remain virtually unchanged with only the addition (visible only beyond). Original windows to remain with exception of the bathroom window in the center, which will be upgraded.

2 SOUTH REFERENCE IMAGE NOT TO SCALE

ROSENTHAL RESIDENCE

3204 Glenview Avenue
Austin, TX 78703



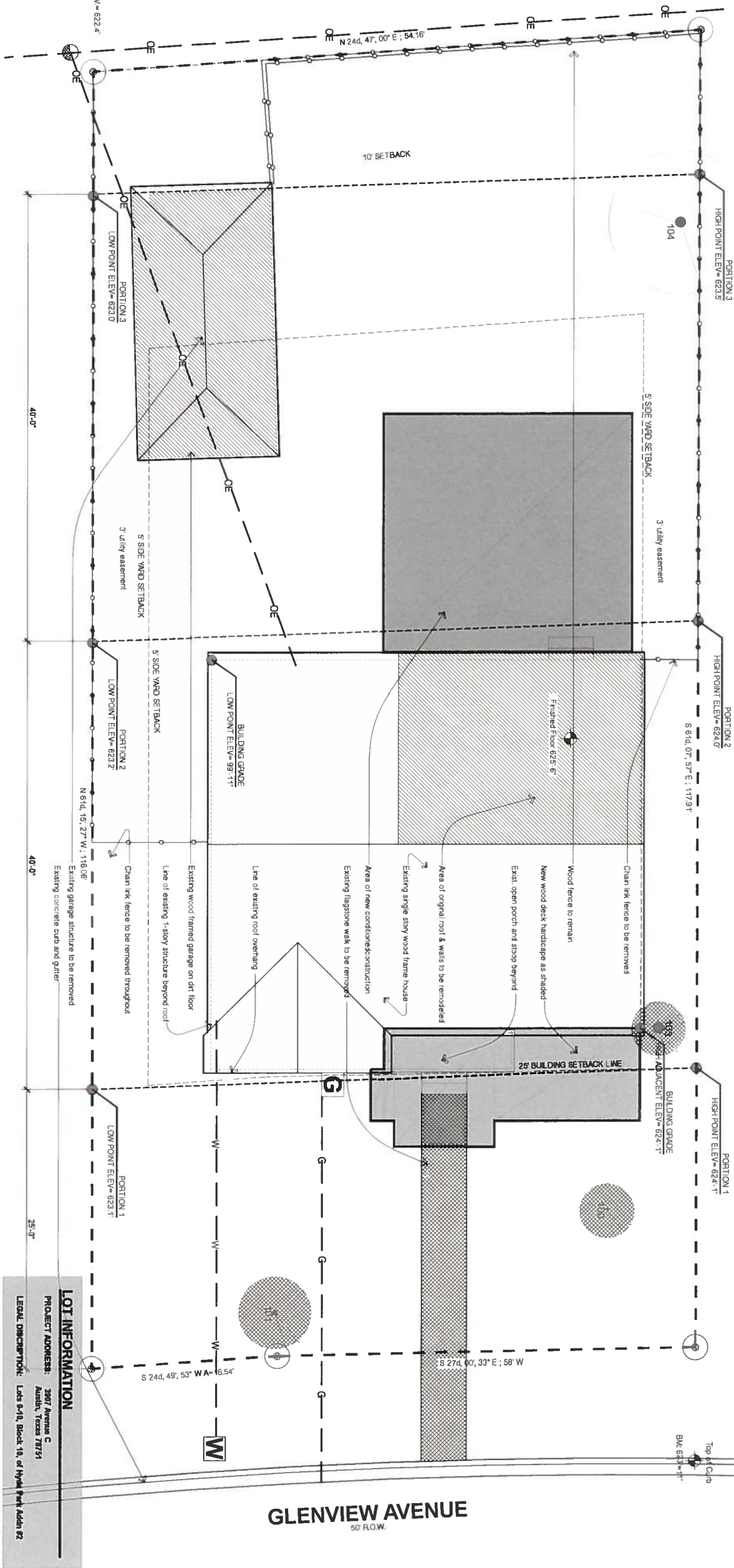
S-EV
STRUCTURAL ENVIRONMENTS

REVISIONS	
REV: 09 / 23 / 2014	
REV: 11 / 21 / 2014	
REV: 08 / 26 / 2015	
REV: 09 / 17 / 2016	

HISTORIC
REFERENCE

R1.1

JEFFERSON
R.O.W. VARIES



PLOT PLAN & DEMO SCOPE

PROJECT SCOPE KEY

DISCUSSION	DESIGNATION
DEMOLITION - ROOF ONLY	
DEMOLITION - LANDSCAPE	
BUILD-OUT - LANDSCAPE	
BUILD-OUT STRUCTURE	

TREE LIST

TAG	SPECIES / CONDITION / PROTECTED	SIZE
100	LOCUAT / FAIR / NO	3
101	SALAC / FAIR / NO	5
103	CHERRY LAPEL / POOR / NO	9
104	LEGISTRIUM / GOOD / NO	6

LOT INFORMATION

PROJECT ADDRESS: 3204 Glenview Avenue
Austin, Texas 78703

LEGAL DESCRIPTION: Lots 6-10, Block 18, of Hyde Park Addn #2

REVISIONS

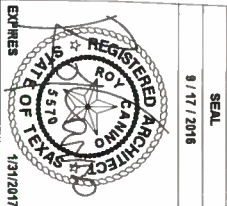
REV: 08 / 27 / 2013
REV: 02 / 01 / 2014
REV: 03 / 17 / 2014
REV: 03 / 25 / 2014
REV: 08 / 26 / 2015
REV: 04 / 25 / 2016
REV: 09 / 17 / 2016

AS-BUILT
SITE

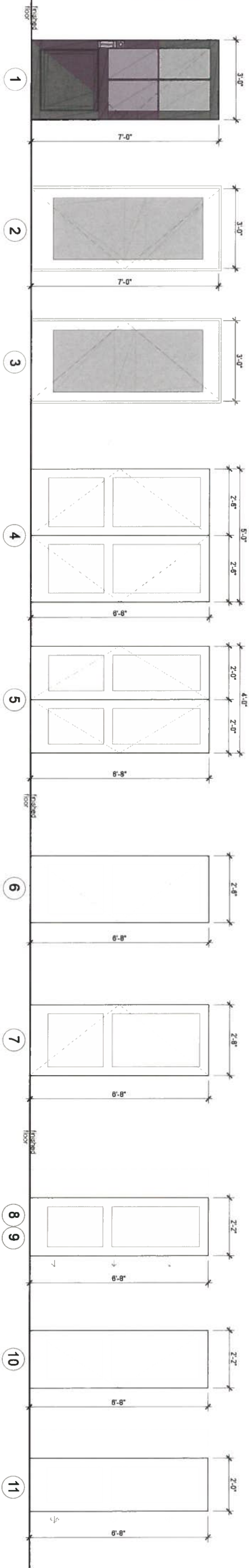
L1.1

ROSENTHAL RESIDENCE

3204 Glenview Avenue
Austin, TX 78703



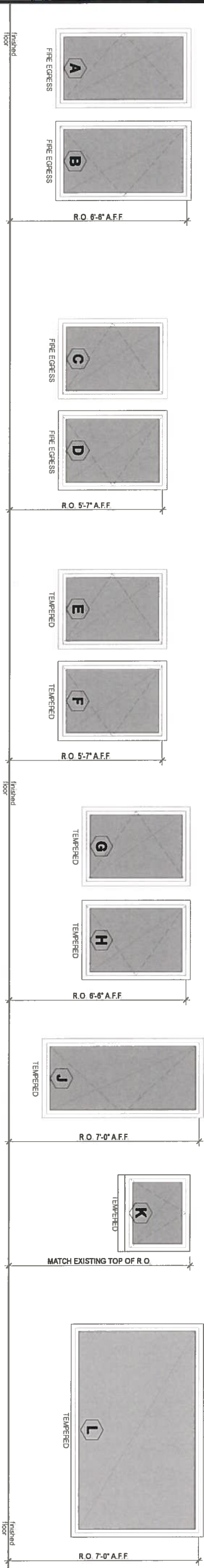
POLAR NORTH



1 DOOR STYLES (FROM EXTERIOR) | 1/2" = 1'-0" @ 22x34 PAGE SIZE | 1/4" = 1'-0" @ 11x17 PAGE SIZE

TAG / QTY	DOOR DIMS	JAMB DEPTH	OPERATION / BORE	GLAZING / DIVIDERS	EXT. MATL. / COLOR	INT. MATL. / COLOR	MANUFACTURER / LINE / JAMB / CASING	LOCATION	HARDWARE / TYPE / BRAND / MODEL / FINISH
1/1	3-0 / 7-0	V.I.F.	RIGHT HAND / NO BORE	V / 4 LIT TWP / LOWE	COMPRESS / NATURAL	COMPRESS / NATURAL	SIMPSON / 7504 SLAKED STEEL NO BORE	ENTRY	TYPE / BRAND / TBD / FINISH
2/1	3-0 / 7-0	V.I.F.	RIGHT HAND / DBL BORE	V / SINGLE LT. / TWP / LOWE	SOLID FRG / NATURAL	SOLID FRG / NATURAL	SIMPSON / 1501 WITH JAMB NO CASING	PATIO ENTRY	TYPE / BRAND / TBD / FINISH
3/4	3-0 / 7-0	V.I.F.	LEFT HAND / DBL BORE	V / SINGLE LT. / TWP / LOWE	SOLID FRG / NATURAL	SOLID FRG / NATURAL	SIMPSON / 1501 WITH JAMB NO CASING	PATIO ENTRY	TYPE / BRAND / TBD / FINISH
4/1	5-0 / 6-8	V.I.F.	DOUBLE / NO BORE	N / 2 PANEL	WO COMPOSITE / PRIME	WO COMPOSITE / PRIME	SIMPSON / 8082 WITH JAMB NO CASING	PAINTED ENTRY	TYPE / BRAND / TBD / FINISH
5/1	4-0 / 6-8	V.I.F.	DOUBLE / NO BORE	N / 2 PANEL	WO COMPOSITE / PRIME	WO COMPOSITE / PRIME	SIMPSON / 8082 WITH JAMB NO CASING	PAINTED ENTRY	TYPE / BRAND / TBD / FINISH
6/1	2-6 / 6-8	V.I.F.	LEFT HAND / SQ. BORE	N / 2 PANEL	WO COMPOSITE / PRIME	WO COMPOSITE / PRIME	SIMPSON / 8082 WITH JAMB NO CASING	LAUNDRY	TYPE / BRAND / TBD / FINISH
7/1	2-8 / 6-8	V.I.F.	LEFT HAND / SQ. BORE	N / 2 PANEL	WO COMPOSITE / PRIME	WO COMPOSITE / PRIME	SIMPSON / 8082 WITH JAMB NO CASING	MASTER BEDROOM	TYPE / BRAND / TBD / FINISH
8/1	2-2 / 6-8	V.I.F.	POCKET / NO BORE	N / 2 PANEL	WO COMPOSITE / PRIME	WO COMPOSITE / PRIME	SIMPSON / 8082 WITH JAMB NO CASING	MASTER BATH	TYPE / BRAND / TBD / FINISH
9/1	2-2 / 6-8	V.I.F.	POCKET / NO BORE	N / 2 PANEL	WO COMPOSITE / PRIME	WO COMPOSITE / PRIME	SIMPSON / 8082 WITH JAMB NO CASING	CL. CLOSET	TYPE / BRAND / TBD / FINISH
10/1	2-2 / 6-8	V.I.F.	RIGHT HAND / SQ. BORE	N / 2 PANEL	WO COMPOSITE / PRIME	WO COMPOSITE / PRIME	SIMPSON / 8082 WITH JAMB NO CASING	WATER CLOSET	TYPE / BRAND / TBD / FINISH
11/1	2-0 / 6-8	V.I.F.	POCKET / NO BORE	N / 2 PANEL	WO COMPOSITE / PRIME	WO COMPOSITE / PRIME	SIMPSON / 8082 WITH JAMB NO CASING	TYPE / BRAND / TBD / FINISH	TYPE / BRAND / TBD / FINISH

DOOR SCHEDULE



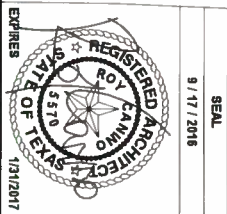
2 WINDOW STYLES (FROM EXTERIOR) | 1/2" = 1'-0" @ 22x34 PAGE SIZE | 1/4" = 1'-0" @ 11x17 PAGE SIZE

TAG / QTY	UNIT DIMS	JAMB DEPTH	OPERATION	GLAZING / DIVIDERS / OPACITY / TWP	EXT. MATL. / COLOR	INT. MATL. / COLOR	HARDWARE / SCREEN	MANUFACTURER / LINE	LOCATION(S) / NOTE
A / 2	35.5w x 60h	4 - 1/2"	CASEMENT	DBL LOWE / NO DIVIDER / CLR / NO	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	MASTER BEDROOM / FIRE EGRESS
B / 2	35.5w x 60h	4 - 1/2"	CASEMENT	DBL LOWE / NO DIVIDER / CLR / NO	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	MASTER BEDROOM / FIRE EGRESS
C / 1	35.5w x 48h	4 - 1/2"	CASEMENT	DBL LOWE / NO DIVIDER / CLR / NO	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	STUDY / FIRE EGRESS
D / 2	35.5w x 48h	4 - 1/2"	CASEMENT	DBL LOWE / NO DIVIDER / CLR / NO	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	STUDY / MASTER HALLWAY / FIRE EGRESS
E / 1	35.5w x 48h	4 - 1/2"	CASEMENT	DBL LOWE / NO DIVIDER / CLR / TWP	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	MASTER BATH / TEMPERED
F / 1	35.5w x 48h	4 - 1/2"	CASEMENT	DBL LOWE / NO DIVIDER / CLR / TWP	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	MASTER BATH / TEMPERED
G / 1	35.5w x 59.5h	4 - 1/2"	CASEMENT	DBL LOWE / NO DIVIDER / CLR / TWP	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	KITCHEN / TEMPERED
H / 1	35.5w x 59.5h	4 - 1/2"	CASEMENT	DBL LOWE / NO DIVIDER / CLR / TWP	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	KITCHEN / TEMPERED
I / 1	35.5w x 59.5h	4 - 1/2"	CASEMENT	DBL LOWE / NO DIVIDER / CLR / TWP	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	KITCHEN / TEMPERED
J / 1	35.5w x 71.5h	4 - 1/2"	CASEMENT	DBL LOWE / NO DIVIDER / CLR / TWP	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	LAUNDRY / TEMPERED
K / 1	34w x 28h V.I.F.	4 - 1/2"	AWNING	DBL LOWE / NO DIVIDER / CLR / TWP	VNVL / BRONZE	VNVL / WHITE	WHITE / BETTER VUE	ANDERSEN / 100 SERIES	HALL BATH / TEMPERED ***VERIFY SIZE IN FIELD***
L / 1	91w x 54	4 - 1/2"	FIXED	DBL LOWE / NO DIVIDER / CLR / TWP	VNVL / BRONZE	VNVL / WHITE	NONE / NONE	ANDERSEN / 100 SERIES	LIVING ROOM / TEMPERED

WINDOW SCHEDULE

ROSENTHAL RESIDENCE

3204 Glenview Avenue
Austin, TX 78703



S-EV
STRUCTURAL ENVIRONMENTS

REVISIONS

REV: 03 / 25 / 2014
REV: 07 / 18 / 2014
REV: 09 / 17 / 2016

ARCH SCHEDULES

A0.1

DEMOLITION NOTES

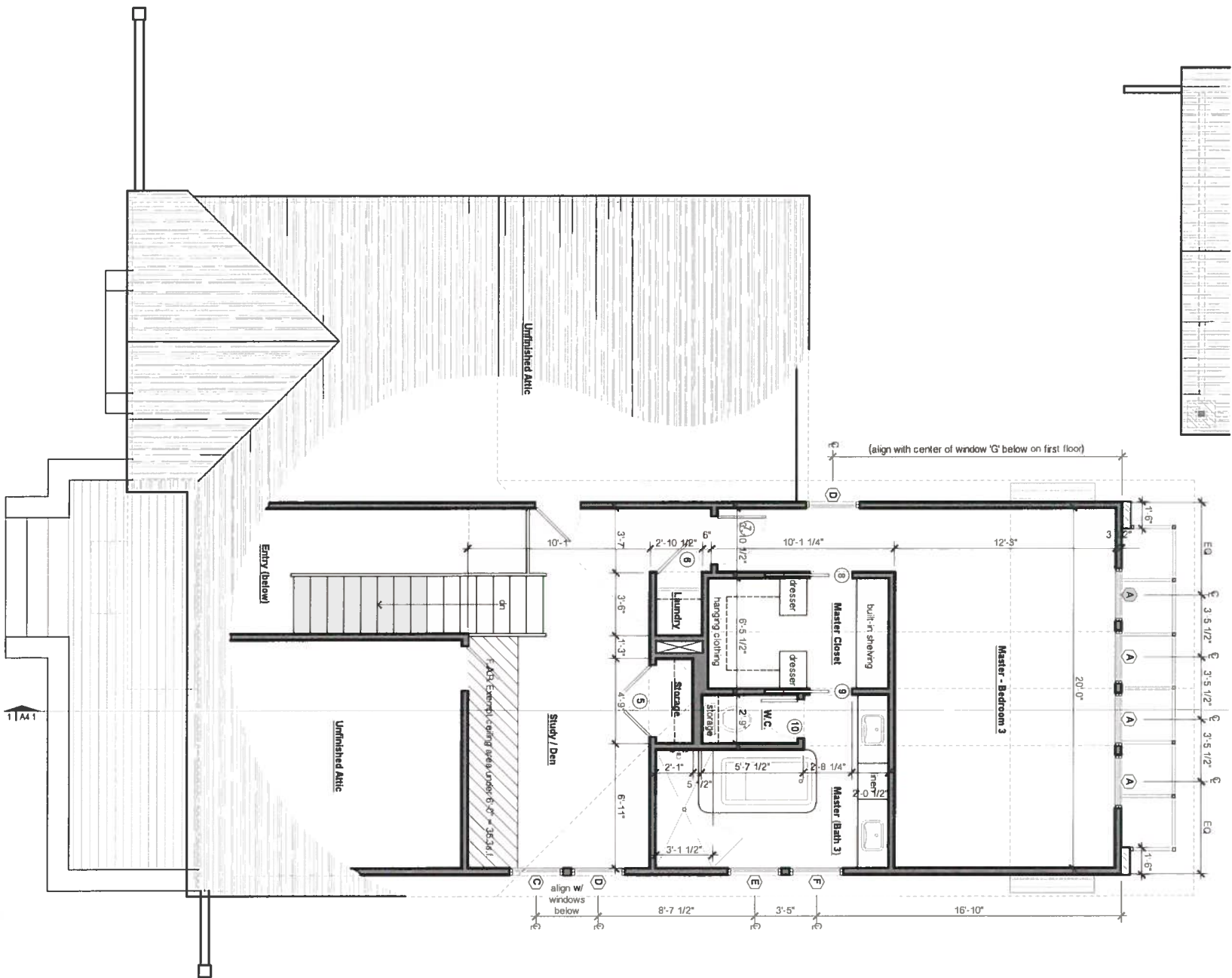
- □

DISCRPTION	DESIGNATION
------------	-------------

CEILING/ ROOF DEMO	
FIXTURE AND WALL SURFACE	

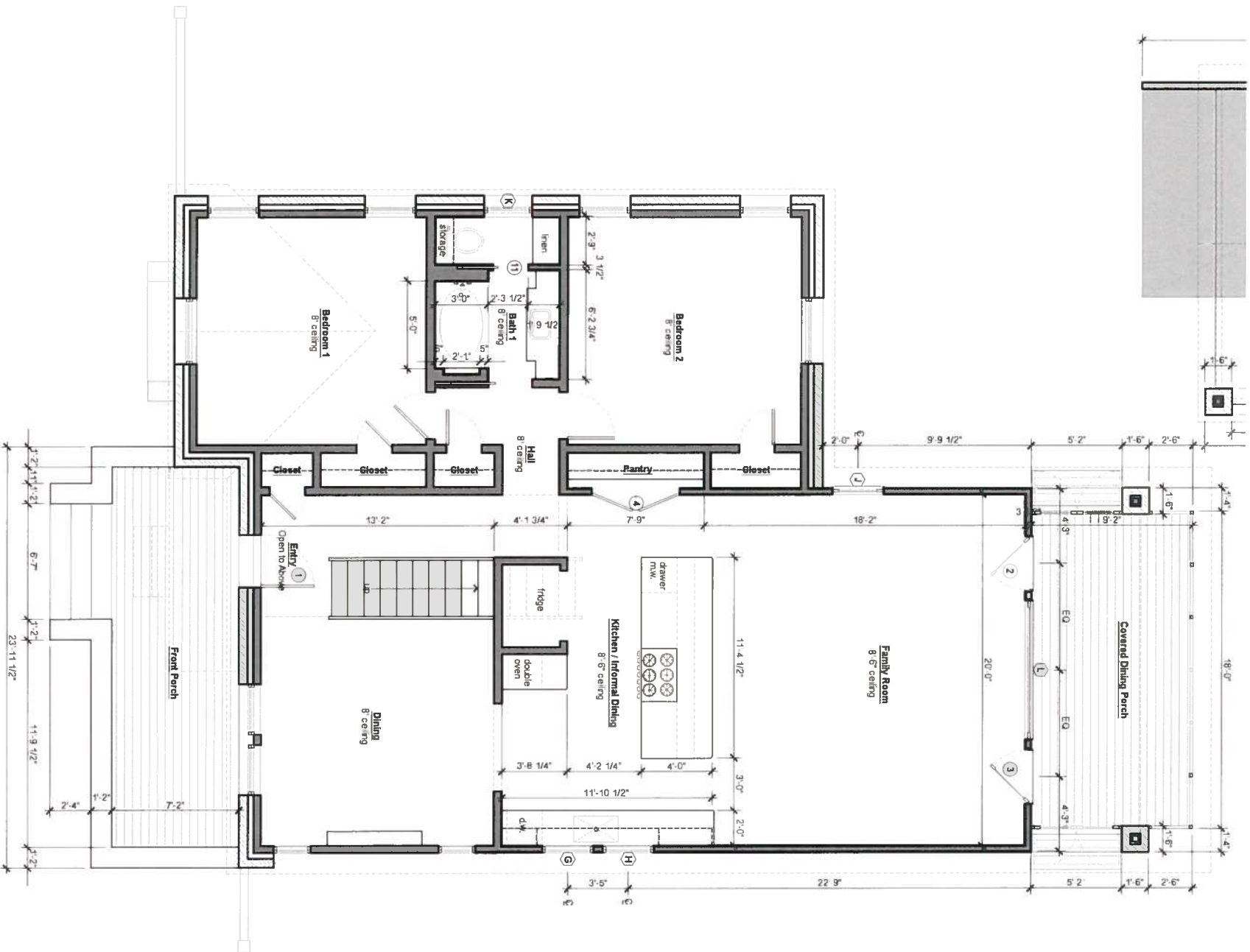


1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----



2

PLAN - SECOND FLOOR 1/8" = 1'-0" @ 22x34 PAGE SIZE 1/8" = 1'-0" @ 11x17 PAGE SIZE



1

PLAN - FIRST FLOOR 1/8" = 1'-0" @ 22x34 PAGE SIZE 1/8" = 1'-0" @ 11x17 PAGE SIZE

ROSENTHAL RESIDENCE

3204 Glenview Avenue
Austin, TX 78703



S-EV
STRUCTURAL ENVIRONMENTS
www.STRUCTENV.COM



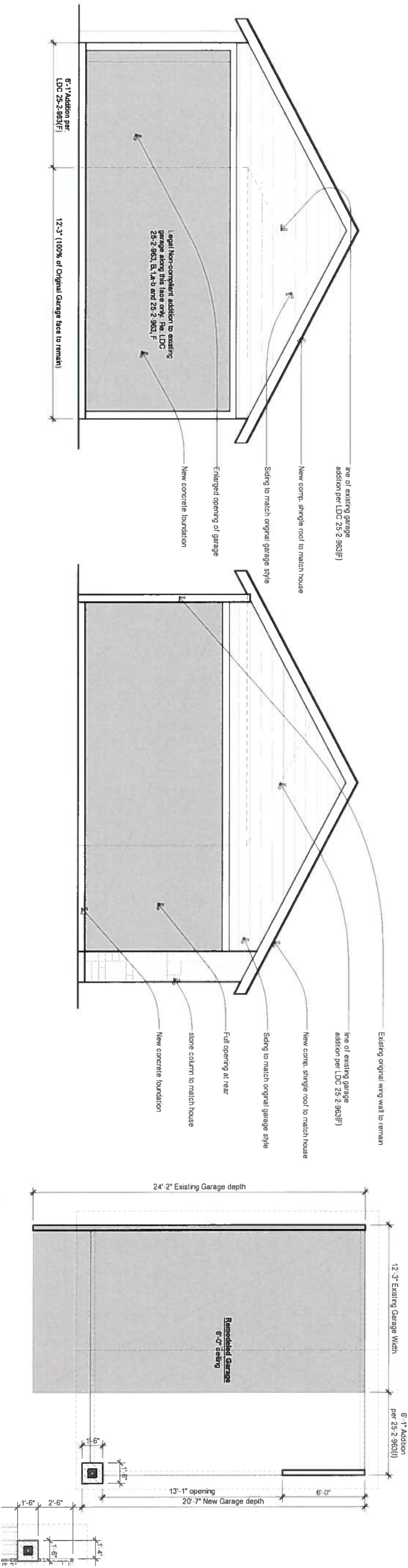
POLAR NORTH

REVISIONS

- REV: 7/21/2014
- REV: 7/27/2014
- REV: 9/23/2014
- REV: 11/21/2014
- REV: 07/20/2015
- REV: 04/25/2016
- REV: 09/17/2016

DESIGN DEV.
PLANS

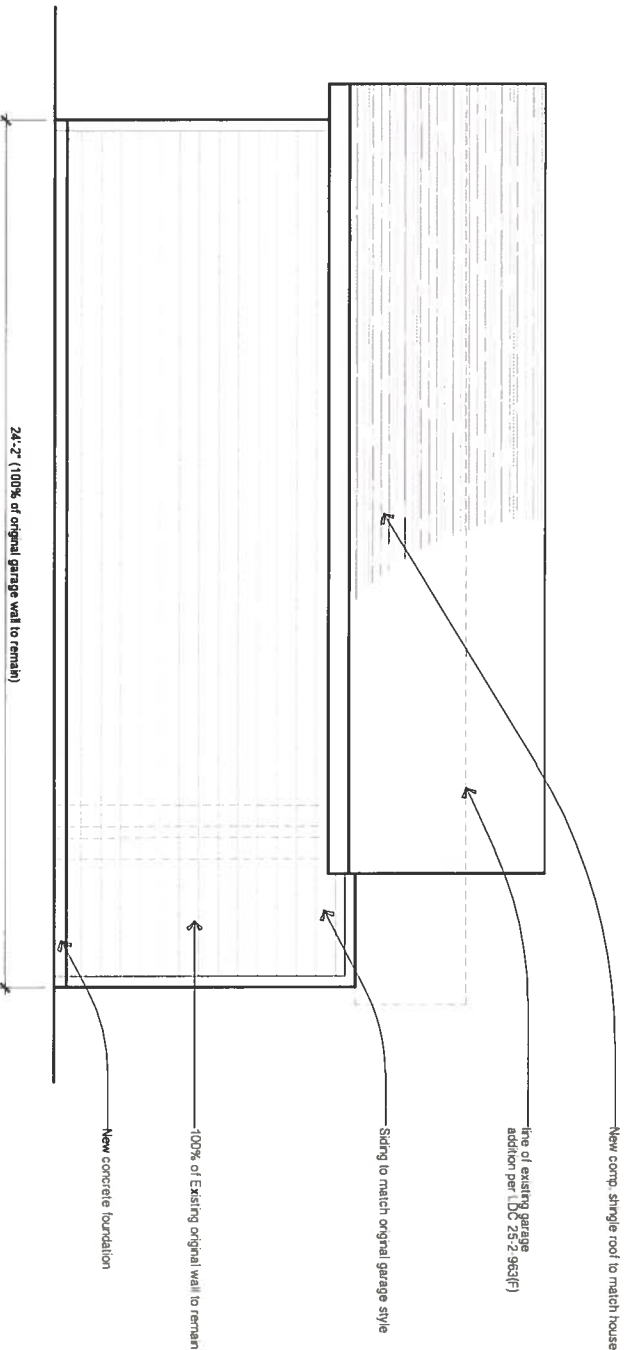
A1.2



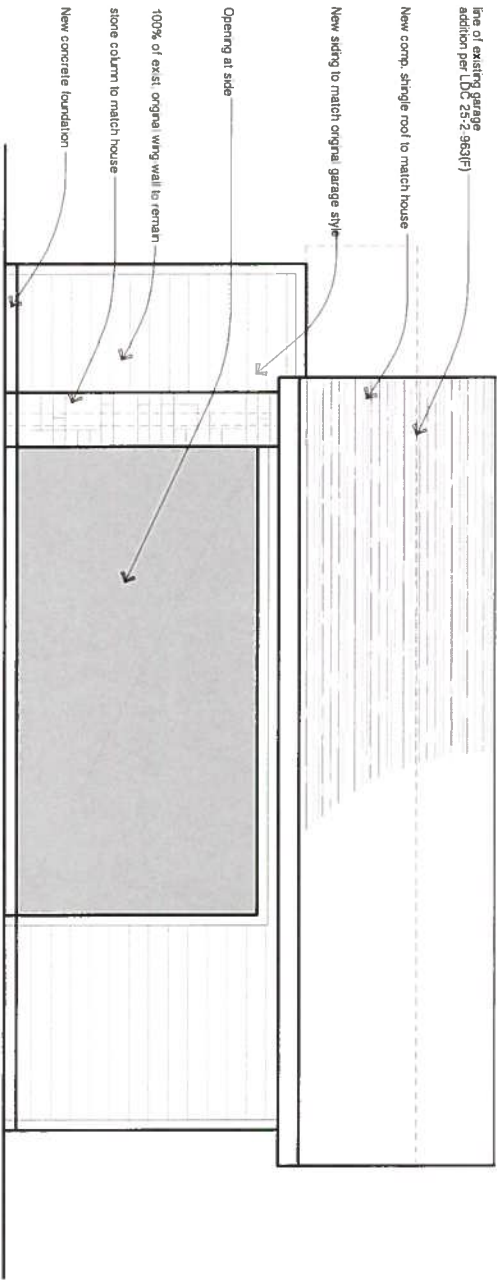
3 CARPORT WEST ELEVATION | 1/4" = 1'-0" @ 22x34 PAGE SIZE
1/8" = 1'-0" @ 11x17 PAGE SIZE

2 CARPORT EAST ELEVATION | 3/8" = 1'-0" @ 22x34 PAGE SIZE
3/16" = 1'-0" @ 11x17 PAGE SIZE

1 CARPORT PLAN | 1/4" = 1'-0" @ 22x34 PAGE SIZE
1/8" = 1'-0" @ 11x17 PAGE SIZE

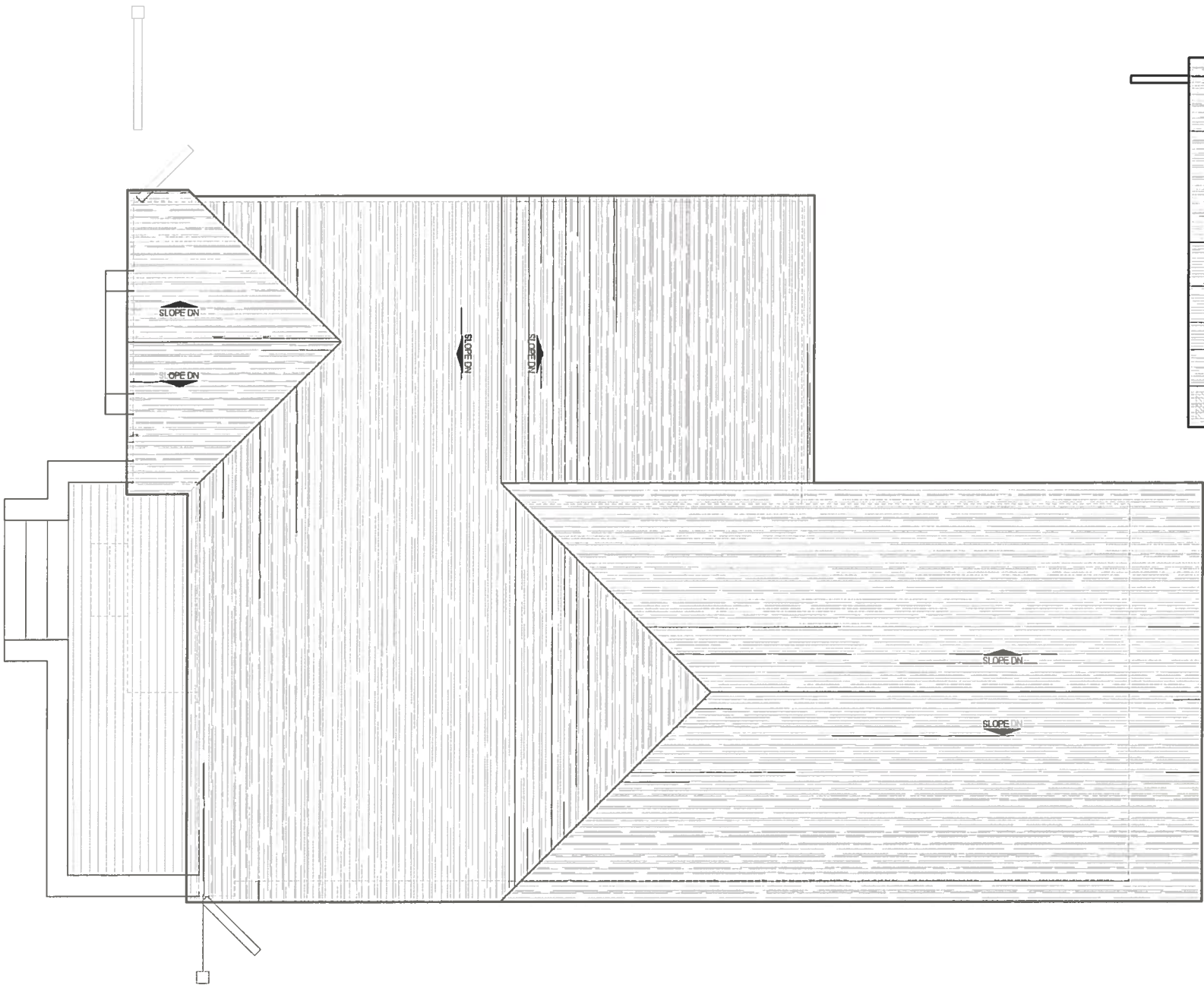


3 CARPORT SOUTH ELEVATION | 1/4" = 1'-0" @ 22x34 PAGE SIZE
1/8" = 1'-0" @ 11x17 PAGE SIZE



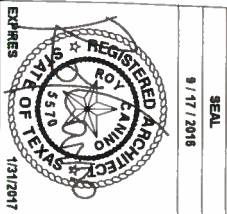
2 CARPORT NORTH ELEVATION | 3/8" = 1'-0" @ 22x34 PAGE SIZE
3/16" = 1'-0" @ 11x17 PAGE SIZE

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----



1
PLAN - ROOF
1/4" = 1'-0" @ 22x34 PAGE SIZE
1/8" = 1'-0" @ 11x17 PAGE SIZE

ROSENTHAL RESIDENCE
3204 Glenview Avenue
Austin, TX 78703



S-E-V
STRUCTURAL ENVIRONMENTS
www.struct-env.com

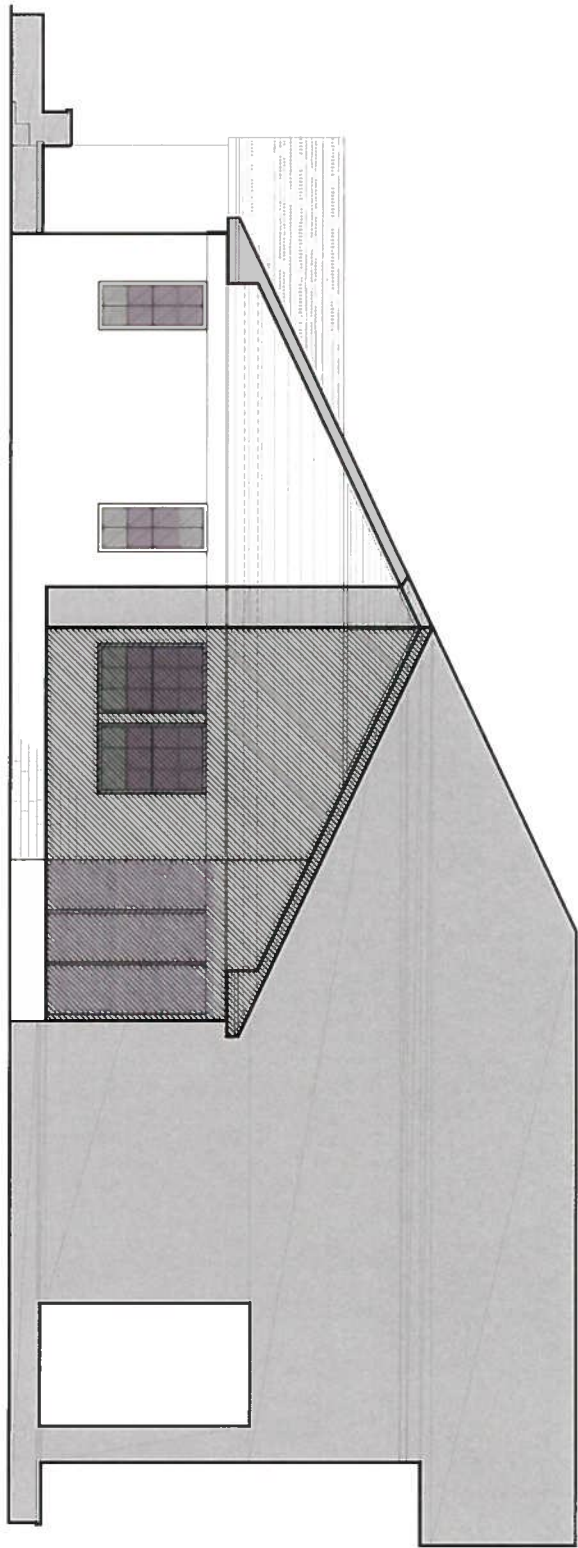


POLAR NORTH

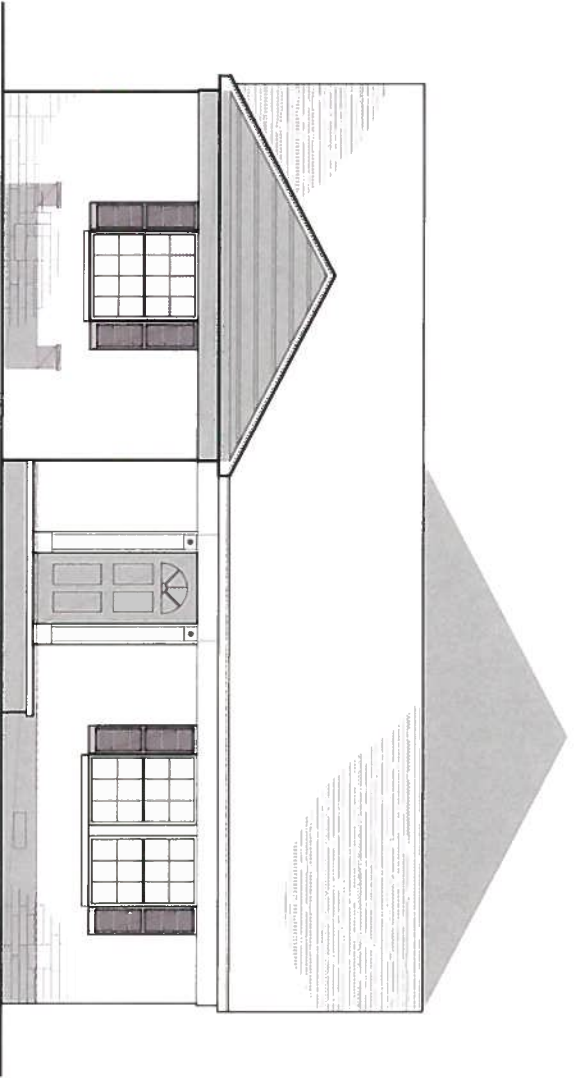
REVISIONS
REV: 07 / 20 / 2015
REV: 08 / 26 / 2015
REV: 01 / 15 / 2016
REV: 04 / 25 / 2016
REV: 09 / 17 / 2016

ROOF
PLAN

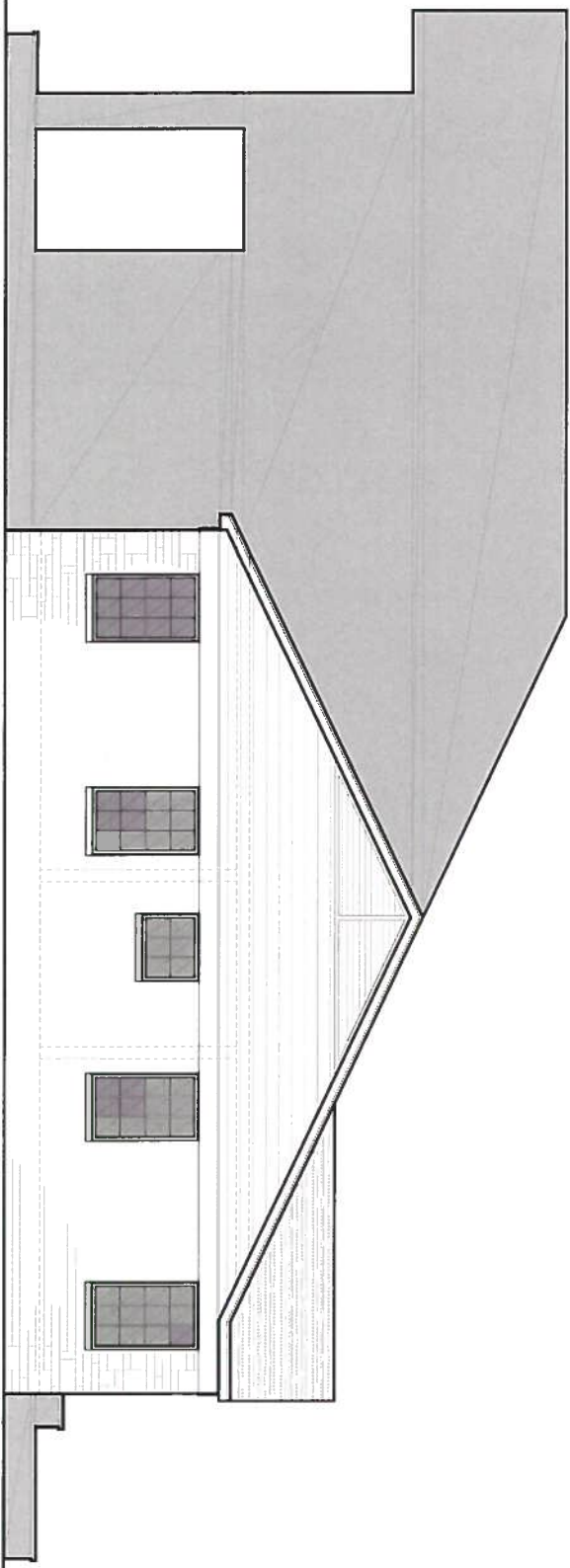
A1.3



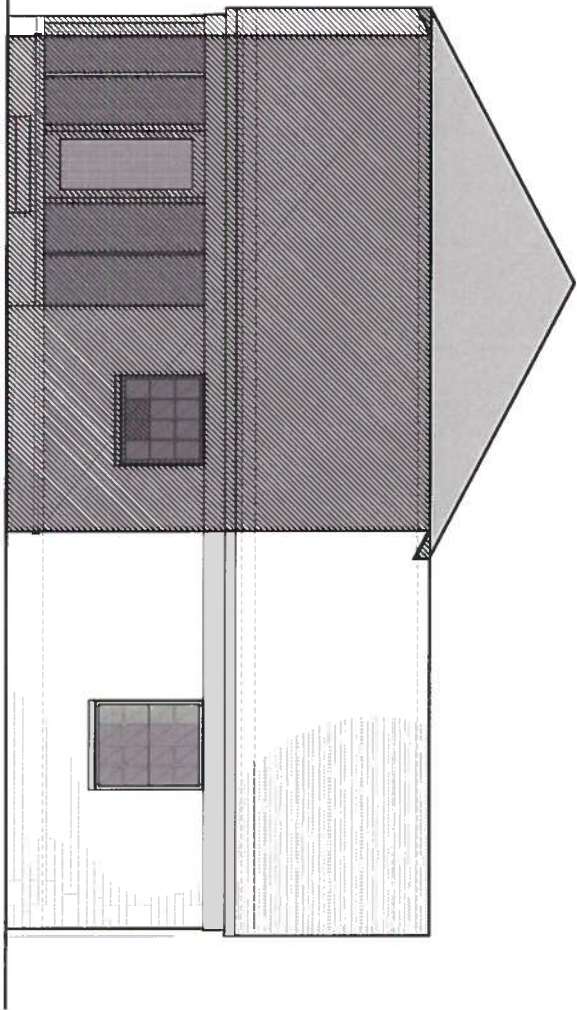
3
EXISTING ELEVATION - NORTH | 1/4" = 1'-0" @ 22x34 PAGE SIZE
1/8" = 1'-0" @ 11x17 PAGE SIZE



1
EXISTING ELEVATION - EAST | 1/4" = 1'-0" @ 22x34 PAGE SIZE
1/8" = 1'-0" @ 11x17 PAGE SIZE



4
EXISTING ELEVATION - SOUTH | 1/4" = 1'-0" @ 22x34 PAGE SIZE
1/8" = 1'-0" @ 11x17 PAGE SIZE



2
EXISTING ELEVATION - WEST | 1/4" = 1'-0" @ 22x34 PAGE SIZE
1/8" = 1'-0" @ 11x17 PAGE SIZE

ELEVATION SCOPE	
DISCUSSION	DESIGNATION
STRUCTURES TO BE ADDED	
STRUCTURES TO BE REMOVED	

ROSENTHAL RESIDENCE

3204 Glenview Avenue
Austin, TX 78703

SEAL
9 / 17 / 2018



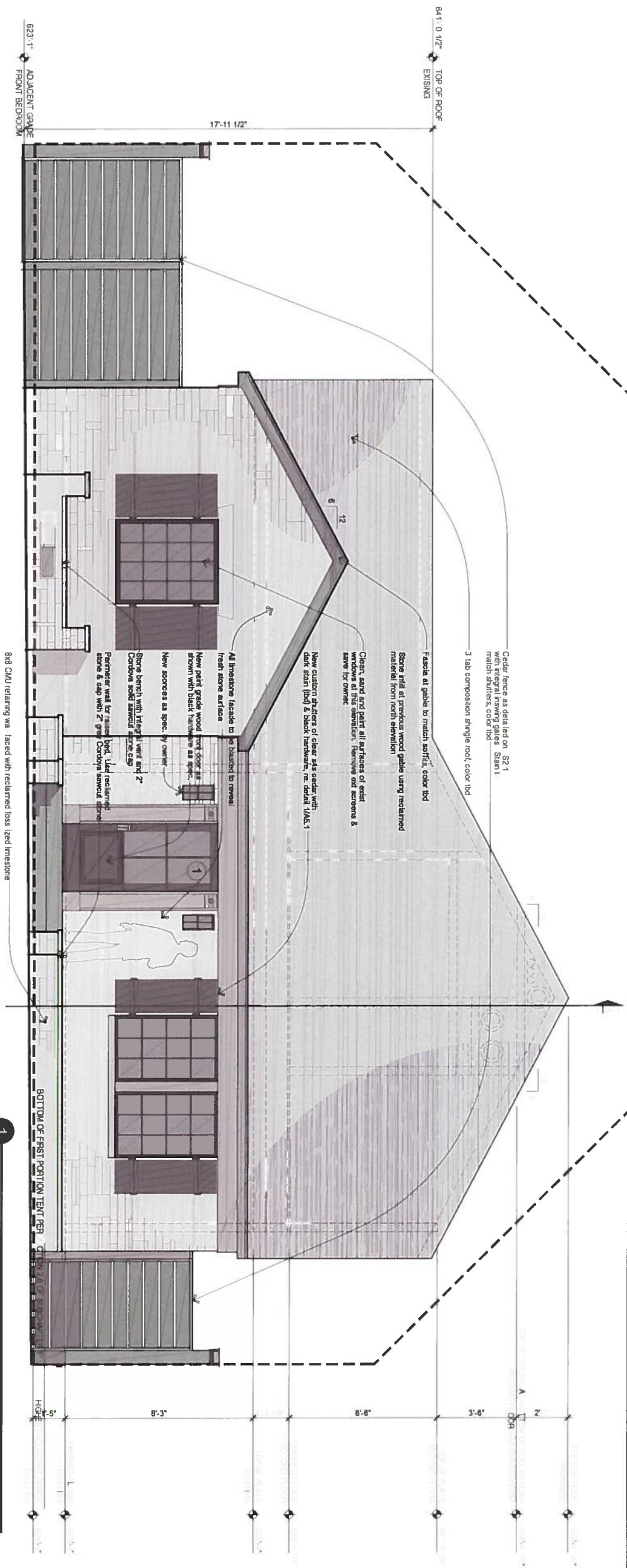
S-EV
STRUCTURAL ENVIRONMENTS
WWW.STRUCENV.COM

REVISIONS

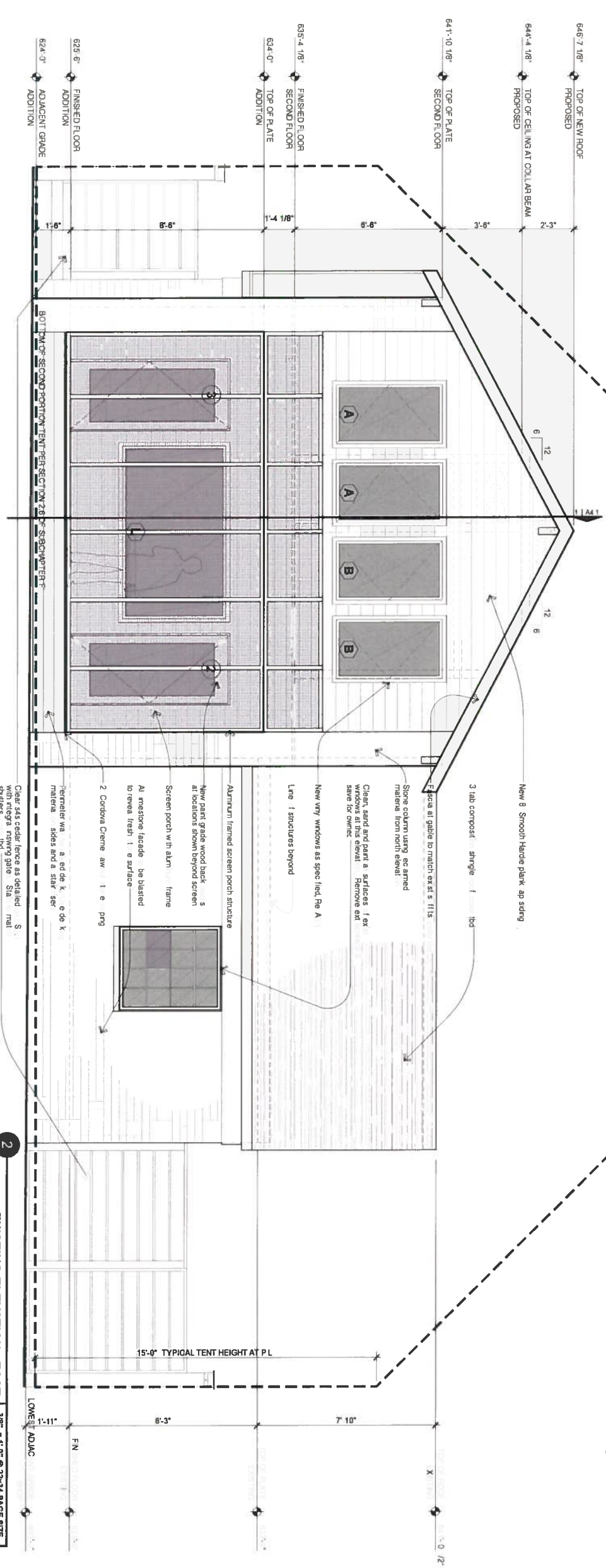
REV: 07 / 20 / 2015
REV: 08 / 26 / 2015
REV: 01 / 15 / 2016
REV: 04 / 25 / 2016
REV: 09 / 17 / 2016

AS-BUILT
ELEVATIONS

A2.1

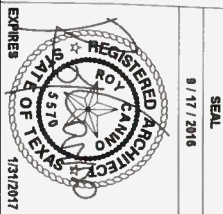


1
PROPOSED ELEVATION - WEST 3/8" = 1'-0" @ 22x34 PAGE SIZE
3/16" = 1'-0" @ 11x17 PAGE SIZE



2
EXISTING ELEVATION - EAST 3/8" = 1'-0" @ 22x34 PAGE SIZE
3/16" = 1'-0" @ 11x17 PAGE SIZE

ROSENTHAL RESIDENCE
3204 Glenview Avenue
Austin, TX 78703

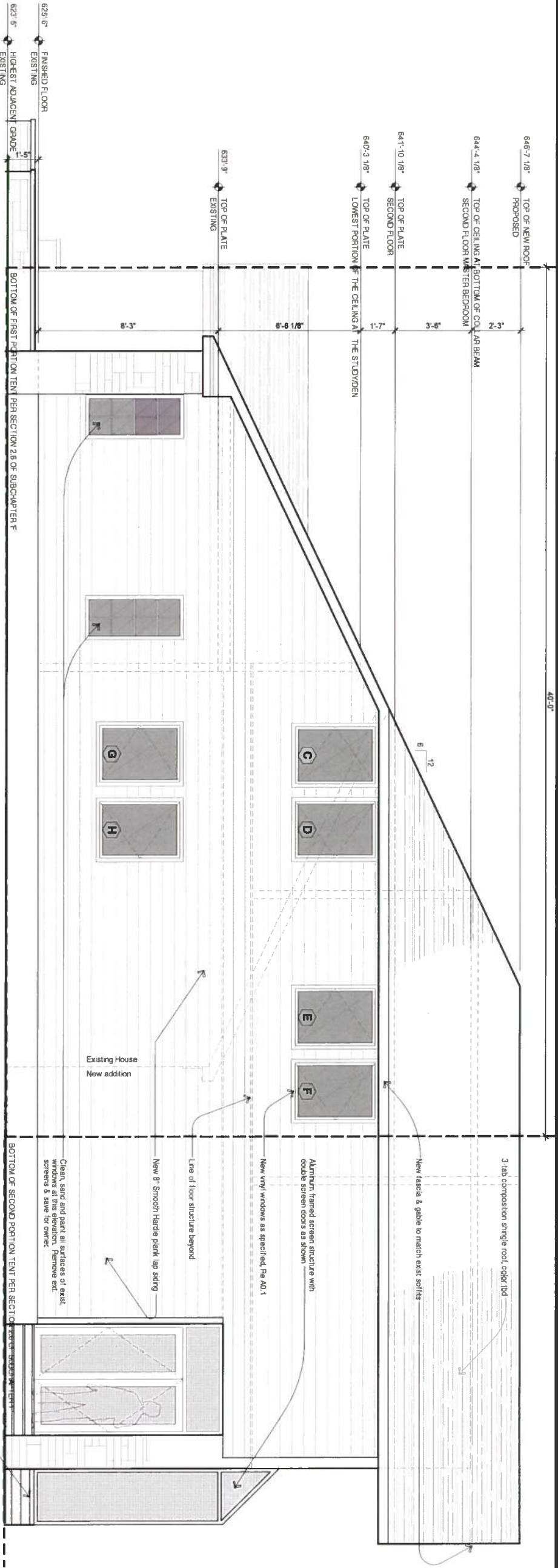


S-EV
STRUCTURAL ENVIRONMENTS
www.structuralenv.com

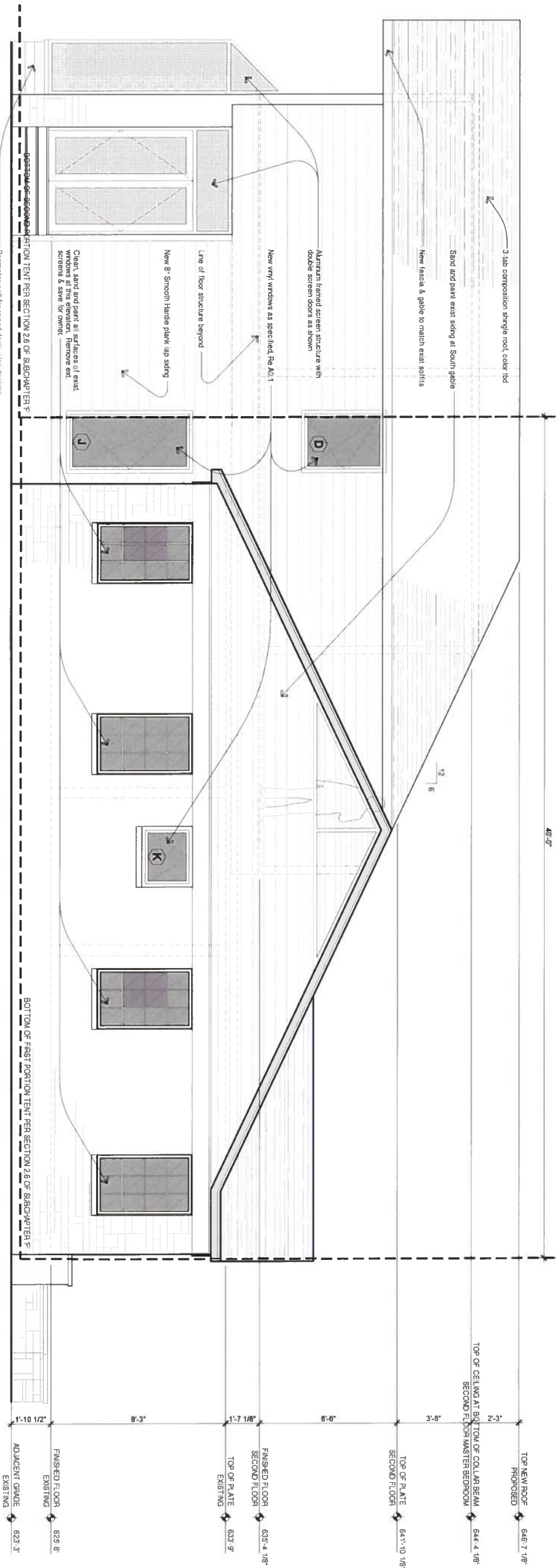
REVISIONS	
REV: 08 / 29 / 2014	
REV: 09 / 23 / 2014	
REV: 11 / 21 / 2014	
REV: 07 / 20 / 2015	
REV: 08 / 26 / 2015	
REV: 04 / 25 / 2016	
REV: 09 / 17 / 2016	

**EXTERIOR
ELEVATIONS**

A2.2



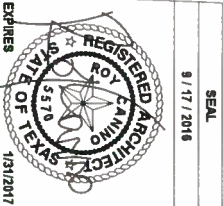
ELEVATION - NORTH 3/8" = 1'-0" @ 22x34 PAGE SIZE 3/16" = 1'-0" @ 11x17 PAGE SIZE



ELEVATION - SOUTH 3/8" = 1'-0" @ 22x34 PAGE SIZE 3/16" = 1'-0" @ 11x17 PAGE SIZE

ROSENTHAL RESIDENCE

3204 Glenview Avenue
Austin, TX 78703



S-EV
STRUCTURAL ENVIRONMENTS
www.structuralenv.com

- REVISIONS
- REV: 11/21/2014
 - REV: 08/26/2015
 - REV: 01/15/2016
 - REV: 04/25/2016
 - REV: 09/17/2016

BUILD-OUT
ELEVATIONS

A2.3

1/8"=1'-0" FOR 11"x17" SHEETS
1/4"=1'-0" FOR 22"x34" SHEETS

1. G.C. SHALL PROVIDE POSITIVE SITE DRAINAGE PER IRC REQUIREMENTS.
2. SEE SHEET S6 FOR STRUCTURAL NOTES.
3. (E) INDICATES EXISTING CONSTRUCTION, (N) INDICATES NEW CONSTRUCTION.
4. VERIFY THAT THE EXISTING SILL BEAM JOISTS BREAK AT PROPOSED EXISTING PIERS AND ADD SUPPLEMENTAL 2x6 BEAM REINFORCEMENT AS REQUIRED TO ACHIEVE THIS CONDITION.
5. F156 DENOTES APPROXIMATE FINISH FLOOR ELEVATION ABOVE ADJACENT EXISTING GRADES.
6. G.C. SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION INCLUDING DIMENSIONS W/ SITE CONDITIONS AND NOTIFY ARCH./ENGINEER OF DISCREPANCIES PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL REPLACE ANY EXISTING DAMAGED, DETERIORATED OR BADLY WARPED FLOOR JOISTS, BEAMS AND DECKING AS REQUIRED. THE G.C. SHALL ALSO LEVEL THE EXISTING SYSTEM AS REQUIRED AS PART OF THE FOUNDATION UPGRADE.
8. TIE ALL BEAMS TO PIERS WITH SIMPSON PA TIE OR EQUIVALENT.
9. SEE G.C./OWNER FOR DEMOLITION REQUIREMENTS.
10. THE G.C. SHALL INSTALL AND REMOVE SHORING AS REQUIRED FOR THE EXECUTION OF THE WORK. CONSULT WITH THE STRUCTURAL ENGINEER IF REQUIRED FOR ASSISTANCE
11. USE TREATED MATERIAL FOR SILL BEAMS LESS THAN 12" ABOVE FINISH GRADE. AND FLOOR JOISTS LESS THAN 18" ABOVE FINISH GRADE.
12. NOTIFY LOC WITHIN 36 HOURS FOR FOOTING & FRAMING INSPECTIONS. FAILURE TO NOTIFY LOC FOR REBAR INSPECTION SHALL NEGATE ANY LIABILITY FOR THE PERFORMANCE OF THE FRAMING DESIGN.



12-8-15

LOC consultants
Civil, Structural and Environmental Engineers
Texas Registered Engineering Firm F-4756
1000 E. CESAR CHAVEZ ST. STE. 100
AUSTIN TEXAS 78702-4208
Ph. (512) 495-6908
Fax (512) 495-0907

ROSENTHAL RESIDENCE
3204 GLENVIEW AVE
AUSTIN TEXAS 78703




DOUG KEATING
1701 B ELMHURST
AUSTIN TEXAS 78741 (512) 698-6948

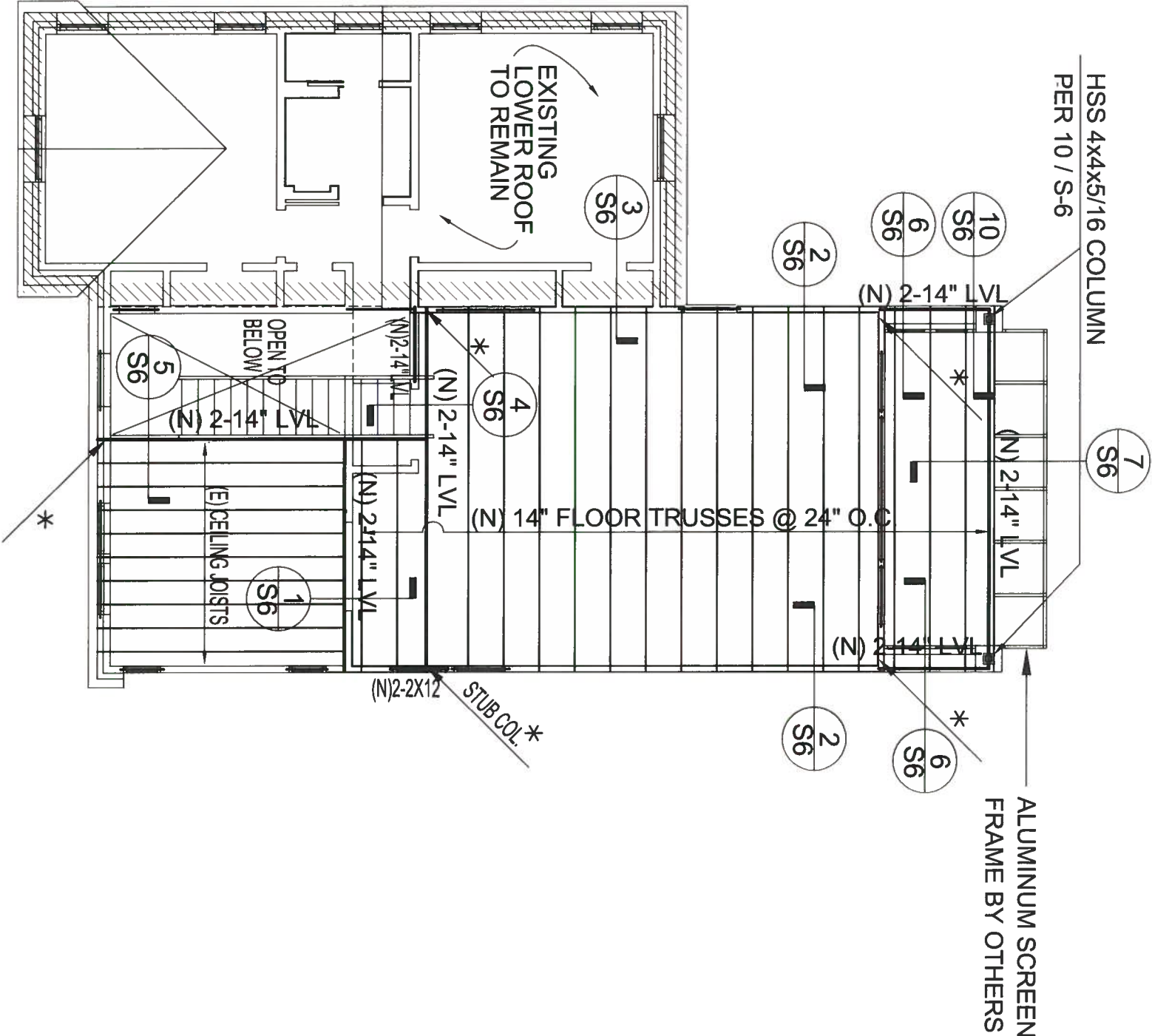
DRAWN BY: PRD
CHECKED BY: TO
REVISIONS:

2ND LEVEL FRAMING PLAN

SCALE: 1/8"=1'-0" FOR 11"x17" SHEETS
1/4"=1'-0" FOR 22"x34" SHEETS

PLAN NOTES:

1. SEE SHEET S6 FOR STRUCTURAL NOTES.
2. G.C. SHALL VERIFY DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SHALL NOTIFY ARCH./ENGR. OF DISCREPANCIES PRIOR TO CONSTRUCTION.
3. ALL LOAD BEARING HEADERS @ 2x4 WALLS SHALL BE 2- 2x12. ALL LOAD BEARING HEADERS @ 2x6 WALLS SHALL BE 3- 2x12. TYPICAL UNLESS NOTED OTHERWISE ON THE PLAN. FOR OPENINGS IN NON- LOAD BEARING PARTITIONS- USE DBL. 2x6 HEADERS T.U.N.O. ON THE PLAN- SEE ARCHITECTURAL FOR LOCATIONS.
4.  * DENOTES BUILT UP COLUMNS. SEE SHEET S6 FOR BUILT UP STUD SCHEDULE AND BEAM HANGER SCHEDULE.
5. ALL MISC. CEILING JOISTS SHALL BE 2x6 AT 16" O.C. MAX. TYPICAL UNLESS NOTED OTHERWISE ON THE PLAN. SEE ARCHL. FOR COFFERED CEILING AREAS ETC.  C.J.  DENOTES SPAN DIRECTION.
6. (E) INDICATES EXISTING CONSTRUCTION. (N) INDICATES NEW CONSTRUCTION.
7. NOTIFY LOC WITHIN 36 HOURS FOR A FRAMING INSPECTION. FAILURE TO NOTIFY LOC FOR FRAMING INSPECTION SHALL NEGATE ANY LIABILITY FOR THE PERFORMANCE OF THE FRAMING DESIGN.



STATE OF TEXAS
 REGISTERED PROFESSIONAL ENGINEER
 866204
 TERRENCE R. FRITZ

LOC consultants
Civil, Structural and Environmental Engineers
Texas Registered Engineering Firm F-4756
1000 E. CESPAN CHAVEZ ST. STE. 100
AUSTIN TEXAS 78702-4208
Ph. (512) 499-0908
Fax (512) 493-0907



ROSENTHAL RESIDENCE
3204 GLENVIEW AVE
AUSTIN TEXAS 78703

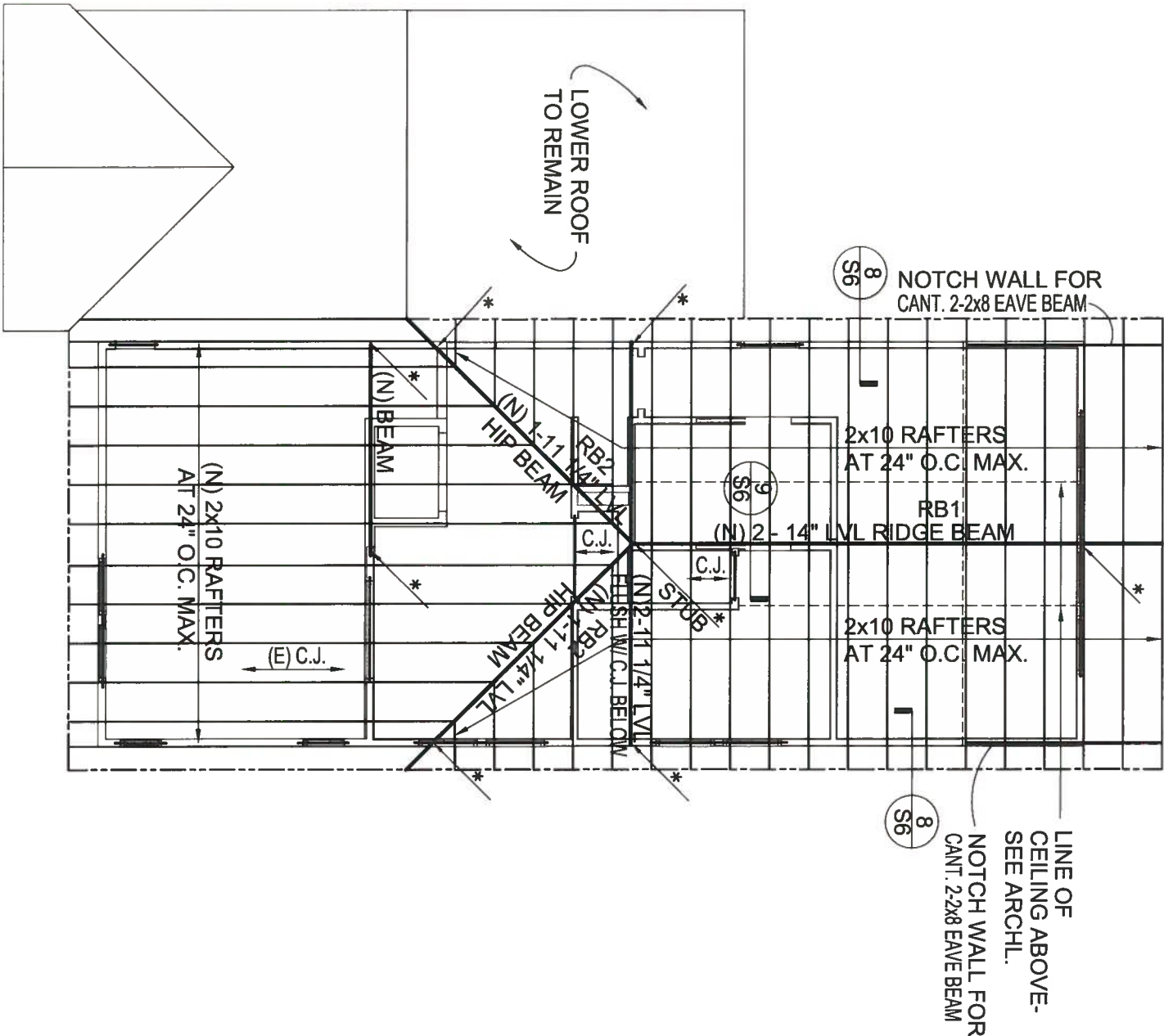
DOUG KEATING
1701 B ELMHURST
AUSTIN TEXAS 78741 (512) 698-6948

DRAWN BY: PRD
CHECKED BY: TO
REVISIONS:

- UPPER ROOF FRAMING PLAN

SCALE :
1/8"=1'-0" FOR 11"x17" SHEETS
1/4"=1'-0" FOR 22"x34" SHEETS

PLAN NOTES:
1. SEE SHEET S7 FOR STRUCTURAL NOTES.
2. G.C. SHALL VERIFY DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SHALL NOTIFY ARCH./ENGR. OF DISCREPANCIES PRIOR TO CONSTRUCTION.
3. ALL LOAD BEARING HEADERS @ 2x4 WALLS SHALL BE 2-2x12. ALL LOAD BEARING HEADERS @ 2x6 WALLS SHALL BE 3-2x12. TYPICAL UNLESS NOTED OTHERWISE ON THE PLAN.
FOR OPENINGS IN NON-LOAD BEARING PARTITIONS-
USE DBL. 2x6 HEADERS T.U.N.O. ON THE PLAN-
SEE ARCHITECTURAL FOR LOCATIONS.
4.  DENOTES BUILT UP COLUMNS. SEE SHEET S7 FOR BUILT UP STUD SCHEDULE AND BEAM HANGER SCHEDULE.
5. ALL MISC. CEILING JOISTS SHALL BE 2x6 AT 16" O.C. MAX. TYPICAL UNLESS NOTED OTHERWISE ON THE PLAN. SEE ARCHL. FOR COFFERED CEILING AREAS ETC.  DENOTES SPAN DIRECTION.
6. NOTIFY LOC WITHIN 36 HOURS FOR A FRAMING INSPECTION.
FAILURE TO NOTIFY LOC FOR FRAMING INSPECTION SHALL NEGATE ANY LIABILITY FOR THE PERFORMANCE OF THE FRAMING DESIGN.



12-4-15

S15202

LOConsultants
Civil, Structural and Environmental Engineers
Texas Registered Engineering Firm F-4756
1000 E. CESAR CHAVEZ ST., STE. 100 Ph. (512) 499-0808
AUSTIN TEXAS 78702-4208 Fax (512) 499-0807

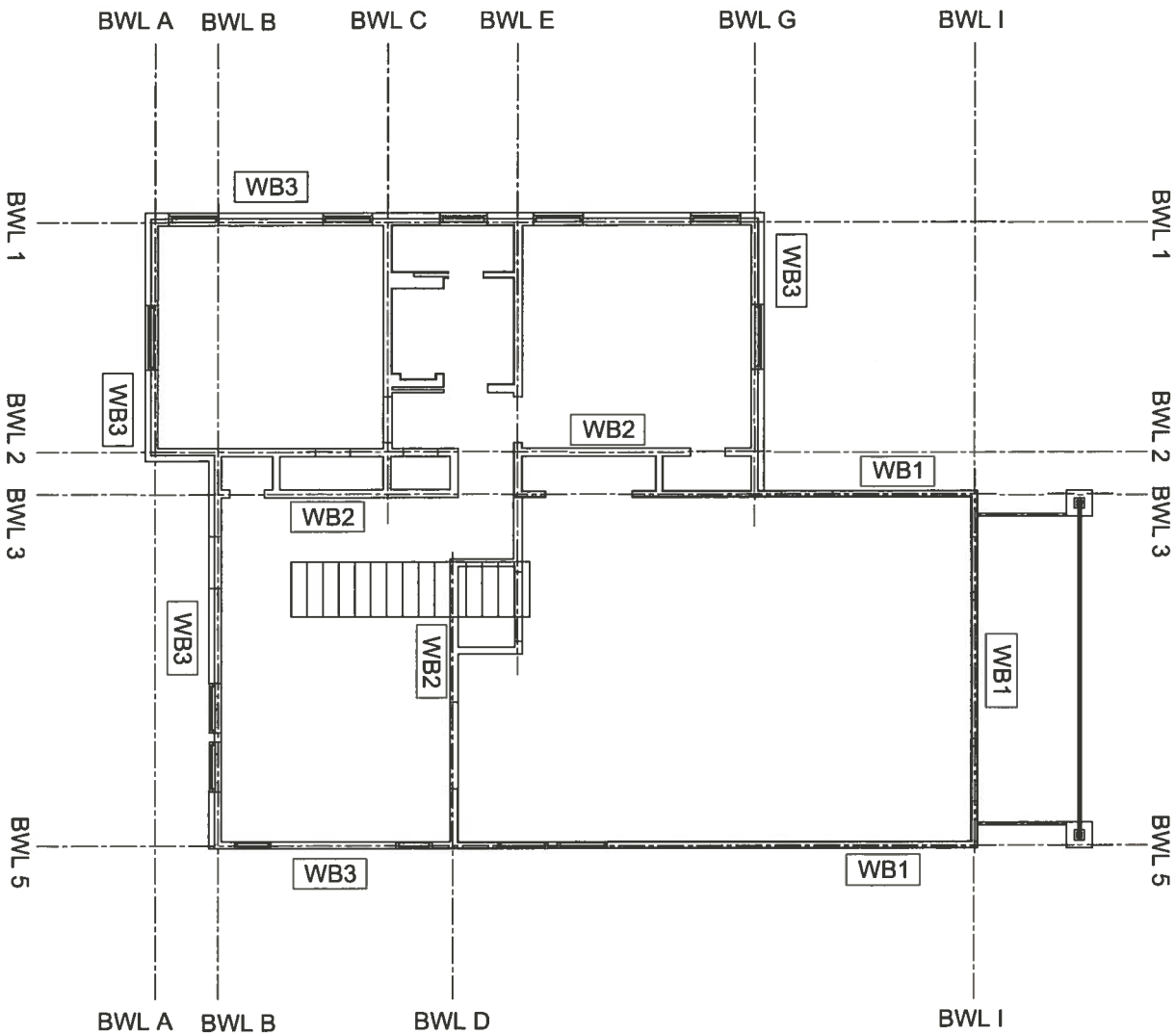
ROSENTHAL RESIDENCE
3204 GLENVIEW AVE
AUSTIN TEXAS 78703

DOUG KEATING
1701 B ELMHURST
AUSTIN TEXAS 78741 (512) 698-6948

DRAWN BY: _____ PRD
CHECKED BY: _____ TO
REVISIONS: _____

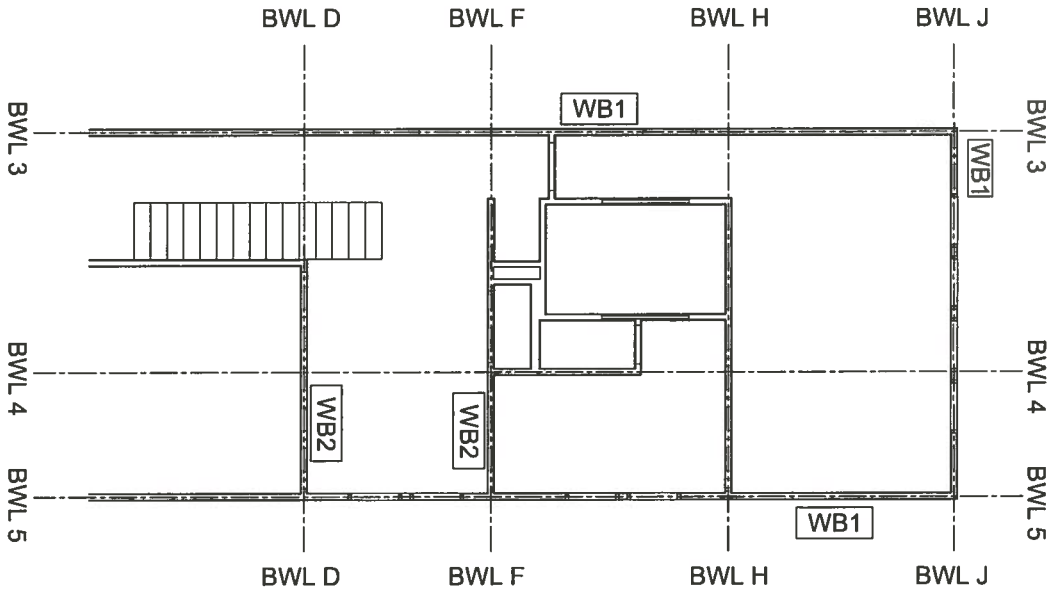
S-3

OF 9



1ST LEVEL BRACING PLAN

SCALE: 3/32"=1'-0" FOR 11"x17" SHEETS
3/16"=1'-0" FOR 22"x34" SHEETS

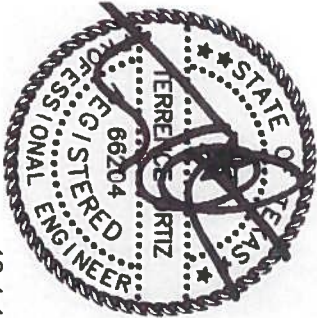


2ND LEVEL BRACING PLAN

SCALE: 3/32"=1'-0" FOR 11"x17" SHEETS
3/16"=1'-0" FOR 22"x34" SHEETS

WALL BRACING SCHEDULE			
MK	PANEL MATERIAL AND NAILING REQUIREMENTS	CHORD SIZE	HOLD DOWN ANCHORS
WB1	(TYPE WSP) 1/2" APA RATED OSB SHEATHING WITH 8d NAILS SP. @ 4" O.C. (TYPE WSP) AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUDS	NA	SEE DETAILS
WB2	(TYPE GWB) 5/8" GYPSUM WALL BOARD PANEL W/ 6d COOLER NAILS SPA. @ 4" O.C. EACH SIDE OF STUD WALL	NA	SEE DETAILS
WB3	(TYPE WSP) EXISTING 1/2" APA RATED CONTINUOUS PLYWOOD SHEATHING 1/2" CONTINUOUS OSB SHEATHING WITH 8d NAILS SP. @ 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUDS FIELD VERIFY	NA	SEE DETAILS

- NOTES:
1. STUD SPACING @ 16" O.C. MAX.
 2. BLOCK ALL HORIZONTAL PANEL EDGES WITH 2x... BLOCKING
 3. PANELS SHALL BE APPLIED WITH THE LONG DIMENSION PERPENDICULAR TO STUDS.
 4. ANCHOR BOLTS: 1/2"Ø x 8" A.B. @ 32" O.C. MAX. AND EACH END OF WALL BRACE PANEL.
- SEE SCHEDULE & DETAILS FOR ADDITIONAL HOLD DOWN REQUIREMENTS FOR SLAB ON GRADE ADDITION.



12-4-15

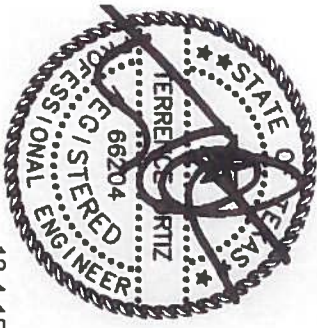
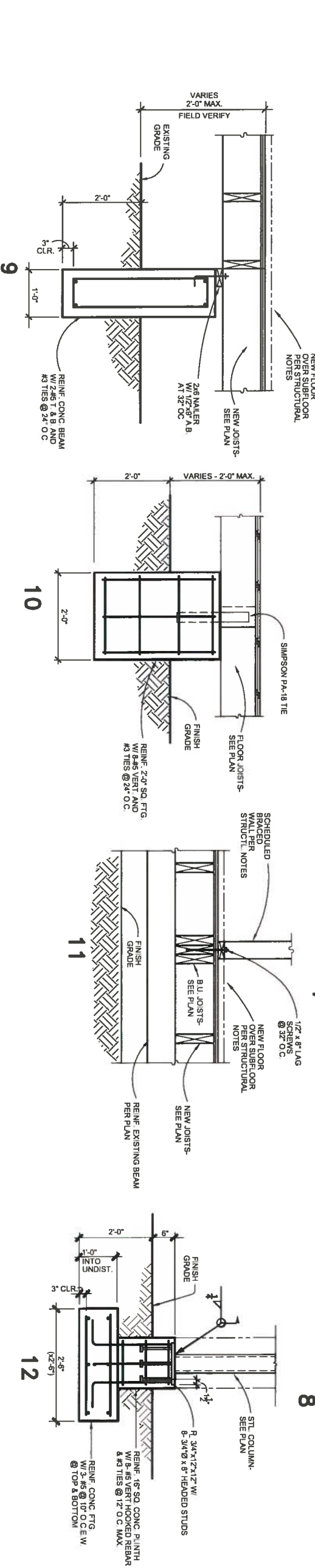
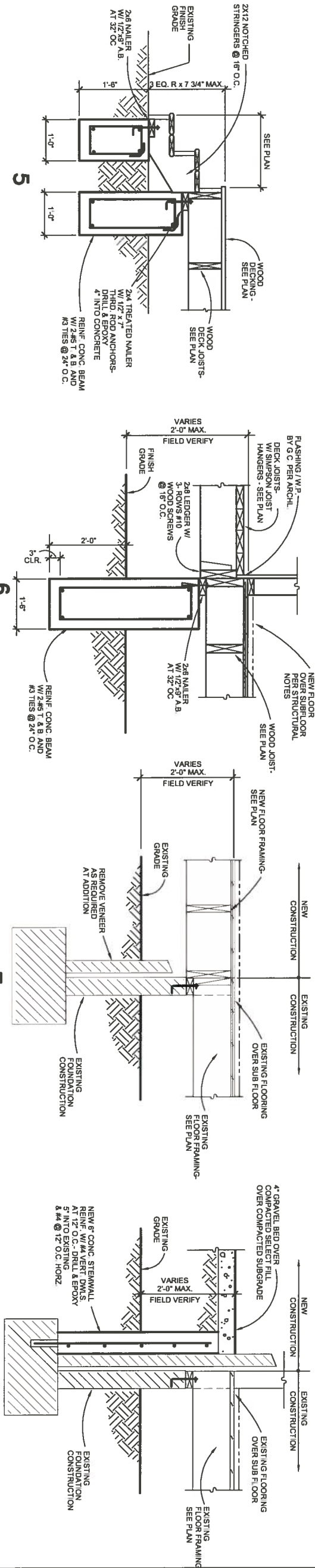
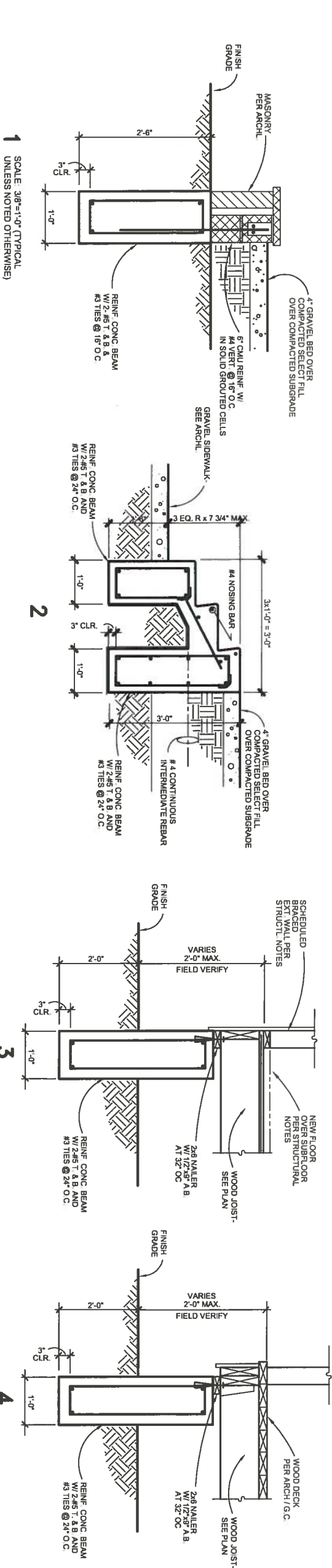
S15202

LOConsultants
Civil, Structural and Environmental Engineers
Texas Registered Engineering Firm F-4756
1000 E. CSAR CHAVEZ ST. STE. 100
AUSTIN TEXAS 78702-4288
Ph. (512) 499-0908
Fax (512) 499-0907

ROSENTHAL RESIDENCE
3204 GLENVIEW AVE
AUSTIN TEXAS 78703

DOUG KEATING
1701 B ELMHURST
AUSTIN TEXAS 78741 (512) 698-6948

DRAWN BY: PRD
CHECKED BY: TO
REVISIONS: _____



S15202

LOConsultants
Civil, Structural and Environmental Engineers
Texas Registered Engineering Firm 1-4/56
1000 E. CESAR CHAVEZ ST., STE. 100
AUSTIN TEXAS 78702-4208
Ph. (512) 499-0908
Fax (512) 499-0907

ROSENTHAL RESIDENCE
3204 GLENVIEW AVE
AUSTIN TEXAS 78703

DOUG KEATING
1701 B ELMHURST
AUSTIN TEXAS 78741 (512) 698-6948

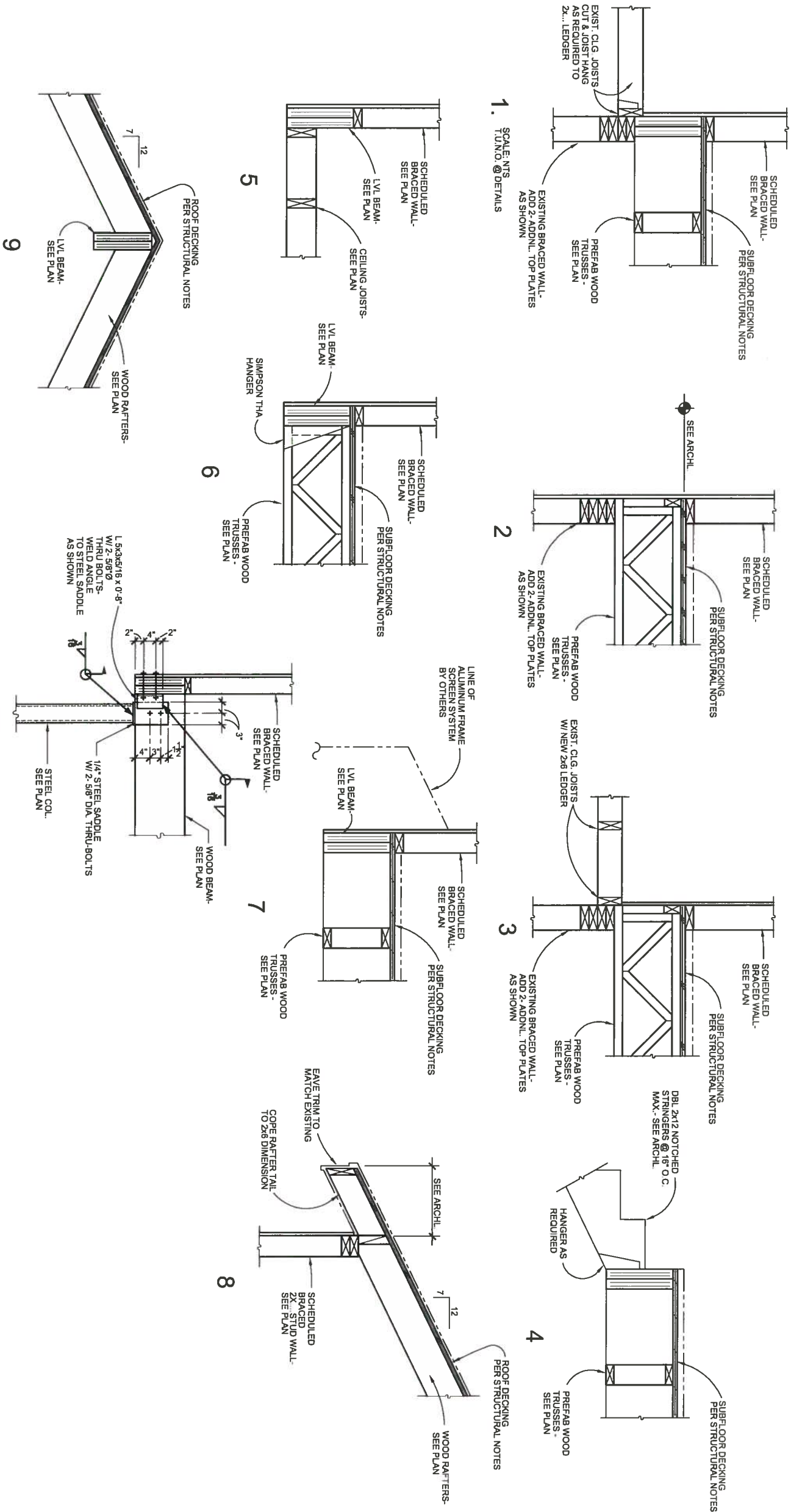
DRAWN BY: _____
CHECKED BY: _____
REVISIONS: _____

PRD

TO

S-5

OF 8



S15202

LOConsultants
Civil, Structural and Environmental Engineers
Texas Registered Engineering Firm F-4756
1000 E. CESAR CHAVEZ ST. STE. 100
AUSTIN TEXAS 78702-4208
Ph. (512) 498-0908
Fax (512) 498-0907

ROSENTHAL RESIDENCE
3204 GLENVIEW AVE
AUSTIN TEXAS 78703

DOUG KEATING
1701 B ELMHURST
AUSTIN TEXAS 78741 (512) 698-6948

DRAWN BY: PRD
CHECKED BY: TO
REVISIONS:

S-6

STRUCTURAL NOTES

BUILDING PAD

- I. SITE PREPARATION
- PRIOR TO PLACING ANY SELECT FILL MATERIAL, REMOVE 6" MIN. OF EXISTING SURFACE MATERIAL FOR A DISTANCE OF 2'-0" BEYOND BUILDING LINE. ALL EXPOSED SURFACES SHALL THEN BE SCARIFIED, WATERED AS REQUIRED AND RECOMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DEFINED BY ASTM D 698 (STANDARD PROCTOR TEST) AT A MOISTURE CONTENT WITHIN THREE (3) PERCENT OF THE OPTIMUM MOISTURE VALUE. THE SITE SHALL THEN BE FILLED TO GRADE USING A SUITABLE SELECT FILL MATERIAL, FREE FROM DELETERIOUS MATTER. FILL MATERIALS SHALL BE PLACED IN SIX (6) TO EIGHT (8) INCH LOOSE LIFTS AT MOISTURE CONTENTS WITHIN THREE (3) PERCENT OF THE OPTIMUM MOISTURE VALUE AND EACH LIFT COMPACTED TO BETWEEN 95 AND 100 PERCENT OF THE MAXIMUM DRY DENSITY AS DEFINED IN ASTM D 698. IN THE EVENT THAT FILL IS ENCOUNTERED AT THE SITE, REMOVE AND REPLACE WITH COMPACTED SELECT FILL. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER COMPACTION AND TESTING OF THE SUBGRADE AND SELECT FILL, BY A QUALIFIED GEOTECHNICAL TESTING LAB AS REQUIRED.
- II. SELECT FILL
- SELECT FILL SHALL HAVE A MAXIMUM PLASTICITY INDEX RANGE BETWEEN 3 AND 15, CRUSHED LESTONE WITH SUFFICIENT FINES TO BIND THE AGGREGATE TOGETHER, OR LOW PL "CRUSHER FINES" OR LIMESTONE SCALPINGS ARE SUITABLE SELECT FILL MATERIALS. SANDY LOAM SHALL NOT BE USED.
- COORDINATION
1. GEOTECHNICAL INFORMATION WAS FURNISHED FOR THIS FOUNDATION DESIGN PER MLA REPORT 1410 4000.120 ISSUED MAY 2014. THE FOUNDATION SLAB WAS DESIGNED ASSUMING A NON EXPANSIVE SUBGRADE (P.I. ≤ 20) WITH AN ALLOWABLE BEARING OF 3000 PSF. THE OWNER SHALL ASSUME ALL LIABILITY FOR THE PERFORMANCE OF THE FOUNDATION DESIGN BASED ON THE ACCURACY OF THE LIMITED GEOTECHNICAL INFORMATION FURNISHED BY THE OWNER.
 2. STRUCTURAL SERIES DRAWINGS SHALL BE COMPARED WITH DRAWINGS OF OTHER SERIES. DIFFERENCES SHOULD BE REFERRED TO THE OWNER FOR FOR INSTRUCTION PRIOR TO CONSTRUCTION.
 3. THE FOUNDATION DESIGN MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE.
 4. NOTIFY LOC 36 HOURS PRIOR TO PLACEMENT OF CONCRETE FOR A REBAR INSPECTION. FAILURE TO NOTIFY LOC FOR REBAR INSPECTION SHALL NEGATE ANY LIABILITY FOR THE PERFORMANCE OF THE FOUNDATION DESIGN.

CONCRETE

1. ALL CONCRETE SHOULD BE STONE AGGREGATE CONCRETE UNLESS NOTED OTHERWISE. MINIMUM CONCRETE COMPRESSIVE STRENGTH WHEN TESTED AT 28 DAYS, SHALL BE 3000 POUNDS PER SQUARE INCH WITH A MAXIMUM 5" SLUMP.
2. CONCRETE FLOOR SLAB SHOULD BE PLACED MONOLITHICALLY WITH BEAMS.
3. REINFORCING STEEL SHALL BE DEFORMED NEW BILLET STEEL BARS IN ACCORRANCE WITH ASTM SPECIFICATION A615 GRADE 60.
4. PROVIDE 2-#5 X 4'-0" "L" SHAPED BARS TOP AND BOTTOM AT ALL CORNERS AND "T" INTERSECTIONS OF BEAMS. DEEP BEAMS WITH INTERMEDIATE REBAR SHALL HAVE 2-#4 X 4'-0" "L" BARS AT ALL CORNERS.
5. LAP CONTINUOUS UNSCHEDULED REINFORCING BARS 36 BAR DIAMETERS, UNLESS NOTED OTHERWISE.
6. TACK WELDING ON REINFORCING STEEL WILL NOT BE PERMITTED.
7. HEAT SHALL NOT BE USED IN THE FABRICATION OR INSTALLATION OF REINFORCEMENT.
8. REINFORCING STEEL COVERAGE SHALL BE AS FOLLOWS:
A) GRADE BEAMS - 1 1/2" TOP, 3" BOTTOM, 2" SIDE FORMED, 3" SIDE FORMED AGAINST EARTH
9. ALL REINFORCING BARS SHOULD BE SUPPORTED AND TIED AT EVERY OTHER INTERSECTION.
10. ANCHOR EXTERIOR WALL SILL PLATES WITH 1/2" DIA. x 8" ANCHOR BOLTS SPACED AT 32" O.C. MAX AND TWO MINIMUM PER WALL PIECE WITH ONE BOLT AT END OF EACH WALL PIECE OR AS REQUIRED BY CODE OR FRAMING PACKAGE
11. PERFORM A THREE DAY CONTINUOUS WET CURE ON ALL CONCRETE SLABS PRIOR TO APPLICATION OF THE CURING COMPOUND PER MANUFACTURER SPECIFICATIONS.

TIMBER

1. UNLESS OTHERWISE NOTED, ALL STRUCTURAL FRAMING LUMBER SHALL BE CLEARLY MARKED NO. 2 SOUTHERN YELLOW PINE (SYP) BY THE SPIB WITH A MINIMUM FB-1300 PSI.
2. ALL WOOD STUD WALLS SHALL BE FULL HEIGHT WITHOUT AN INTERMEDIATE PLATE LINE UNLESS DETAILED OTHERWISE. NO. 2 FIR OR HEM. FIR MAY BE USED AS AN OPTION IN LIEU OF NO. 2 SYP FOR 2 X 4, AND 2 X 6 WALL STUDS.
3. SOLID 2X BLOCKING SHALL BE PROVIDED AT END AND POINT OF SUPPORT OF ALL WOOD JOISTS AND SHALL BE PLACED BETWEEN SUPPORTS IN ROWS NOT EXCEEDING 8'-0" APART. ALL WALLS SHALL HAVE SOLID 2X BLOCKING AT 8'-0" O.C. MAXIMUM VERTICALLY. END NAIL WITH 2-16D NAILS OR SIDE TOE NAIL WITH 2-16D NAILS.
4. DECKING: APA RATED OSB DECKING- 3/4" T. & G. STURDIFLOOR FOR SUB FLOORS, 5/8" FOR PITCHED ROOFS, GRADE C-D. USE 10D COMMON NAILS AT 4" O.C. AT ALL SUPPORTED EDGES, 8D AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. ALL JOINTS IN OSB DECKING SHALL BE STAGGERED.
5. ALL EXTERIOR WALL FRAMING SHALL BE BRACED BY THE FOLLOWING:
 1. A CONT. 1/2" APA RATED OSB DIAPHRAGM FROM THE TOP PLATE TO THE BOTTOM PLATE. EDGE NAIL WITH 8D AT 4" O.C. AND 8D AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS UNLESS NOTED ON THE DRAWINGS. PROVIDE SOLID 2 X .. BLOCKING FOR HORIZONTAL DIAPHRAGM JOINTS IN WALLS GREATER THAN 8'-0" HIGH.
 2. SEE WALL BRACE SCHEDULE FOR SPECIFIED METAL HOLD DOWN ANCHORS IF APPLICABLE.
6. ALL FRAMING MEMBERS FRAMING INTO THE SIDE OF A HEADER SHALL BE ATTACHED USING THE APPROPRIATE METAL JOIST HANGERS.
7. NAILING AND ATTACHMENT OF ALL FRAMING MEMBERS SHALL BE AS SPECIFIED IN THE INTERNATIONAL BUILDING CODE NAILING SCHEDULE UNLESS NOTED OTHERWISE IN THE DRAWINGS. COMMON WIRE NAILS OR SPIKES, OR GALVANIZED BOX NAILS SHALL BE USED FOR ALL FRAMING UNLESS NOTED.
8. PLACE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS. BOTTOM PLATES FOR EXTERIOR AND LOAD BEARING WALLS SHALL BE ANCHORED WITH 1/2" DIAMETER BY 8" LONG ANCHOR BOLTS EMBEDDED 6" INTO THE CONCRETE FOUNDATION AND SPACED AT 48" O.C. MAXIMUM.
9. LAMINATED VENEER LUMBER (LVL) BEAMS SHALL BE GRADE 1.9E MATERIAL UNLESS NOTED OTHERWISE.

LOAD BEARING HEADER SCHEDULE

HEADER SIZE	CRIPPLE	TRIMMER SIZE (KING STUD)
2- 2 x 8, 2- 2x10	SINGLE CRIPPLE	FULL HT. STUD
2- 2 x 8, 3- 2x10	SINGLE CRIPPLE	DBL. FULL HT. STUD
2- 2 x 12	SINGLE CRIPPLE	DBL. FULL HT. STUD
3- 2 x 12	SINGLE CRIPPLE	DBL. FULL HT. STUD

BUILT-UP COLUMN SCHEDULE

BEAM WIDTH	BUILT-UP STUD COLUMN
2- 7 1/4x14 LVL	3- STUD COLUMN
2- 9 1/4x16 LVL	3- STUD COLUMN

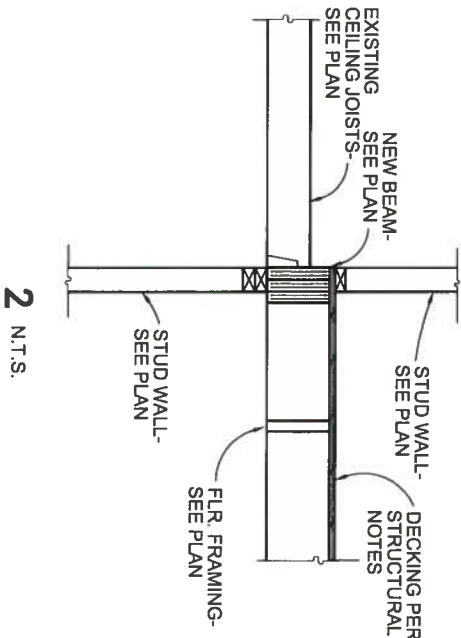
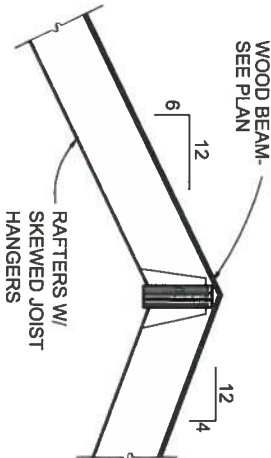
BUILT-UP COLUMN SCHEDULE

BEAM WIDTH	BUILT-UP STUD COLUMN
2- 2 x	2- STUD COLUMN
3- 2 x	3- STUD COLUMN

BEAM HANGER SCHEDULE

BEAM SIZE	SIMPSON HANGER
3- 1 3/4x11 7/8 LVL	HGUS 5.50/12
3- 1 3/4x14 LVL	HGUS 5.50/14

NOTE: USE SCHEDULES AS APPLICABLE



STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION ASTM A-992 FOR W SECTIONS, AND ASTM A36 FOR M,S,C, AND MC SECTIONS. STRUCTURAL STEEL DETAILS AND CONNECTIONS SHALL CONFORM TO THE STANDARDS OF THE A.I.S.C. FIELD CONNECTIONS SHALL BE EQUIVALENT TO STANDARD FRAMED CONNECTIONS USING MINIMUM 3/4" A307 BOLTS WITH STANDARD NUTS AND WASHERS UNLESS OTHERWISE SHOWN. CONNECTIONS SHALL BE BOLTED OR WELDED - SEE DETAILS.
2. SPlicing OF STRUCTURAL STEEL MEMBERS IS PROHIBITED WITHOUT PRIOR APPROVAL OF THE ENGINEER AS TO LOCATION AND TYPE OF SPLICE TO BE MADE. ANY MEMBER HAVING SPLICE NOT SHOWN AND DETAILED ON SHOP DRAWING WILL BE REJECTED.
3. ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE D1.1.
4. PRIME AND PAINT WITH SHERWIN WILLIAMS PRO INDUSTRIAL ENAMEL 100 SYSTEM PER MANUFACTURER'S SPECIFICATIONS. COLOR BY ARCHITECT.



12-4-15

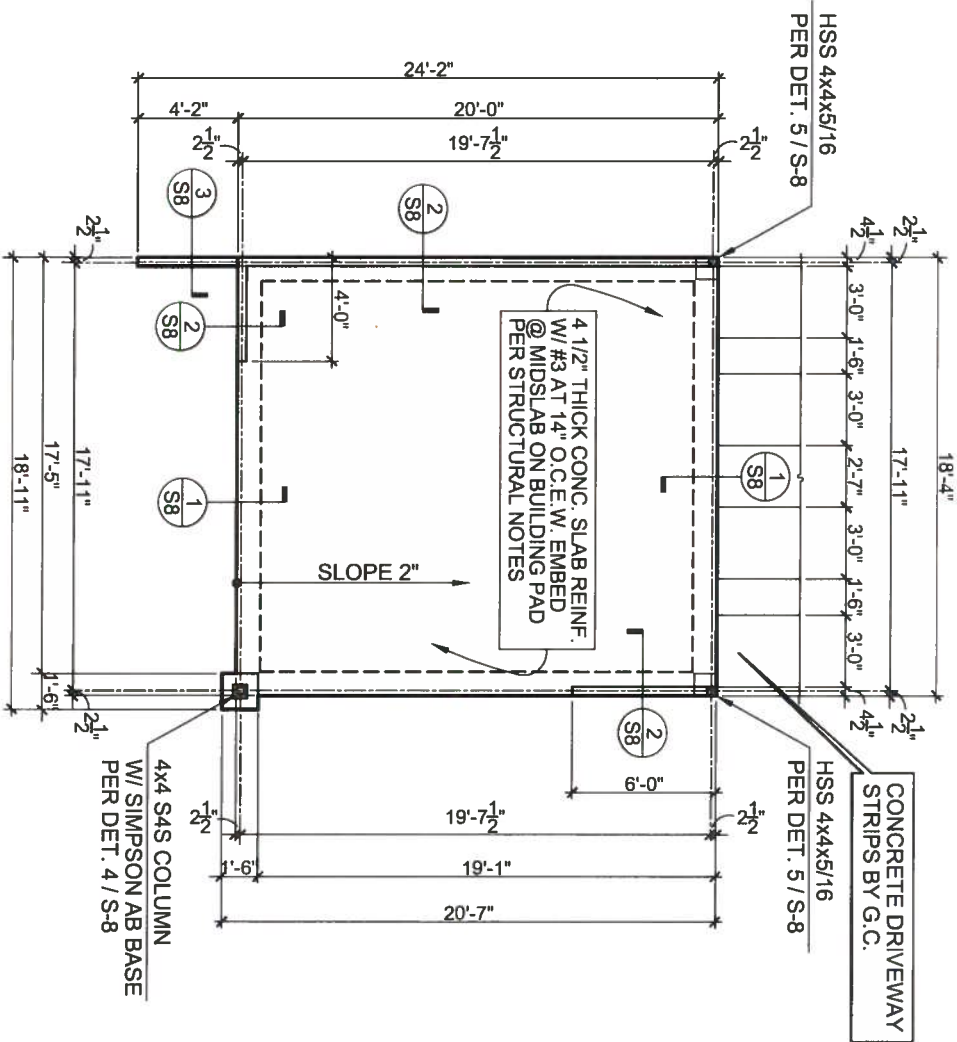
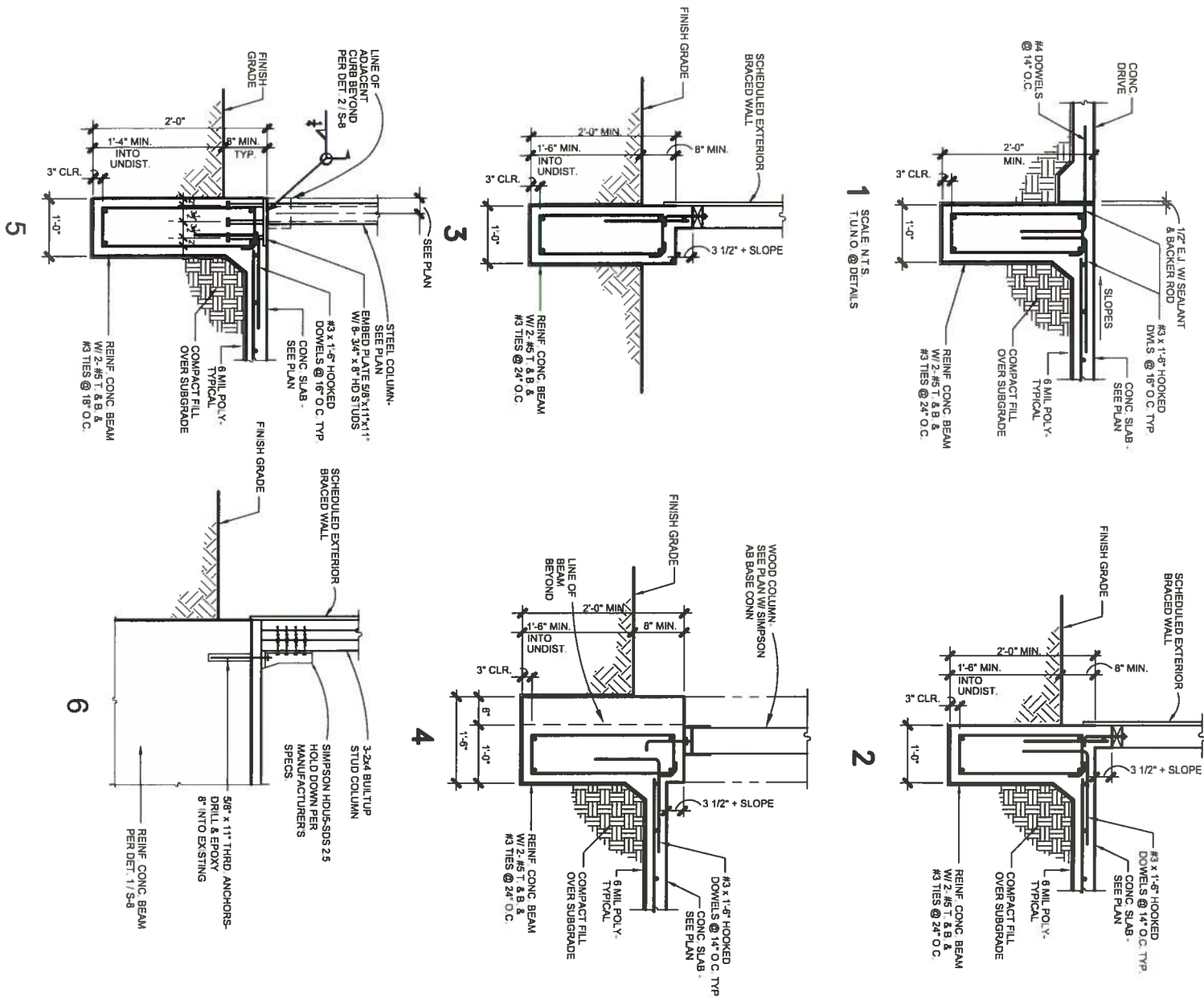
S15202

LOCconsultants
Civil, Structural and Environmental Engineers
Texas Registered Engineering Firm F-4756
1000 E. CESAR CHAVEZ ST. STE. 100
AUSTIN TEXAS 78702-4208
Ph. (512) 499-0908
Fax (512) 499-0907

ROSENTHAL RESIDENCE
3204 GLENVIEW AVE
AUSTIN TEXAS 78703

DOUG KEATING
1701 B ELMHURST
AUSTIN TEXAS 78741 (512) 698-6948

DRAWN BY: PRD
CHECKED BY: TO
REVISIONS:



FOUNDATION PLAN

SCALE: 1/8" = 1'-0" FOR 11x17 FORMAT
SCALE: 1/4" = 1'-0" FOR 22x34 FORMAT

PLAN NOTES:

1. VERIFY ALL SLAB DROP, PLUMBING, ELECTRICAL, AND MISC. SLAB INFORMATION WITH ARCHITECTURAL DRAWINGS.
2. SEE SHEET S9 FOR STRUCTURAL NOTES.
3. G.C. SHALL VERIFY DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SHALL NOTIFY ARCHITECT/ ENGINEER OF DISCREPANCIES PRIOR TO CONSTRUCTION.
4. SEE ARCHITECTURAL FOR SLAB DROPS AT ENTRIES AND DOOR THRESHOLD REQUIREMENTS.
5.

+1'-0"

 DENOTES APPROXIMATE FINISH FLOOR ELEVATION ABOVE ADJACENT EXISTING GRADES. THE G.C. SHALL FIELD VERIFY THESE GRADES AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES FOR INSTRUCTION PRIOR TO CONSTRUCTION.
6. PERFORM A THREE DAY WET CURE ON ALL CONCRETE SLABS.

7. NOTIFY LOC 36 HOURS PRIOR TO PLACEMENT OF CONCRETE FOR A REBAR INSPECTION FAILURE TO NOTIFY LOC FOR REBAR INSPECTION SHALL NEGATE ANY LIABILITY FOR THE PERFORMANCE OF THE FOUNDATION DESIGN.

STATE OF TEXAS
 PROFESSIONAL ENGINEER
 NO. 66204
 TERRENCE J. RITZ

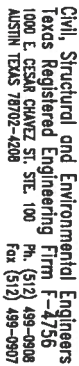
LOC consultants
Civil, Structural and Environmental Engineers
Texas Registered Engineering Firm F-4756
1000 E. CEMAR CHAVEZ ST. STE. 100
AUSTIN TEXAS 78702-4208
Ph. (512) 459-0906
Fax (512) 459-0907

<p>ROSENTHAL RESIDENCE 3204 GLENVIEW AVE AUSTIN TEXAS 78703</p>
<p>DOUG KEATING 1701 B ELMHURST AUSTIN TEXAS 78741 (512) 698-6948</p>

DRAWN BY: PRD
CHECKED BY: TO
REVISIONS: _____

S-8
OF 10

12-4-15

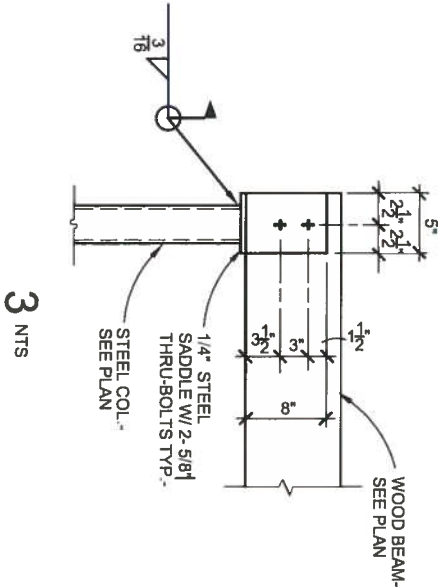


ROSENTHAL RESIDENCE
3204 GLENVIEW AVE
AUSTIN TEXAS 78703

DOUG KEATING
1701 B ELMHURST
AUSTIN TEXAS 78741 (512) 698-6948




S-9
OF 10

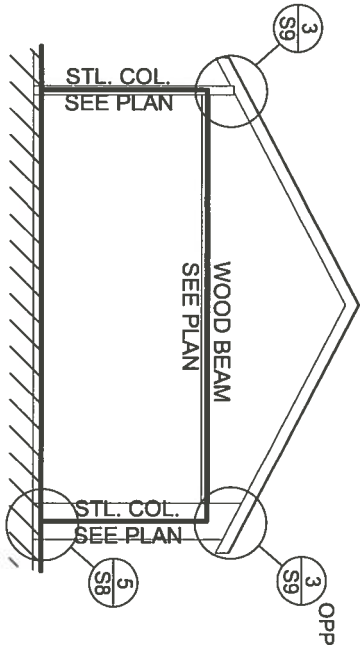
OF 10



SCALE: 1/8" = 1'-0" FOR 11x17 FORMAT
SCALE: 1/4" = 1'-0" FOR 22x34 FORMAT

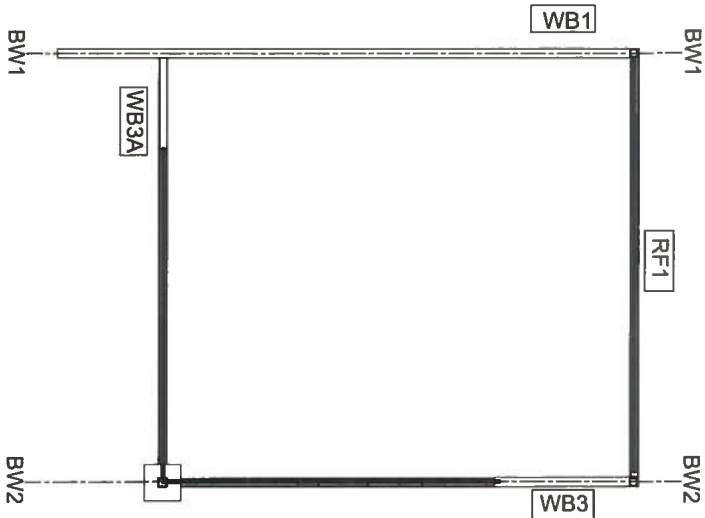
1. SEE SHEET S7 FOR STRUCTURAL NOTES.
2. G.C. SHALL VERIFY DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SHALL NOTIFY ARCH./ENGR. OF DISCREPANCIES PRIOR TO CONSTRUCTION.
3. ALL LOAD BEARING HEADERS @ 2x4 WALLS SHALL BE 2 ALL LOAD BEARING HEADERS @ 2x6 WALLS SHALL BE 3-TYPICAL UNLESS NOTED OTHERWISE ON THE PLAN. FOR OPENINGS IN NON-LOAD BEARING PARTITIONS-USE DBL. 2x6 HEADERS T.U.N.O. ON THE PLAN-SEE ARCHITECTURAL FOR LOCATIONS.

4.  * DENOTES BUILT UP COLUMNS. SEE SHEET S7 FOR BUILT UP STUD SCHEDULE AND BEAM HANGER SCHEDULE.
5. ALL MISC. CEILING JOISTS SHALL BE 2x6 AT 16" O.C. MAX. TYPICAL UNLESS NOTED OTHERWISE ON THE PLAN. SEE ARCH'L. FOR COFFERED CEILING AREAS ETC.  C.J.  DENOTES SPAN DIRECTION.
6. NOTIFY LOC WITHIN 36 HOURS FOR A FRAMING INSPECTION. FAILURE TO NOTIFY LOC FOR FRAMING INSPECTION SHALL NEGATE ANY LIABILITY FOR THE PERFORMANCE OF THE FRAMING DESIGN.



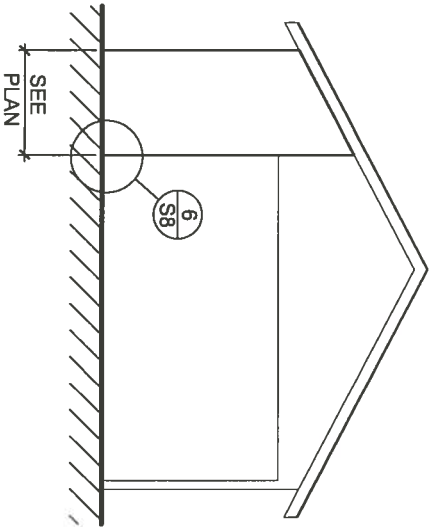
RF1

SCALE: 1/8" = 1'-0" FOR 11x17 FORMAT
SCALE: 1/4" = 1'-0" FOR 22x34 FORMAT



BRACED WALL PLAN

SCALE: 1/8" = 1'-0" FOR 11x17 FORMAT
SCALE: 1/4" = 1'-0" FOR 22x34 FORMAT



WB2

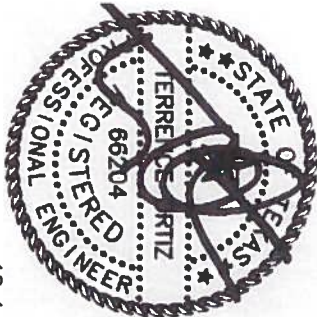
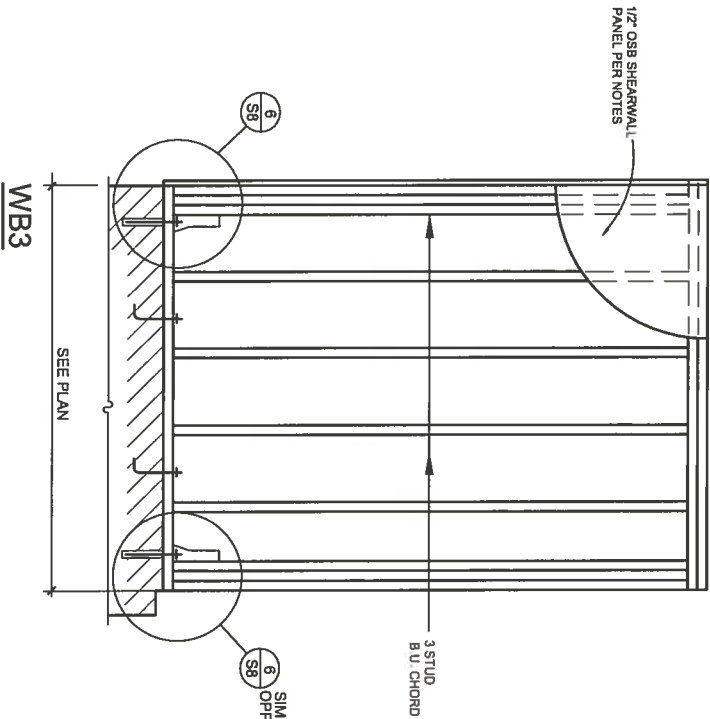
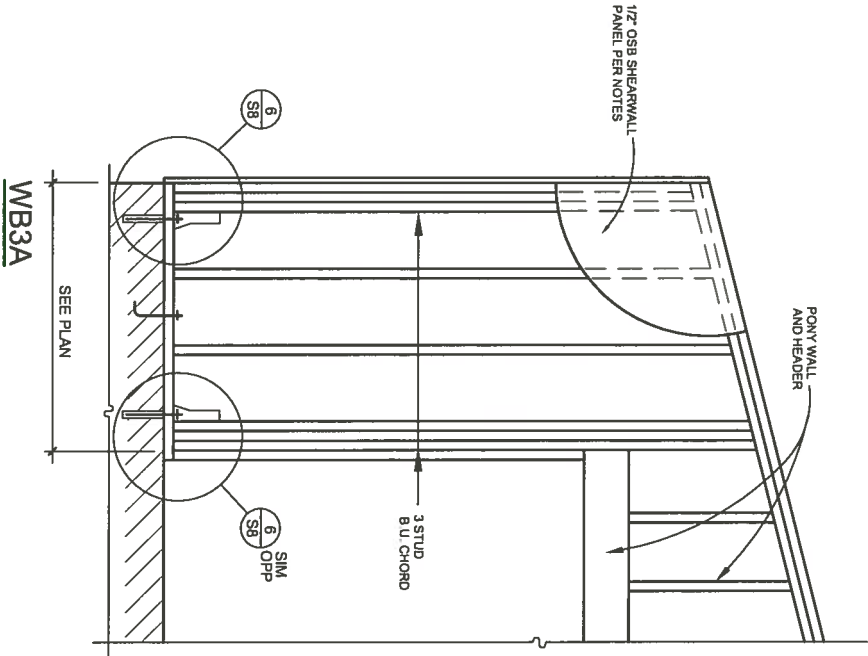
SCALE: 1/8" = 1'-0" FOR 11x17 FORMAT
SCALE: 1/4" = 1'-0" FOR 22x34 FORMAT

WB3

SCALE: 1/8" = 1'-0" FOR 11x17 FORMAT
SCALE: 1/4" = 1'-0" FOR 22x34 FORMAT

WALL BRACING SCHEDULE			
MK	PANEL MATERIAL AND NAILING REQUIREMENTS	CHORD SIZE	HOLD DOWN ANCHORS
WB1	(TYPE WSP) 1/2" APA RATED OSB SHEATHING WITH 8d NAILS SP. @ 4" O.C. (TYPE WSP) AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUDS	NA	SEE DETAILS
WB2	(TYPE GWB) 5/8" GYPSUM WALL BOARD PANEL W/ 6d COOLER NAILS SPA. @ 4" O.C. EACH SIDE OF STUD WALL	NA	SEE DETAILS
WB3	(TYPE WSP) EXISTING 1/2" APA RATED CONTINUOUS PLYWOOD SHEATHING	NA	SEE DETAILS
WB3A	1/2" CONTINUOUS OSB SHEATHING WITH 8d NAILS SP. @ 3" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUDS FIELD VERIFY	NA	SEE DETAILS

- NOTES:
1. STUD SPACING @ 16" O.C. MAX.
 2. BLOCK ALL HORIZONTAL PANEL EDGES WITH 2x... BLOCKING
 3. PANELS SHALL BE APPLIED WITH THE LONG DIMENSION PERPENDICULAR TO STUDS.
 4. ANCHOR BOLTS: 1/2"x 8" A.B. @ 32" O.C. MAX. AND EACH END OF WALL BRACE PANEL.
- SEE SCHEDULE & DETAILS FOR ADDITIONAL HOLD DOWN REQUIREMENTS FOR SLAB ON GRADE ADDITION.



12-4-15

S15202

LoC consultants
Civil, Structural and Environmental Engineers
Texas Registered Engineering Firm F-4756
1000 E. CSKAR CHAVEZ ST. STE. 100
AUSTIN TEXAS 78702-4208
Ph. (512) 499-0908
Fax (512) 499-0907

ROSENTHAL RESIDENCE
3204 GLENVIEW AVE
AUSTIN TEXAS 78703

DOUG KEATING
1701 B ELMHURST
AUSTIN TEXAS 78741 (512) 698-6948

DRAWN BY: _____
CHECKED BY: _____
REVISIONS: _____

PRD
TO

S-10
OF 10